



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
11511 MAIN ST., P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: 888 108th Avenue Tower

LOCATION OF PROPOSAL: 888 108th Avenue NE

DESCRIPTION OF PROPOSAL:

Proposal to construct 157 residential units in a 19-story tower with 5 levels of below-grade parking for 211 vehicles.

FILE NUMBERS: 15-113442-LD-LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on December 24, 2015.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carol M. Holland
Environmental Coordinator

12/10/2015
Date

OTHERS TO RECEIVE THIS DOCUMENT:

State Department of Ecology,
Attorney General
Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Bellevue Tower

Proposal Address: 888 108th Avenue NE

Proposal Description: Application for Design Review approval and SEPA threshold determination to construct a 200 foot tall, 19-story tower with 157 residential units and one 900 SF commercial/service space on a 0.51-acre site in the Downtown Residential (DNTN-R) land use district. Also included are 5 levels of underground parking for approximately 211 vehicles.

File Number: 15-113442-LD

Applicant: Hewitt Architects
David Johnson

Decisions Included: Process II, Combined Design Review and SEPA

Planner: Sally Nichols, Senior Planner

State Environmental Policy Act
Threshold Determination: **Determination of Non-Significance**

Carol V. Helland

Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: *Carol V. Helland*

Carol V. Helland, Land Use Director

Application Date: May 12, 2015
Notice of Application Date: June 4, 2015
Notice of Decision Date: December 10, 2015
Appeal Deadline: December 24, 2015

For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6864. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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ATTACHED:

- A. Project Plans & Drawings
- B. Certificate of Concurrency
- C. SEPA Checklist

I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests a State Environmental Policy Act (SEPA) Threshold Determination and Design Review approval to construct a 19-story tower (200 feet tall) with approximately 124,641 gross square feet (GSF). The building will have 157 residential units and approximately 900 square feet of commercial/service space. Five levels of below grade parking will provide space for 211 vehicles. An increase density of 15 is being requested through the provision of affordable housing. 24 affordable units will be provided.



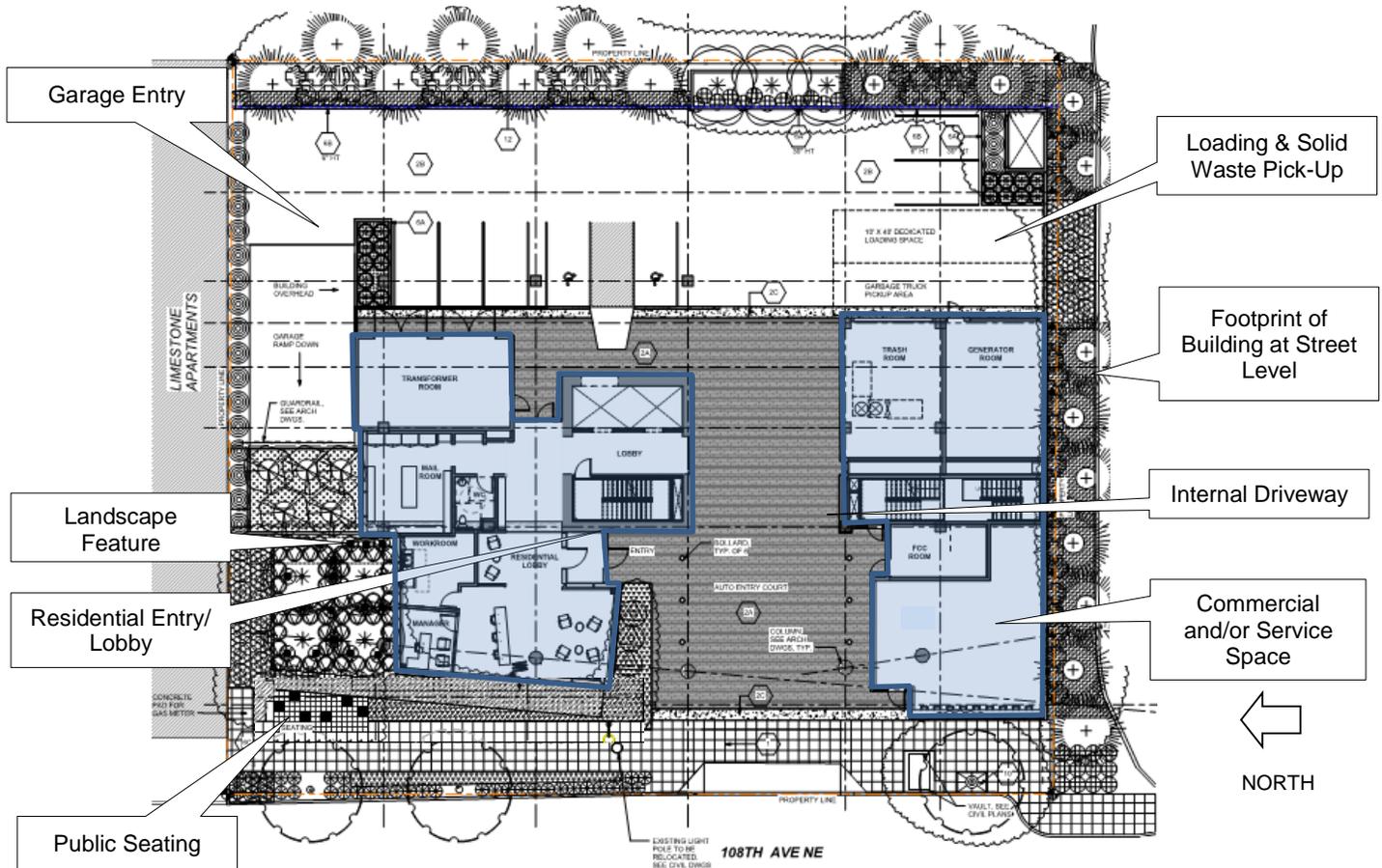
View of the 108th Avenue
NE (front) Façade from the
southeast

A. Site Design

The project site lies in the middle of the block of the eastern side of 108th Avenue NE, between NE 8th Street and NE 10th Street.

The vehicular entry to the underground parking is off 108th Avenue NE near the middle of the site due to the close proximity of driveways on adjacent parcels.

Site Plan



The entry driveway will run under the building, leading to the garage entry in the northeast corner of the site. Additionally, the building will be pulled back from the eastern property line to also allow for loading and solid waste pick-up functions to take place behind the building and off the public street. The pedestrian access/entry from the public sidewalk to the residential lobby will run along the northern side of the driveway and pedestrians will be protected from vehicular traffic by bollards. Special paving will highlight the entire entry area, thereby giving visual clues that this is an area to be shared by vehicles and pedestrians.

Because the driveway goes under the building, the building on the first two levels will effectively be split into two halves. The residential entry and leasing and office functions will be in the northern half and the residential lobby, leasing area, and offices will be visible from the street through two story clear glass windows. The southern half of the building at the ground level will have a one-story, 940 SF commercial/service space and functional spaces such as the fire command center, generator room, and trash room.

Landscaping will be provided along all sides of the site to soften any blank walls and provide vegetated buffers between the building and adjacent properties. There are

existing mature trees and understory vegetation on adjacent properties to the east (Pacific Regent site) and south (US Bank Plaza site). Removal of any off-site vegetation for shoring purposes is NOT being approved under this Design Review approval. Removal of this vegetation and replanting shall be through agreements between the applicant and adjacent property owners. **Refer to Condition of Approval regarding tree removal and landscaping on adjacent properties in Section X of this report.**

Along the street frontage, the project will provide a planting strip with street trees, an eight-foot wide sidewalk, and a landscape feature in the northwest corner of the building punctuated by four specimen trees (Japanese Stewartias). An expanded sidewalk and seating area will be provided for public use. **Refer to Condition of Approval regarding the final landscape plan in Section X of this report.**

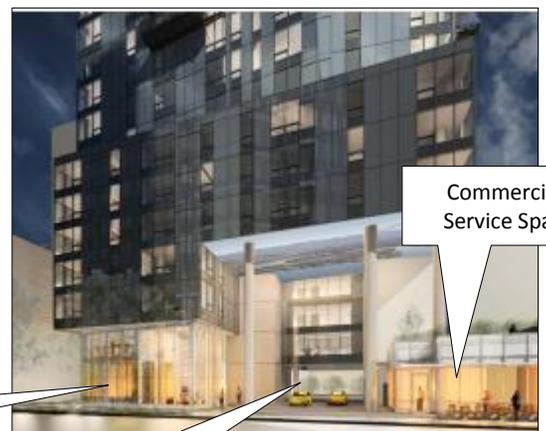
B. Building Design

Design Concept: The overall form of the building is organized to take advantage of territorial view corridors between the neighboring buildings and along 108th Avenue NE. This will be expressed by the slightly angled and protruding multi-storied bays higher up on the building. The building will step back along 108th Avenue NE at level 7 to respond to the lower residential building to the north.



Bird's Eye View from southwest

The main feature of the building at the ground level is the four-story tall inset over the vehicular entrance with the driveway going through the building via a two story slot. The height of this space will be accentuated with tall columns, a soffit upon which imagery will be projected, and a smaller one-story commercial/service space in the southwest corner of the building. The two-story lobby area on the northwest corner will be translucent and give the building lightness and transparency at the ground level.



Building Lobby & Leasing Office

Commercial/
Service Space

2-Story Slot thru Building

108th Avenue Facade



Northern Elevation

Western Elevation



Southern Elevation

Eastern Elevation



Western Façade along 108th Avenue NE

The roof will be used as a residential gathering/amenity area with interior public rooms and a variety of outdoor spaces. The elevator core, stair penthouses and rooftop mechanical equipment will be pulled away from the building edges and will be screened and/or integrated into the overall building form to help reduce the apparent bulk of the building. The mechanical equipment will be screened from the sides and from above. Overall, the design of the rooftop will result in a roofline that will be varied through the arrangement of the various features on the roof and the angled bays on the corners of the upper residential floors. **Refer to Condition of Approval regarding mechanical equipment and equipment screening in Section X of this report.**

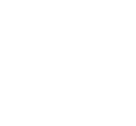


Rooftop View from southwest corner

Color and Materials: The exterior cladding is proposed to be a window wall system of translucent and spandrel glass. The overall color palette of glass will create a two-tone theme that enhances the building form. Silver metal panels and cast-in place concrete columns and wall will accent the window wall system coloration. Balconies will be bolt-on metal deck and frame systems with silver metal and glass guardrails. The upper level roof amenity area will have a 60-inch tall glass windscreen system.

There will be a white cement plaster soffit at the main entry. This soffit will be four stories tall and the white plaster will allow lighted imagery to be projected onto it. **Refer to Condition of Approval regarding exterior lighting in Section X of this report.**



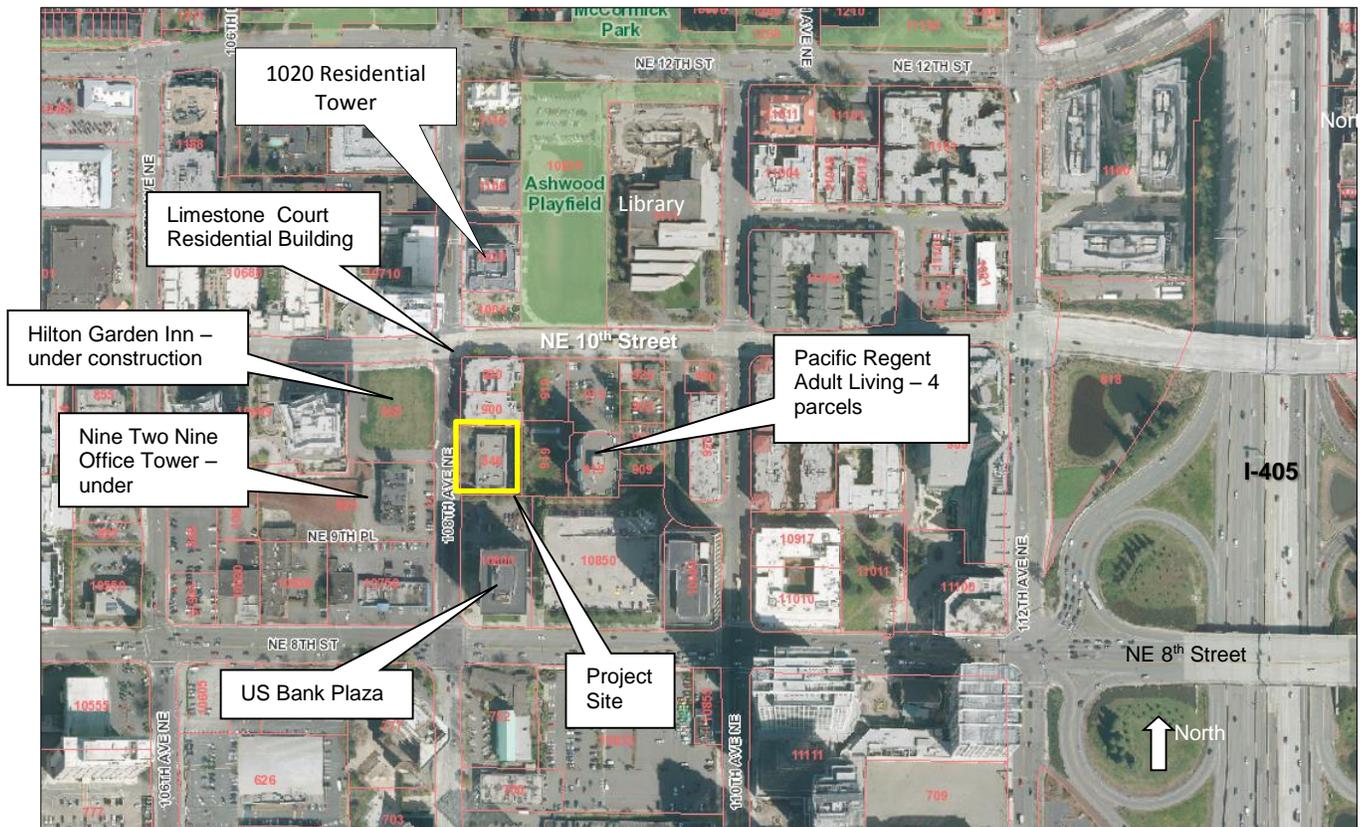
	1 Glass Windscreen System	
	2 Insulated Vision Glass	
	3 Insulated Opaque Spandrel Glass	Aluminum Curtain Wall System – Clear Glazing & Metallic Silver Metal Panels
	4 Insulated Opaque Shadow Box Spandrel Glazing	
	5 12" Wide Horizontal Flush Metal Panel – 'Cool Metallic Silver'	Residential Window Wall System – Mullions painted to match glazing
	6 12" Wide Horizontal Flush Metal Panel – 'Outerspace'	
	7 Balconies – Metal Deck & Frame and Glass Guardrail	Cast-in-Place Concrete and Landscape Treatment
	8 White Cement Plaster Soffit for Projected Imagery	
	9 Cast-in-Place Concrete Columns	
	10 Cast-in-Place Concrete Columns	

II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT

A. Site Description

The 22,050 square foot (0.51 acres) project site is located mid-block on the east side of 108th Avenue NE, between NE 8th Street and NE 10th Street. The site currently consists of an older two-story wood office building and associated surface parking lot and under-building parking. The project is flanked to the north by the six story Limestone Court Apartments, to the east by the Pacific Regent campus and residential tower, and to the south by a drive-thru banking building and surface parking lot for the US Bank office tower on the corner of NE 8th Street and 108th Avenue NE. Across 108th Avenue NE, the Nine Two Nine Office Tower building is nearing the end of construction. At the southwest corner of 108th Avenue NE and NE 10th Street, a new six-story hotel (Hilton Garden Inn at Washington Square) has just begun construction.

Vicinity Map



The site is relatively flat and roughly at the same grade as the neighbors to the north, south and east. There are 22 existing significant trees on the site; primarily along the eastern property line. All of the trees on-site will be removed for this project and replaced with new landscaping. There are also stands of mature trees on the adjacent properties to the east and south; approximately 19 trees to the east on the Pacific Regent site and 13 to the south on the US Bank Plaza site. Some of these trees straddle the property line.

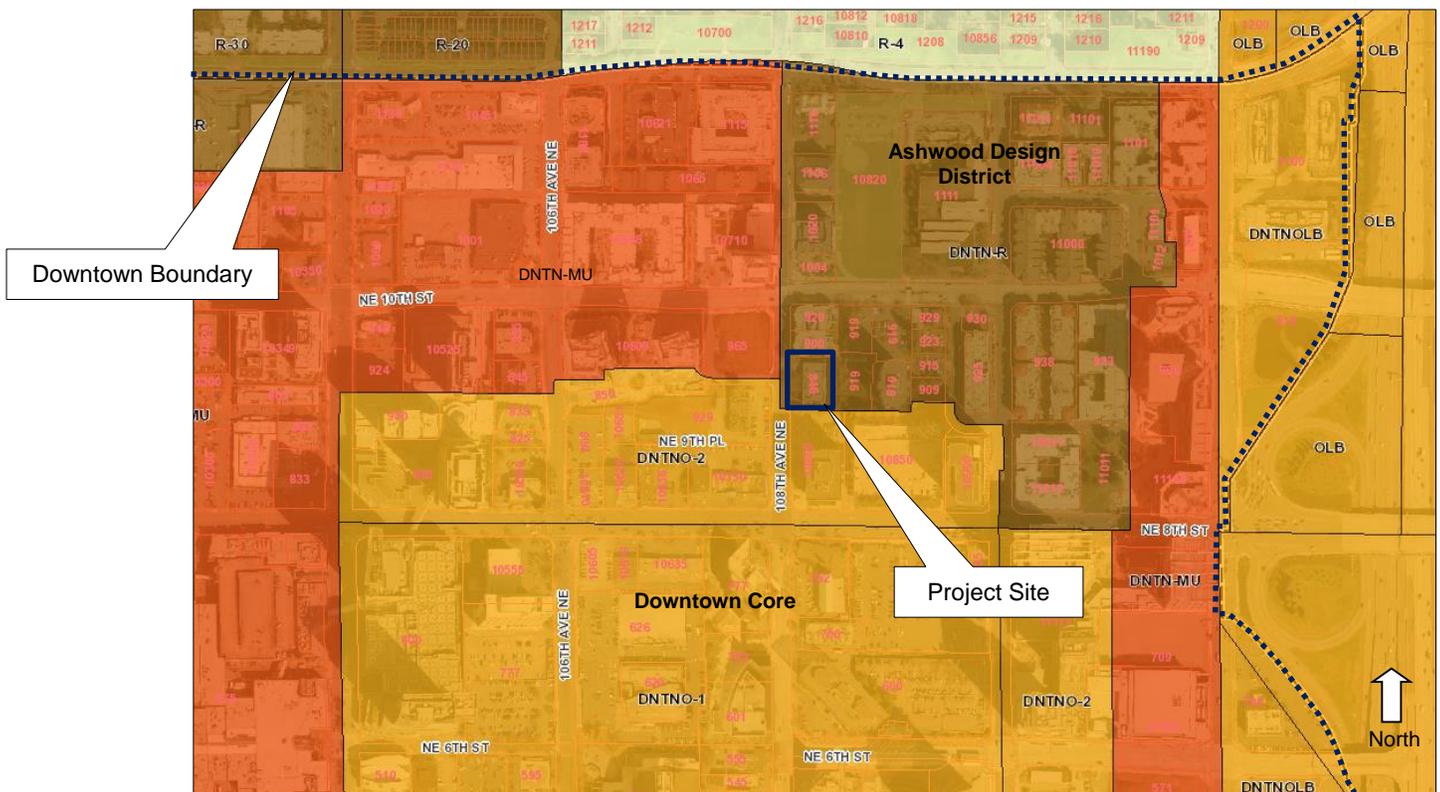
Excavation for this project will most likely necessitate the removal of these 32 trees on the adjacent properties. However, the removal of these trees and/or additional landscaping on adjacent properties is not part of this Design Review approval and will require agreements with adjacent property owners. Refer to Condition of Approval regarding tree removal and landscaping on adjacent properties in Section X of this report.

108th Avenue NE is classified as a minor arterial street. On the western side of the block, across from this proposal, two major projects are under construction. Mid-block is the Nine Two Nine Office Tower and on the northwest corner of 108th Avenue NE and NE 10th Street will be the Hilton Garden Inn at Washington Square.

B. Zoning

The property is within the Downtown- R (Downtown Residential) land use district, within the Ashwood Design District per the Comprehensive Plan. This site, along with all of Downtown, was rezoned in 1981 through Ordinance No. 3013 to implement the 1979 Downtown Subarea Plan Map. The proposed uses of residential and commercial/service are permitted outright.

Zoning Map



As seen in the Zoning Map above, the site lies in the southwest corner of the Ashwood District and shares a border with the Downtown Core to the south. The site's location relative to the core and the amenities within the Ashwood District, including the library and Ashwood Park, make it an ideal residential location.

C. Land Use Context

The proposal site lies in the southwest corner of the Ashwood Design District. The Ashwood District is defined by the King County Regional Library and Ashwood Park to the north of this project site, and a concentration of dense urban housing. The majority of the parcels within Ashwood are within the Downtown-Residential (DNTN-R) land use district. Directly to the south of the Ashwood District is the Downtown Core. The Core allows higher, more intensively developed buildings than in any other part of the Downtown.

Adjacent properties are as follows:

West: Downtown-Office 2 (DNTN-O2) and Downtown Mixed-Use (DNTN-MU) - Across 108th Avenue NE is new office building and hotel. At the time of this writing, both projects are under construction.

East: Downtown-Residential (DNTN-R) – Pacific Regent residential tower and associated surface parking lot.

South: DNTN-O2 – An office building, surface parking lot, and a small satellite building for drive-thru banking.

North: DNTN-R – Limestone Apartments residential building.

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Use

Uses are regulated by Land Use Code (LUC) Section 20.10.400 (Use Charts) and LUC 20.25A (Downtown-Residential land use district). The residential and commercial/service uses proposed for this project are permitted with Design Review approval subject to meeting the Design Review criteria of LUC 20.25A.110 and the Design Guidelines – Building/Sidewalk Relationships of LUC Section 20.25A.115.

2. Dimensional Requirements

As conditioned, all applicable dimensional requirements of the Land Use Code will be met. Refer to the following table for further information:

Table 1: Dimensional Requirements

Item	Permitted/ Required	Proposed	Comments/Conditions
Project Limit	No minimum	22,050 SF	Meets LUC requirement
Lot Coverage	100%	100%	Meets LUC requirement LUC 20.25A.020.A.2
Setbacks/ Front(s) Side & Rear	0 FT 0 FT at grade level/ Min. 20 FT for all floors above 40 FT	0 FT Varies at grade level/20 FT above 40 FT	Meets LUC requirement LUC 20.25A.020 LUC 20.25A.020 Note 25

Item	Permitted/ Required	Proposed	Comments/Conditions
Building Height	200 FT maximum plus 15 FT for interesting roof form and 15FT for mechanical equipment – as measured from average finish grade LUC 20.25A.020	200 FT plus 15 feet for mechanical screening = 215 FT.	Meets LUC requirements LUC 20.25A.020
Floor Area Ratio (FAR)	2 Min./5 Max.	5.7 FAR - 5.0 FAR plus .75 FAR per provision of affordable housing	Meets LUC requirement LUC 20.25A.020
FAR Increase for Affordable Housing	16,538 GSF + 110,250 GSF for a total FAR of <u>126,788 GSF*</u> * 15% of max. FAR of 110,250 GSF allowed thru provision of affordable housing	16,591 GSF affordable housing + 109,649 GSF = <u>126,240 GSF total</u>	Meets LUC requirement LUC 20.20.128 Refer to discussion regarding FAR and affordable housing in Section III.C below.
Floor Area	20,000 GSF above 40 FT 12,000 GSF above 80 FT	Above 40 FT: Largest floorplate is 8,084 GSF Above 80 FT: Largest floorplate is 7,985 GSF	Meets LUC requirement LUC 20.25A.020
Sidewalk Width	<u>108th Avenue NE:</u> 12'-6" (8 FT sidewalk + 4 FT planting area + 6" curb)	<u>108th Avenue NE:</u> 12'-6" <u>minimum</u> (including curb)	Meets LUC requirements LUC 20.25A.060.A
Landscaping	5 foot buffer along entire eastern property line and small section of southern property line where loading/garbage pick-up space located	Approximately 8 FT planting area along eastern property line. Approximately 2 feet along eastern property line where loading/garbage pick- up space located	Smaller buffer along southern property line requires Alternative Landscaping Option. <u>Refer to Alternative Landscape Option discussion in Section III.B below and Condition of Approval regarding the final landscape plan and landscape and irrigation plans for building permit in Section X of this report.</u> As conditioned, meets LUC requirements LUC 20.25A.060.A

Item	Permitted/ Required	Proposed	Comments/Conditions
Street Tree/ Species & Caliper	108 th Avenue NE: 3" caliper Carpinus betulus 'Fastigiata'/ European Hornbeam	Proposed: 2 ½" caliper street trees - Parrotia persica 'Ruby Vase' - per approval of species by Parks Department & Land Use.	Through an Alternative Landscape Option, the applicant was advised by Land Use and Parks to provide 2 ½" caliper street trees and to specify Parrotia persica 'Ruby Vase' to increase tree viability and the species is better suited to this particular urban environment and location. Meets LUC requirements LUC 20.25A.060.B and 20.20.520 <u>Refer to discussion Regarding the Alternative Landscape Option in Section III.B below and Conditions of Approval the final landscape plan, streetscape irrigation, planting in right-of- way/streetscape, landscape installation and maintenance assurance devices, and maintenance agreement with the City of Bellevue in Section X of this report.</u>
Parking <u>Residential:</u> 157 units <u>Commercial/ Service:</u> 900 NSF Total Stalls: <u>Compact Stalls:</u>	Min.: 1.0 stalls/unit = 157 Max.: 2.0 stalls/unit = 314 Min.: 4 stalls/1000 NSF = 4 Max.: 5 stalls/1000 NSF = 5 Min.: 161 Max.: 319 85% allowed thru provision of affordable housing	Residential: 204 stalls in underground parking Provided: 4 stalls on L1 Visitor: 3 stalls incl. 2 ADA on L1 Total: 211 stalls 95 stalls = 45%	Meets LUC requirements LUC 20.25A.050 LUC 20.25A.050.F Note: Allocation of spaces for the commercial/service use will occur under TCO. Parking required will be based on actual use. For purposes of ensuring enough parking is provided, retail requirements are used in this report. Per this allocation of parking, restaurant uses are not anticipated. <u>Refer to Condition of Approval regarding allocation of parking for commercial/service use in Section X of this report.</u>

Item	Permitted/ Required	Proposed	Comments/Conditions
Loading	One off-street 10' x 55' space, or other as approved by the Director	Provided behind building & accessed off 108 th Avenue NE. Space reduced to 10' x 40' through Design Review.	Meets LUC requirements LUC 20.20.590K.4.a-c
Recycling & Solid Waste	<u>Commercial/Service:</u> 5 SF per 1,000 Gross – Min. 55 SF	519 SF trash room provided. The room opens up onto the loading area to allow pick-up off the public street.	Meets LUC requirements The approximately 519 SF of recycling and solid waste will adequately accommodate all of the proposed building uses. <u>Refer to Condition of Approval regarding solid waste and recycling in Section X of this report.</u>

B. Alternative Landscape Option

Per LUC 20.20.520.J, the applicant requested an Alternative Landscape Option to reduce the required buffer from five feet to two feet for approximately 21 feet along the southern property line. In lieu of planting the additional three feet of buffer, the applicant has increased the buffer along the entire eastern property line from five feet to eight feet. Within this buffer are pines that will be ten to twelve feet tall at time of planting. In addition, the applicant proposed to plant the two feet with Campbell's Form Bamboo. This clumping form of bamboo can thrive in tight spaces and will grow to over ten feet tall to provide additional buffering. Overall, the landscape plan will be equal or better than result than that which could be achieved by strictly following the requirements of the LUC.

In addition, after working with the Parks Department and Land Use, the applicant is requesting to use Parrotia persica 'Ruby Vase' instead of the European Hornbeam as the street tree on 108th Avenue NE and to specify a 2 ½ inch caliper at time of planting. It has been found that this size is better for the overall health and vitality of the tree than the 3 inch caliper listed in the LUC and the species has been identified as preferable for this location. **Refer to Conditions of Approval regarding the Final Landscape Plan in Section X of this report.**

The applicant also has proposed to provide additional plantings, including trees, along the eastern and southern property lines on the adjacent properties (Pacific Regent site and US Bank Plaza site respectively). However, since agreements are not in place between parcels, this Design Review will only approve the landscape plan for the proposal site. **Refer to Condition of Approval regarding tree removal and landscaping on adjacent properties in Section X of this report.**

C. Special District Requirements

1. FAR Amenity System Requirements

Subject to LUC 20.25A.020C.2, the amount of bonus floor area in square feet

generated by the amenities provided to meet the Basic Floor Area Ratio (FAR) requirement must at a minimum be equal to 20% of the Project Limit area times the Basic FAR permitted for a non-residential building in the land use district. The Basic FAR required in square feet is calculated by multiplying 0.20 x the Project Limit area x the Basic Non-residential FAR (0.20 X 22,050 SF X 0.5) and equals 2,205 square feet.

Table 2: Bonus Amenity Area Earned

Project Area (Site) in DNTN-O-1		22,050 SF
Project Gross Floor Area (GFA) Proposed		126,604 GFA
		110,013 GFA plus 16,591 GFA bonus for affordable housing
BASIC Permitted Floor Area (FAR) for <i>Residential DNTN-R</i>		44,100 GFA
Basic Residential FAR (2.0) X Project Area		<i>2 X 22,050 SF = 44,100 GFA</i>
MAXIMUM Permitted Floor Area (FAR) for <i>Residential DNTN-R</i>		110,250 GFA
Maximum Non-Residential FAR (5.0) X Project Area		<i>5.0 x 22,050 SF = 110,250 GFA</i>
MAXIMUM Permitted Floor Area (FAR) for <i>Residential DNTN-R with maximum 15% increase for affordable housing</i>		126,788 GFA
		<i>110,250 SF x .15 = 126,788 GFA</i>
Actual Proposed Project FAR – 5.74 FAR (<u>includes affordable housing bonus</u>) Project GFA divided by Project Area		5.74 FAR <i>126,604 GFA divided by 22,050 = 5.74 FAR</i>
BASIC FAR	BASIC FAR Amenity Required Basic <u>Non</u> -Residential FAR (0.5) x 20% of the Project Area	2,205 SF <i>5.0 x (0.2 x 22,050) = 2,205 SF * 2,205 SF “buys” 44,100 SF (2.0 FAR)</i>
	BASIC FAR Amenity Earned (See Table 4 below)	8,654 SF <i>8,654 SF > 2,205 SF – Meets requirement of LUC 20.25A 020.C</i>
	Excess BASIC	6,449 SF <i>8,654 SF – 2,205 = 6,449 SF</i>
Non- BASIC FAR	NON-BASIC Earned (see Table 4 below)	254,740 SF
	Remaining NON-BASIC FAR Amenity to Earn Project GFA – BASIC Permitted FAR of 2.0	82,504 SF <i>126,604 SF – 44,100 SF = 82,504 SF</i>
	Remaining FAR Available after BASIC Excess BASIC Points + NON-BASIC Earned	261,189 SF <i>6,449 SF + 254,740 SF = 261,189 SF Meets requirement of LUC 20.25A.030</i>

Total FAR Amenity Earned BASIC FAR Amenity Earned + NON-BASIC FAR Amenity Earned	263,394 SF (Refer to Table 4 below) <i>8,654 SF + 254,740 SF = 263,394 SF</i>
Excess FAR Amenity Earned (Total FAR Earned – BASIC FAR Amenity Required – Remaining FAR Amenity to Earn)	178,685 SF <i>263,394 SF – 2,205 SF – 82,504 SF = 178,685 SF</i>

Table 3: Bonus Amenities

Amenity		Units of Measure	Bonus Ratio	Bonus Floor Area Earned	How it Meets the Description and Design Criteria? Public Benefit?
BASIC	Landscape Feature	SF	4:1	2,040 SF x 4 = <u>8,160 SF</u>	Landscaped open space adjacent along 108 th Avenue NE in front of residential lobby
	Marquees	SF	2:1	247 SF x 2 = <u>494 SF</u>	Overhead weather protection along commercial/service space on 108 th Avenue NE
Sub-Total BASIC				8,654 SF	
Non-BASIC	Underground Parking	SF	3:1	83,464 SF x 3 = <u>250,392 SF</u>	Hides parking under the building
	Landscape Area	SF	1:1	4,348 SF x 1 = <u>4,348 SF</u>	Landscape along site perimeter and on building roof/activity spaces on Levels 2 & 19
Sub-Total Non-BASIC				254,740 SF	
COMBINED TOTAL				263,394 SF	

This project provides more than the amount of total amenity required for the BASIC and Non-BASIC floor area proposed (including the bonus FAR allowed through the provision of affordable housing). As summarized in Tables 2 and 3 above, the project is required to provide a minimum of 84,709 SF of amenities (2,205 SF BASIC and 82,504 SF Non-BASIC). The project will provide 263,394 SF, well in excess of the amount of BASIC and Non-BASIC required and resulting in 178,685 SF of excess amenity points. **Refer to Conditions of Approval regarding amenity design and statistics and bonus system recording in Section X of this report.**

2. Additional Density through Provision of Affordable Housing:

Up to 15% additional density (based on overall building gross square footage) may be added to a project through the provision of affordable housing per LUC 20.20.128. The maximum density for a residential building in the DNTN-R is 110,250 GFA (5.0 FAR). 15% of 110,250 GFA is 16,538 GFA, resulting in a maximum overall square footage of 126,788 GFA. The applicant has proposed the following:

- **109,649 GFA Building (note this is less than the max. GFA allowed)**
- **16,591 GSF Affordable Housing**

Total Building GFA for FAR: 126,240 GSF

The affordable units will be distributed throughout the building and will provide enough square footage to meet the LUC requirements. **Refer to Condition of Approval regarding affordable housing in Section X of this report.**

D. Design Review Criteria and Design Guidelines

Subject to LUC 20.25A.110, 20.25A.115, and LUC 20.30F.145, the following design criteria must be met for Design Review approval.

LUC 20.25A.110 - Downtown Design Review Criteria

SITE DESIGN CRITERIA

1) *Vehicular Circulation and Parking*

- a. *Provide efficient vehicular access to parking and service areas which is coordinated on a superblock basis.***

Finding: Vehicular access is provided from one access point/driveway off 108th Avenue NE. The driveway runs east-west under the building. By doing so, the applicant was able to place the garage entry and areas for solid waste pick-up and loading behind the building such that they are not visible from the public street.

- b. *Coordinate the location of vehicular and pedestrian mid-block connections, considering opportunities for mid-block crossings.***

Finding: Due to the very small site and location of the site, pedestrian and vehicular mid-block connections were not provided nor will they be required.

- c. *Provide for safe and pleasant movement within the Downtown for the pedestrian and bicyclist.***

Finding: The 8-foot wide sidewalk will be wide enough to comfortably accommodate pedestrians and to connect up with adjacent properties to provide a pleasant connection with the Ashwood neighborhood to the north and the Downtown core to the south. Bicyclists will be able to use the street in this location. There will be no on-street parking.

- d. *Maximize the separation of vehicular traffic from pedestrian areas by means of level changes, space and distance, or landscaping.***

Finding: The pedestrian walkway to the building entry is adjacent to and flush with the vehicular entry driveway that runs under the building. However, diagonally-scored paving will indicate that this space is to be shared between pedestrians and vehicles and a row of bollards will physically separate the vehicles from the pedestrians.

e. *Incorporate retail shopping space at ground level into parking structures whenever practical and appropriate.*

Finding: Does not apply. There will be no parking structure.

f. *Minimize the location of parking adjacent to pedestrian connections.*

Finding: Does not apply.

g. *Limit the number of driveway openings and the number of access lanes in each opening.*

Finding: The driveway openings will be limited to one driveway off 108th Avenue NE to access the garage entry and all loading and service functions.

h. *Where appropriate, fit garages into the topography and make use of garage roofs for public open space, recreation or landscaped areas.*

Finding: Although a relatively level site, the applicant has made use of the topography such that all of the parking is underground in five levels of parking, leaving space adjacent to the public right of way for landscaping, a landscape feature, and a pedestrian seating area.

i. *Maximize the use of underground parking.*

Finding: The majority of the parking will be provided in five levels of underground parking.

2) *Pedestrian Circulation and Amenities (see LUC 20.25A.060)*

Per the City of Bellevue Downtown Mid-Block Pedestrian Connections Map, and an assessment of the location and size of the proposal site, a through-block pedestrian connection was not required for this site.

3) *Wind and Sun*

a. *Ensure that the form and placement of buildings consider desirable year-round conditions of sun and shade in surrounding open spaces and public areas.*

Finding: The form of the building was organized to take advantage of territorial views between the neighboring building and along 108th Avenue NE, to open up the site between buildings, and to allow sun into the site – particularly along the street.

b. *Design new buildings with wind conditions in mind so as to shelter pedestrians from undesirable winds, particularly on the ground, and in publicly accessible areas.*

Finding: The winter storms and prevailing winds generally come from the southwest. The building will be oriented close to 108th Avenue NE, facing west. The building entry will be close to the public sidewalk in the northern segment of the building at ground level and it will be sheltered somewhat by the building

segment in the southwest corner of the site and the covered driveway. In addition, the proposal will provide a marquee along the commercial/service space.

- c. Consider how new buildings might incorporate outdoor spaces of calm, especially for winter, and places of suitable breeziness in summer at levels of pedestrian activity.**

Finding: The proposal will provide protected outdoor spaces for building residents on the two different building rooftops.

- d. Consider wind and sun in design of landscaping: e.g., evergreen tree-planting as wind blocks, or deciduous trees on south and west sides of open spaces to maximize winter sun penetration.**

Finding: Dense plantings of deciduous trees along the western side of the building will help to filter intense sunlight in the summer and will allow solar penetration in the winter.

4) Open Space

Because the site is relatively small and a large part of it will be used to accommodate vehicular circulation, loading, and services, there was little room at the street level to provide large amounts of open space. However, the applicant has provided a small area for seating in front of the commercial/service space and has extended the sidewalk to provide some additional seating adjacent to the public sidewalk. Additional landscaped open space for the residents will be provided in multiple rooftop terraces.

Refer to Condition of Approval regarding the final landscape plan in Section X of this report.

5) Light and Glare

The exterior lighting concept proposed to enhance the 4-story outdoor space as an engaging 'event' along the street. Up-lighting of the soffit at the entry drive, and the soffit of the rooftop amenity room will connect the ground and roof experiences. Ground level lighting will be added to complement the street edge and aid in pedestrian wayfinding. **Refer to Condition of Approval regarding exterior lighting in Section X of this report.**

DOWNTOWN PATTERNS AND CONTEXT

1) Natural Setting and Topography

The building has been pulled back from all four property lines and the facades have been angled to take advantage of territorial views between the proposal tower and neighboring buildings. High-quality design and materials will be seen on all sides of the building.

2) Landscape Design

Due to the size limitations of the site, the existing vegetation on site could not be retained. However, the applicant has designed a landscape feature that will include a bosque of four specimen deciduous trees (Japanese Stewartia) that will be flanked with five Witch Hazels to provide winter-blooming seasonal interest. Placing this

feature in the northwest corner of the site will provide a focal point and visual landmark. Additional plantings between the base of the building and the sidewalk will provide a pleasing buffer and the planting strip and street trees will provide a softened street edge. **Refer to Condition of Approval regarding the final landscape and streetscape irrigation in Section X of this report.**

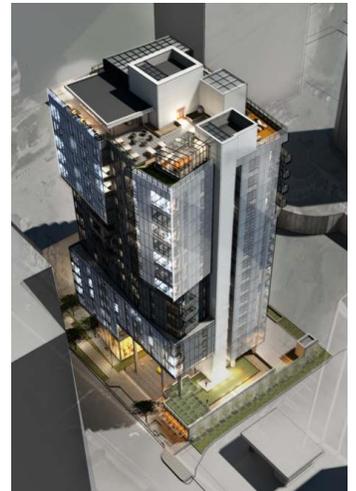
3) Views

A single story commercial/service space along the southern property line and the all open area under the building will allow sunlight to penetrate into the block. View corridors between the proposed building along the northern edge, mid-block and southern boundary provide framed views and relief between the street, the proposed structure, and adjacent buildings.

4) Building Height and Bulk

The building has been designed to have multiple angles which take advantage of territorial views between the neighboring buildings and provide visual interest from the ground. In addition, the form of the building steps inward at the base and is pulled back from all four property lines. Balconies placed in different locations around the building further punctuate the facades. These techniques will help to give the building an overall sense of lightness and reduce the apparent mass and bulk of the building.

Rooftop features, which include indoor and outdoor recreation spaces, and the mechanical screening, will provide an interesting roof form from all sides.



5) Transitions

The building will be pulled back from 108th Avenue NE (facing west), opened up where the driveway goes under the building, and reduced in height at the southwest corner to allow maximum penetration of sunlight to the ground level. Easy circulation will occur between adjacent properties via the public sidewalk.

6) Patterns of Activity

Although located on a very small site, the proposed development will still provide pedestrian-level activities at the ground level, including one commercial/service space, the residential lobby and a seating area along the public sidewalk.

7) Signage

The project signage is proposed to be a series of rectangular shapes that are slightly rotated and offset from each other. This arrangement of shapes is done to mimic the building's massing. This signage will be mounted at the corner of the elevator core near the building's entry and above the first floor for visibility along the street. The signage is approved in concept only and detailed design review of the project signage will occur under the required sign permit(s). **Refer to Condition of Approval regarding project signage in Section X of this report.**

**DESIGN GUIDELINES –
BUILDING/SIDEWALK RELATIONSHIPS (LUC 20.25A.115)**

108th Avenue NE is designated as a “D” Right-of-Way, which will have low to moderate orientation to pedestrian. However, with the completion of adjacent projects to the west such as the new hotel and the Nine Two Nine Office Building, it can safely be assumed that this location will experience increased pedestrian traffic and activity in the near future. Therefore, it would be desirable for the streetscapes to have a higher level of design detail than is required in the Design Guidelines.

The proposal will provide a minimum 4-foot wide planting strip with street trees and an 8-foot wide sidewalk. The building space in the southwest corner of the building will front directly onto the sidewalk and it will be required to have commercial and/or service activities with visual access from the sidewalk, as defined in the Guidelines. There will also be a marquee along the sidewalk to provide weather protection. The rest of the building frontage along the street will have 2-story glass windows to provide additional interest and transparency for the pedestrian. Adjacent to the sidewalk in the northern half of the site, the applicant will provide an additional seating and paved area that will appear to be an extension of the sidewalk and that will provide space for resting. **Refer to Condition of Approval regarding street frontage glazing, service and/or commercial uses, and the final landscape plan in Section X of this report.**

IV. PUBLIC NOTICE AND COMMENT

Application Date: May 12, 2015
Notice of Application: June 4, 2015
Public Notice Sign: June 4, 2015
Public Meeting: June 25, 2015
Minimum Comment Period: June 18, 2015

Although the minimum required public comment period ended on June 28, 2015, comments were accepted up to the date of this decision. No written comments were received regarding this project.

A public meeting was held on June 25, 2015. Two citizens who live at the Limestone Court apartments directly north of the proposal site attended the meeting. They came to meeting to get more information regarding the design of the project and had no specific comments. None of the participants followed up with written comments.

V. TECHNICAL REVIEW

A. Utilities

1. Surface Water

The site is located within the Meydenbauer Drainage Basin. Storm water from the site currently drains to 108th Ave NE storm system and is conveyed in catch basins and pipes directly to Lake Washington. This project will qualify for the direct conveyance exemption and detention will not be required. Water quality for the site

will be provided onsite through storm water canister filter vaults.

2. Water and Sewer

Domestic water for the site proposes to connect to a 12" ductile iron water main in 108th Ave NE. The development will reconnect to the existing sewer main in 108th Ave NE. An 8" stub connecting to a manhole will be required. There is enough capacity in the water and sewer system to serve the site.

Refer to Condition of Approval regarding Utilities conceptual approval in Section X of this report.

B. Clearing & Grading

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and determined that the clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

C. Fire Department

The site development plans for this application have been reviewed by the Fire Department and they generally conform to Fire Code requirements. Next steps include smoke control approval. The smoke control concept must be approved *prior* to submittal of any building permits.

D. Transportation

Site Access

The auto and truck access to the proposed development on 108th Avenue NE will be via a 26-foot wide driveway approach (DEV-7D) and aligned with the future office building driveway currently nearing completion. The backing of trucks within any street right of way or across any public sidewalk easement is prohibited. **Refer to Condition of Approval regarding provisions for loading in Section X of this report.**

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform with the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

1. A combined street tree and street light plan is required for review and approval prior to completion of engineering and landscape plans for their installation. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from

driveways (ten feet from Point A in standard drawing DEV-7A). The final engineering plans must include a streetlight plan and specifications prepared by a qualified engineer familiar with street lighting and with Bellevue's streetlight requirements. All necessary engineering details, including standard drawings, for any new or relocated streetlight and associated equipment must be included in the final civil engineering plans for the Clearing and Grading Permit.

2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a consistent travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Any planter boxes installed in the sidewalk to improve pedestrian sight distance at driveways must be designed to reduce the tripping potential and must not extend more than two feet into the public sidewalk. Traffic signal controller boxes and streetlight contactor cabinets must be located so as not to interfere with the main pedestrian path. Buildings shall be designed so that doors do not swing out into the pedestrian path. ADA-compliant curb ramps shall be installed where needed, consistent with standard drawings TE-12 or TE-13.

3. The curb, gutter, and sidewalk on 108th Avenue NE fronting the development will be completely removed due as part of pavement widening and reconstructed with a sidewalk width of at least 12 feet, not including the curb. Any planters or tree wells are included in the 12-foot width. At any location where the sidewalk extends over a basement or parking garage, a construction method that will prevent differential settling must be used. Such method must be acceptable to the Transportation Department.
4. The design and appearance of the sidewalk and landscaping on 108th Avenue NE shall comply with the standards and drawings in the Transportation Department Design Manual, including standard drawings TE-11 and DEV-3. The sidewalk shall be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern, with four-foot by six-foot tree wells, unless both the Transportation Department and the Development Services Department agree to accept any non-standard pattern, color, or other features. Alternative paving samples must be submitted for review. If approved, any non-standard patterns, colors, or other features may be installed only if an agreement is recorded against the property to hold the landowners responsible for maintenance and replacement of all such non-standard sidewalk features. Any non-standard features or vegetation shall not create a sight obstruction within any

- required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements.
5. Planting strips, tree wells and other landscaping within the sidewalk along the city street shall be irrigated with a private metered water source. Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
 6. The applicant will be responsible for installing all street channelization and signage that is necessitated by their street frontage improvements on 108th Avenue NE. Channelization and signage changes must be shown as part of clear and grading construction plans.
 7. No new building structure or garage shall be constructed under a street right of way or existing public sidewalk/utility easement. In some conditions (to be finalized during engineering and building plan review), new structure may be allowed under a new sidewalk/utility easement. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
 8. To the extent feasible, new utility vaults shall serve more than one development in order to be located within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk.
 9. Any awning, marquee, balcony, etc. over a public sidewalk or utility easement must be at least 16 feet above the sidewalk, or be removable (with an agreement regarding removal and replacement) and must have at least 3 feet horizontal clearance from any streetlight or traffic signal pole. No supports for such features shall be installed in the public sidewalk. No structure will be allowed above a city right of way without a long-term lease of airspace.
 10. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing Dev-7A. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post.
 11. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.
 12. Fire standpipes and similar equipment must be outside the public sidewalk, if feasible. If the sidewalk cannot be avoided, then such equipment must meet the requirements for fixed objects and must not be within the pedestrian travel zone.
 13. Street furnishings not required by the Transportation Department, such as benches or raised planters, will be allowed with an indemnification agreement making the adjacent property owner responsible for such furnishings. The appearance, style, and location of such features must be acceptable to both the Transportation and Development Services Departments.

14. Per IBC section 3201.4, drains from the building or roof shall not discharge onto a public sidewalk. In addition, treatment of storm water from the site flowing to any city street or public sidewalk shall meet the standards of the Utilities Department.
15. Doors shall not swing out into the public sidewalk area.
16. Vehicle and pedestrian sight triangles shall be achieved per BCC 14.60.240 and 14.60.241, and Design Standards 21 and 22 including consideration of all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.
17. As much as feasible, any new manhole lids and other metal covers shall be located outside the tire paths of through lanes on any city street.

Refer to Conditions of Approval regarding civil engineering plans for transportation, building and site plans for transportation, and street frontage improvements in Section X of this report.

Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the required width of any public sidewalks located outside the city right of way fronting this site.

The applicant shall provide easements to the City for the location of any traffic signal and streetlight facilities which will not be within a public sidewalk and utility easement. This may include above-grade boxes and below-grade vaults between the building and sidewalk or within any private landscape area. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.

Any utility easements contained on this site which are affected by this development must be identified. Any negative impact on those utility easements must be mitigated or easements relinquished.

Refer to Conditions of Approval regarding existing easements, pedestrian and utilities easements, and changes to existing and/or new easements in Section X of this report.

Right of Way Dedication

To incorporate street improvements which are reasonably necessary to mitigate the direct results of the development, the developer is required to dedicate property such that street surface to back of curb is accommodated within the public right of way. **Refer to Condition of Approval regarding dedication of right-of-way in Section X of this report.**

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant

shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department. **Refer to Condition of Approval regarding holiday construction and traffic restrictions in Section X of this report.**

Use of the Right of Way during Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Condition of Approval regarding the right-of-way use permit and soil nailing and shoring in Section X of this report.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching. Near this project, 108th Avenue NE has been classified as "No Street Cuts Permitted." Should street cuts prove unavoidable or if the street surface is damaged in the construction process, a half-street or full-street (depending on the extent of street cuts or damage) grind and overlay will be required. Details of any trench restoration must be shown on the engineering plans. **Refer to Condition of Approval regarding pavement restoration in Section X of this report.**

VI. STATE ENVIRONMENTAL POLICY ACT

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see annotated Environmental Checklist attached to this staff report). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2016-2027 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS), adopted December, 2015 (available in the Records Office at City Hall). This document analyzes the transportation and air quality impacts of the City's Traffic Task Force recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Sec. 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below, together with any specific conditions of approval. These impacts will be mitigated through exercise of Code authority as well as through project-specific Conditions of Approval, contained in Section X of this report.

A. Earth

There are no Critical Areas or environmental issues associated with this site. An issuance of a DNS is the appropriate threshold determination under the SEPA requirements.

B. Environmental Health/Noise

Construction Noise: While construction noise and increased vehicle trips are expected during the construction period, the Bellevue Noise Control Ordinance, BCC 9.18, regulates hours of construction-related noise emanating from the site. The Ordinance provides for an exemption from the noise restrictions for the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. on Saturdays which are not legal holidays. Therefore, no specific measures to reduce noise during this period are proposed.

Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction. The Director, as outlined in the Noise Control Ordinance, may grant an approval to expand the hours for which construction-related noise emanates from the site subject to meeting the criteria of BCC 9.18.020.C.1&2. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties.

Garage Exhaust: Exhaust fans blowing air over a sidewalk or pedestrian connection can create noise levels exceeding that allowed by the City Code. This decision requires certification that the garage exhaust fan noise will not exceed 60 dBA at the public sidewalk prior to the issuance of any Certificate of Occupancy.

Interior Noise: Bellevue City Code, 9.18, prohibits the approval of new residential structures where the exterior noise level exceed Ldn (day-night average sound level) of 65 dBA anywhere along the site boundary, unless the construction can achieve *interior* noise levels of 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. *Prior to the issuance of any building permit*, the applicant must submit an Acoustical Engineer's report on the proposed construction and the anticipated maximum noise thresholds inside the units facing a street frontage. Before any occupancy permits are issued, the noise levels must be measured inside a random sample of the residential units and the report revised to reflect the results. If the actual noise levels exceed the maximum required thresholds, the acoustical report must include recommendations to modify the construction to meet the interior noise thresholds.

Refer to Conditions of Approval regarding noise and construction hours, holiday construction and traffic restrictions, use of best available noise abatement

technology, noise \ levels at the property line and in pedestrian areas, and noise measurements prior to TCO in Section X of this report.

E. Water

The City of Bellevue has adequate capacity for providing water and sanitary sewer capacity for this proposal.

F. Transportation

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2027 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2027 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. The Bellevue Tower building at 888 108th Avenue NE lies within MMA # 3, which has a 2027 total growth projection of 4,645 multi-family dwelling units and 1,595,183 Gross Square Feet (GSF) of retail. This development proposes 157 new apartment units and approximately 900 GSF of commercial/service space. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. **Refer to Condition of Approval regarding the transportation impact fee in Section X of this report.**

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

This development will generate approximately 49 new p.m. peak hour trips, with credit for removal of the existing 12,646 GSF office building. City staff distributed and then assigned project-generated trips to the street network using the City's EMME-2 travel forecasting model with the current Capital Investment Program network. By adding the expected project-generated trips to the traffic volumes in the model, the area average levels of service were determined. To create a baseline condition for comparison, the levels of service were also determined using traffic volumes without the project-generated trips. In this project analysis, one system intersection received more than 20 p.m. peak hour trips. Neither the maximum area-average levels of service nor the congestion allowances would be exceeded as a result of traffic generated from this proposal. Therefore, the proposed

development passes the concurrency test. The concurrency test results are included in the Transportation Department file for this development.

The rules of concurrency reservation are outlined in the Traffic Standards Code Director's Rules, updated July 21, 2011. A concurrency determination will be issued on the date of issuance of the land use decision. Projects that comply with the Traffic Standards Code will receive a Certificate of Concurrency. **Refer to Attachment C for this certificate.**

The concurrency determination is reserved to this project at the land use decision date. The concurrency reservation expires one year from the land use decision date unless a complete building permit application is filed (BCC 14.10.010.D).

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the p.m. peak hours, site vehicle and pedestrian circulation, transit availability, and accident history analysis for the past three years. In addition, staff analyzed the site access operation, impacts of services needed at the site, including refuse and recycling pickup, and residential moving trucks. 108th Avenue NE frontage improvements will include: pavement widening, street lighting, street channelization markings and signage installation. The applicant will provide on-site loading/ unloading. We do not anticipate any adverse operational impacts due to the proposed development.

VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Site Design

- The entry driveway into the site was moved nearer to the center of the site to respond to existing driveways in the vicinity of the proposal. By doing so, the designers were also able to place the garage entry and service and loading function in the back of the site, out of view from the public right of way.
- A small seating/gathering space will be provided along the public sidewalk for public use and potential use by the commercial/service space.
- A landscape feature amenity along 108th Avenue NE has been added to add interest to the pedestrian realm and accentuate the ground level of the building facing the street.

Refer to Condition of Approval regarding the final landscape plan in Section X of this report.

VIII. DECISION CRITERIA

Per LUC 20.30F.145, the Director may approve, or approve with modifications, an application for Design Review if:

1) *The proposal is consistent with the Comprehensive Plan;*

The proposal is consistent with Urban Design, Downtown Subarea, and Housing policies in the Comprehensive Plan. The most applicable policies are as follows:

a. Urban Design Policies UD-1, 2, 4, 8, 11, 12, 25, 68, 71, 72, 73 and 75.

Finding: Through adherence to these Urban Design policies, the proposed residential building will provide a high-quality architectural statement that will be an attractive and thoughtful addition to the Ashwood, neighborhood, as well as to

the greater Downtown subarea. Through application of Design Guidelines, the proposal will provide a residential project that will help provide a livable urban environment in this part of the Downtown.

b. Downtown Policies S-DT-37, 68, and 75.

Finding: The proposed building and site development will provide an interesting and high-quality building that will enhance the appearance, image and design character of the Downtown. Providing a residential project in the block south of NE 10th Street and along the southern border of the Ashwood District will help to unite the District by bridging the perceived gap formed by NE 10th Street directly to the north. The commercial/service space provided along 108th Avenue NE will further help to provide supporting neighborhood service uses.

c. Housing Policies HO-14 and 17:

Finding: This project will be required to provide at least 16,591 GSF of affordable housing in order to qualify for the 15% density bonus over the maximum density of 110,250 GFA, as allowed per LUC 20.20.128. The 16,591 GSF (density bonus) of affordable housing will result in 24 affordable units. These affordable units will be in addition to 133 market-rate units and they will be distributed throughout 14 of the 18 floors of the project. Overall, the project will provide 157 additional market-rate and affordable housing on an under-utilized site that currently is occupied by an older two-story office building.

2) The proposal complies with the applicable requirements of the LUC;

Finding: As described in Section III of this report, this project will comply with all applicable requirements of the LUC.

3) The proposal addresses all applicable design guidelines or criteria of the LUC in a manner which fulfills their purpose and intent;

Finding: As described in Section III.C above, this proposal addresses and complies with all applicable design guidelines and criteria for Design Review proposal in the Downtown.

4) The proposal is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity;

Finding: The project will respond to its urban site by providing an interesting and continuous street frontage along 108th Avenue NE and by modulating the building to provide interesting views for the residents and open up the site to allow views through the site from adjacent properties. The design of the building will fit contextually into the surrounding development due to massing, site design and high-quality architectural design and detailing.

5) The proposal will be served by adequate public facilities including street, fire protection, and utilities;

Finding: All required public services and facilities are available to the site.

6) *The proposal is consistent with any required Master Development Plan approved pursuant to Part 20.30V LUC or other applicable code section.*

Finding: There is no Master Development Plan approval associated with this proposal or site.

IX. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal.

X. CONDITIONS OF APPROVAL:

COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including, but not limited to:

Applicable Codes, Standards and Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Division, 425-452-6864
Fire Code – BCC 23.11	Travis Ripley, 425-452-6042
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Abdy Farid, 425-452-7698
Transportation R.O.W. – BCC 11.70, 14.30, 14.60	Tim Stever, 425-452-4294
Utility Code – BCC Title 24	Don Rust, 425-452-4856

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Noise and Construction Hours

Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday, except for Federal holidays and as further defined by the Bellevue City Code. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Written requests for exemption from the Noise Control Code must be submitted two weeks prior to the scheduled onset of extended hour construction activity. Such request shall include a noise analysis prepared by a

noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for any new residential construction.

AUTHORITY: BCC 9.18.020 and 9.18.040

REVIEWER: Sally Nichols, Land Use

2. Holiday Construction & Traffic Restrictions

Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this restriction accordingly.

AUTHORITY: BCC 14.30.060

REVIEWER: Tim Stever, Transportation/Right-of-Way

3. Provisions for Loading

The property owner shall provide an off-street loading space which can access a public street. The number and size of loading spaces must be equal to the maximum number and size of vehicles which would be simultaneously loaded or unloaded in connection with this proposal. No on-street loading, unloading, or garbage pickup will be allowed. The backing of trucks in any street or across any public sidewalk in order to access this site is prohibited.

AUTHORITY: LUC 20.20.590.K.4, BCC 14.60.150

REVIEWER: Abdy Farid, Transportation

4. Use of Best Available Noise Abatement Technology

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020F

REVIEWER: Sally Nichols, Land Use

5. Utilities Conceptual Approval

Utility Department approval of the design review application is based on the final conceptual design submitted with this application. Small changes to the site layout may be required to accommodate the utilities after utility engineering is approved. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under the Utility Developer Extension Agreement (DEA) and Utilities Permit Processes. A water, sewer and storm Developer Extension Agreement will be required for the project. All connection charges will be due with the Developer Extension Agreement prior to issuance of the permit. Public and private easements for water, sewer and storm water facilities will be required where applicable.

AUTHORITY: BCC 24.02, 24.04, and 24.06

REVIEWER: Mark Dewey, Utilities

6. Solid Waste/Recycling

Prior to the issuance of any construction permit, the applicant shall provide a written document demonstrating that Republic Services (formerly Allied Waste) has been contacted and has approved the proposed sizing of and access to the recycling and solid waste collection area(s) for this building using current standards. In addition, all rights of way and public easement shall never be occupied by trash receptacles, dumpsters, recycling bins or other such items.

Republic Services Contact: Hilsia Rogers, 425-646-2409
hrogers@republicservices.com

AUTHORITY: LUC 20.20.720
REVIEWER: Sally Nichols, Land Use

7. Air Pollution from Construction Vehicles and Equipment

Construction vehicles and heavy construction equipment shall emit the least amount of air pollution as possible. While on city streets, all construction vehicles shall meet the requirements of the Revised Code of Washington 46.61.655 for covered loads.

AUTHORITY: State Environmental Policy Act, Bellevue City Code, 23.76,
Revised Code of Washington 46.61.655
REVIEWER: Sally Nichols, Land Use

B. PRIOR TO CLEARING & GRADING PERMIT: The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements and to mitigate adverse environmental impacts not addressed through applicable Code provisions. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

8. Streetscape Irrigation (Right-of-Way and Site)

- a) Right-of-Way: Any irrigation system for all landscaping within the City right-of-way will be on a **separate meter and controller** which can be accessed 24 hours a day by the City and shall remain separate from the on-site systems. The irrigation system shall include automatic operations and rain sensors to override the automatic cycle if needed. Coordinate the exact location with the Parks Department prior to irrigation installation and submit proof that the irrigation design for the right-of-way has been approved by the Parks Department prior to building permit issuance. If the irrigated area exceeds 500 square feet, then the landscape irrigation budgeting section of the Water Code applies.
- b) Drip irrigation will **not** be allowed in the right-of-way planting strip. Schedule 40 irrigation pipe is required in the right-of-way and there shall be a minimum 4-inch diameter sleeves under all new sidewalks and driveways.
- c) A private irrigation service line(s) is required for all on-site landscape areas. The Utilities Department is responsible for reviewing all irrigation designs.

- d) Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. As-built drawings shall be submitted to the City of Bellevue Parks Department and Land Use. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
- e) Parks Department Contacts:
 - Tom Kuykendall, tkuykendall@bellevuewa.gov or (425) 452-7925; or
 - Melissa Kerson, mkerson@bellevuewa.gov or (425) 45204100

AUTHORITY: BCC 24.02.205, LUC 20.25A.040 and 060, and 20.25A.520
REVIEWER: Sally Nichols, Land Use

9. Planting in Right-of-Way/Streetscape

- a) All landscaping in the right-of-way shall be done according to the Parks Department Best Management Practices and Design Standards in place at the time of construction.
- b) Species and size of street trees on 108th Avenue NE to be 2 ½" caliper Persian Ironwood/Parrotia persica 'Vanessa'. **Contact Land Use to confirm final tree species prior to ordering.**
- c) A Parks Department representative shall be on-site to inspect street trees **prior to planting** and **at the time of planting** to observe the installation. Contact Parks Department Resource Management at (425) 452-6855 at least 24 hours before planting to schedule the inspection.

AUTHORITY: LUC 20.25A.040
REVIEWER: Sally Nichols, Land Use
Tom Kuykendall, Parks Department

10. Final Landscape Plan

The Final Landscape Plan shall be revised to include a redesigned public seating area adjacent to the public sidewalk which shall include a larger pedestrian/open space and seating area as worked out by between the applicant and Land Use staff. The Final Landscape Plan, including the revised design for the public seating area adjacent to the public sidewalk in a) of Condition of Approval 8. above, must be submitted and constructed per the approved Clearing and Grading Permit applications. Necessary revisions to the FAR amenity calculations (if any) shall also be submitted along with the Plan.

Final Landscape and Irrigation Plans shall be included in the Building Permit set, but each sheet shall be labeled "**FOR REFERENCE ONLY – REFER TO CLEARING AND GRADING PERMIT FOR APPROVED LANDSCAPE AND IRRIGATION PLANS**".

AUTHORITY: LUC 20.25A.030.C, 110.B and LUC 20.30.F.175
REVIEWER: Sally Nichols, Land Use

11. Trees and Landscaping on Adjacent Properties

This Design Review approval does not include any approvals for work on adjacent properties, including landscaping and/or tree removal. It will be the responsibility of the applicant to obtain the necessary agreements from adjacent property owners and submit these agreements to Land Use/Development Services Department. Review of any site work, including landscaping and tree removal, on adjacent properties may take place under the Clearing and Grading Permit for this project and agreements between property owners should be included with the submittal drawings for the Clearing and Grading Permit.

AUTHORITY: BCC 23.76, LUC 20.20.520 and 900
REVIEWER: Sally Nichols, Land Use

12. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access. The applicant will secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, foundation, or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever, Transportation/Right-of-Way

13. Civil Engineering Plans - Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs, markings, and other features required to control traffic movements.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) All engineering details for ADA ramps.
- d) All engineering details for installation or relocation of streetlights and related equipment, as well as the location of street trees.
- e) Sight distance. Show the required sight triangles and include any sight obstructions, including those off-site.
- f) Location or relocation of fixed objects in the sidewalk or near a driveway approach.
- g) Trench restoration within any right of way or access easement.
- h) Transformers and utility vaults to serve the development shall be placed inside the building or below grade, and not in the main walking path of sidewalks to the extent feasible.
- i) Any damage to the site's frontage during the construction must be repaired or replaced as directed by the Transportation Department Construction Inspector.
- j) The property owner is responsible for the maintenance of the site's frontage landscaping area unless accepted by the city.
- k) Landings on sloping approaches are not to exceed a 7% slope for a distance of 30 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- l) Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

Specific requirements are detailed below.

- a) In conjunction with frontage improvements on 108th Avenue NE that include pavement widening (i.e., 28-foot wide half-roadway from centerline of ROW), final engineering plans such as road plan with detailed roadway cross-sections, street lighting and street channelization markings and signage are required.
- b) Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.

AUTHORITY: BCC 14.60; Transportation Department Design Manual
REVIEWER: Abdy Farid, Transportation

C. PRIOR TO BUILDING PERMIT: The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit application:

14. Affordable Housing

The applicant will be required to provide at least 16,591 GSF of affordable housing. The affordable units shall be designated on the building permit plans prior to issuance of **any** building permit. The applicant shall record with King County an agreement in a form approved by the City requiring all of the affordable units to remain affordable for the life of the project. This agreement must be a covenant to run with the life of the project.

Contact regarding Affordable Requirements and Documents:

Arthur Sullivan, ARCH
425-861-3677, asullivan@bellevuewa.gov

AUTHORITY: LUC 20.20.128
REVIEWER: Sally Nichols, Land Use

15. Commercial and/or Service Uses

Commercial and/or service uses are required along the 108th Avenue NE streetscape. The location and square footage of this space shall be identified on the Building Permit drawings.

AUTHORITY: LUC 20.25A.115, Design Guidelines Building/Sidewalk Relationships
REVIEWER: Sally Nichols, Land Use

16. Transportation Impact Fee

Payment of the transportation impact fee will be required at the time of building permit issuance. This fee is subject to change and the fee schedule in effect at the time of building permit issuance for the above ground building permit will apply. Affordable Housing portion of the development is exempt from the transportation impact fee.

AUTHORITY: BCC 22.16
REVIEWER: Abdy Farid, Transportation

17. Landscape and Irrigation Plans for Building Permit

Final Landscape and Irrigation Plans shall be included in the Building Permit set, but each sheet shall be labeled "**FOR REFERENCE ONLY – REFER TO CLEARING AND GRADING PERMIT FOR APPROVED LANDSCAPE AND IRRIGATION PLANS**".

AUTHORITY: BCC 23.76
REVIEWER: Sally Nichols, Land Use

18. Building and Site Plans - Transportation

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate traffic signs, markings, hardware, sidewalk design, and driveway approach design as specified in the civil engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and

pedestrian sight distance requirements, as required by city code and as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241

REVIEWER: Abdy Farid, Transportation

19. Existing Easements

There are some utility easements contained on this site which are affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: BCC 14.60.100

REVIEWER: Tim Stever, Transportation/Right-of-Way

20. Pedestrian and Utilities Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the required width of any public sidewalks located outside the city rights of way fronting this site. Documents granting such easements shall be signed by the property owner.

AUTHORITY: BCC 14.60.100

REVIEWER: Abdy Farid, Transportation

21. Dedication of Right-of-Way

The applicant shall dedicate right of way to the City along the property frontage such that street improvements to and including the back of curb are located within the public right of way.

AUTHORITY: BCC 14.60.090

REVIEWER: Abdy Farid, Transportation

22. Soil Nailing and Shoring

Soil nailing will be allowed under a street right of way, sidewalk/utility easement, or vehicular easement only if an indemnification agreement that protects the city is completed prior to issuance of the shoring permit. Temporary shoring walls will be allowed under a sidewalk easement (but not under right of way) if the shoring wall and pilings will not interfere with existing or planned utilities, and if pilings under the sidewalk are cut off at least eight feet below grade.

AUTHORITY: BCC 14.30

REVIEWER: Tim Stever, Transportation/Right-of-Way

23. Mechanical Equipment and Equipment Screening

- a) On Building Permit drawings, show the location of each piece of mechanical equipment, including communication equipment such as satellite dishes, as well as any screening to ensure that the mechanical equipment is not visible from adjacent streets, public sidewalks, or the surrounding buildings, AND
- b) No mechanical equipment (including power, telephone, traffic control, etc.) shall be located in above ground cabinets in sidewalk areas within

pedestrian pathways and walkways, including the public right-of-way. Such equipment shall be located in underground vaults, in the building, or substantially screened per the approval of Land Use/DSD. No new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk.

AUTHORITY: LUC 20.20.525, 20.25A.110.B
REVIEWER: Sally Nichols, Land Use

24. Noise Levels at the Property Line and in Pedestrian Areas

Prior to issuance of any mechanical permit for any equipment, including garage exhaust, that will create noise at the property line on the public sidewalk or any publicly accessible space, the applicant shall provide certification by a noise consultant that the noise from the project exhaust fans and any other such equipment will not exceed 60 dBA at the property line. The City may require certification of compliance following installation.

AUTHORITY: BCC 9.18.030 and LUC 20.30F.145
REVIEWER: Sally Nichols, Land Use

25. Amenity Designs and Statistics

The building permit plans shall include a detailed design for each proposed amenity with a design component and a statistical summary for each amenity included in the building permit drawings.

AUTHORITY: LUC 20.25A.030
REVIEWER: Sally Nichols, Land Use

26. Exterior Lighting

The applicant shall submit a detailed design for all building exterior lighting. Lighting shall be contained to this site and not be permitted to spill-over to adjacent sites. In addition, information on pedestrian-scaled lighting along 108th Avenue NE shall be supplied as well. All exterior building lighting is required to include cut-off shields to minimize impacts of light and glare.

The applicant shall provide the ability to dim the illumination (lighted imagery) on the building soffit to avoid light spillage on adjacent properties. The City shall review the illumination once installed and work with the applicant to determine the appropriate illumination level.

AUTHORITY: LUC 20.25A.110.A.5
REVIEWER: Sally Nichols, Land Use

27. Street Frontage Glazing

To ensure visibility from the sidewalk into street level spaces, clear (non-tinted, non-reflective) window glass shall be used on any portion of the facade facing 108th Avenue NE. A sample of the glass shall be submitted to the Land Use Division of DSD for review and approval prior to building permit issuance.

The storefront windows for the commercial/service space shall not be obstructed with devices such as curtains, blinds, backs of display units, etc. to allow continuous visual access into the spaces.

AUTHORITY: LUC 20.25A.030.C.1, 20.25A.090.E, 20.30F.145
REVIEWER: Sally Nichols, Land Use

D. PRIOR TO TCO: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

28. Bonus System Recording

After final review and approval by Land Use, the applicant shall record a copy of the following with the King County Office of Records and Elections:

- a) Final, approved bonus point calculations (Tables 2, 3 and 4 in Section III.B of this report), including any modifications made during building permit review and building construction.
- b) Color-coded plans identifying all amenities and square footage.
- c) Color-coded plans identifying any square footage exempted from overall GFA for FAR.
- d) Color-coded plans identifying all affordable units and square footage.
- e) An agreement to maintain commercial and/or service uses on 108th Avenue NE and a delineation of where this space(s) will be located.
- f) The project drawings and conditions of this Design Review.
- g) The FAR worksheet for DNTN-R.
- h) All Affordable Housing Agreements (see Condition of Approval C.14).

AUTHORITY: LUC 20.25A.030.D and 20.30F.145
REVIEWER: Sally Nichols, Land Use

29. Changes to Existing and/or New Easements

- a) If any existing easements, including those with any adjacent property owner(s), change as a result of this project, the changes shall be recorded with the King County Office of Records and Elections and the applicant shall supply a copy of the revised easements regarding this proposal property to Land Use for informational purposes and to be included in the project file.
- b) Any new easements created as a result of this project shall be recorded with the King County Office of Records and Elections and the applicant shall supply a copy of all new easements regarding this proposal property to Land Use for informational purposes and to be included in the project file.

AUTHORITY: LUC 20.25A.050, BCC 14.60.100
REVIEWER: Sally Nichols, Land Use

30. Street Frontage Improvements

All street frontage improvements and other required transportation elements, including street light and traffic signal revisions, must be constructed by the applicant

and accepted by the Transportation Department Inspector. All existing street light and traffic signal apparatus affected by this development, including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the city requires a delay. Specific requirements include but are not limited to the following:

- a) Driveway width and approach (DEV-7D) must be constructed in accordance with the approved civil engineering plans.
- b) Landings on sloping approaches are not to exceed a grade of 7% for a distance of 30 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- c) Streetlights shall be located per the approved streetlight plan and street trees shall have the required spacing from the streetlights in order to achieve the required on-street lighting levels.
- d) Fixed objects shall be at least ten feet from any driveway edge, as defined by Point A in standard drawing DEV-7A, and at least three feet behind the face of curb, unless the Transportation Department approves less space.
- e) Public sidewalks, ramps, and pedestrian pushbuttons shall be ADA compliant.
- f) The frontage improvements on 108th Avenue NE such as sidewalk, curb and gutter must be constructed such that it will match with the existing alignment to the north. There must be seamless transition between the two subject properties to complete the ultimate curb line on east side of 108th Avenue NE.
- g) Street and sidewalk improvements shall have an acceptable cross slope and shall have adequate provisions for drainage.
- h) Any awning, marquee, balcony, etc. over a sidewalk or utility easement must be at least 16 feet above the sidewalk, or be removable (with an agreement regarding removal and replacement); and must have at least three feet horizontal clearance from any streetlight or traffic signal pole.
- i) Required traffic signs, markings and other traffic controls shall be installed.
- j) Vehicle and pedestrian sight distance shall be provided per BCC 14.60.240 and 14.60.241. Vertical as well as horizontal line of sight and all fixed objects, structures, and mature landscaping must be considered when checking for sight distance.

AUTHORITY: BCC 14.60.090, 110, 120, 150, 181, 190, 200, 210, 240, 241;
Transportation Department Design Manual; and Transportation
Department Design Manual Standard Drawings
REVIEWER: Abdy Farid, Transportation

31. Pavement Restoration

Pavement restoration associated with street frontage improvements, utility installation, or to repair damaged street surfaces shall be provided as follows. On 108th Avenue NE, any trenching or construction-related street damage will require half street or full street grind and overlay. The exact extent of the pavement restoration will be determined in the Right of Way Use Permit for the development.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #23
REVIEWER: Tim Stever, Transportation

32. Noise Measurements

The noise levels must be measured inside a random sample of the residential units facing the public street. If the actual noise levels exceed the maximum required thresholds, the acoustical report must include recommendations to modify the construction to meet the interior noise thresholds.

AUTHORITY: BCC 9.18
REVIEWER: Sally Nichols, Land Use

33. Allocation of Parking for Commercial and/or Service Activities

Prior to TCO, applicant shall submit plans of the parking garage to Land Use, identifying the exact location of the parking stalls to be assigned to the commercial and/or service use in the southwest corner of the building and identify any conditions and/or restrictions for these spaces. All spaces for these uses must be available during business hours and shall not be obstructed from use by gates.

Note that if a restaurant use should ever be proposed for the commercial/service space, this change of use would require approval by Land Use with a review that would include a recalculation of the parking allotment for the entire building and possibly a parking study.

AUTHORITY: LUC 20.25A.050
REVIEWER: Sally Nichols, Land Use

34. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the following may be submitted: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings (prepared by Land Use) dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

35. Landscape Maintenance Assurance Device

Once the landscape installation is complete and has been inspected by Land Use, the applicant will be required to file with the Development Services Department, a landscape maintenance assurance device for a one-year period in the form of an assignment of savings (prepared by Land Use) or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

36. Maintenance Agreement with the City of Bellevue

After one-year, all landscaping in public rights-of-way shall be inspected by Land Use and the Parks Department.

Prior to the release of the Landscape Maintenance Assurance Device, the applicant and the City of Bellevue shall enter into an Agreement to determine future maintenance responsibilities for the streetscape and streetscape plantings.

AUTHORITY: LUC 20.25A.060
REVIEWER: Sally Nichols, Land Use

E. PRIOR TO ISSUANCE OF SIGN PERMITS

37. Signage

- a) This Design Review approval addresses the *conceptual* design of signage only and does not include approval of the design of any specific sign(s). Design review of each sign and compliance with the sign Code will occur through review of each Sign Permit application.
- b) All signage shall be pedestrian oriented.
- c) The projected images on the building soffit may not include any project signage.
- d) The sign package plans, elevations, and/or sketches shall include but are not limited to:
 - Location
 - Illumination
 - Color and Materials
 - Design (no cabinet or freestanding signs are permitted)

AUTHORITY: LUC 20.25A.110, LUC 20.30F, BCC 22B.10.025.B.4 and 10.030
REVIEWER: Sally Nichols, Land Use

Attachments:

- A. Design Review Submittal Drawings
- B. SEPA Checklist
- C. Certificate of Concurrence

OWNER:

CD HERITAGE, LLC

16541 REDMOND WAY
SUITE 277
REDMOND, WA
98052-4492

If this drawing is not 24" x 36", it is a reduced print - scale accordingly

REVISIONS:

NO.	DESCRIPTION	BY	DATE
1	Design Review Rev 2		11/10/15

DOCUMENT SET TYPE:
DESIGN REVIEW

ISSUE INFORMATION:

DESCRIPTION	DATE
DESIGN REVIEW REV 2	11/10/15

DRAWN BY: DJ CHECKED BY: DJ

SHEET TITLE:

**FAR AMENITY -
AMENITY PLANS**

PROJECT NO:
14048

DRAWING NO.:

D4.101

SCALE:

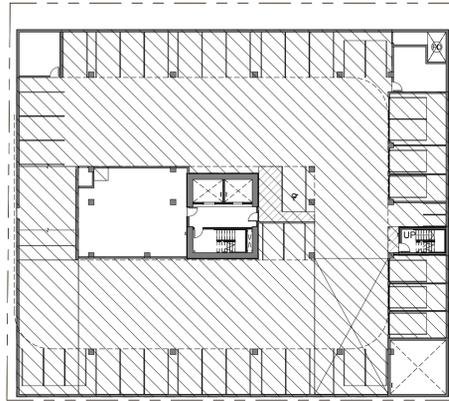
AS NOTED

DATE: **11/10/15**

SHEET OF

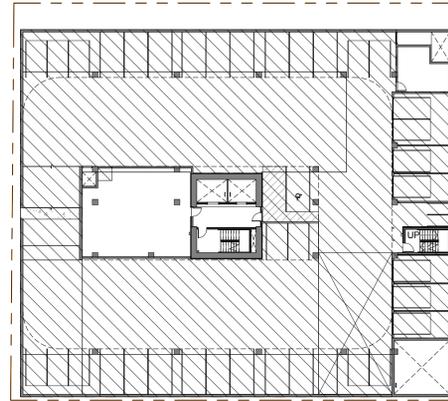
FAR AMENITY - UNDERGROUND PARKING

LEVEL	SF	MULTIPLIER	SF
LEVEL P5	16,073 SF	3	48,219 SF
LEVEL P4	16,313 SF	3	48,939 SF
LEVEL P3	17,300 SF	3	51,900 SF
LEVEL P2	17,659 SF	3	52,977 SF
LEVEL P1	16,119 SF	3	48,357 SF
TOTAL	83,464 SF		250,392 SF



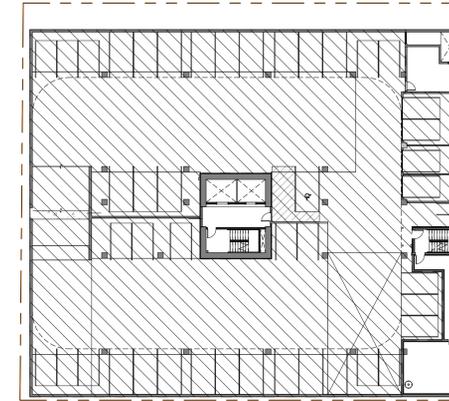
AREA = 16,073 SF

LEVEL P5 FAR AMENITY



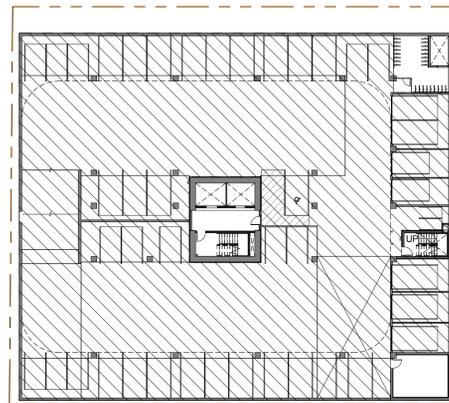
AREA = 16,313 SF

LEVEL P4 FAR AMENITY



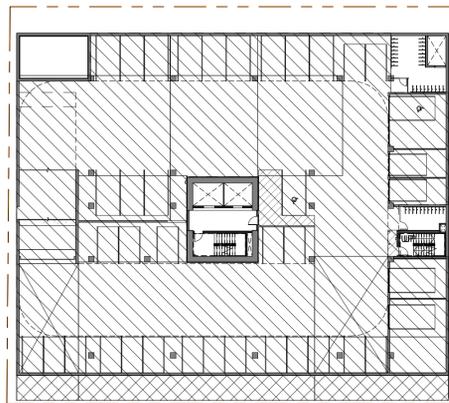
AREA = 17,300 SF

LEVEL P3 FAR AMENITY



AREA = 17,659 SF

LEVEL P2 FAR AMENITY



AREA = 16,119 SF

LEVEL P1 FAR AMENITY

FAR AMENITY - LANDSCAPE FEATURE OFF INTERSECTION

LEVEL	SF	MULTIPLIER	SF
LEVEL L1	2,040 SF	4.0	8,160 SF
TOTAL	2,040 SF		4,000 MAX SF (8,160 SF)



AREA = 2040 SF

**LEVEL 1 FAR AMENITY - LANDSCAPE FEATURE
OFF INTERSECTION**

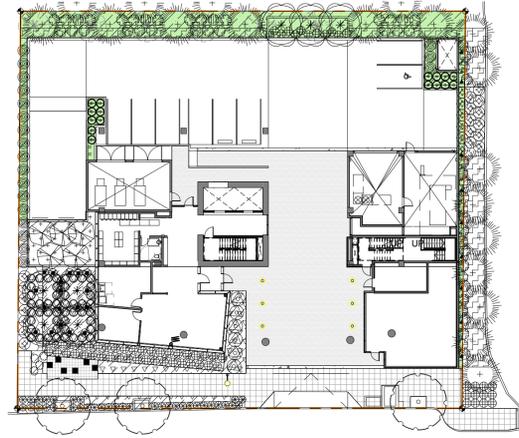
PEDESTRIAN ORIENTED FRONTAGE
AMENITY POINTS HAVE BEEN REMOVED
DUE TO THE REMOVAL OF THE RETAIL SPACE

PUBLIC SEATING AREA HAS
BEEN INCREASED AND REDESIGNED

NOT FOR CONSTRUCTION

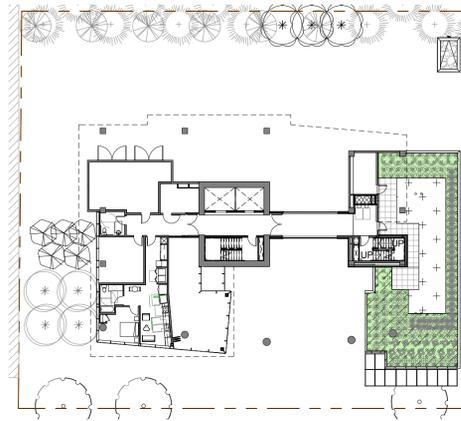
FAR AMENITY - LANDSCAPE

LEVEL	SF	MULTIPLIER	SF
LEVEL L1	2,045 SF	1.0	2,045 SF
LEVEL L2	1,084 SF	1.0	1,084 SF
LEVEL L19	1,219 SF	1.0	1,219 SF
TOTAL	4,348 SF		4,348 SF



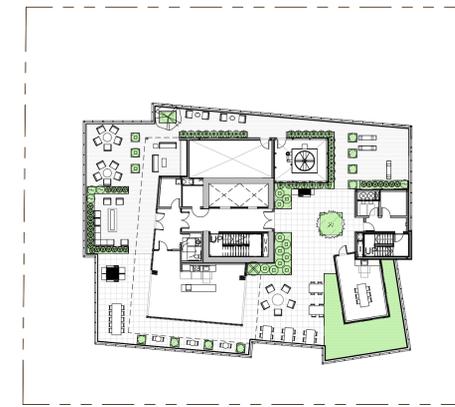
AREA = 2,045 SF

LEVEL 1 FAR AMENITY - LANDSCAPE



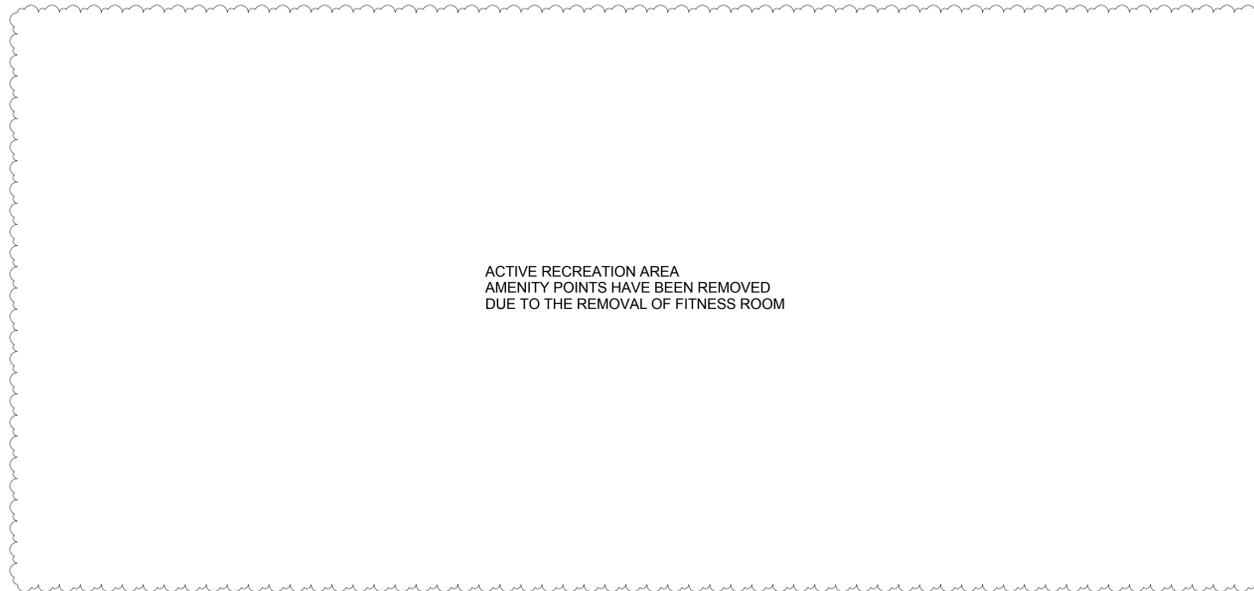
AREA = 1,084 SF

LEVEL 2 FAR AMENITY - LANDSCAPE



AREA = 1,219 SF

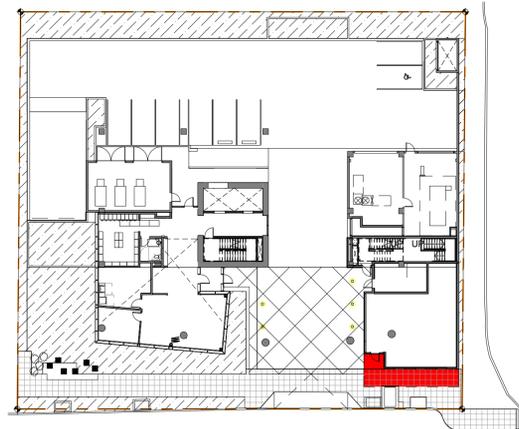
LEVEL 19 FAR AMENITY - LANDSCAPE



ACTIVE RECREATION AREA
AMENITY POINTS HAVE BEEN REMOVED
DUE TO THE REMOVAL OF FITNESS ROOM

FAR AMENITY - MARQUEE

LEVEL	SF	MULTIPLIER	SF
LEVEL L1	247 SF	2.0	494 SF
TOTAL	247 SF		494 SF



AREA = 247 SF

LEVEL 1 FAR AMENITY - MARQUEE

HEWITT architecture
landscape architecture
urban design

101 stewart street
suite 200
seattle, washington
98101
(206) 624-8154 phone
(206) 626-0541 fax

846 108th Ave NE
846 108TH AVE NE BELLEVUE,
WA 98004

OWNER:
CD HERITAGE, LLC

16541 REDMOND WAY
SUITE 277
REDMOND, WA
98052-4492

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REVISIONS:

NO.	DESCRIPTION	BY	DATE
1	Design Review Rev 2		11/10/15

DOCUMENT SET TYPE:
DESIGN REVIEW

ISSUE INFORMATION:	
DESCRIPTION	DATE
DESIGN REVIEW REV 2	11/10/15

DRAWN BY: DJ CHECKED BY: DJ

NOT FOR CONSTRUCTION

SHEET TITLE:
**FAR AMENITY -
AMENITY PLANS**

PROJECT NO:
14048

DRAWING NO.:

D4.102

SCALE:
AS NOTED
DATE: **11/10/15**

SHEET OF

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1	Revision 3		Date 3

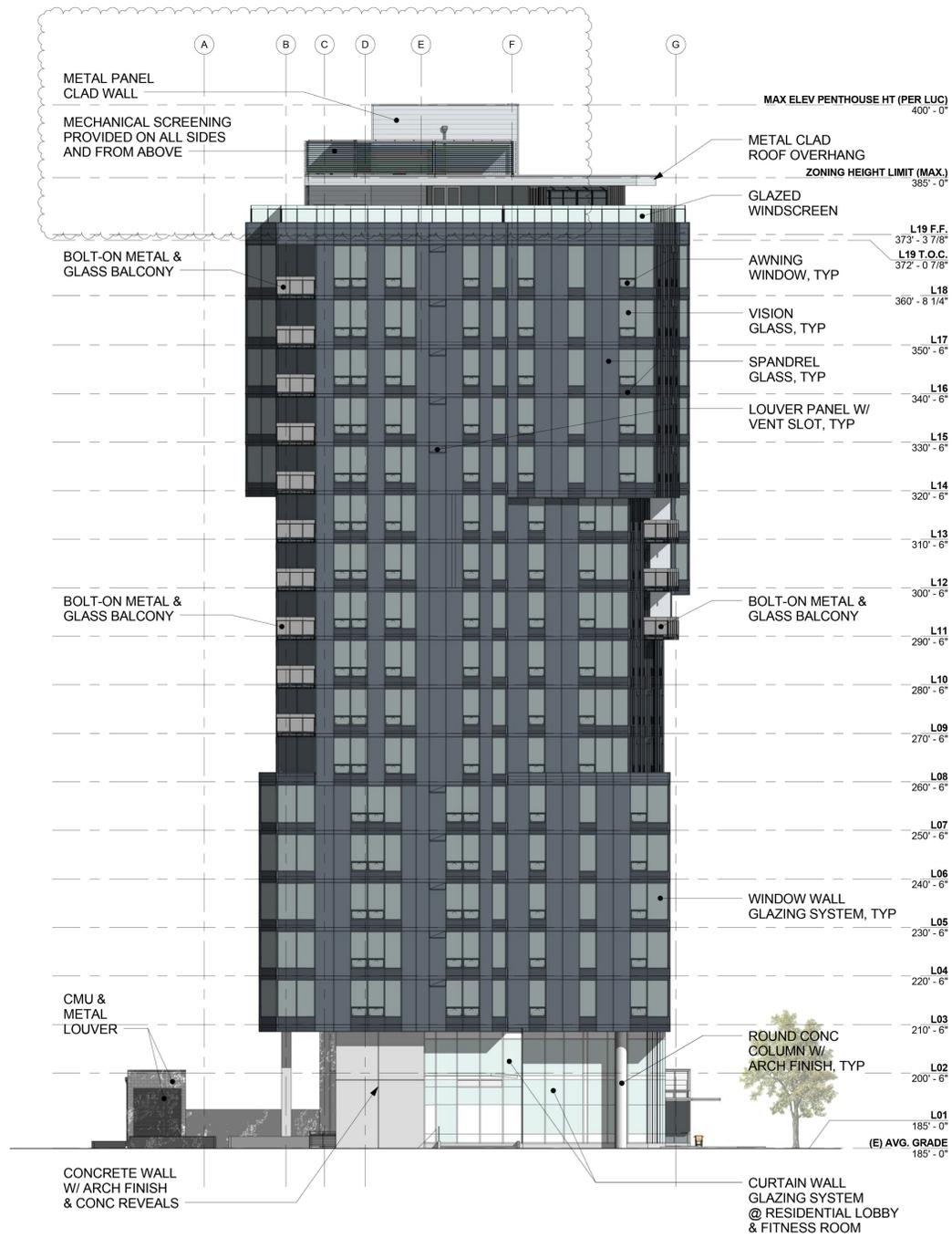
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DRAWN BY: CB CHECKED BY: DJ

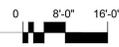
SHEET TITLE:
NORTH AND WEST ELEVATIONS

PROJECT NO.: 14048 DRAWING NO.: **D3.101**
SCALE: AS NOTED
DATE: 8/31/15 SHEET OF

NOT FOR CONSTRUCTION



1 NORTH ELEVATION - DR
1/16" = 1'-0"



2 WEST ELEVATION - DR
1/16" = 1'-0"



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NO.	DESCRIPTION	BY	DATE
1	Revision 3		Date 3

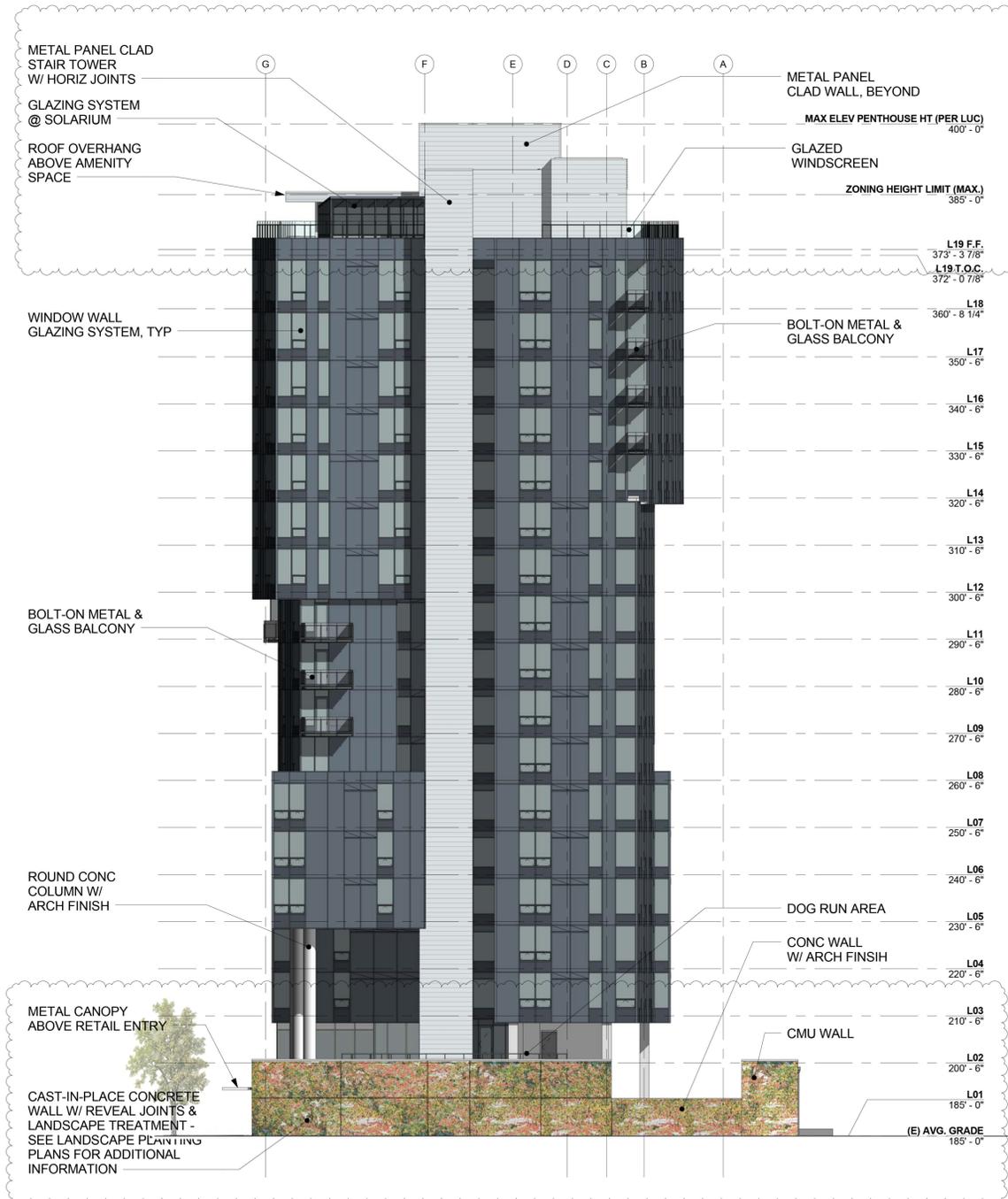
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DRAWN BY: CB CHECKED BY: DJ

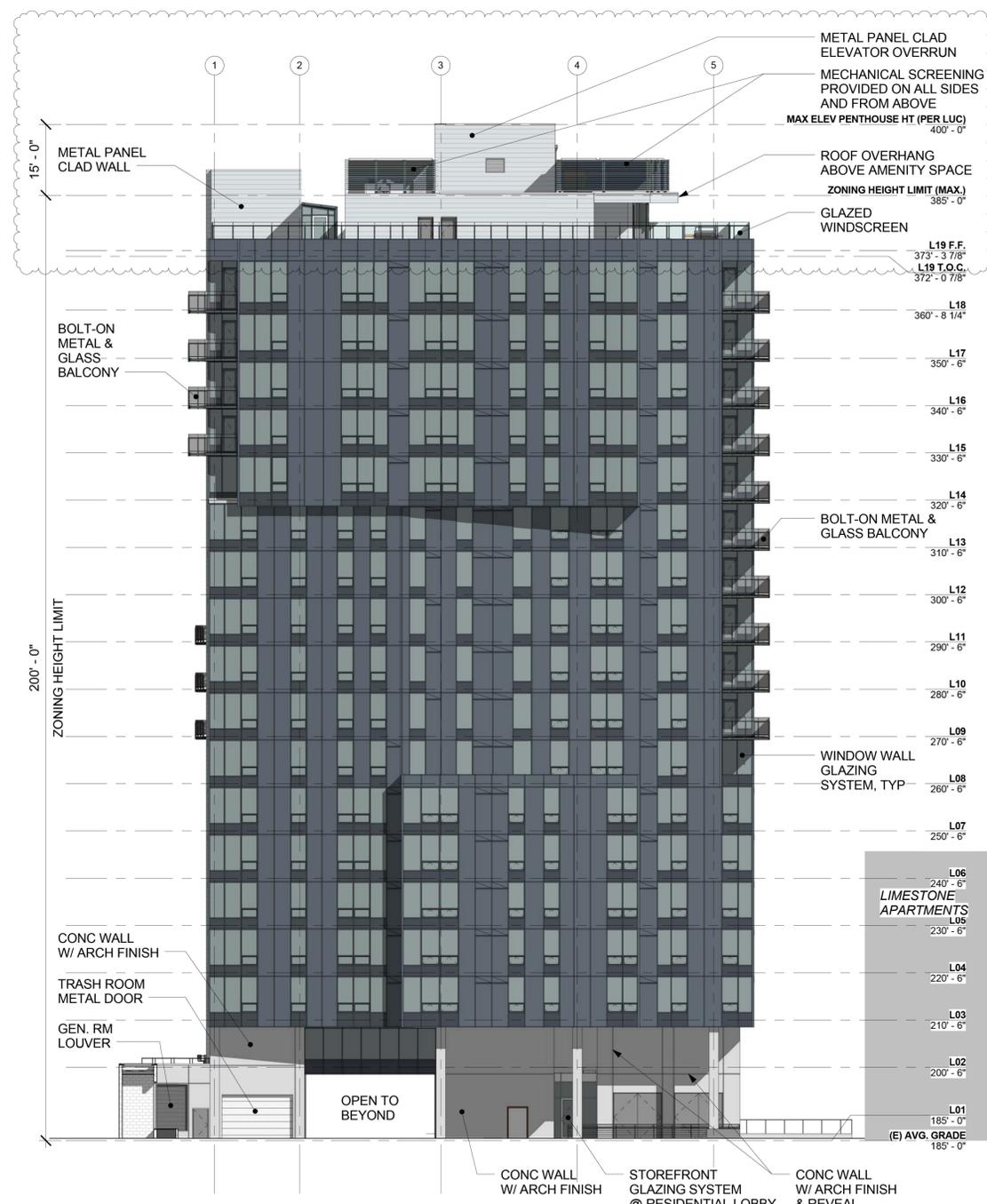
NOT FOR CONSTRUCTION

SHEET TITLE:
SOUTH AND EAST ELEVATIONS

PROJECT NO.: 14048 DRAWING NO.: D3.102
SCALE: AS NOTED
DATE: 8/31/15 SHEET OF



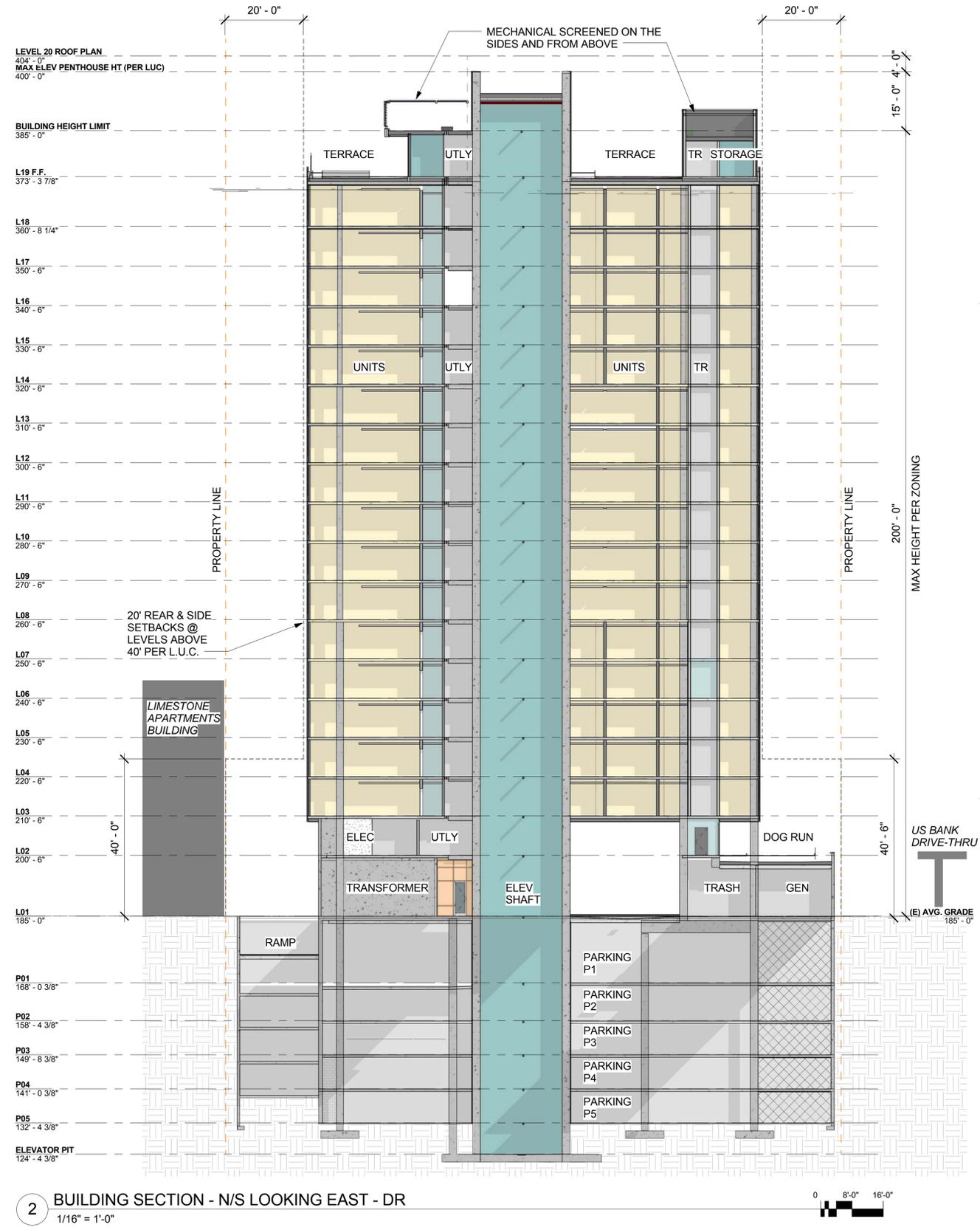
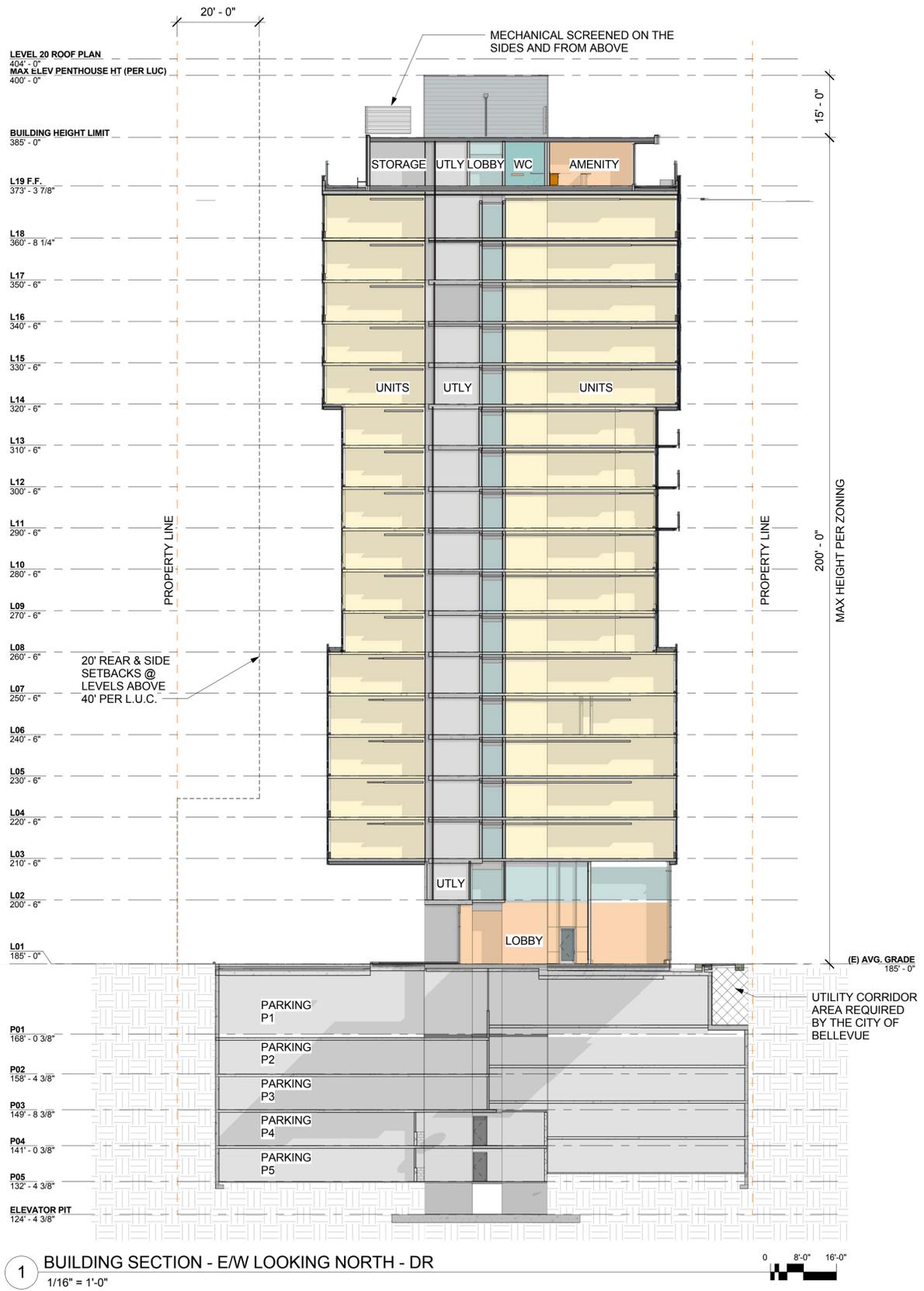
1 SOUTH ELEVATION - DR
1/16" = 1'-0"



2 EAST ELEVATION - DR
1/16" = 1'-0"



NO.	DESCRIPTION	BY	DATE



NOT FOR CONSTRUCTION

Plotted On: 9/4/2015 3:19:51 PM

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1	Design Review Rev 2		11/10/15

DOCUMENT SET TYPE:
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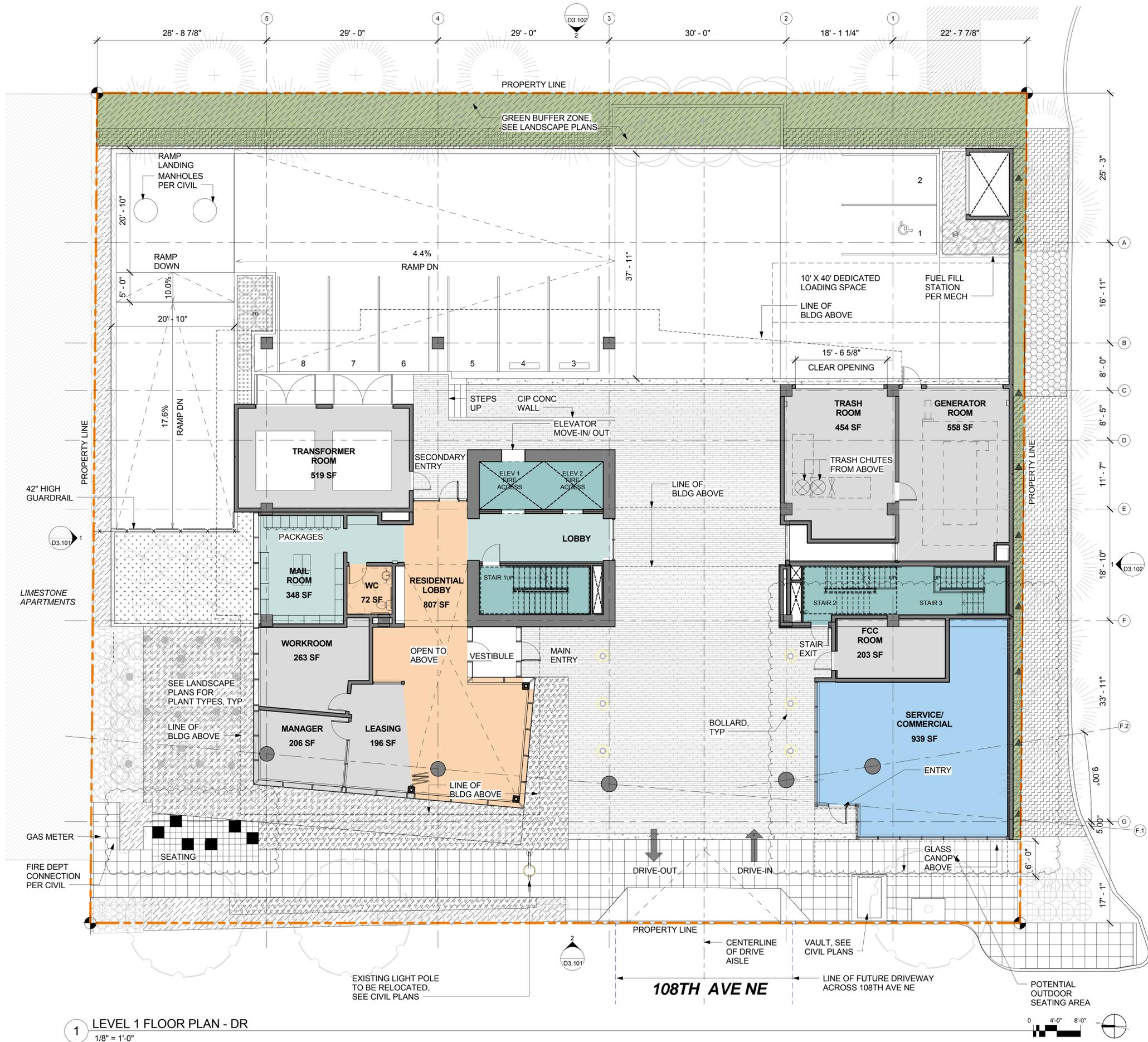
DESCRIPTION	DATE
DESIGN REVIEW REV 2	11/10/15

DRAWN BY: C CHECKED BY: DJ

NOT FOR CONSTRUCTION

SHEET TITLE:
LEVEL 01 FLOOR PLAN

PROJECT NO:
14048
DRAWING NO.:
D2.106
SCALE:
AS NOTED
DATE: **11/10/15**



1 LEVEL 1 FLOOR PLAN - DR
1/8" = 1'-0"



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REVISIONS:

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1	Design Review Rev 2		11/10/15

DOCUMENT SET TYPE:
DESIGN REVIEW

ISSUE INFORMATION:

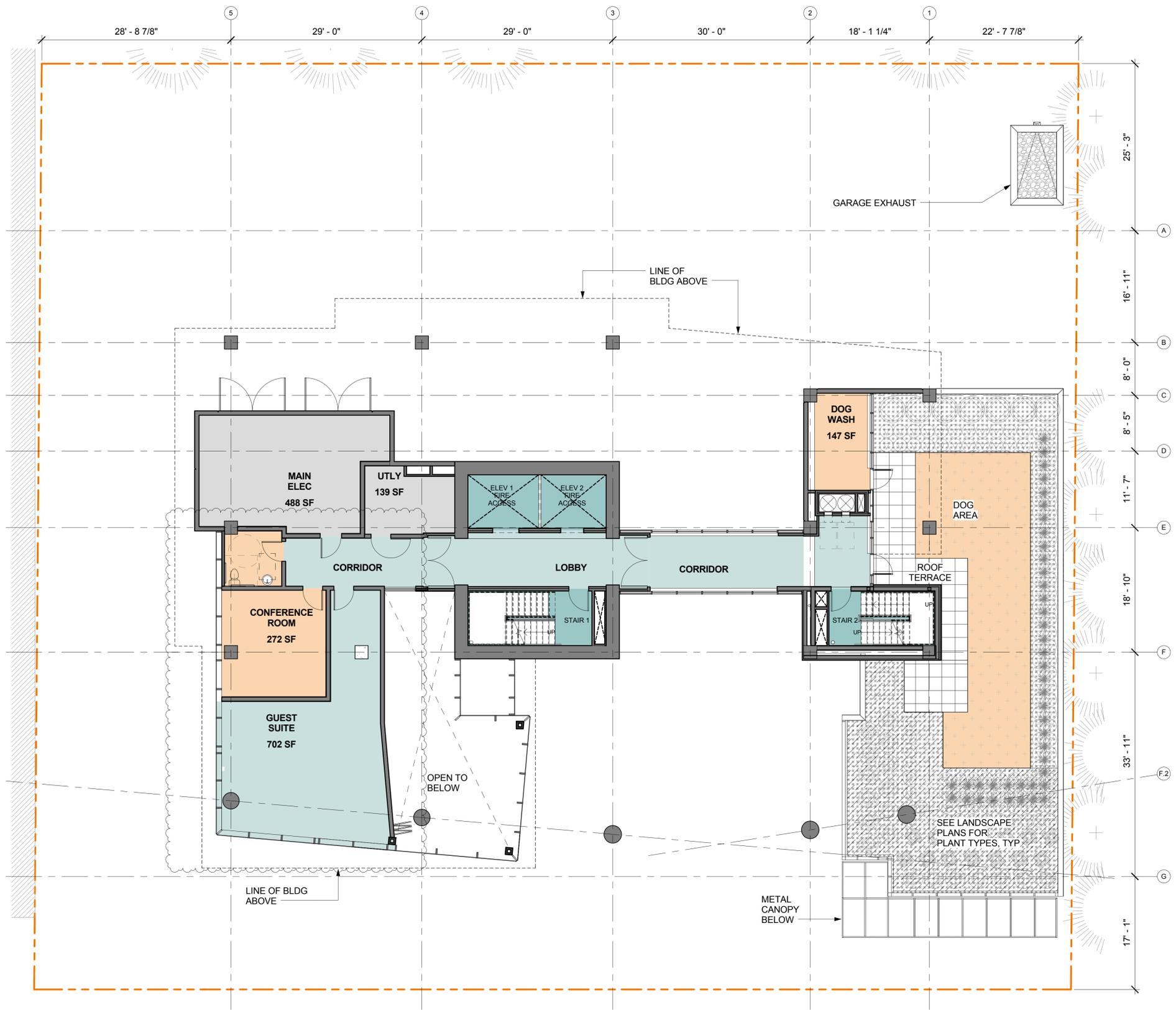
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DESIGN REVIEW REV 2	11/10/15

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SHEET TITLE:
LEVEL 02 FLOOR PLAN

PROJECT NO.: **14048**
DRAWING NO.: **D2.107**
SCALE: AS NOTED
DATE: **11/10/15**



1 LEVEL 2 FLOOR PLAN - DR
1/8" = 1'-0"





AERIAL VIEW - ROOF TERRACE (L19)



VIEW FROM 108TH AVE NE - LOOKING NORTHEAST

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suite 200
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98101

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(206) 626-0541 fax

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SHEET TITLE:
PERSPECTIVES

PROJECT NO.:
14048
SCALE:
AS NOTED
DATE: **09/04/15**

DRAWING NO.:
D1.101
SHEET OF

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STREET VIEW - LOOKING NORTHEAST



STREET VIEW - LOOKING SOUTHEAST



VIEW LOOKING EAST - WEST FACADE

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urban design

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suite 200
seattle, washington
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REVISIONS:

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DOCUMENT SET TYPE:
DESIGN REVIEW

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SHEET TITLE:
PERSPECTIVES

PROJECT NO.: **14048** DRAWING NO.: **D1.102**
SCALE: AS NOTED
DATE: **09/04/15** SHEET **01** OF **01**



VIEW LOOKING NORTH - SOUTH FACADE



VIEW LOOKING WEST - EAST FACADE

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seattle, washington
98101

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(206) 626-0541 fax

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DOCUMENT SET TYPE:
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SHEET TITLE:
PERSPECTIVES

PROJECT NO.:
14048
SCALE:
AS NOTED
DATE: **09/04/15**

DRAWING NO.:
D1.103
SHEET OF



1 60" H GLASS WINDSCREEN SYSTEM



2 INSULATED VISION GLASS - 1" DOUBLE GLAZED GLASS; 50% LIGHT TRANSMITTANCE; 30% OUTDOOR REFLECTANCE; "LIGHT SILVER" REFLECTANCE APPEARANCE



3 INSULATED OPAQUE "SPANDREL" GLASS; CLEAR FLOAT GLAZING #2 SURFACE COLOR 'OUTERSPACE' SW 6251



4 INSULATED OPAQUE "SHADOW BOX" SPANDREL GLAZING - "LIGHT SILVER" 28% REFLECTIVITY ON #2 SURFACE; COLOR 'OUTERSPACE' SW 6251



5 12" WIDE HORIZONTAL FLUSH METAL PANEL CLADDING COLOR 'COOL METALLIC SILVER'



6 12" WIDE FLUSH METAL PANEL CLADDING COLOR TO MATCH/BLEND WITH GLAZING AND SPANDREL COLOR - 'OUTERSPACE' SW 6251



7 BALCONIES; BOLT-ON METAL DECK AND FRAME WITH METAL AND GLASS GUARDRAIL - GUARDRAIL FRAME COLOR - 'COOL METALLIC SILVER'



8 WHITE CEMENT PLASTER SOFFIT WITH PROJECTED LIGHTING IMAGERY; PROJECTION LOCATIONS FROM 2ND FLOOR TERRACE AREA AND LOBBY FACADE PER LIGHTING PLAN; (ACTUAL IMAGES TBD / VARIES)



9 CAST-IN-PLACE CONCRETE COLUMNS

10 CAST-IN-PLACE CONCRETE



11 ALUMINUM CURTAIN WALL SYSTEM (LOBBY AND LEASING AREA - CLEAR GLAZING; MULLIONS TO MATCH 'COOL METALLIC SILVER' METAL PANELS



12 RESIDENTIAL WINDOW WALL SYSTEM - ALUMINIUM MULLIONS PAINTED TO MATCH / BLEND WITH GLAZING AND SPANDREL COLOR - 'OUTERSPACE' SW 6251



13 CAST-IN-PLACE CONCRETE W/ CONTROL JOINTS (SEE ELEVATIONS); LANDSCAPE TREATMENT - SEE LANDSCAPE PLANTING PLANS FOR ADDITIONAL INFORMATION

SEE MATERIAL BOARD FOR PHYSICAL SAMPLE

4" VISION GLASS SAMPLE

SEE MATERIAL BOARD FOR PHYSICAL SAMPLE

4" SPANDREL 'SHADOW BOX GLASS SAMPLE

SEE MATERIAL BOARD FOR PHYSICAL SAMPLE

4" SPANDREL GLASS SAMPLE

SEE MATERIAL BOARD FOR PHYSICAL SAMPLE

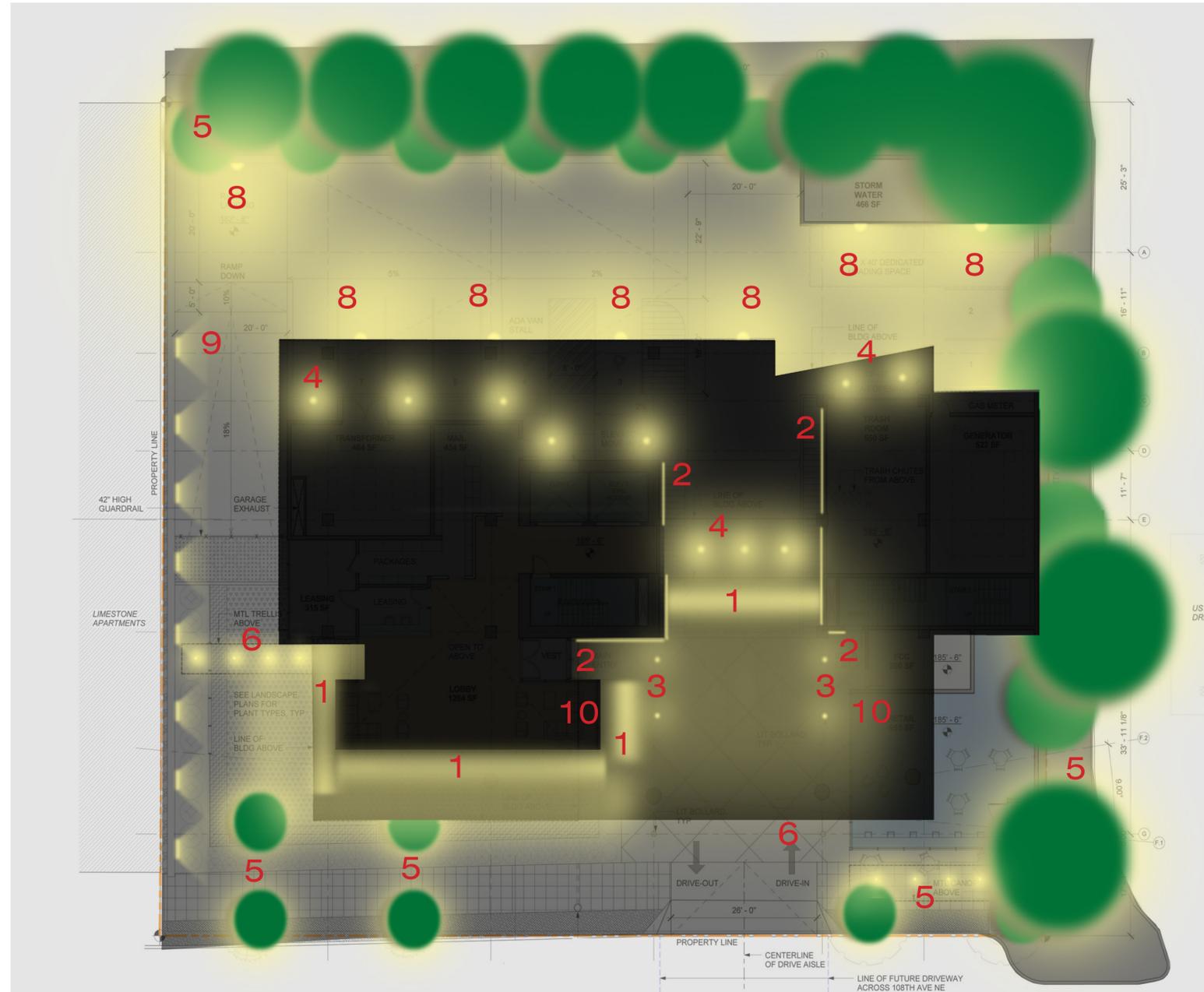
METAL PANEL SAMPLE

REVISIONS:

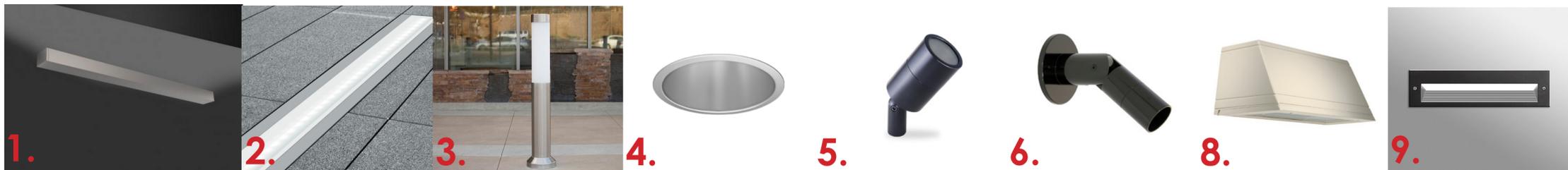
NO.	DESCRIPTION	BY	DATE

EXTERIOR LIGHTING CONCEPTS

- 1. LED MULLION-MOUNTED INDIRECT STRIPLIGHT**
Fixtures mounted to uplight entry canopies.
- 2. LED IN-GROUND GRAZERS**
Fixtures mounted to uplight entry walk and lend human scale lighting to pedestrian entrance.
- 3. LED BOLLARDS**
Fixtures mounted as marker lights at pedestrian entrance.
- 4. LED LOW-GLARE DOWNLIGHTS**
Recessed low-glare fixtures to illuminate driveway under skybridge
- 5. LED ACCENT LIGHTS**
Ground mounted fixtures to uplight trees at Main Level Grounds and Amenity Terrace
- 6. LED BULLET LIGHTS**
Fixtures canopy-mounted to illuminate walkway below.
- 8. LED FULL CUT-OFF, FORWARD THROW SCONCE**
Fixtures wall or facade mounted to illuminate open parking area.
- 9. LED STEPLIGHTS**
Fixtures wall mounted to illuminate parking ramp.



SITE PLAN
NTS



RUSHING
Engineering - Essentials - Delivery

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**846 108TH AVENUE NE
BELLEVUE, WA**

DRAWING ISSUES

05/11/15 DRB SUBMISSION

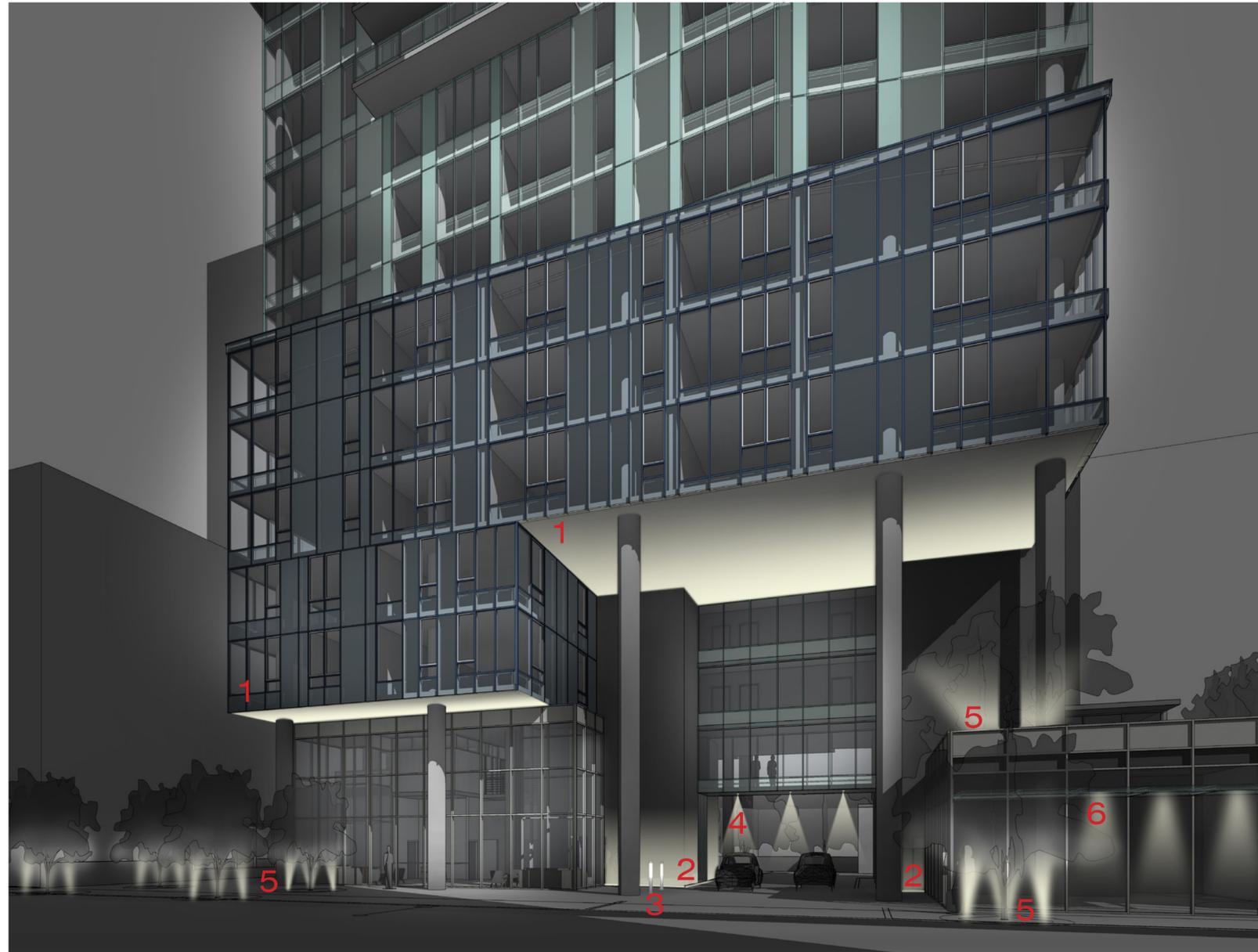
PROJECT NO.: 1581
DRAWN BY: AF
ENGINEERED BY:

**EXTERIOR SITE
LIGHTING - PLAN**

E.A

EXTERIOR LIGHTING CONCEPTS

- 1.** LED MULLION-MOUNTED INDIRECT STRIPLIGHT
Fixtures mounted to uplight entry canopies.
- 2.** LED IN-GROUND GRAZERS
Fixtures mounted to uplight entry walk and lend human scale lighting to pedestrian entrance.
- 3.** LED BOLLARDS
Fixtures mounted as marker lights at pedestrian entrance.
- 4.** LED LOW-GLARE DOWNLIGHTS
Recessed low-glare fixtures to illuminate driveway under skybridge
- 5.** LED ACCENT LIGHTS
Ground mounted fixtures to uplight trees at Main Level Grounds and Amenity Terrace
- 6.** LED BULLET LIGHTS
Fixtures canopy-mounted to illuminate walkway below.



ENTRY PERSPECTIVE - LOOKING EAST

NTS



RUSHING
Engineering - Essentials - Delivery

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DRAWING ISSUES

05/11/15 DRB SUBMISSION

PROJECT NO.: 1581
DRAWN BY: AF
ENGINEERED BY:

EXTERIOR SITE
LIGHTING -
ENTRY PERSPECTIVE

E.B

EXTERIOR LIGHTING CONCEPTS

1. LED RGBW MULLION-MOUNTED INDIRECT STRIPLIGHT
 Fixtures mounted to uplight entry canopies, with both RGB and white light.

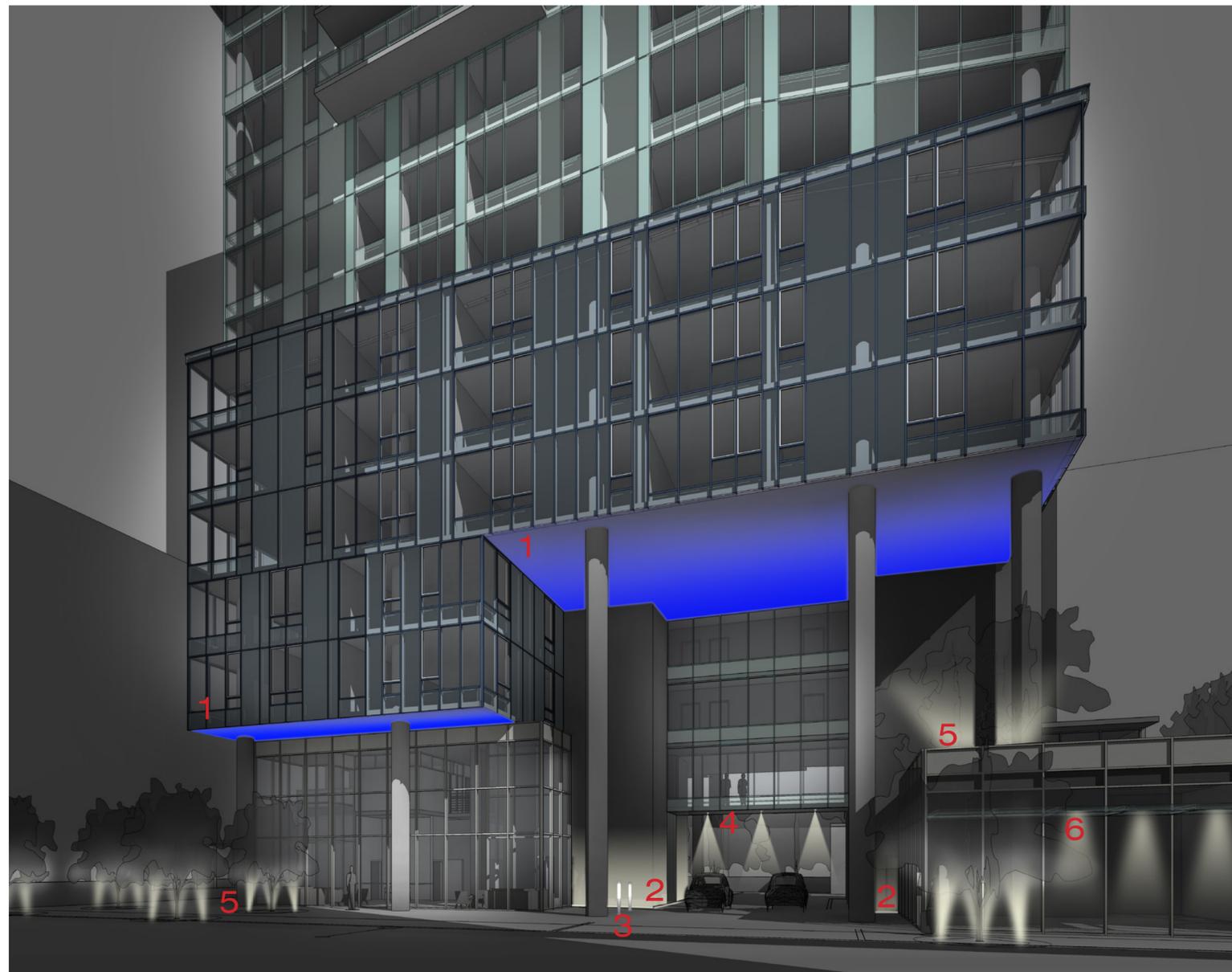
2. LED IN-GROUND GRAZERS
 Fixtures mounted to uplight entry walk and lend human scale lighting to pedestrian entrance.

3. LED BOLLARDS
 Fixtures mounted as marker lights at pedestrian entrance.

4. LED LOW-GLARE DOWNLIGHTS
 Recessed low-glare fixtures to illuminate driveway under skybridge

5. LED ACCENT LIGHTS
 Ground mounted fixtures to uplight trees at Main Level Grounds and Amenity Terrace

6. LED BULLET LIGHTS
 Fixtures canopy-mounted to illuminate walkway below.



ENTRY PERSPECTIVE - FEATURE ONE

NTS



RUSHING
 Engineering - Essentials - Delivery

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DRAWING ISSUES

05/11/15 DRB SUBMISSION

PROJECT NO.: 1581
 DRAWN BY: AF
 ENGINEERED BY:

EXTERIOR SITE
 LIGHTING - ENTRY
 PERSPECTIVE

E.C

EXTERIOR LIGHTING CONCEPTS

1. LED MULLION-MOUNTED INDIRECT STRIPLIGHT
Fixtures mounted to uplight entry canopies.

3. LED BOLLARDS
Fixtures mounted as marker lights at pedestrian entrance.

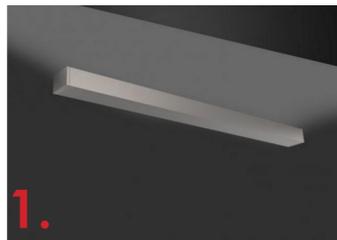
5. LED ACCENT LIGHTS
Ground mounted fixtures to uplight trees at Main Level
Grounds and Amenity Terrace

6. LED BULLET LIGHTS
Fixtures canopy-mounted to illuminate walkway below.



FACADE PERSPECTIVE - LOOKING NORTH

NTS



1.



3.

5.



6.



RUSHING
Engineering - Essentials - Delivery

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DRAWING ISSUES

05/11/15 DRB SUBMISSION

PROJECT NO.: 1581
DRAWN BY: AF
ENGINEERED BY:

EXTERIOR SITE
LIGHTING - FACADE
PERSPECTIVE

E.D

EXTERIOR LIGHTING CONCEPTS

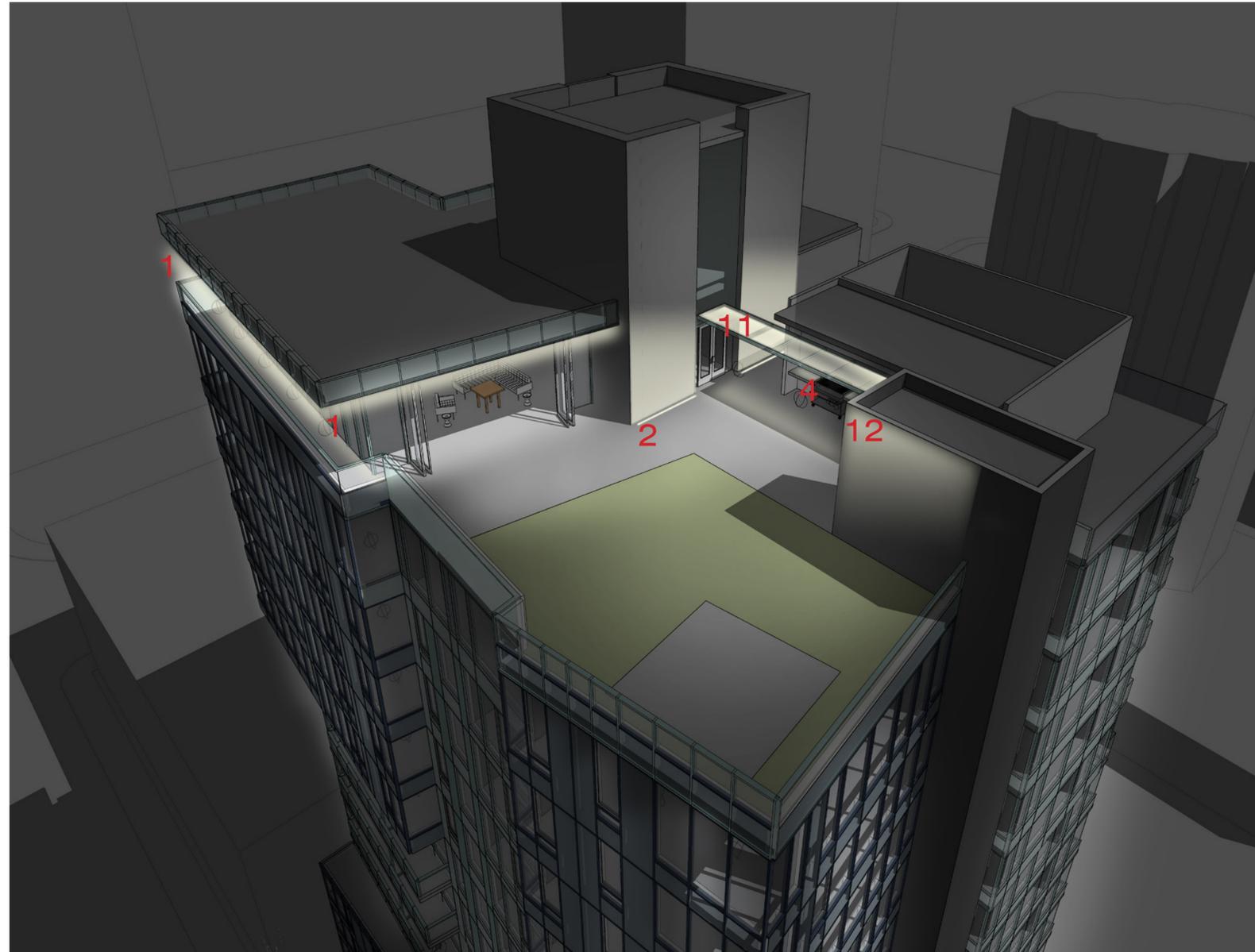
1. LED MULLION-MOUNTED INDIRECT STRIPLIGHT
Fixtures mounted to uplight canopies.

2. LED IN-GROUND GRAZERS
Fixtures mounted to uplight entry lend human scale lighting to entrance.

4. LED LOW-GLARE DOWNLIGHTS
Recessed low-glare fixtures to illuminate BBQ work area.

11. LED STRIP LIGHTS
Linear striplights mounted within canopy to indirectly illuminate canopy and pathway below.

12. LED LINEAR DIRECT WALL WASHER
Linear striplights mounted on facade wash wall below and provide security lighting to terrace area.



AERIAL VIEW - ROOF TERRACE

NTS



RUSHING
Engineering - Essentials - Delivery

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DRAWING ISSUES

05/11/15 DRB SUBMISSION

PROJECT NO.: 1581
DRAWN BY: AF
ENGINEERED BY:

EXTERIOR SITE
LIGHTING - AERIAL
VIEW

E.E

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REVISIONS:

NO.	DESCRIPTION	BY	DATE
1	Revision 3		Date 3

LEGEND

- 1 CIP CONCRETE SIDEWALK, CITY OF BELLEVUE STANDARD, WITH 2'X2' SCORE PATTERN AND BROOM FINISH
- 2A MORTAR SET COBBLE PAVING AT ENTRY COURT, EUROCOBBLE SYSTEM MILANO/GREY MIX OR EQUIVALENT
- 2B CIP CONCRETE VEHICULAR PAVEMENT WITH SCORE PATTERN AS SHOWN AND BROOM FINISH, SEE ARCH DWGS.
- 2C CIP CONCRETE VEHICULAR PAVEMENT BAND WITH SCORE PATTERN AS SHOWN AND BROOM FINISH, SEE ARCH DWGS.
- 6A CIP CONCRETE PLANTER WALL, 6" WIDE, SEE PLAN FOR HEIGHTS
- 6B CIP CONCRETE PLANTER CURB, 6" WIDE, SEE PLAN FOR HEIGHTS
- 6C 18" HT CIP CONCRETE PLINTH
- 10 TREE GRATE, 4'x6', JAMISON BY URBAN ACCESSORIES OR EQUIVALENT
- 11 IN-GRADE LIGHT, FLUSH WITH PAVING (NOT USED)
- 12 PERIMETER FENCE, AMERISTAR STEEL PICKET W/ FLUSH TOP AND BOTTOM RAIL OR EQUIVALENT
- PA PLANTING AREA
- IPA INTENSIVE PLANTING AREA

NOTES

- SEE SHEET L3.004 FOR PLANT SCHEDULE.
- ALL SIDEWALKS TO BE CITY OF BELLEVUE STANDARD SIDEWALK UNLESS NOTED OTHERWISE.
- SEE CIVIL DRAWINGS FOR EXISTING AND PROPOSED UTILITY LINES, POLES, METERS, AND STRUCTURES LOCATED IN THE R.O.W.
- ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 2" OF MULCH.

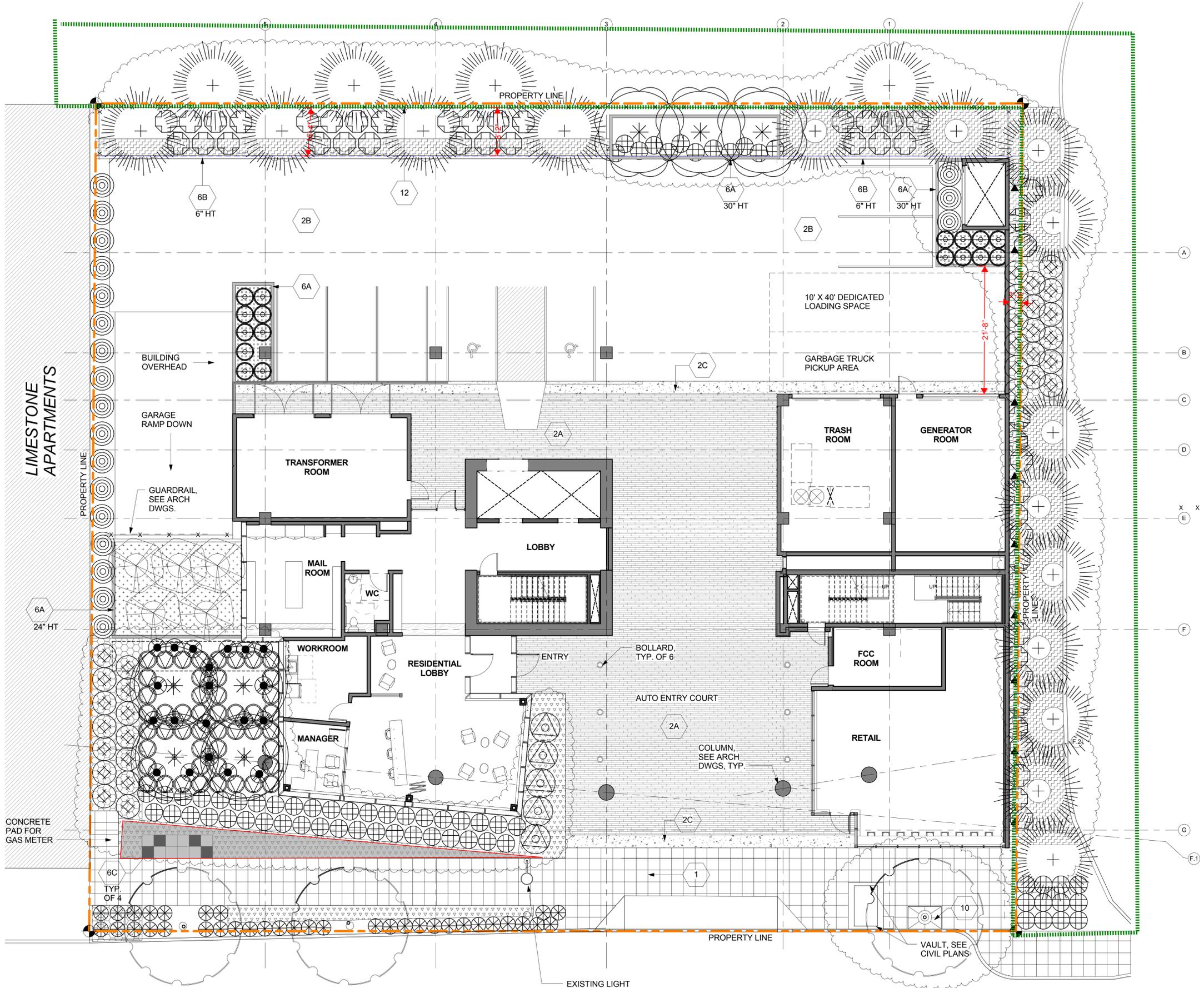
DOCUMENT SET TYPE:
DESIGN REVIEW

DRAWN BY: AM CHECKED BY: SR



SHEET TITLE:
LEVEL 01 LANDSCAPE PLAN

PROJECT NO.: **14048** DRAWING NO.: **L1.101**
SCALE: AS NOTED
DATE: **09/04/15** SHEET OF

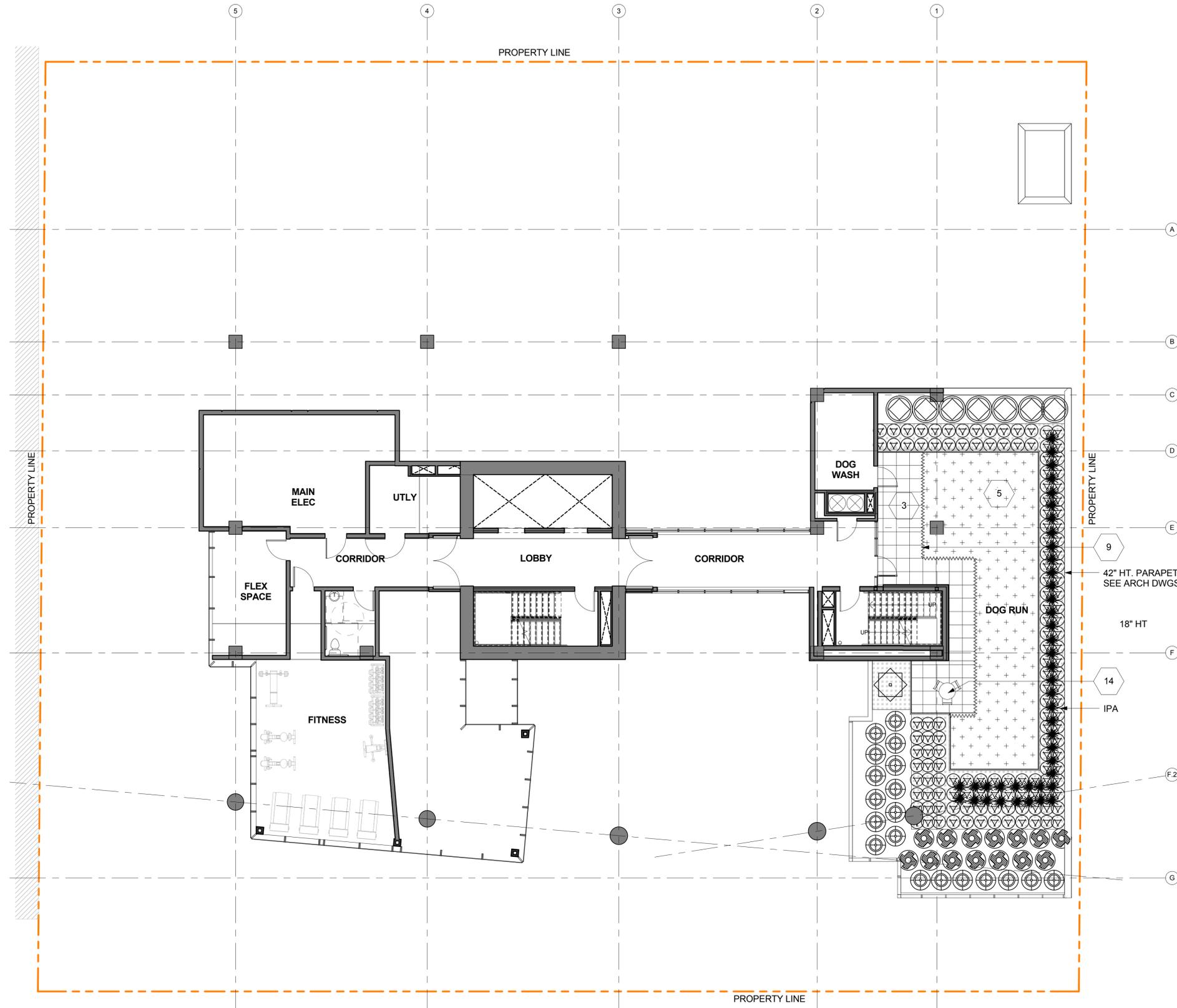


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1 LEVEL 01 LANDSCAPE PLAN
1/8" = 1'-0"



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LEGEND

- 3 CONCRETE PAVERS ON PEDESTAL SYSTEM, 2' X 2', ABBOTSFORD TEXADA, CHARCOAL COLOR OR EQUAL.
- 5 SYNTHETIC TURF AT PET AREA, ATTACHED TO FIBERGLASS GRATING ON PEDESTAL SYSTEM. K-9 GRASS BY FOREVER LAWN OR EQUAL.
- 7A 3/8" METAL PLANTER EDGE, HEIGHT PER PLAN
- 9 ALUMINUM EDGE AT PAVER TRANSITION TO TURF, GEOEDGE OR EQUIVALENT
- 14 FURNITURE SHOWN FOR REFERENCE ONLY. FURNITURE TO BE OFCI (OWNER FURNISHED, CONTRACTOR INSTALLED)
- IPA INTENSIVE PLANTING AREA

NOTES

1. SEE SHEET L3.004 FOR PLANT SCHEDULE.
2. ALL SIDEWALKS TO BE CITY OF BELLEVUE STANDARD SIDEWALK UNLESS NOTED OTHERWISE.
3. SEE CIVIL DRAWINGS FOR EXISTING AND PROPOSED UTILITY LINES, POLES, METERS, AND STRUCTURES LOCATED IN THE R.O.W.
4. ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 2" OF MULCH.

OWNER:
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STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Kristin Snider
KRISTIN SNIDER
CERTIFICATE NO. 463

SHEET TITLE:
LEVEL 02 LANDSCAPE PLAN

PROJECT NO.: 14048 DRAWING NO.: L1.102
SCALE: AS NOTED
DATE: 09/04/15 SHEET OF

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1 LEVEL 02 LANDSCAPE PLAN
1/8" = 1'-0"



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REVISIONS:

NO.	DESCRIPTION	BY	DATE

LEGEND

- 3 CONCRETE PAVERS ON PEDESTAL SYSTEM, 2' X 2', ABBOTSFORD TEXADA, CHARCOAL COLOR OR EQUAL.
- 4 COMPOSITE WOOD DECKING ON SLEEPER SYSTEM, RESYSTA OR EQUAL.
- 7A 3/8" METAL PLANTER EDGE, HEIGHT PER PLAN
- 7B PRE-MANUFACTURED POT - 36" SQ. OLD TOWNE FIBERGLASS CARDIFF SQUARE OR EQUIVALENT
- 8A PRE-MANUFACTURED FIRE PIT, RECTANGLE, 72" ROBATA BY PALOFORM OR EQUIVALENT
- 8B PRE-MANUFACTURED FIRE PIT, ROUND, 36" HEMI BY SOLUS OR EQUIVALENT
- 8C PRE-MANUFACTURED FIRE PIT, ROUND, 48" HEMI BY SOLUS OR EQUIVALENT
- 11 FURNITURE SHOWN FOR REFERENCE ONLY. FURNITURE TO OFCI (OWNER FURNISHED, CONTRACTOR INSTALLED)
- 12 BARBECUE ISLAND, TYP. OF 3
- EPA EXTENSIVE PLANTING AREA
- IPA INTENSIVE PLANTING AREA

NOTES

1. SEE SHEET L3.004 FOR PLANT SCHEDULE.
2. ALL SIDEWALKS TO BE CITY OF BELLEVUE STANDARD SIDEWALK UNLESS NOTED OTHERWISE.
3. SEE CIVIL DRAWINGS FOR EXISTING AND PROPOSED UTILITY LINES, POLES, METERS, AND STRUCTURES LOCATED IN THE R.O.W.
4. ALL LANDSCAPE AREAS SHALL RECEIVE A MINIMUM OF 2" OF MULCH.

DOCUMENT SET TYPE:
DESIGN REVIEW

DRAWN BY:
AM

CHECKED BY:
SR



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Kristin Snider
KRISTIN SNIDER
CERTIFICATE NO. 463

SHEET TITLE:

LEVEL 19 LANDSCAPE PLAN

PROJECT NO:
14048

DRAWING NO.:

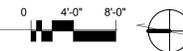
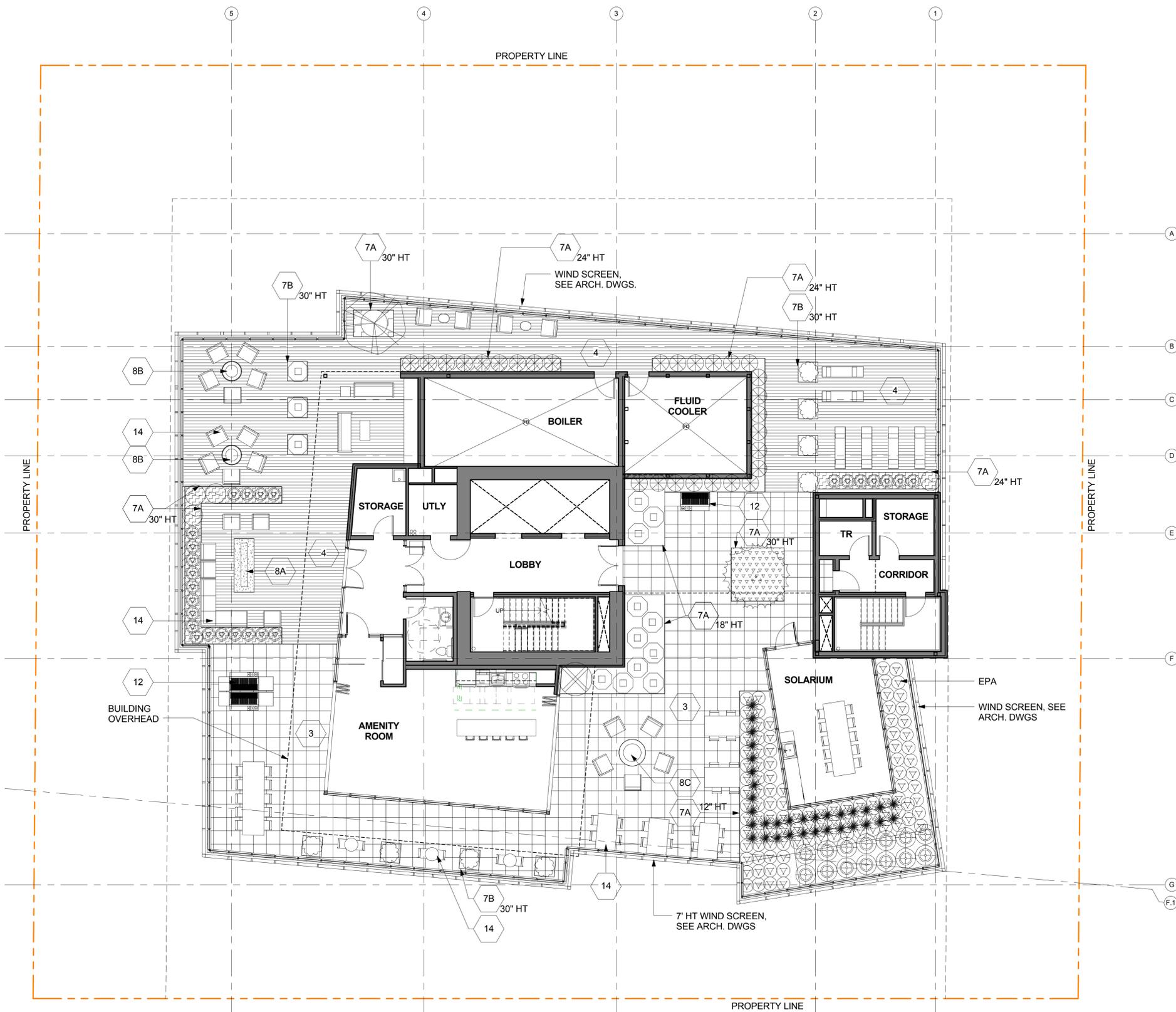
L1.103

SCALE:

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DATE: **09/04/15**

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STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Kristin Snider
KRISTIN SNIDER
CERTIFICATE NO. 463

SHEET TITLE:
PLANTING SCHEDULE

PROJECT NO:
14048

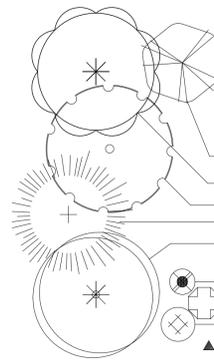
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L3.004

SCALE:
AS NOTED

DATE: **09/04/15**

SHEET OF

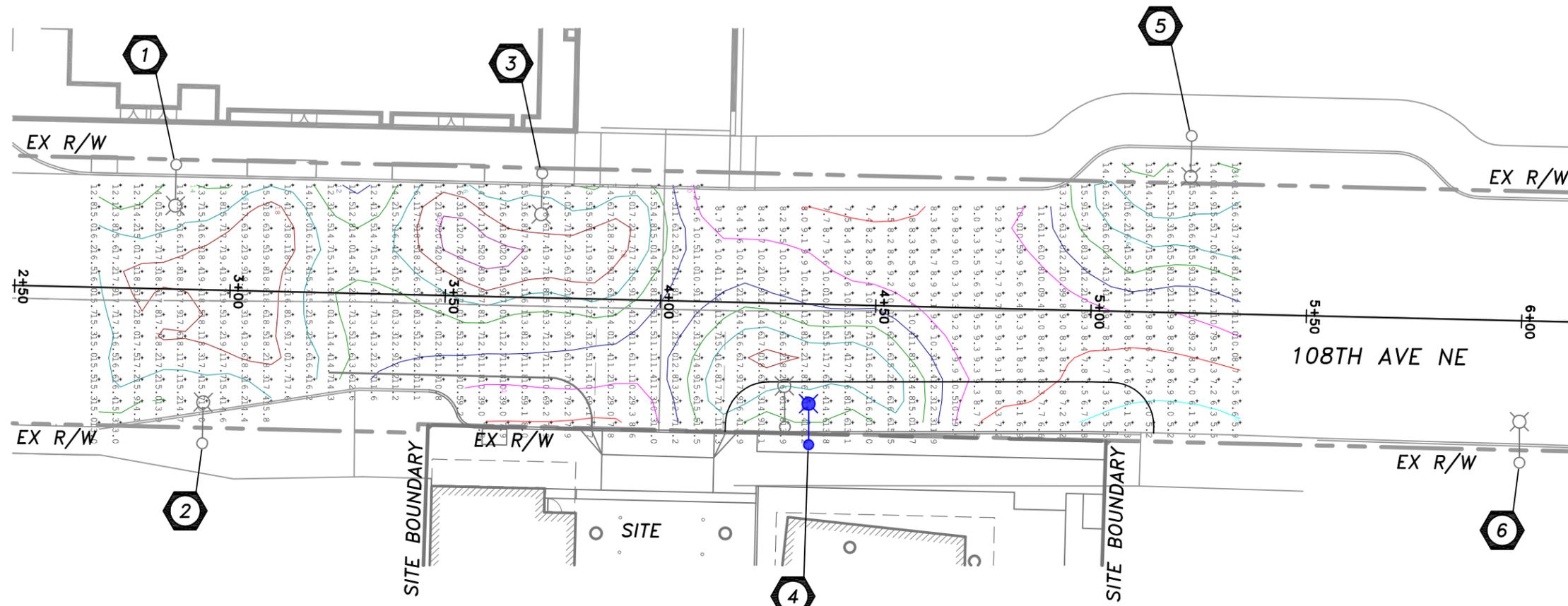


PLANTING SCHEDULE - LEVEL 1					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREE					
5	Hammamaelis virginiana 'Arnold's Promise'	Arnold's Promise Witch Hazel	#15 POT	72" O.C.	MULTI-STEM, 3 STEM MIN.
3	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	10' - 12' HT.	PER PLAN	LOW BRANCHING
3	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Ironwood	2 1/2" Cal.	PER PLAN	STANDARD, 5' BRANCHING HEIGHT, MATCHING
19	Pinus flexilis 'Vanderwolf'	Vanderwolf's Pyramid Pine	10' - 12' HT.	PER PLAN	STANDARD, MATCHING
4	Stewartia pseudocamellia	Japanese Stewartia	2 1/2" CAL.	PER PLAN	STANDARD, MATCHING
PERENNIALS, GRASSES AND VINES					
20	Astilbe x arendsii 'Fanal'	Fanal Astilbe	#1 POT	PER PLAN	
50	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#5 POT	PER PLAN	UNDERPLANT WITH OXALIS OREGANA
31	Fargesia robusta 'Campbell'	Campbell's Form Bamboo	#5 POT	48" O.C.	UNDERPLANT WITH ACORUS 'OGON'
9	Parthenocissus tricuspidata	Boston Ivy	#2 POT	PER PLAN	3' MIN. HEIGHT, STAKED, UNDERPLANT WITH OXALIS OREGANA
EVERGREEN SHRUBS					
65	Lonicera pileata	Privet Honeysuckle	#5 POT	36" O.C.	
20	Myrica californica	Pacific Wax Myrtle	#5 POT	48" O.C.	
48	Polystichum munitum	Sword Fern	#2 POT	36" O.C.	
36	Rhaphiolepis umbellata 'Minor'	Indian Hawthorn	#5 POT	30" O.C.	
DECIDUOUS SHRUBS					
17	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#5 POT	36" O.C.	UNDERPLANT WITH FRAGARIA CHILOENSIS
5	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	#5 POT	36" O.C.	UNDERPLANT WITH LIRIOPE SPICATA
GROUNDCOVERS					
274	Acorus gramineus 'Ogon'	Golden Variegated Sweet Flag	#1 POT	18" O.C.	
46	Fragaria chiloensis	Evergreen Strawberry	#1 POT	24" O.C.	
273	Liriope spicata	Creeping Lilyturf	#1 POT	18" O.C.	
706	Oxalis oregana	Redwood Sorrel	4" POT	18" O.C.	
141	Pachysandra terminalis	Japanese spurge	4" POT	18"	

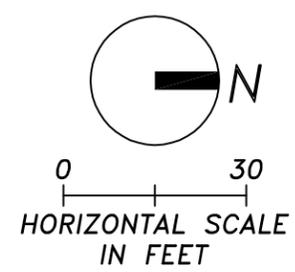
LA-PLANTING SCHEDULE - LEVEL 2					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
PERENNIALS, GRASSES AND VINES					
14	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#5 POT	36" O.C.	
136	Nassella tenuissima	Mexican Feather Grass	#2 POT	18" O.C.	
42	Achillea millefolium 'Paprika'	Paprika Yarrow	#1 POT	18" O.C.	
EVERGREEN SHRUBS					
19	Artemesia 'Powis Castle'	Powis Castle Wormwood	#5 POT	36" O.C.	
7	Pinus sylvestris/strobus	Scotch or Eastern white pine dwarf varietal	#5 POT	48" O.C.	
DECIDUOUS SHRUBS					
1	Cotinus coggygria 'Royal Purple'	Royal Purple Smoke Bush	#15 POT	PER PLAN	UNDERPLANT WITH FRAGARIA CHILOENSIS
GROUNDCOVERS					
179	Fragaria chiloensis	Evergreen Strawberry	#1 POT	24" O.C.	



LA-PLANTING SCHEDULE - ROOF					
WT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREE					
1	Hammamaelis virginiana 'Arnold's Promise'	Arnold's Promise Witch Hazel	#15 POT	72" O.C.	MULTI-STEM, 3 STEM MIN.
1	Lagerstroemia x fauriei 'Osage'	Crape Myrtle	10' - 12' HT.		MULTI-STEM, 3 STEM MIN.
PERENNIALS, GRASSES AND VINES					
8	Miscanthus sinensis 'Adagio'	Adagio Maidenhair Grass	#5 POT	36" O.C.	
1	Acanthus mollis	Bear's Breeches	#5 POT	48" O.C.	
26	Agapanthus 'Blue Leap'	Blue Leap Lily of the Nile	#1 POT	24" O.C.	UNDERPLANT WITH OXALIS OREGANA
103	Nassella tenuissima	Mexican Feather Grass	#2 POT	18" O.C.	
34	Achillea millefolium 'Paprika'	Paprika Yarrow	#1 POT	18" O.C.	
EVERGREEN SHRUBS					
14	Sarcococca ruscifolia	Fragrant Sweetbox	#5 POT	36" O.C.	UNDERPLANT WITH ACORUS 'OGON'
28	Rhaphiolepis umbellata 'Minor'	Indian Hawthorn	#5 POT	30" O.C.	
14	Artemesia 'Powis Castle'	Powis Castle Wormwood	#5 POT	36" O.C.	
DECIDUOUS SHRUBS					
4	Hydrangea paniculata 'Bombshell'	Dwarf Panicle Hydrangea	#5 POT	36"	UNDERPLANT WITH OXALIS OREGANA
GROUNDCOVERS					
97	Acorus gramineus 'Ogon'	Golden Variegated Sweet Flag	#1 POT	18" O.C.	
33	Liriope spicata	Creeping Lilyturf	#1 POT	18" O.C.	
84	Oxalis oregana	Redwood Sorrel	4" POT	18" O.C.	



CALCULATION SUMMARY		
	DESIGN CRITERIA	
	MIN. AVG. MAINTAINED (LUX)	MAX. UNIFORMITY RATIO (AVG. /MIN.)
CALCULATION AREA		
MAINLINE (108TH AVE NE)	13	3:1
	13.25	2.55:1



DATE:
09/04/2015

TENW
 Transportation Engineering NorthWest
 Transportation Planning | Design | Traffic Impact & Operations
 11400 SE 8th Street, Suite 200, Bellevue, WA 98004
 Office (425) 889-6747
 Project Contact: Elyse Hanson, P.E.
 Phone: 425-250-5004

BELLEVUE TOWER

108TH AVE NE
ILLUMINATION CALCULATIONS

SHEET
1
OF
1

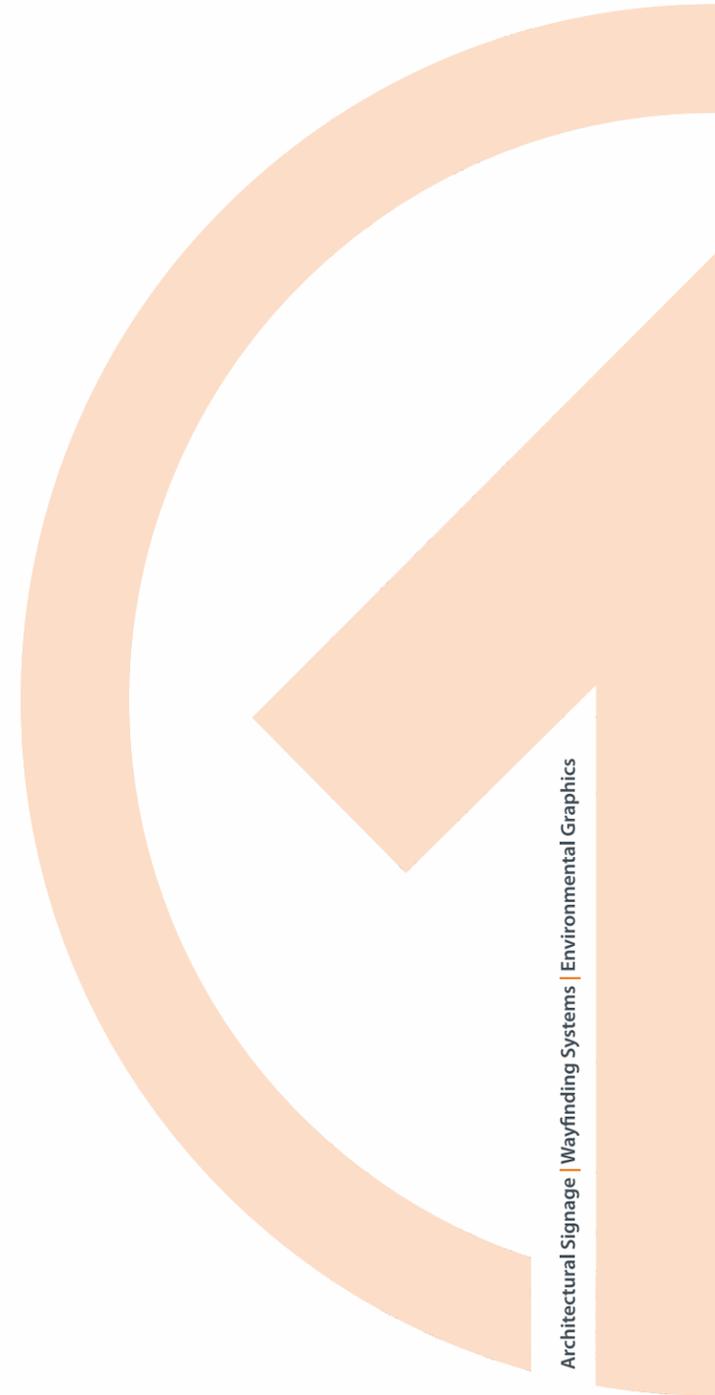
CD Heritage 108th Ave NE 888 Master Sign Plan



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V I S U A L S O L U T I O N S

o. 425-361-1562 f. 866-941-5817 c. 425-931-3929

www.verticalvs.com





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Mountlake Terrace, WA 98043
425-361-1562
www.verticalvs.com

CLIENT
CD Heritage

PROJECT
888 Master Sign Plan

JOB INFO

Initial Date: 04/13/15

Rev. Date :05/08/15

Revision #: R3

Designer: N8. Lumzer

Sales Rep: Angela Levenda

File: Paragon-888Bellevue-ExtSignage-050815-R3

APPROVAL

Sales

Production

Client Use Only

- Approved
- Approved w/ Comments
- Resubmit

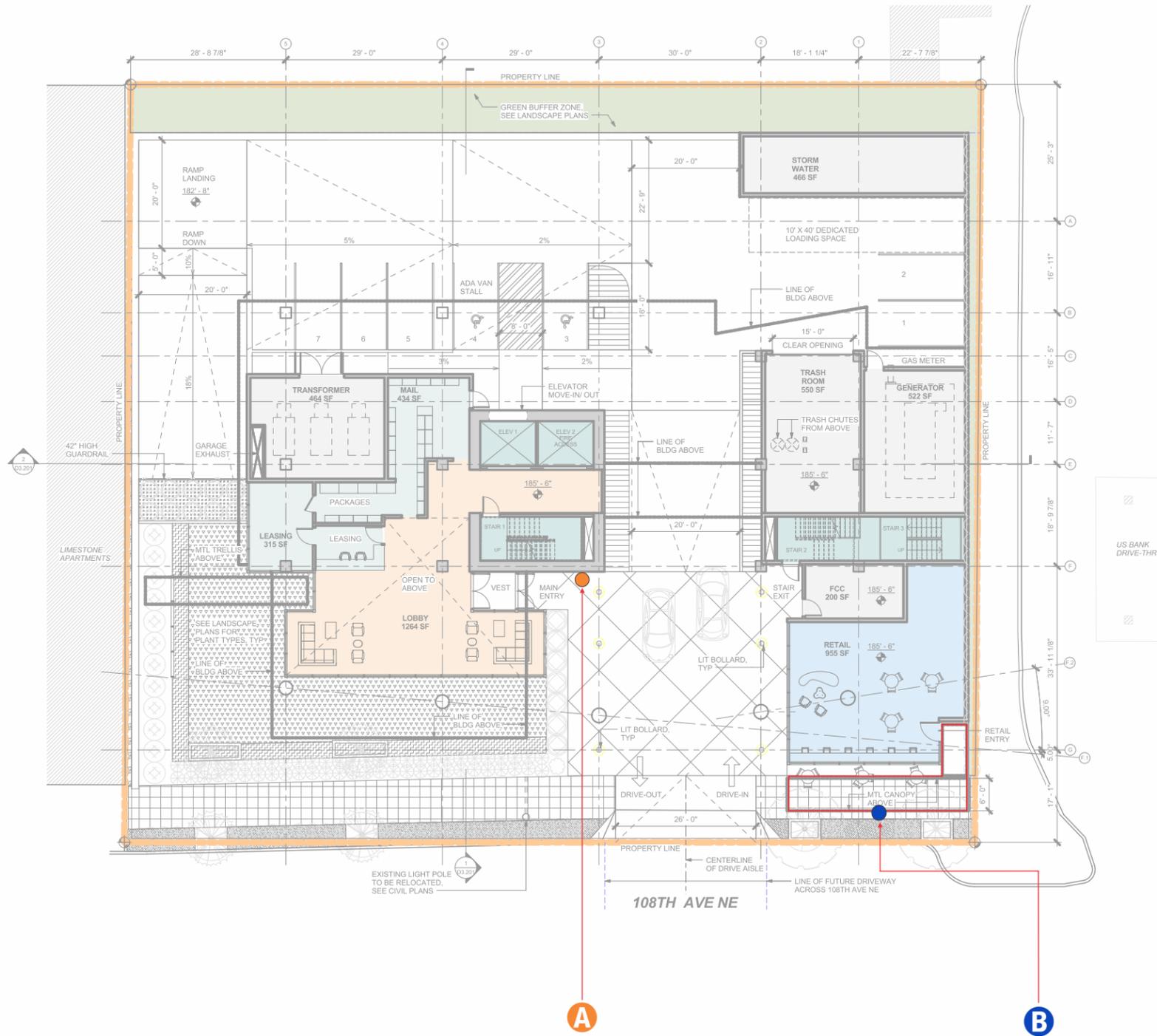
Date: _____

Signature: _____

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01



Site Map

Scale: 1" = 25'00"

- Residential Signage
- Commercial Retail Signage

Description:

A ST-01:
Building Address Halo Channel Letters
Located at Entry wall to leasing office.

B ST-02:
Building Tenant Channel Letters
Located on the West elevation.



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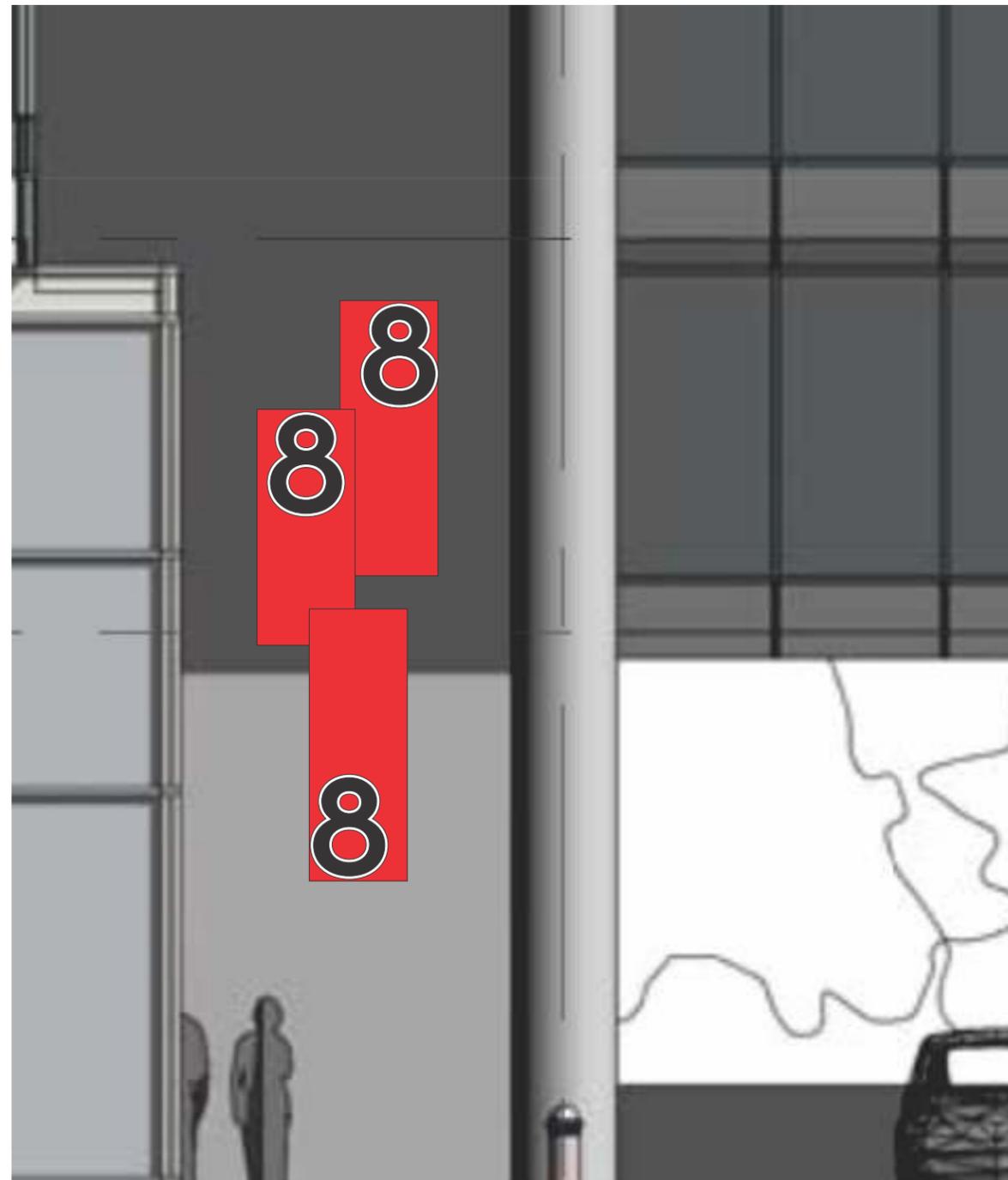
©

02



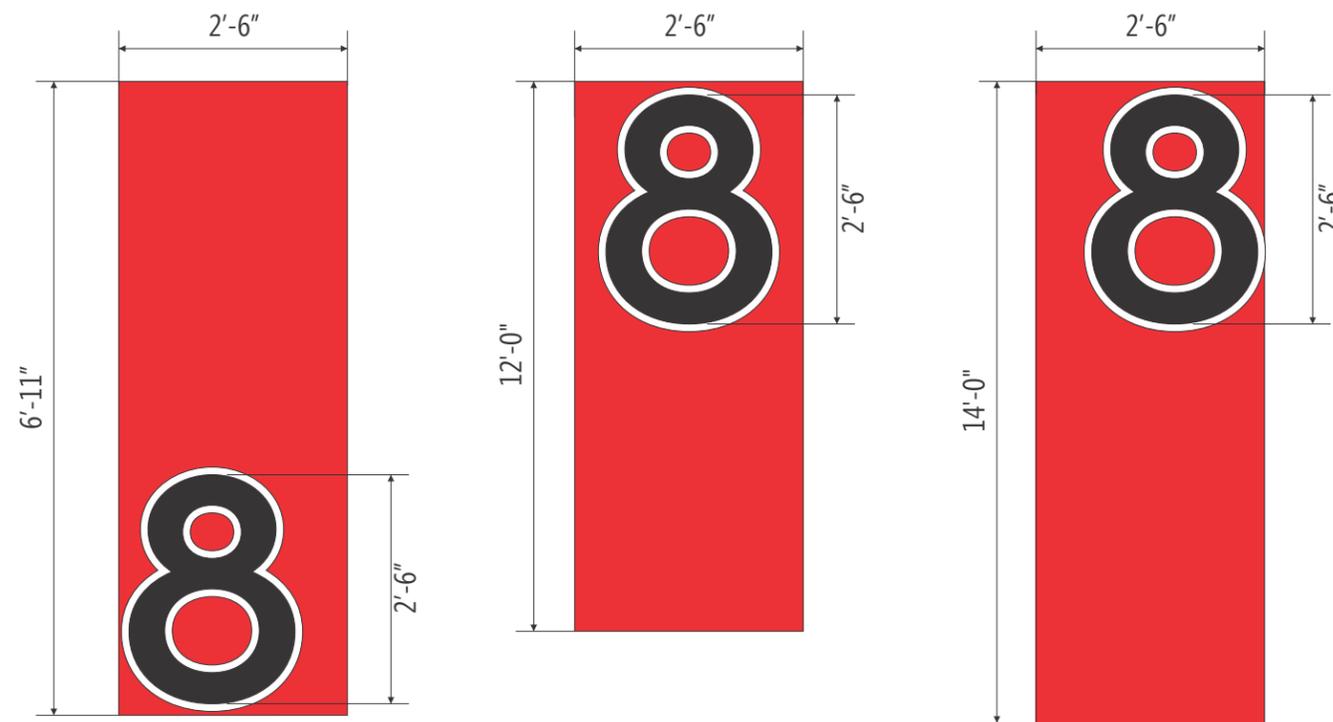
West Elevation: Location

Scale: 1" = 30'

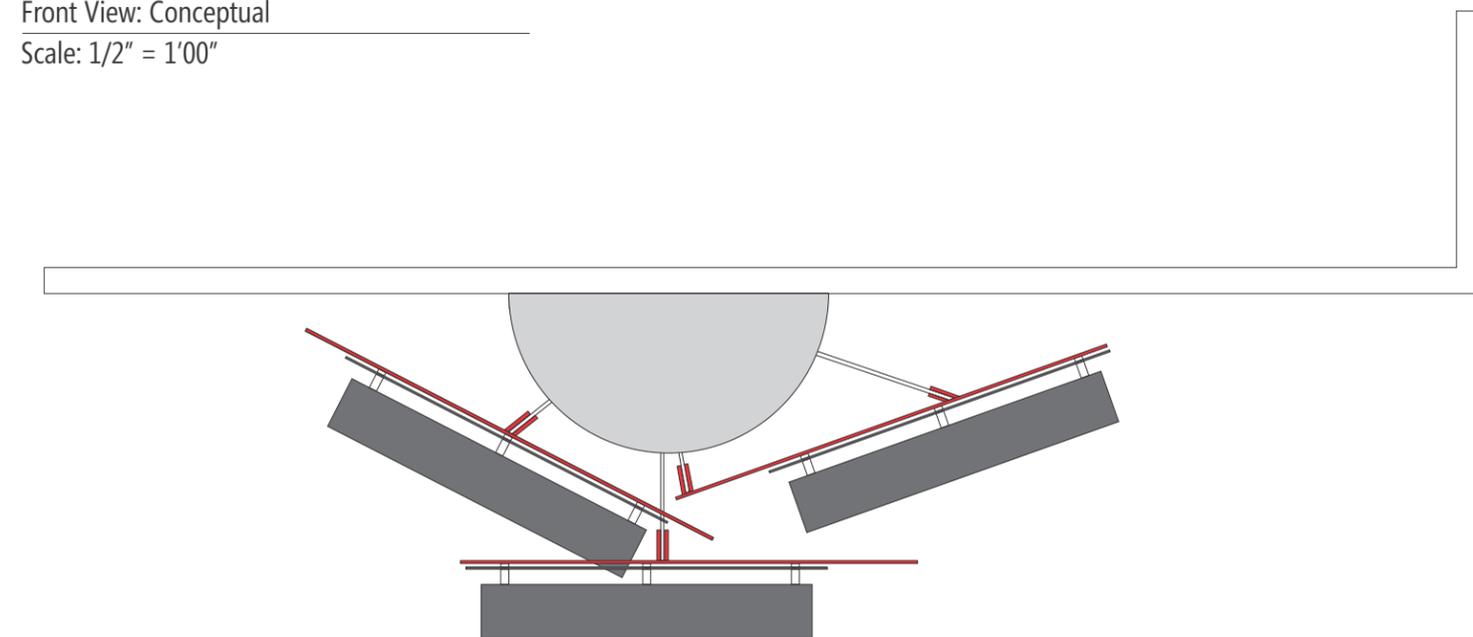


West Elevation: Location

Scale: 1/4" = 1'00"



Front View: Conceptual
Scale: 1/2" = 1'00"



Plan View: Conceptual
Scale: 1" = 1'00"

A Description: ● ST-1
Building Address Halo Channel Letters

Channel Letter Set / Halo Illumination

- 3" Deep Return
- Paint: TBD
- 1/8" Aluminum Backer Panel
- Paint: MP Black
- 1" Spacers:
- Paint: Match to backers

Paint Colors:

Fonts and logo to match building branding guide.

Illumination:

Warm White LED's

FONT: Neutraface Display Bold Alt - Shown as Example

Power supply to be house in fabricated aluminum raceway and mounted to the back of backer panel.

Installation:

Column to have pre-installed knife plates at location. Knife plate to mechanically fasten to brackets welded to back of panels.

Note:

Knife Plates by others.
Electrical to be provided by client.



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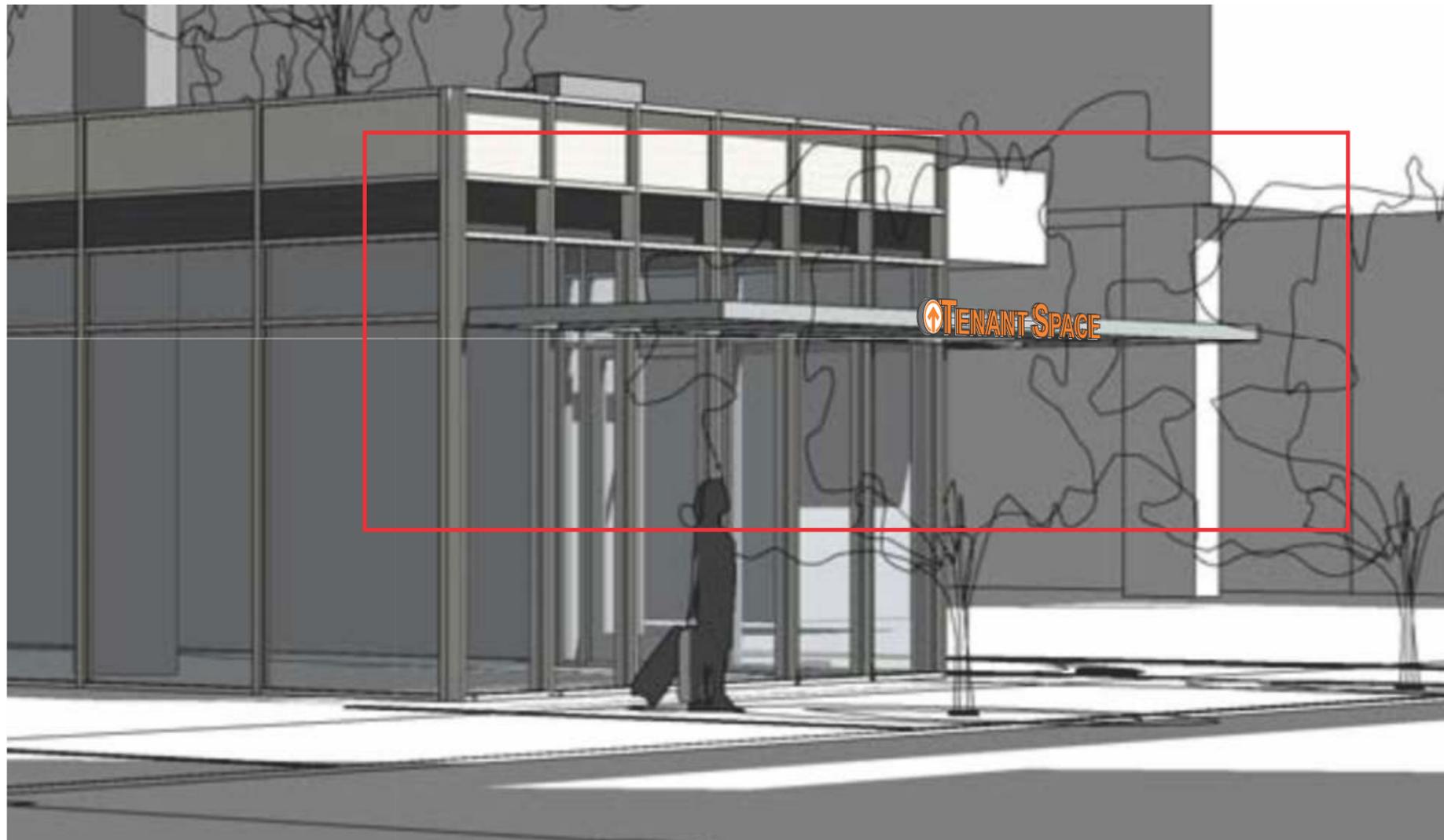
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Signature: _____

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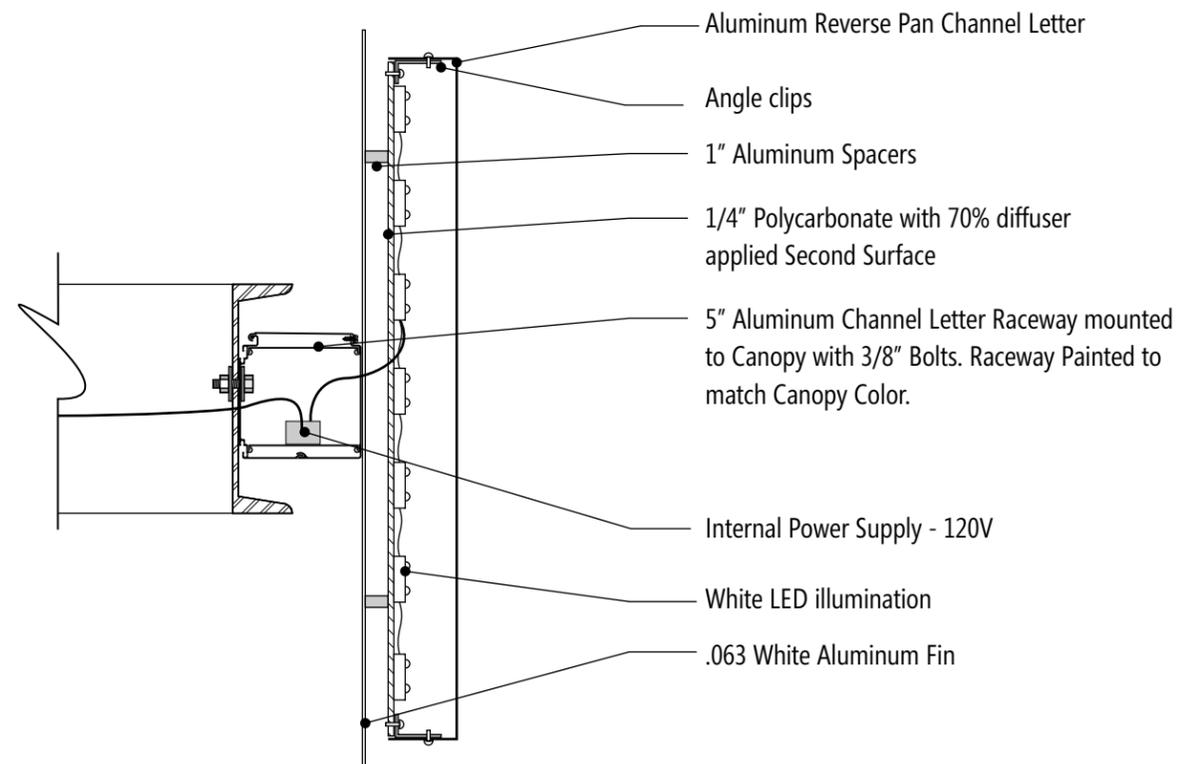
Conceptual: _____
Scale: NTS





Front View:

Scale: 3/4" = 1'00"



Detail Side View

Scale: NTS

B Description: ● ST-2
Tenant Halo Channel Letters

Channel Letter Set / Halo Illumination
3 1/2" Deep Return
Paint: TBD
.063" Aluminum Backer Panel
Paint: TBD
1" Spacers:
Paint: Match to backers

FONT: Arial Shown as example.

Channel letters to mount to fabricated
5" x 5" aluminum raceways.
Painted to match canopy color.

Installation:

Letters and raceway to be installed
on canopy with 3/8" bolts and nuts.
Power to be run to raceway.

NOTE:

*Fonts and logos to match commercial
retail tenant branding collateral.*

*Paint colors for letters and logos to
match retail tenant branding collateral.*



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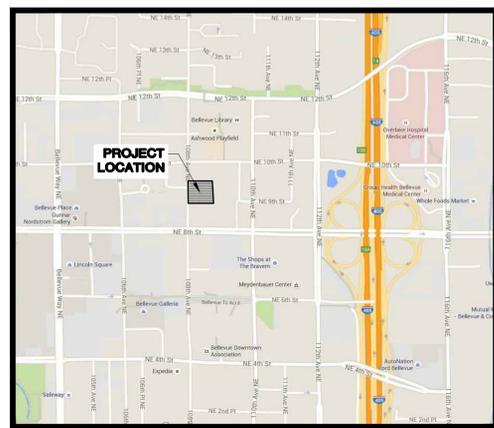
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05

VICINITY MAP

N.T.S.



SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON
GRID F-6

APPLICANT/DEVELOPER:

CD HERITAGE LLC

16541 REDMOND WAY #277
REDMOND, WA 98052
CONTACT: DAVID MEISSNER
PHONE: (206) 623-8587

SURVEYOR:

GEODIMENSIONS, INC.

35402 SE CENTER STREET,
SNOQUALMIE, WA 98065
CONTACT: EDWIN GREEN, JR
PHONE: (425) 458-4488

ENGINEER:

PACE ENGINEERS

11255 KIRKLAND WAY, SUITE 300
KIRKLAND, WA 98033
CONTACT: JOHN WEED
PHONE: (425) 827-2014

GEOTECHNICAL:

GEOTECH CONSULTANTS, INC.

13256 NORTHEAST 20TH STREET, SUITE 16
BELLEVUE, WA 98005
CONTACT: JAMES STRANGE
PHONE: (425) 747-5618

LEGEND

---	PROPERTY LINE	[Pattern]	PROPOSED ASPHALT PAVING
---	BUILDING OVERHANG	[Pattern]	PROPOSED CEMENT CONCRETE
---	SAWCUT LINE	[Pattern]	PROPOSED LANDSCAPE
---	PROPOSED GRADES	[Pattern]	2" GRIND AND OVERLAY
---	EXISTING GRADES	[Pattern]	PROPOSED CURB
---	PROPOSED RETAINING WALL	[Pattern]	CATCH BASIN TYPE 1
---	PROPOSED STORM DRAINAGE	[Pattern]	STORMFILTER MANHOLE
---	PROPOSED FORCE MAIN	[Pattern]	PUMP STATION MANHOLE
---	PROPOSED SANITARY SEWER	[Pattern]	
---	PROPOSED WATER LINE	[Pattern]	
---	PROPOSED LANDSCAPE DRAIN	[Pattern]	
---	PROPOSED GAS LINE	[Pattern]	

SURVEY INFORMATION

LEGAL DESCRIPTION:

PARCEL 1

THE WEST 170 FEET OF THE SOUTH 78.75 FEET OF THE NORTH 315 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON;

EXCEPT THE WEST 30 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEED RECORDED UNDER KING COUNTY RECORDING NUMBER 2344783

PARCEL 2

THE WEST 170 FEET OF THE SOUTH 78.75 FEET OF THE NORTH 236.25 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON;

EXCEPT THE WEST 30 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEED RECORDED UNDER KING COUNTY RECORDING NUMBER 2344783.

BASIS OF BEARINGS:
NAD 83(91) WASHINGTON NORTH COORDINATE SYSTEM PER GPS OBSERVATIONS BETWEEN FOUND QUARTER SECTION MONUMENTS, BEARS N 46°05'48" E

BASIS OF ELEVATION:
NORTH AMERICAN VERTICAL DATUM OF 1988 AS ADOPTED BY THE CITY OF BELLEVUE.

REFERENCES:
DEED PER TITLE REPORT PROVIDED BY FIDELITY NATIONAL TITLE OF WASHINGTON, INC. ESCROW NO. 20369170-410-KA6. EFFECTIVE DATE MAY 8, 2014 AT 8:00 AM.

SURVEYOR'S NOTES:

- THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2014. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. GEODIMENSIONS ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
- SUBJECT PROPERTY TAX PARCEL NO. 057300-0055
- SUBJECT PROPERTY AREA PER THIS SURVEY IS 22,050± S.F. (0.51± ACRES)
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE REPORT, PROVIDED BY FIDELITY NATIONAL TITLE OF WASHINGTON, INC. ESCROW NO. 20369170-410-KA6. EFFECTIVE DATE MAY 8, 2014 AT 8:00 AM.
- INSTRUMENTATION FOR THIS SURVEY WAS A TRIMBLE ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

NOTE:

THE BOUNDARY, TOPOGRAPHIC INFORMATION AND MAP FEATURES SHOWN HEREON WAS PROVIDED BY GEODIMENSIONS. PACE CLAIMS NO RESPONSIBILITY TO ITS ACCURACY OR COMPLETENESS OR LIABILITY FOR ITS USE.

PROJECT ADDRESS

846 108TH AVE NE
BELLEVUE, WA 98004

PROJECT DESCRIPTION

THE 846 108TH AVENUE PROJECT IS PLANNED AS A 219' RESIDENTIAL TOWER, LOCATED ON THE EAST SIDE OF 108TH AVE NE IN BETWEEN NE10TH PL AND NE 8TH ST IN DOWNTOWN BELLEVUE, WASHINGTON ON A 22,050 SF SITE (0.51 ACRES). THE RESIDENTIAL TOWER CONSISTS OF 159 TOTAL UNITS WITH AN AVERAGE UNIT SIZE OF ±733 SF. PARKING CONSISTS OF 211 CAR STALLS AND BARRIER-FREE STALLS IN AN UNDERGROUND GARAGE AND 7 CAR AND BARRIER-FREE STALLS AT GRADE, TOTALING 218 SPACES (5 LEVELS BELOW-GRADE / 1 LEVEL AT GRADE).

DENSITY CALCULATIONS

TOTAL SITE AREA:	22,050 SF (0.51 AC)
DU/AC (PERMITTED):	N/A
40% SLOPE AREA:	N/A
BUFFER AREA:	N/A
CRITICAL AREA MITIGATION:	N/A
BUILDABLE AREA:	22,050 SF (0.51 AC)
DEVELOPMENT FACTOR:	N/A
MAX DU POTENTIAL:	N/A

DEVELOPMENT SUMMARY

PROPERTY:	22,050 SF (0.51 AC)
IMPERVIOUS SURFACE COVERAGE:	18,155 SF (0.42 AC)
LANDSCAPE AREAS:	3,895 SF (0.09 AC)

CUT/FILL VOLUME: 30,000 CY CUT

NUMBER OF UNITS: 159 UNITS
PROPOSED DENSITY: N/A

PARKING SUMMARY (ALL STD)

GARAGE (SPACES):	211 STALLS
VISITOR PARKING:	3 STALLS + 2 ADA
RETAIL:	2 STALLS

TOTAL: 219 STALLS
RATIO: AVG. 1.33/DU

LAND USE ZONING: DNTN-R

SITE CONDITIONS

THIS SITE IS FULLY DEVELOPED WITH AN OFFICE BUILDING AND PARKING LOT.

PARKING CALCULATIONS

PARKING REQUIREMENTS (PER BMC 20.20.590)

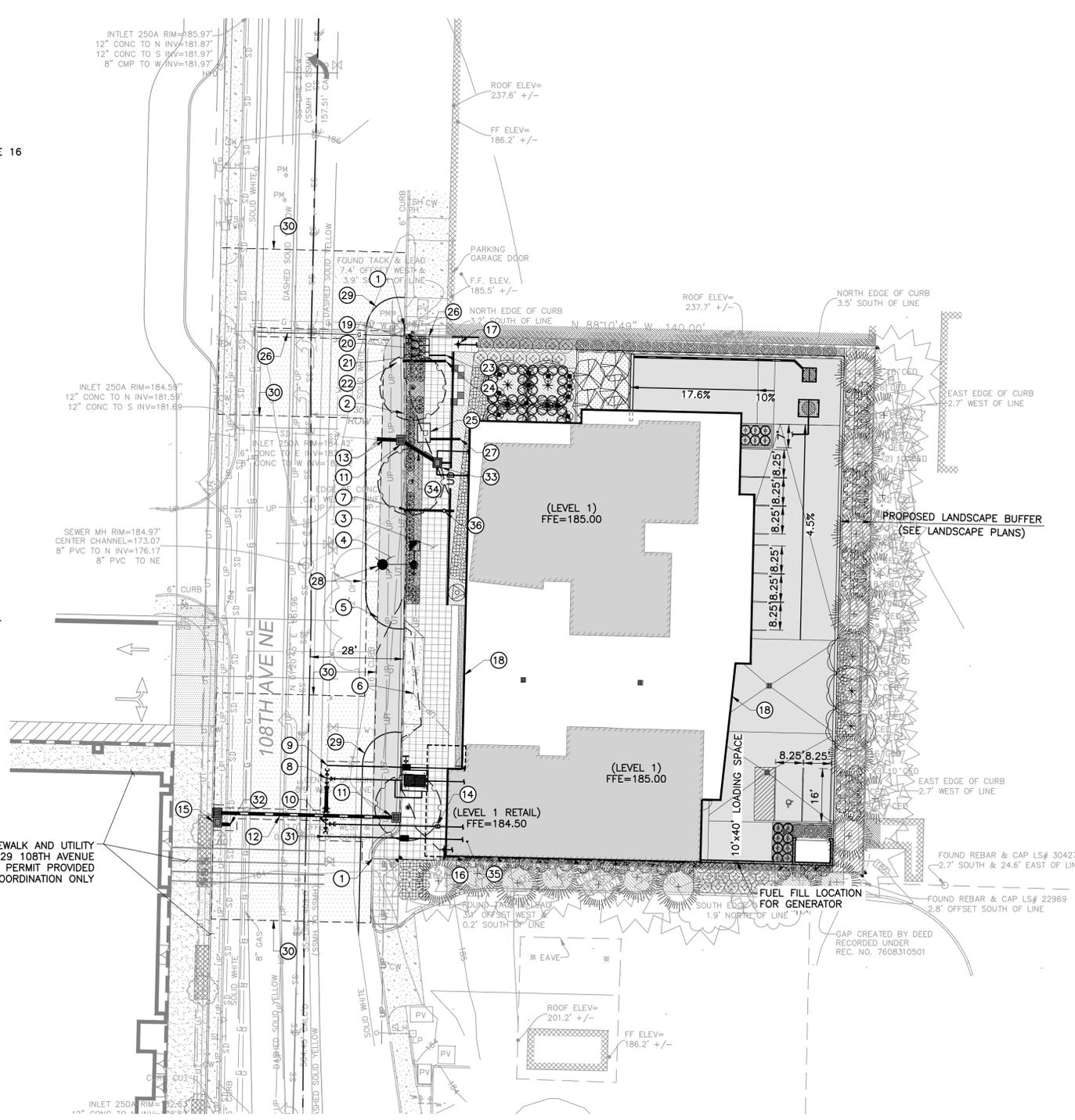
REQUIRED: 1-2 SPACES PER UNIT (THREE OR MORE BEDROOMS)
• 159 UNITS = 159 SPACES

PROVIDED: 1.33 SPACES PER UNIT (211 TOTAL) + 3 VISITOR
PARKING SPACES + 2 RETAIL + 2 ADA
• TOTAL = 219 SPACES

GENERAL NOTES:

- TIE INTO EX. CURB
- NEW CURB AND GUTTER PER TE-10
- NEW SIDEWALK PER TE-11
- PAVEMENT RESTORATION PER CITY STANDARDS
- SAWCUT AND REMOVE EX. CURB AND SIDEWALK
- NEW 26" DRIVEWAY PER DEV-7E
- NEW 8" PVC SIDE SEWER, S-17, TIE INTO EXISTING PIPE
- NEW 4" DOMESTIC WATER SERVICE WITH DOUBLE CHECK AND CUT-IN TEE CONNECTION PER W-33 AND DETAIL SHEET 9
- NEW 1" IRRIGATION SERVICE PER W-23, W-36
- NEW 6" FIRE SERVICE WITH CUT-IN TEE, PROVIDE DCVA INTERIOR OF BUILDING
- NEW TYPE 1 CB WITH VANED GRATE PER COB DETAIL D-2, D-6
- NEW 8" DI PIPE @ 0.5% MIN. PER COB DETAIL D-46
- NEW 8" DI PIPE @ 1% MIN. PER COB DETAIL D-46, TIE INTO EXISTING STORM PIPE
- NEW PIV
- NEW STORMFILTER CB WITH SOLID COVER PER DETAIL SHEET 8
- NEW FOUR-WAY WALL MOUNTED 2-1/2" FIRE DEPARTMENT CONNECTION WITH 6" DI FDC LINE
- NEW FOUR-WAY FREE STANDING 2-1/2" FIRE DEPARTMENT CONNECTION WITH 6" DI FDC LINE
- NEW 4" WIDE FOG LINE
- COMMUNICATIONS VAULT (USE TBD)
- CONDO INTERNET VAULT
- COMCAST VAULT
- EX. CENTURYLINK MH
- 1-4" CONDUIT
- 2-4" CONDUITS
- PSE VAULT
- GAS SERVICE
- POWER CONDUIT
- EXISTING STREET LIGHT TO BE REMOVED AND NEW STREET LIGHT INSTALLED PER STREET LIGHTING PLAN
- NEW 4" WIDE FOG LINE
- 2" GRIND & OVERLAY LIMITS
- NEW 1-1/2" COMMERCIAL WATER SERVICE, PROVIDE RPBA INTERIOR OF BUILDING
- CONNECT OUTLET OF STORMFILTER TO EXISTING STORM PIPE
- NEW TYPE 1 CB WITH SOLID COVER PER COB DETAIL D-2, D-8, CONNECT FORCE MAIN, ROOF DRAIN, AND UNDERDRAIN
- NEW 8" DI PIPE @ 1% MIN. PER COB DETAIL D-46
- LOCATE DCVA WITHIN THE WATER SERVICE ENTRY ROOM, SEE MECHANICAL PLANS
- SIDE SEWER CLEANOUT PER COB DETAIL S-16

BUILDING/SIDEWALK AND UTILITY IMPROVEMENTS FOR 929 108TH AVENUE NE NOT PART OF THIS PERMIT PROVIDED FOR COORDINATION ONLY



CALL BEFORE YOU DIG 811
UNDERGROUND SERVICE (USA)



PACE
An Engineering Services Company
11255 Kirkland Way, Suite 300
Kirkland, WA 98033
p. 425.827.2014 f. 425.827.5043
Civil | Structural | Planning | Survey
paceengr.com

JOHN WEED
Professional Engineer
No. 28830
10/8/2015

BELLEVUE TOWER
846 108TH AVE NE
BELLEVUE, WA 98004

SCALE:	DATE:
AS SHOWN	10/8/15
DESIGNED BY:	CHECKED BY:
DH	JW
JOB NUMBER	
15399	
DWG NAME:	
P15399-SP B	
SHEET 3 OF 15	

BUILDING PERMIT SET – PRELIMINARY NOT FOR CONSTRUCTION

FILE NAME: P:\P15\15399 BELLEVUE TOWER 108TH AVE NE\CAD\ENGINEERING\SHEETS\P15399-SP B.DWG
 SAVE TIME: 10/8/2015 9:21:47 AM
 PLOT TIME: 10/23/2015 10:51 AM
 XREF FILES: X15399-SRV, X15399-UT, X15399-HA, X15399-BDR

DATE	
REVISION	
SYM	

CITY OF BELLEVUE LAND USE CODE ANALYSIS, R DISTRICT

FAR AMENITY INCENTIVE SYSTEM WORKSHEET, RESIDENTIAL

PROJECT NAME: 846 108th Ave NE **District:** DNTN-R **Project Number:** 15-113442 LD
Location: 846 108th Ave NE **Res/Non Res:** Residential **Date Prepared:** 11-16-15

Lot Area (SF): 22,050 **Project Limits (Net On-Site Land Area) (SF):** 22,050

FAR CALCULATIONS	Basic	Maximum (Y)
Allowable Floor Area Ratio, Residential (FAR)	2.0	5.0
Allowable Floor Area	44,100	110,250
Minimum Basic Required Amenity Floor Area (.2 x .5 x Project Limit)		2,205
Bonus FAR provided by Affordable Housing (.75 FAR BONUS)		16,538

AMENITIES (See LUC, Design Criteria, Pp 124-132)

BASIC REQUIRED AMENITIES	Unit of Measure	Bonus Per Unit	Maximum Points (B)	Area or Value	
Pedestrian Oriented Frontage*	1 lf	100.0	n/a	0	0
Pedestrian Oriented Frontage**	1 lf	50.0	n/a	0	0
Landscape Feature on intersection	1 sf	8.0	n/a	0	0
Landscape Feature	1 sf	4.0	n/a	2,040	8,160
Arcade	1 sf	6.0	n/a	0	0
Marquee	1 sf	2.0	n/a	247	494
Awning	1 sf	1.0	n/a	0	0
Sculpture or Artwork	\$100	5.0	n/a	\$0	0
Water Feature	\$100	8.0	n/a	\$0	0
Earned Basic Amenity Points					8,654

ADDITIONAL BONUS AMENITIES					
Exterior Plaza	1 sf	4.0	20,000	0	0
Enclosed Plaza	1 sf	2.0	n/a	0	0
Landscape Area	1 sf	1.0	n/a	4,348	4,348
Active Recreation Area	1 sf	1.0	n/a	0	0
Underground Parking	1 sf	3.0	n/a	83,464	250,392
Above Grade Parking, Residential	1 sf	4.0	n/a	0	0
Public Meeting Rooms	1 sf	2.0	n/a	0	0
Child Care Services***	1 sf	8.0	n/a	0	0
Retail Food	1 sf	2.0	60,000	0	0
Public Restrooms	1 sf	4.0	n/a	0	0
Space for Non-Profit Social Services	1 sf	4.0	20,000	0	0
Park Property Donation	1 sf	5.0	n/a	0	0
Residential Entry Courtyard	1 sf	4.0	6,000	0	0

TOTAL EARNED ADDITIONAL AMENITY BONUS POINTS 254,740
TOTAL EARNED AMENITIES POINTS 263,394

PROJECT PROGRAM	
Proposed Building Gross Floor Area	251,356
Floor Area Exempt from FAR	124,752
Net Floor Area for FAR Calculation	126,604
Maximum Allowable Building Floor Area	110,250

ANALYSIS OF AMENITY BONUS POINTS	
Earned Basic Amenity Points	8,654
Required Basic Amenity Points	2,205
Surplus Basic Amenity Points	6,449

ENVIRONMENTAL CHECKLIST

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

INTRODUCTION**Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

Use of a Checklist for Nonproject Proposals: *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

Attach an 8 ½" x 11 vicinity map which accurately locates the proposed site.

Sally Nichols
Nov. 14, 2015

BACKGROUND INFORMATION

Property Owner: CD Heritage LLC ✓

Proponent: Dave Meissner ✓

Contact Person: David Johnson *Hewitt Arch*

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 101 Stewart St Suite 200 ✓
Seattle WA 98101

Phone: (206) 834-3822 ✓

Proposal Title: 846 108th Avenue NE ✓

Proposal Location: 846 108th Avenue NE, Bellevue, WA, 98004
(Street address and nearest cross street or intersection) Provide a legal description if available.

County Parcel Number: 2925059087
Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: The project is a new mixed-use building in the North Downtown Zone in the city of Bellevue. The project will be 19 stories of concrete construction above grade and ✓

2. Acreage of site: .51 acres ✓

3. Number of dwelling units/buildings to be demolished: 1 ✓

4. Number of dwelling units/buildings to be constructed: 157 units ✓

5. Square footage of buildings to be demolished: 12,646 square feet ✓

6. Square footage of buildings to be constructed: 253,883 square feet (approx) ✓

7. Quantity of earth movement (in cubic yards): 30,000 CY ✓

8. Proposed land use: The project is a new mixed-use building in the North Downtown Zone in the city of Bellevue. ✓

9. Design features, including building height, number of stories and proposed exterior materials:

The project will be 19 stories of concrete construction above grade and approximately five stories of below grade parking. The street level will house retail uses and a residential lobby. The balance of the area will be ✓

10. Other *service/ commercial*

Estimated date of completion of the proposal or timing of phasing: ✓

December 4th, 2017

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. ✓

No

SN

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

- Geotechnical Engineering Study prepared by Geotech Consultants *July 3, 2014*
- Acoustic/Noise analysis to be prepared by consultant to ensure compliance with noise mitigation requirements *15-113442-LD*
- Traffic Impact Analysis to be prepared by Gibson Traffic Consultants in cooperation with City staff and based in part on *Continuation of Approval*

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None beyond the date this checklist was submitted.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Design review approval through the City of Bellevue, Building Permit through the City of Bellevue, Clearing and Grading permit through the City of Bellevue, Demolition Permit to demolish existing building, Shoring permit, Mechanical permit, Electrical permit, Plumbing Permit, Fire Permit, Sign Permit, Sewer/Water/Storm Connection Permits, Right of Way

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development
Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)? Site is flat.

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Post-glacial deposits over glacial till to a depth of about 33 - 45 feet.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No.

Geotech Report prepared by Geotech Consultants, July 3, 2014

- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

There is a need to excavate for a 5 level subterranean garage. The excavation will require approximately 30,000 cubic yards of cut and fill.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.
Yes, during excavation but site is self contained and no sediment discharge is expected to leave the property.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?
Approximately 90% of the site will be covered with impervious surfaces after the project construction is completed.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:
An erosion and sedimentation control plan will be implemented to minimize the erosion of soils from the site. The plan will include provisions for establishing clearing limits, cover measures, perimeter protection, traffic area stabilization, sediment retention, surface water control, and dust control. Erosion control measures that will be implemented will include filter fabric fence, seeding and mulching, stabilized rock construction

✓ Erosion control per C&G inspection and BCC 23.76

✓ C&G Permit

✓ BCC 23.76 C&G code - erosion & sediment control

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

During construction the only emissions to the air would come from the machinery and the dust in the normal course of construction. Once the project is complete the only emissions to the air would be a product of automobile odors come in and out of the site.*

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.
During construction the only emissions to the air from off-site sources would come from the machinery in the normal course of construction.
- c. Proposed measures to reduce or control emissions or other impacts to the air, if any: ✓

A dust control plan will be implemented throughout the project to reduce the impacts of dust emissions during the construction phase. The residential areas and retail will be equipped with insulated glass and a central HVAC system to help control and mitigate interior temperatures and reduce exterior noise and emissions.

Construction Dust suppression measures per BCC 23.76

3. WATER

- a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No ponds, lagoons or waste pits.

(2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

No.

SW

(3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. ✓

Not applicable.

(4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. ✓

No.

(5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. ✓

No, located in FEMA flood zone X.

(6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. ✓

No, the only waste discharge from this project will be to the sanitary sewer system.

b. Ground

(1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description. ✓

No, unless required temporarily for dewatering during construction.

(2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. ✓

Not applicable.

c. Water Runoff (Including storm water)

(1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. ✓

Sources of runoff from the site include roof drainage, and runoff from sidewalks, driveways, and landscaped areas. The runoff will be collected in roof drains and catch basins and routed through an on-site detention facility and discharged to the city's piped storm drainage conveyance system.

(2) Could waste materials enter ground or surface waters? If so, generally describe. ✓

No.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any: ✓

Runoff will be routed through an on-site detention facility to control runoff rates. Pollution generating surfaces will be routed through water quality facilities prior to discharge to the detention facility.

*Per Utilities
code 24.06 -
storm and surface
water*

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

See Landscape Plan, Sheet ~~XXX~~* L1.101-103 and L3.004
majority of veg removed and replaced, see landscape plan

c. List threatened or endangered species known to be on or near the site. ✓

None.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: ✓

See Landscape Plan, Sheet ~~XXX~~* L1.101-103 / L3.004

*Robust landscaping
on ground level and
on rooftop terraces*

5. ANIMALS

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site: ✓

- Birds: hawk, heron, eagle, songbirds, other:
- Mammals: deer, bear, elk, beaver, other:
- Fish: bass, salmon, trout, herring, shellfish, other:

*general -
animal in
urban environment*

en

b. List any threatened or endangered species known to be on or near the site. ✓

None.

c. Is the site part of a migration route? If so, explain. ✓

No.

d. Proposed measures to preserve or enhance wildlife, if any: ✓

Not applicable.

Birds w/in Pacific Flyway, which encompasses entire Puget Sound region

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc. ✓

Electric and Natural Gas.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. ✓

No.

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any: ✓

Passive solar measures by shading and proper building orientation.

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. ✓

No.

(1) Describe special emergency services that might be required. ✓

Not applicable.

C & B Code - BCC 23.76 DOE chapters in WAC

(2) Proposed measures to reduce or control environmental health hazards, if any. ✓

Not applicable.

Construction Dust Suppression 23.76 BCC

b. Noise

(1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)? ✓

None.

(2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site. ✓

Short term noise: Normal construction related noise generated by construction equipment and machinery.

Hours: Construction hours as permitted by City ordinance. ✓

(3) Proposed measures to reduce or control noise impacts, if any: ✓

All reasonable measures to minimize noise impact are expected of the construction crew. ✓

Construction noise and hours per use of best available noise suppression techniques & equip. during construction - condition of approval

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties? ✓

Site: Office Building

b. Has the site been used for agriculture? If so, describe. ✓

No.

c. Describe any structures on the site.

Existing two (2) story office building and parking lot. ✓

d. Will any structures be demolished? If so, what? ✓

One (1) office building.

e. What is the current zoning classification of the site? ✓

DNTN-R

f. What is the current comprehensive plan designation of the site? ✓

DNTN-R

g. If applicable, what is the current shoreline master program designation of the site? ✓

Not applicable.

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. ✓

No.

i. Approximately how many people would reside or work in the completed project? ✓

~~155~~ units with approximately 304 people would reside in the project.

j. Approximately how many people would the completed project displace? ✓

None.

W

k. Proposed measures to avoid or reduce displacement impacts, if any: ✓

Not applicable.

i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: ✓

Proposed use is the intended and designated use for the zone.

*DNTN-R
(Downtown
Residential)
Use is residential*

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. ✓

159 ~~X~~ new residential units of independent living units

** includes affordable units
10,591 SF
LUC 20, 20, 128*

"affordable"

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. ✓

No housing units will be eliminated, currently the site has a two (2) story office building and parking lot located on it.

c. Proposed measures to reduce or control housing impacts, if any: ✓

Proposed project is a "community" offering a variety of amenities to the residents via a fitness center, rooftop amenity space with a conference room and kitchen, along with providing a retail space on the ground floor.

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? ✓

The tallest part of the building (mechanical penthouse) will be 219 ft. ⁵ ~~4 ft taller than the~~ ^{15 additional} 215 ft allowed per LUC. *25 ft, 020*

b. What views in the immediate vicinity would be altered or obstructed? ✓

The current site is occupied by a two story office building. The new tower may obstruct views in the buildings to north. ✓ *for interesting view from*

c. Proposed measures to reduce or control aesthetic impacts, if any:

As opposed to a singular building mass that is built to the zero lot line in all directions the building mass has been pulled back from the property lines on sides on Level 1 and Level 2, except to the south which is adjacent to a parking lot. Levels 3 through 19 have been pulled back 20' on all sides and even greater distances on the East and West sides of the property. This should allow adjacent properties and projects to maintain their view corridors while not being 100% completely blocked. ✓

*view does not
oc*

11. Light and Glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur? ✓

The glazing proposed will NOT be mirror glass and so reflective glare will be minimal.

b. Could light or glare from the finished project be a safety hazard or interfere with views? ✓

None are expected.

c. What existing off-site sources of light or glare may affect your proposal? ✓

None, except street lighting and adjacent buildings.

d. Proposed measures to reduce or control light or glare impacts, if any: ✓

Non-reflective glass is proposed for the majority of the building skin along with site lighting will be shielded so glare impact is minimal.

Ext lighting fixture to have cut of shields as other measures to conceal light

12. Recreation

a. What designated and informal recreational opportunities are in the immediate vicinity? ✓

Robert E McCormick Park, Ashwood Playfield, and the Bellevue library are located one block to the NE.

b. Would the proposed project displace any existing recreational uses? If so, describe. ✓

No.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: ✓

Passive recreation is planned for the upper level outdoor deck, second floor outdoor deck and a fitness center will be provided for tenants.

Light and glare regulated per LUC 20.522

13. Historic and Cultural Preservation ✓

a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

No.

b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site. ✓

None.

c. Proposed measures to reduce or control impacts, if any: ✓

Not applicable.

14. Transportation

a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. ✓

Site is bounded by 108th Ave NE. Major interstate serving the area is I-405. (See the site plan). ✓

b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? ✓

Transit service is provided in the immediate subject vicinity. The nearest transit stops are:

_On NE 8th St north of 108th Ave NE (xxx miles from site). Serves Metro routes 246 and 271.

c. How many parking spaces would be completed project have? How many would the project eliminate? ✓

There will be a total of ~~218~~ new parking spaces and 50 existing parking spaces will be eliminated.

211

SN

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓

The project will be improving 108th Ave NE by eliminating the protruding sidewalk along the sites property lines ✓

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

*Title 14 -
Transportation Code
22.16 addresses Trans
Improvement
Program*

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓

*commercial / service
900*

The project consists of a mix of two different uses: residential (159 units) and retail (1000 SF). The net new PM

g. Proposed measures to reduce or control transportation impacts, if any: ✓

imps = 49 tps

Sidewalk, driveway and other improvements that are related to the adjacent streets will be designed and constructed per the City of Bellevue design requirements in order to provide safety and efficiency of vehicular and pedestrian traffic flow. Appropriate off-site traffic impact mitigation may also be required and will be determined in the Traffic Impact Analysis report. ✓

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. ✓

There will be an additional 159 new residential units. There will be a nominal increased need for fire protection, police protection, health care, and schools as the population increases.

b. Proposed measures to reduce or control direct impacts on public services, if any: ✓

Increased needs will be nominal.

16. Utilities

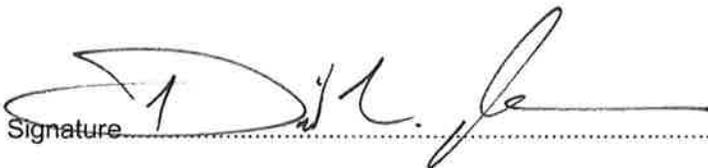
a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other. ✓

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓

Construction Activities - Will include whatever is necessary to provide service for 159 residential units.
City of Bellevue - Will serve potable, sanitary and storm water needs

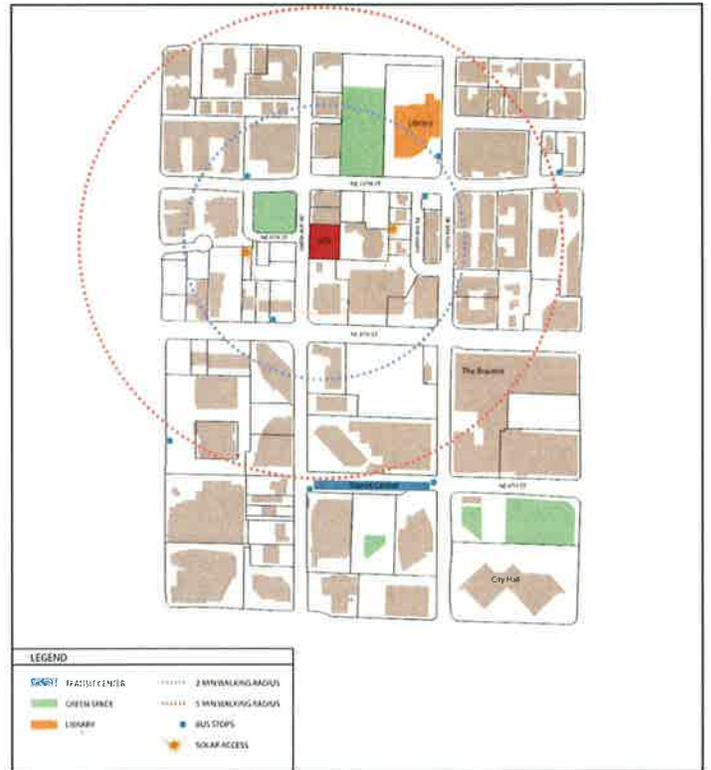
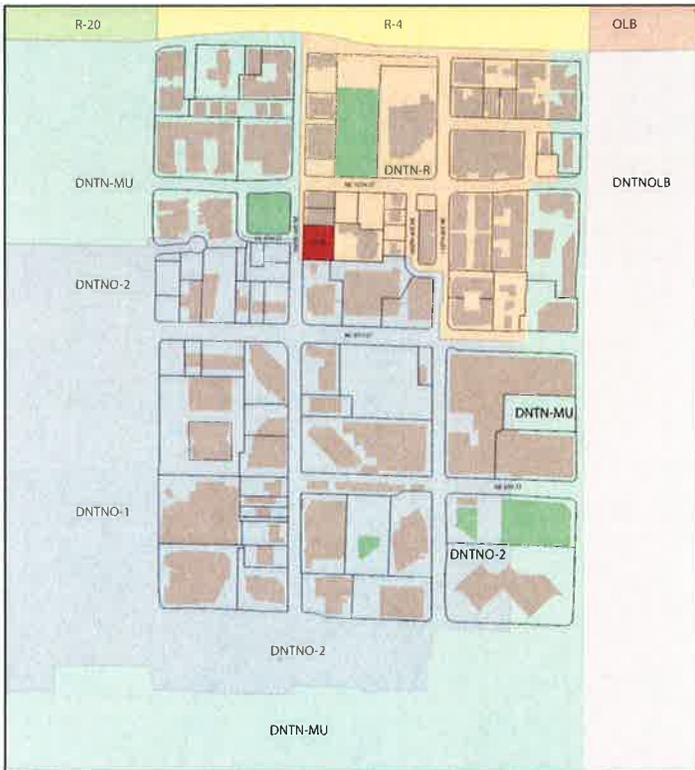
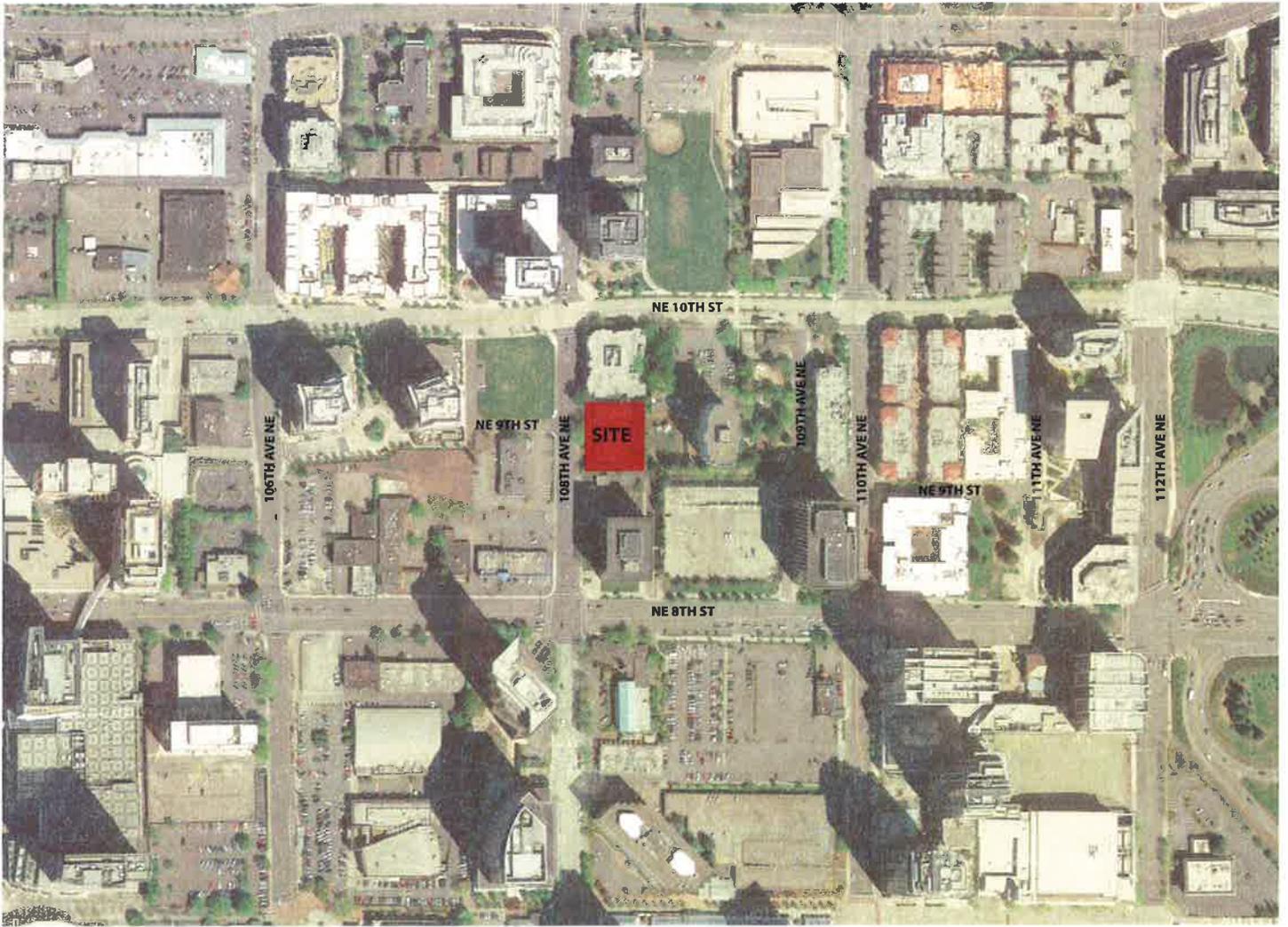
Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature 

Date Submitted 05/11/2015

92



CERTIFICATE OF CONCURRENCY

846 108TH AVENUE NE PROPERTY

This certificate documents the Transportation Department Director's decision that the development project at 846 108th Avenue NE (Design Review File No. 15 113442 LD) complies with the requirements of the Traffic Standards Code (BCC 14.10). This decision reserves 49 p.m. peak hour trips to this project, subject to Process II appeal of either the concurrency determination or the SEPA determination. Building permits have been filed for the project and deemed complete. This concurrency reservation will remain in effect for the life of the building permit application (BCC 23.05.090.H). Upon issuance of the building permit, concurrency is reserved for one year; the applicant may request up to two one-year extensions (BCC 23.05.100.E).


Director, Transportation Department

12/10/15

Date

Certificate No. 93