

ENVIRONMENTAL CHECKLIST

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

INTRODUCTION**Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

Use of a Checklist for Nonproject Proposals: *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

Attach an 8 ½" x 11 vicinity map which accurately locates the proposed site.

ENVIRONMENTAL CHECKLIST

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

BACKGROUND INFORMATION

Property Owner: Fortin Group (Contact: Janine Berryman)

Proponent: Bartell Drugs (Contact: Bob Edwards)

Contact Person: Jenelle Taflin, P.E. (PACLAND)
(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 11400 SE 8th Street, Suite 345, Bellevue, WA 98004

Phone: 425-453-9501 x1511

Proposal Title: Bartell Drugs Building Expansion

Proposal Location: 10116 NE 8th St, Bellevue, WA 98004
(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: Proposed building expansion with associated parking/landscape/storm drainage revisions.
2. Acreage of site: 6.08
3. Number of dwelling units/buildings to be demolished: Portion of the existing building to be demolished.
4. Number of dwelling units/buildings to be constructed: One building expansion is proposed.
5. Square footage of buildings to be demolished: 0
6. Square footage of buildings to be constructed: ~~5,524~~ 5,597 sq. ft.
7. Quantity of earth movement (in cubic yards): ~~350 CY~~ 362.55 CY
8. Proposed land use: Commercial No Change
9. Design features, including building height, number of stories and proposed exterior materials:
Stories: 1, average building height 22'-0" with 16'x16' tower component at 31'-6". Proposed exterior materials include red brick, neutral(gray) colored textured cementitious panel, stucco, concrete, bronze paint.
10. Other

Estimated date of completion of the proposal or timing of phasing:

Completion Spring/Summer 2015

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

A geotechnical engineering report will be prepared.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None known.

14-133615-LJ
14-141102-GD

Permits to shift existing driveway approach on NE 8th Street to the East.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Clear and Grade Permit, Land Use, SEPA, Demo Permit, Building Permit, and associated over-the-counter permits.

14-142357-LJ

Clear and Grade and Building Permits will be required.

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)?

Approx. 8%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Site is currently paved. A geotechnical engineering report will be prepared.

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d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.
Unknown.

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

362 CY

It is anticipated that approximately ~~950 CY~~ of material shall be moved during construction associated with the structural fill placement for the building expansion construction and with the conversion of landscape areas to new pavement areas (and vice versa). Any imported and exported materials shall be obtained and/or transported from an approved and permitted location.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Erosion is possible during construction and will be mitigated by means of T.E.S.C. measures.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Of the approximately 21,102 SF of total project disturbance area, approximately 16,206 SF will be comprised of impervious surface area. 5,524 SF of this area is comprised of the new building expansion.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

The proposed T.E.S.C. measures will include, but not be limited to, temporary silt/construction fence and catch basin silt socks.

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Construction vehicles and equipment will result in increased emissions and dust into the air. After project completion, emissions to the air will be limited to the vehicle exhaust generated by employees and customers.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.
None known.

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

Site will be sprinkled with water during dry construction months as necessary to control dust. Construction vehicles are typically equipped with factory-installed mufflers and spark arresters that will control excessive emissions.

**Construction dust impacts
mitigated through Clear and Grade
code - BCC 23.76**

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3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

No.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

N/A

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No.

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

N/A

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

N/A

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c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Stormwater from the new and replaced impervious surface areas will continue to flow to the existing catch basins along the southern portion of the project site as is the case in the existing condition.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

N/A

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

N/A. A net of approximately 3,650 SF of pollution generating impervious surface area will be converted to non-pollution generating impervious surface area upon project completion.

Project subject to Utility Code BCC 24.06 and any required utility permits for construction.

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

To accommodate the proposed project, portions of the existing landscaping will be removed and replaced in kind elsewhere on the site.

c. List threatened or endangered species known to be on or near the site.

None known.

Installation of new plantings within the parking lot and along the NE 8th Street frontage will meet City of Bellevue landscape requirements. Refer to Site Plan attached.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The project will be landscaped in accordance with City of Bellevue requirements. This landscaping includes parking lot landscaping.

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other: songbirds

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

- b. List any threatened or endangered species known to be on or near the site.

None known.

- c. Is the site part of a migration route? If so, explain.

Unknown

- d. Proposed measures to preserve or enhance wildlife, if any:

The project will be landscaped in accordance with City of Bellevue requirements.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Natural Gas is used.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No.

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

The project will comply with the requirements of the Washington Non-Residential Energy Code.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No.

- (1) Describe special emergency services that might be required.

N/A

- (2) Proposed measures to reduce or control environmental health hazards, if any.

N/A

- b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

Traffic noise from adjacent developments, nearby roads and highways should not affect the proposed project.

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- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

On a short term basis, construction noise at levels typically associated with commercial construction would be created. On a long term basis, noise from customer vehicles will exist. Construction noise shall occur only during City mandated hours. Long term noise shall occur during opening hours.

- (3) Proposed measures to reduce or control noise impacts, if any:
Operation hours for construction activities shall be per City of Bellevue requirements.

Construction noise impacts mitigated by BCC 9.18. This ordinance also regulates hours of construction.

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

The site is surrounded by commercial uses, except for multi-family to the west.

- b. Has the site been used for agriculture? If so, describe.

Not known.

- c. Describe any structures on the site.

One building, which consists of a QFC and Bartell Drugs, exists on the project site.

- d. Will any structures be demolished? If so, what?

A portion of the Bartell Drugs at the southern end of the project site will be demolished.

- e. What is the current zoning classification of the site?

Downtown Mixed Use (DNTN-MU).

- f. What is the current comprehensive plan designation of the site?

~~Commercial.~~ Downtown (DNTN)

- g. If applicable, what is the current shoreline master program designation of the site?

N/A

- h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.

Unknown.

- i. Approximately how many people would reside or work in the completed project?

Approximately 15 employees.

- j. Approximately how many people would the completed project displace?

People do not currently reside at the subject site; therefore, permanent displacement is not applicable.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposed development is consistent with the zoning requirements of the City of Bellevue.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.
N/A

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.
N/A

- c. Proposed measures to reduce or control housing impacts, if any:
N/A

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?
31'-6". Principal materials are red brick and stucco.
- b. What views in the immediate vicinity would be altered or obstructed?
Views of adjacent properties may be altered.
- c. Proposed measures to reduce or control aesthetic impacts, if any:
The project has been designed in accordance with City standards.

Modifications to the building, including exterior color/materials are being reviewed under a Land Use Exemption permit. #14-142357-LJ

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?
Parking lot will be illuminated during evening hours. Vehicle headlights will also produce light and glare.
- b. Could light or glare from the finished project be a safety hazard or interfere with views?
No.
- c. What existing off-site sources of light or glare may affect your proposal?
Parking lot lighting from the adjacent developments and roadways may affect the project site.
- d. Proposed measures to reduce or control light or glare impacts, if any:
Majority of glazing occurs under overhang and/or canopy. Materials proposed are matte finish.

All proposed exterior lighting fixtures are required to incorporate cut off shields to prevent offsite light and glare per LUC 20.20.520

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?
Bellevue Downtown Park is approx. 0.5-mile from the project site. Meydenbauer Beach Park is approx. 0.6-mile from the project site. Robert E McCormick Park is approx. 0.8-mile from the project site.
- b. Would the proposed project displace any existing recreational uses? If so, describe.
N/A
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:
N/A

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.
None known.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.
N/A
- c. Proposed measures to reduce or control impacts, if any:
N/A

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.
The site accesses NE 8th St., 102nd Ave NE, and NE 10th St. by means of five existing driveways.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?
Yes. KC Metro stops are located on NE 8th St., 102nd Ave NE, and NE 10th St., adjacent to the site.
- c. How many parking spaces would be completed project have? How many would the project eliminate?
~~Completed project would have 371 spaces.~~ No spaces eliminated from total (reconfigured).
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).
No.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.
No.
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.
Unknown at this time. The project is expected to generate 15 p.m. peak hour trips. Traffic impact fees will be assessed during building permit review.
- g. Proposed measures to reduce or control transportation impacts, if any:
N/A

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Per the attached Site Plan 'B', the existing retail and office uses require the site to contain 267 parking spaces. After re-striping, the applicant will be providing 359 parking spaces, which meets the LUC requirements for parking in the Downtown.

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.
No.

- b. Proposed measures to reduce or control direct impacts on public services, if any.
The proposed project will implement design to meet or exceed City fire/life/safety codes.

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.
All utilities noted above are applicable, except for septic systems.
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.
Existing utilities will serve the new building expansion.

Signature

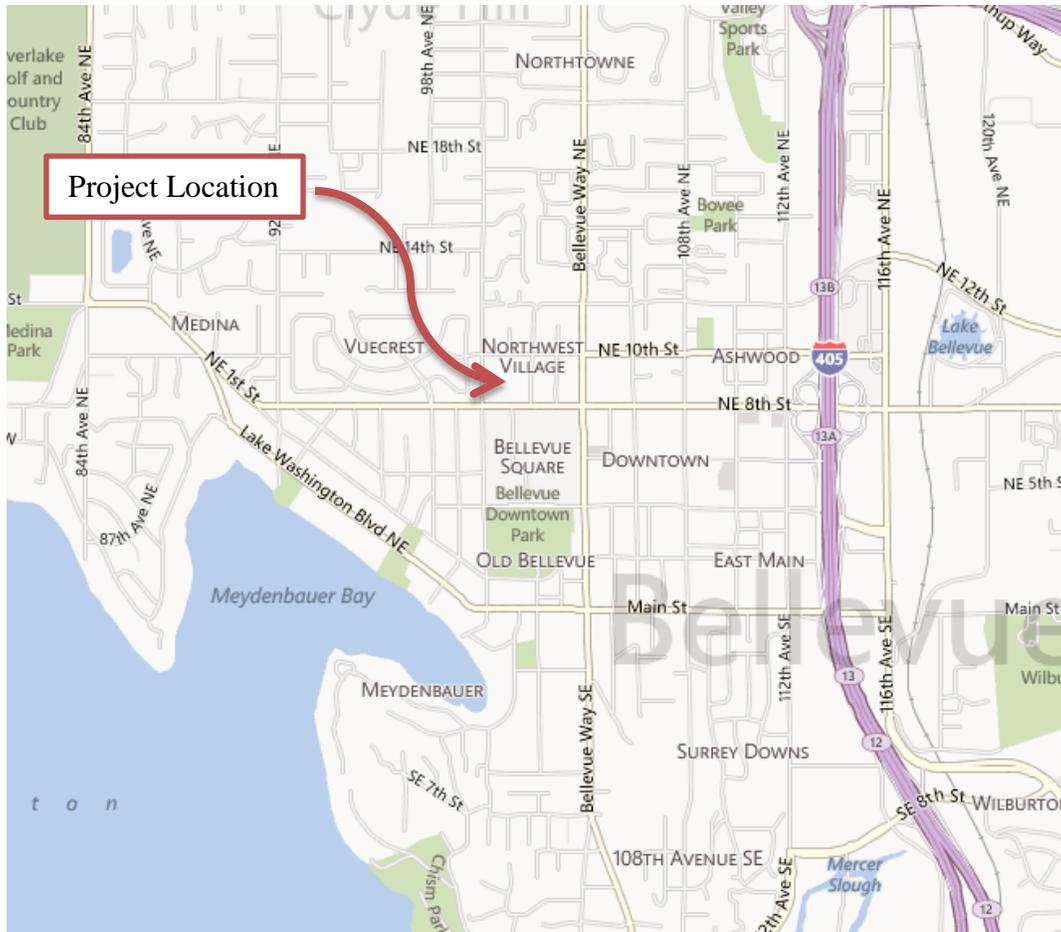
The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

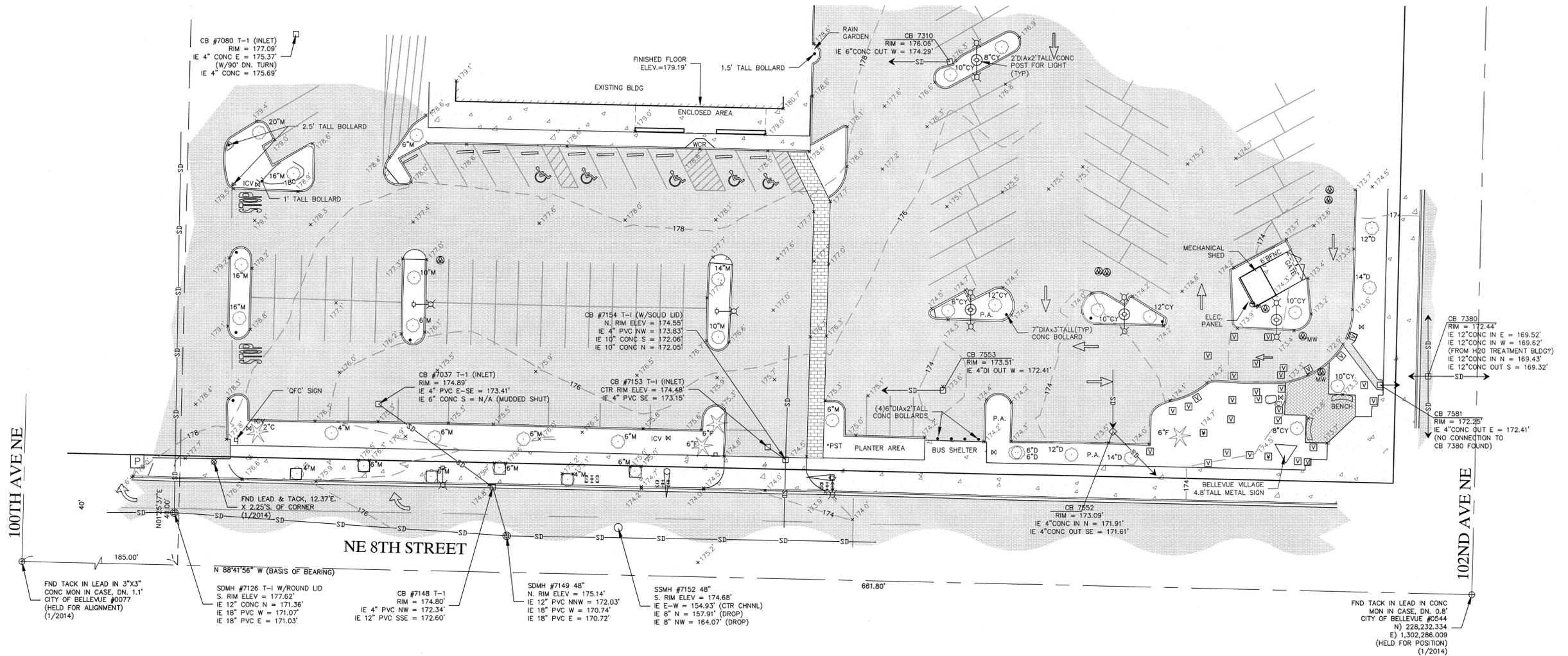
Signature.....
Date Submitted.....10/03/2014.....

- Attachments:**
- Vicinity Map
 - Survey
 - Site Plan
 - Preliminary Landscape Plan
 - Preliminary Clearing and Grading Plan
 - Building Elevations

VICINITY MAP

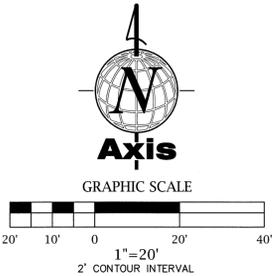
Project: Bartell Bellevue Village Expansion
Date: Friday, October 03, 2014





- LEGEND:**
- FOUND MONUMENT IN CASE POWER VAULT
 - LIGHT STANDARD
 - TRAFFIC SIGNAL
 - TRAFFIC SIGNAL BOX
 - BOLLARD
 - MONITOR WELL
 - SANITARY SEWER MANHOLE
 - CATCH BASIN
 - STORM DRAIN MANHOLE
 - IRRIGATION CONTROL VALVE
 - SIGN
 - LINE CONTINUES
 - SET BENCHMARK
 - POWER METER
 - LARGE ROCK
 - POST
 - HOSE BIB
 - FLOW DIRECTION
 - THROUGH ARROW
 - UNKNOWN VAULT (2.5'x2.5')

- CONCRETE PAVING
- ASPHALT PAVING
- BUILDINGS
- BRICK PAVING
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE



BASIS OF BEARINGS:
 WASHINGTON COORDINATE SYSTEM NORTH ZONE - NAD83(2011)
 HELD N 88°41'56" W BETWEEN CITY OF BELLEVUE CONTROL POINTS #0077 AND #0544.

ORIGINATING BENCHMARK:
 CITY OF BELLEVUE BRASS CAP NO. 27, AS PUBLISHED IN CITY OF BELLEVUE SURVEY DATA.
VERTICAL DATUM: NAVD88
ELEVATION: 186.86'

TBM - A
 CHISELED "SQUARE" @ BACK OF WALK NEAR SW CORNER BLDG
 BELLEVUE PARK CONDO'S
 ELEV=179.47'

TBM - B
 SET "X" ON BRICK IN CENTER TRAFFIC ISLAND, 5.65'S. OF B/C AND 25.0' E. OF W. END OF BRICK WORK
 ELEV=175.23'

LEGAL DESCRIPTION:
 NOT PROVIDED BY CLIENT

REFERENCES:
 1. CONDOMINIUM BELLEVUE PARK APARTMENTS V.30, P.60-63
 (ALL RECORDS OF KING COUNTY, WASHINGTON)

SURVEY NOTES:
 THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 24TH, 2014 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

NO EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA SYSTEM 1200 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-080/090.

EVIDENCE OF OCCUPATION OF LAND (FOR EXAMPLE: FENCES, STRUCTURES, PAVING, GRAVELED SURFACES, ETC.) MAY NOT COINCIDE WITH THE DEEDED BOUNDARY LINES AS SHOWN ON THIS DRAWING. THERE ARE AREAS ON THIS SURVEY APPEARING TO HAVE DISCREPANCIES BETWEEN THE DEEDED BOUNDARY LINES AND CERTAIN EVIDENCE OF OCCUPATION. WHERE DISCREPANCIES EXIST AXIS RECOMMENDS THAT THE OWNER OR POTENTIAL PURCHASER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTION CONTRACTOR PRIOR TO ANY CONSTRUCTION.

SW 1/4, SW 1/4, OF SEC. 29, TWP. 25 N., RGE 5 E., W.M.
 CITY OF BELLEVUE, KING COUNTY, WASHINGTON

REV#	DESCRIPTION OF REVISION	DATE	BY
#1	ADDITIONAL TOPOGRAPHY SURVEY	4/1/14	ERM
#2			
#3			
#4			
#5			
#6			
#7			



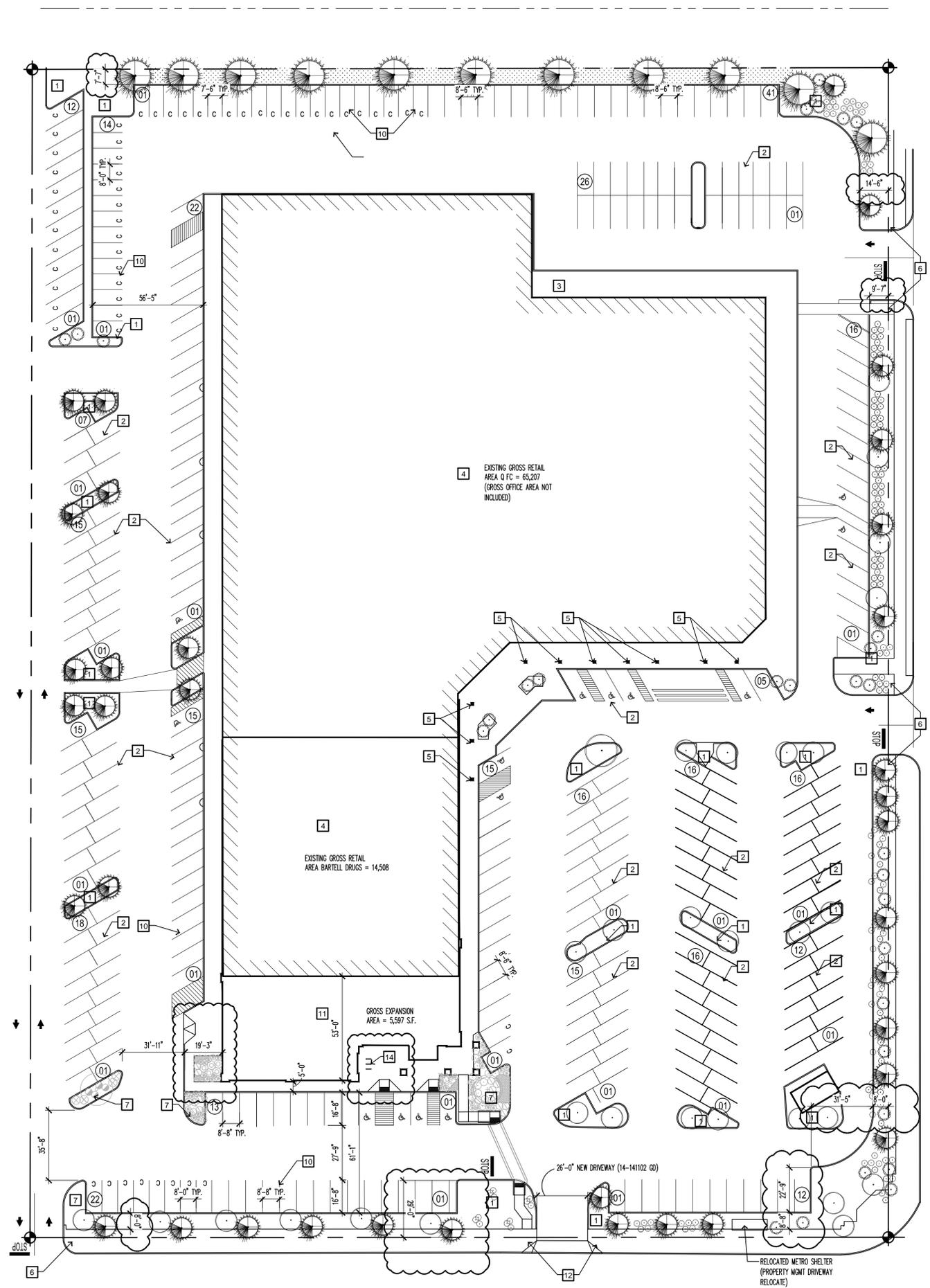
PARTIAL TOPOGRAPHIC SURVEY OF BARTELL DRUGS

PACLAND
 11711 SE 8th St, Suite 303
 Bellevue, WA 98005
 T (425) 453-9501
 F (425) 453-8208
 www.PacLand.com

Axis
 Survey & Mapping
 13005 NE 126th PL
 KIRKLAND, WA 98034
 TEL 425.823-5700
 FAX 425.823-6700

www.axismap.com

JOB NO.	DATE
14-015	4/1/14
DRAWN BY	CHECKED BY
TJO	ZLN
SCALE	SHEET
1"=20'	1 OF 1



SITE PLAN
SCALE: 1" = 30'-0"

KEY NOTES

- 1 EXISTING LANDSCAPE ISLAND TO REMAIN
- 2 EXISTING PARKING LOT STRIPING TO REMAIN
- 3 EXISTING LOADING DOCK AREA TO REMAIN
- 4 EXISTING RETAIL BUILDING FOOTPRINT TO REMAIN
- 5 EXISTING BUILDING COLUMN TO REMAIN
- 6 EXISTING STREET FRONTAGE CURB CUT TO REMAIN
- 7 NEW/RECONFIGURED LANDSCAPE ISLAND
- 8 LANDSCAPE ISLAND TO BE REMOVED
- 9 PARKING LOT STRIPING TO BE REMOVED
- 10 RECONFIGURED PARKING LOT STRIPING
- 11 NEW BUILDING FOOTPRINT
- 12 NEW CURB CUT FOR NEW DRIVEWAY UNDER PERMIT 14-141102 GD
- 13 ACCESSIBLE PARKING SIGNAGE PER 3/A1.3
- 14 BIKE RACKS

SITE PLAN NOTES

A. THE DEVELOPER'S NAME, ADDRESS, AND PHONE NUMBER TO BE CONSPICUOUSLY POSTED AT THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION.

SITE LEGEND

- NEW LANDSCAPING
- NEW CONCRETE SIDEWALK
- EXISTING BUILDING FOOTPRINT
- RETAIL EXPANSION AREA

SITE DATA

SITE ADDRESS: 10116 NE 8TH STREET, BELLEVUE, WA 98004

LEGAL DESCRIPTION: MOUNTAIN VIEW TRS UNREC SW QTR OF SW QTR STR 29-25-05 LESS W 185 FT LESS E 180 FT OF S 190 FT & LESS STREETS -- AKA PORTION OF BLKS 7 & 8 & OF VACATED ST ADJ IN MOUNTAIN VIEW TRACTS UNREC; T&W LOTS 1 & 2 KING CO SHORT PLAT NO 77-13 REC NO 7702010660 SD SP DAF - E 180 FT OF S 190 FT OF SW QTR OF SW QTR STR 29-25-05 LESS STS

PARCEL NUMBER: 570900-0240
JURISDICTION: CITY OF BELLEVUE
SECTION/TOWNSHIP/RANGE: SW-29-25-5
PROPERTY ZONING: DN TN-MU

SITE AREA:	264,800 S.F. (6.08 ACRES)
EXISTING BLDG FLOOR AREA:	
OFC GROSS (RETAIL/OFFICE):	73,025 S.F.
BARTELL GROSS (RETAIL):	14,508 S.F.
TOTAL EXISTING GROSS BLDG FLOOR AREA:	87,533 S.F. (33.0%)
PROPOSED GROSS NEW ADDITION AREA:	5,597 S.F.
TOTAL PROPOSED BUILDING AREA:	93,130 S.F. (35.1%)

FOR LANDSCAPE AND IMPERVIOUS AREA CALCULATIONS, REFER TO CIVIL AND LANDSCAPE PLANS

PARKING REQUIREMENTS & CALCULATIONS:

NOTE: CITY OF BELLEVUE PARKING FOR RETAIL AND OFFICE ARE BASED ON NET SQUARE FOOTAGE. FOR THIS REASON, THE SQUARE FOOTAGES SHOWN BELOW WILL DIFFER FROM EXPANSION SQUARE FOOTAGE NOTED ON ABOVE AND IN PRELIMINARY SEPA APPLICATION.

EXISTING NET S.F. RETAIL (OFC*)	= 46,541 N.S.F.
BARTELL NET S.F. RETAIL (W/ EXPANSION)	= 15,451 N.S.F.
TOTAL NET S.F. RETAIL (W/ EXPANSION)	= 61,992 N.S.F.
EXISTING NET S.F. OFFICE (OFC)	= 7,818 N.S.F.

NET S.F. 61,992 @ 4/1000 S.F. FOR RETAIL USE =	247 STALLS
NET S.F. 7,818 @ 2.5/1000 S.F. FOR OFFICE USE =	20 STALLS
STANDARD STALLS*	130 289
ACCESSIBLE STALLS	8 14
COMPACT STALLS (ALLOWED)	130 56 (18%)
TOTAL PARKING STALLS	267 359

[EXISTING PARKING COUNT = 355 STALLS]

PER BELLEVUE LUC 20.20.590.K, PARKING STALL SIZING IS BASED ON STALL WIDTH AND OVERALL AISLE CONFIGURATION. THESE ARE SHOWN ON SITE PLAN

***BASED ON CORNERSTONE ARCHITECTURAL GROUP PLAN G0.2 DATED 02/03/2014**

BUILDING HEIGHT PER DNTN-MU ZONING:
MAX. ALLOWED BUILDING HEIGHT: 65'
PROPOSED BUILDING HEIGHT (BARTELL): 31'-6"

SITE AREA CALCULATIONS AND CONDITIONS

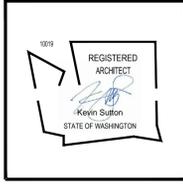
SITE AREA:	264,800 S.F. (6.08 ACRES)
LANDSCAPE AREAS:	
EXISTING TO REMAIN:	20,612 S.F.
NEW/RECONFIGURED:	1,211 S.F.
TOTAL PROPOSED LANDSCAPE AREA:	21,823 S.F. (8.24%)

LANDSCAPE AREAS:	REQUIRED	PROP./EXIST.
NE 8th (STREET FRONTAGE)	8' TYPE III	VARIES 8' TO 29' (EXIST.)
102nd AVE NE (FRONTAGE)	8' TYPE III	VARIES 8' TO 14.5' (EXIST.)
WEST P.L.	N/A - COMMON ACCESSWAY @ THIS P.L.	
NORTH P.L. (PARKING BUFFER)	5' TYPE III	7.5'+ (EXIST.)

EXISTING PERIMETER LANDSCAPING CONSISTS OF A MIX OF MATURE DECIDUOUS AND CONIFEROUS TREES SUPPORTED BY MATURE, SIGHT-OBSCURING SHRUBBERY AND HEDGES OF VARYING HEIGHTS AND SPECIES. TREE SPACING VARIES AND IS, ON AVERAGE, WELL WITHIN THE 30' MAX. ON-CENTER SPACING REQUIRED FOR THESE LANDSCAPE TYPES.

ALONG THE NORTH PROPERTY LINE THE PARKING AREAS SIT WELL BELOW ADJACENT STREET & SIDEWALK GRADE FURTHER BUFFERING ANY IMPACTS OF PARKING AND VEHICULAR CIRCULATION AREAS.

THE WIDTH OF EXISTING LANDSCAPE BUFFERS ARE CONSISTENTLY AT OR ABOVE THE MINIMUM REQUIRED BY CURRENT LAND USE CODE AS SHOWN IN THE TABLE ABOVE.



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Magellan
ARCHITECTS
8883 158th Avenue Northeast, Suite 280
Redmond, Washington 98062
Tel: (425) 885-4300 Fax: (425) 885-4303
www.magellanarchitects.com

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BARTELL DRUGS BELLEVUE VILLAGE
ADDITION AND TENANT IMPROVEMENT
10116 NE 8TH STREET
BELLEVUE, WA 98004

REVISIONS

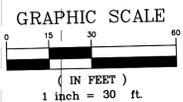
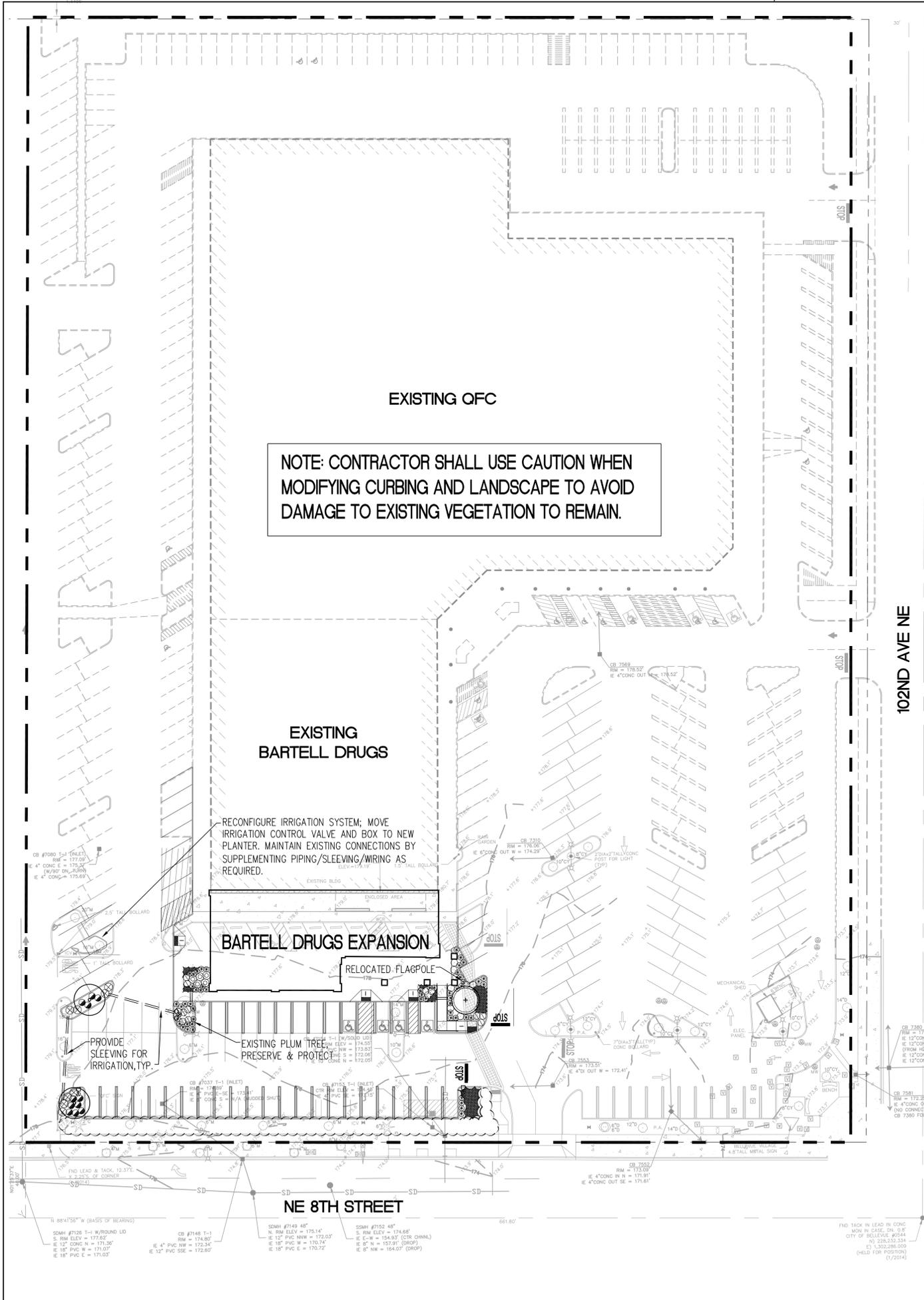
NO.	DATE	BY
1		
2		
3		
4		
5		
6		

ISSUE DATES

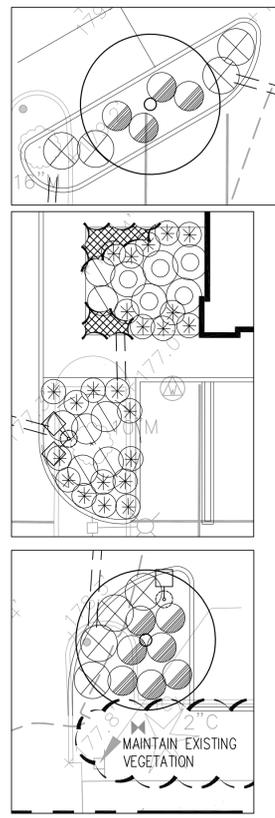
DESIGN APPROVAL: _____
PERMIT SUBMITTAL: _____
PERMIT RECEIVED: _____
BID DOCS: _____
CONSTR. DOCS: _____

24"x36" SCALE: AS NOTED
PLOT DATE: 11-17-2014
CAD FILE: 12-089_A11
JOB NUMBER: 12-089
CHECKED: BT / DM
DRAWN: RY/DYM
STATUS: PRELIM SEPA/LUX

SITE PLAN
A1.2



DETAIL OF PLANTER AREAS
 1" = 10'



PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE/COMMENTS
TREES		
	ACER PSEUDOPLATANUS / SYCAMORE MAPLE	2" CAL., BRANCHED @ 5', SPECIMEN QUALITY
	PRUNUS X BLUREIANA / FLOWERING PLUM	2" CAL., B&B, BRANCHED @ 5', SPECIMEN QUALITY
	PRYUS CALLERYANA 'CAPITAL' / 'CAPITAL' FLOWERING PEAR	2" CAL., B&B, BRANCHED @ 5', SPECIMEN QUALITY
	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING ALASKAN CEDAR	8' MIN. HT., SPECIMEN QUALITY, B&B
SHRUBS		
	PINUS MUGO MUGO / MUGO PINE	5 GAL. CONT., 18" MIN. SPREAD, FULL & BUSHY, SPECIMEN QUALITY
	PRUNUS LAUROCERASUS 'NANA' / DWARF ENGLISH LAUREL	18-24" SPRD., B&B, FULL & BUSHY
	PRUNUS LAUROCERASUS 'OTTO LUYKENS' / OTTO LUYKEN LAUREL	18-24" SPRD., B&B, FULL & BUSHY
	RHODODENDRON 'JEAN MARIE DE MONTAGUE' / 'JEAN MARIE DE MONTAGUE' RHODODENDRON	21-24" MIN. SPREAD, B&B, SPECIMEN QUALITY
	RHODODENDRON 'PMJ' / 'PMJ' RHODODENDRON	18-21" MIN. SPREAD, B&B, SPECIMEN QUALITY
	PHOTINIA FRASERI / FRASERI PHOTINIA	5 GAL. CONTAINER, FULL & BUSHY
	VIBURNUM DAVIDII / DAVID'S VIBURNUM	15-18" SPRD., B&B, OR 5 GAL. CONT., FULL & BUSHY
GRASSES / GROUND COVER		
	NASSELLA TENUISSIMA / MEXICAN FEATHER GRASS	2 GAL. CONT., FULL & BUSHY, PLANT 2' O.C.
	FESTUCA OVINA GLAUCA 'ELIJAH BLUE' / 'ELIJAH BLUE' FESCUE	1 GAL. CONTAINER, FULL & BUSHY, PLANT AT 18" O.C.
	EXISTING VEGETATION, PRESERVE & PROTECT	

PLANTING NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, MOWING, ETC.) OF THE PLANTING AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH BARK MULCH TO A MINIMUM DEPTH OF THREE INCHES. EXCEPTING ROCK AREAS, PROVIDE A MINIMUM 4" DEPTH OF ROUND GRAVEL AND 6" DEPTH OF COBBLESTONES. RAIN GARDEN FACILITY IS NOT TO RECEIVE ANY BARK MULCH, BUT SHALL BE COVERED WITH 2-3" DEEP LAYER OF COMPOST (NO BARK OR GRASS CLIPPINGS).
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN GRAPHICALLY.
- ALL LAWN AREAS ARE TO RECEIVE 4" OF TOPSOIL. ALL LANDSCAPE BED AREAS ARE TO RECEIVE 6" OF TOPSOIL.
- ALL LANDSCAPED AREAS ARE TO BE WATERED VIA AUTOMATIC IRRIGATION SYSTEM.
- INSTALL A WEED BARRIER IN ALL LANDSCAPE BED AREAS.

No.	Date	By	Revision Description
Issue Date:	10/03/2014		
Designed By:	DMD		
Drawn By:	DMD		
Checked By:	TSP		
Project No.	50181001		
	PRELIM		

PACLAND
 250 4th Ave. South
 Suite 101
 Edmonds, WA 98020
 T (425) 775-9808
 F (425) 775-0272
 www.pacland.com

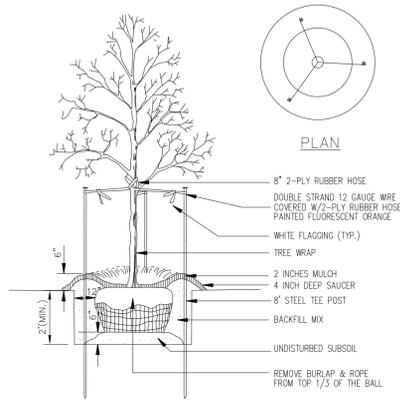
BARTELL DRUGS EXPANSION
 BARTELL DRUGS
 10116 NE 8TH STREET
 BELLEVUE, WA 98004
LANDSCAPE PLAN

14-XXXXXX-BB
 14-XXXXXX-GD
 GRID: X-X



LANDSCAPE DETAILS

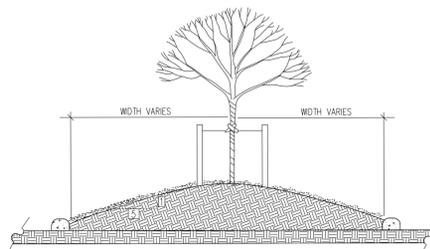
IRRIGATION DETAILS



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

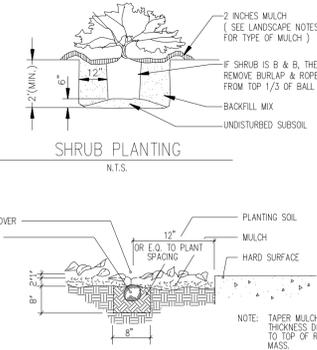
TREE PLANTING

N.T.S.



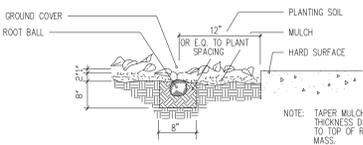
PARKING LOT PLANTING DETAIL

NO SCALE



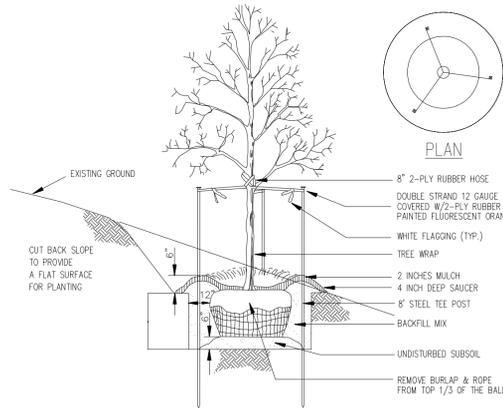
SHRUB PLANTING

N.T.S.



GROUND COVER DETAIL (4" POTS AND SMALLER)

NO SCALE

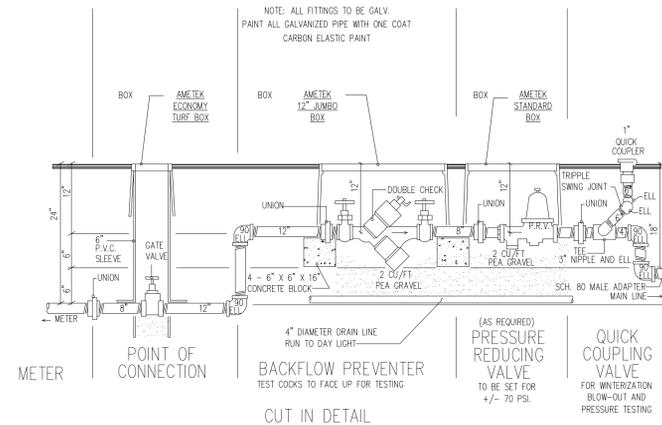


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING ON SLOPE

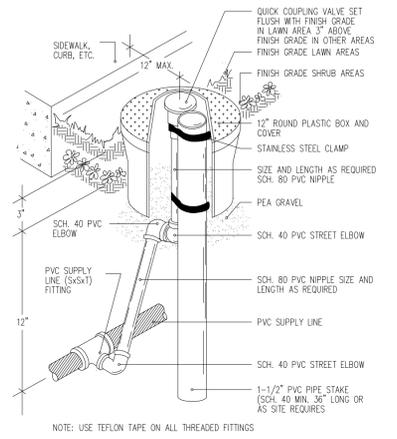
N.T.S.

NOTE: FOR INSTALLATION OF POINT OF CONNECTION WITHIN A STRUCTURE REFER TO THE GENERAL CONTRACTOR AND MECHANICAL ENGINEER / CONTRACTOR.



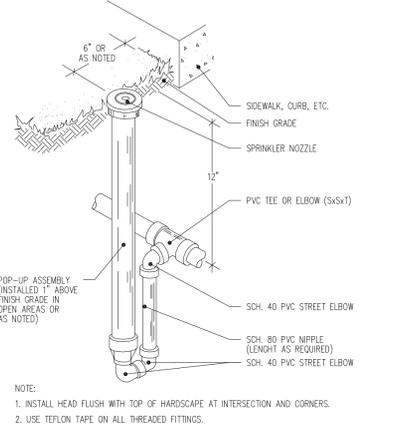
CUT IN DETAIL
INSTALLATION OF POINT OF CONNECTION OUTSIDE OF STRUCTURE

NO SCALE



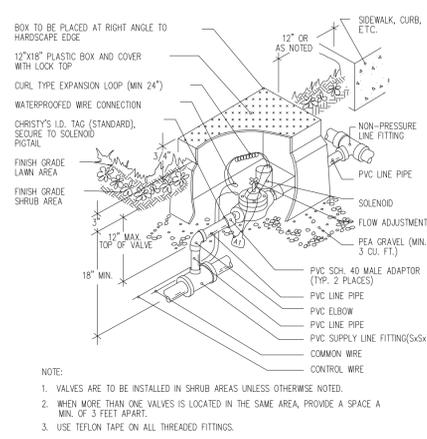
TYPICAL QUICK COUPLING VALVE ASSEMBLY

NO SCALE



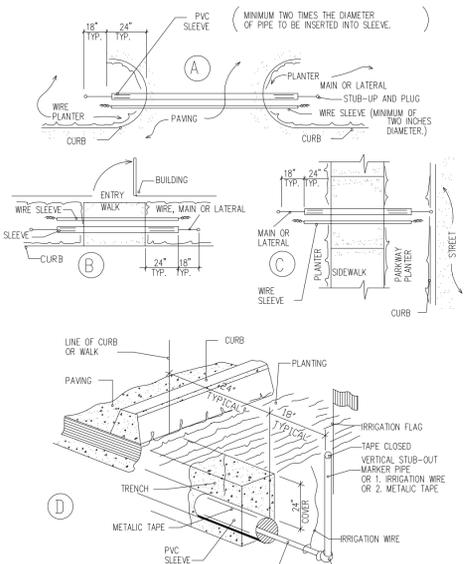
TYPICAL SHRUB HEAD POP-UP ASSEMBLY

NO SCALE



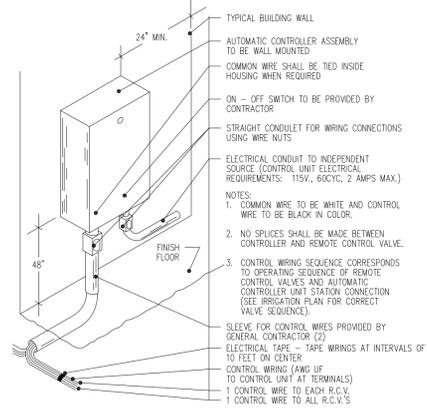
TYPICAL REMOTE CONTROL VALVE ASSEMBLY (STRAIGHT TYPE)

NO SCALE



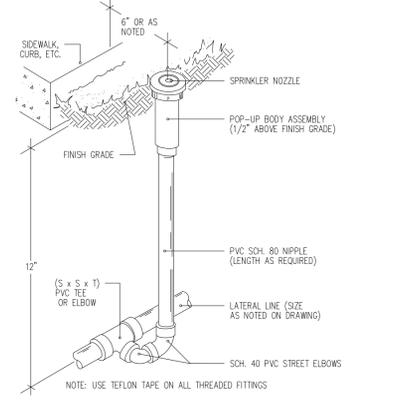
TYPICAL SLEEVING DETAIL

NO SCALE



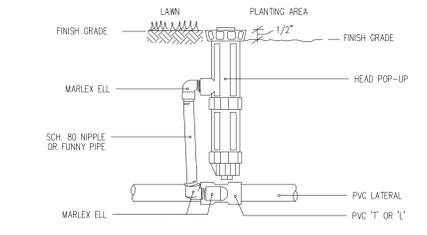
TYPICAL AUTOMATIC CONTROLLER ASSEMBLY (WALL MOUNTED TYPE)

NO SCALE



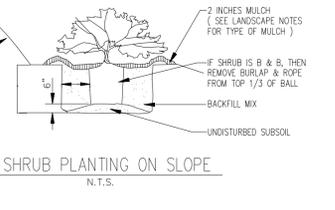
TYPICAL SHRUB HEAD ASSEMBLY (POP-UP TYPE)

NO SCALE



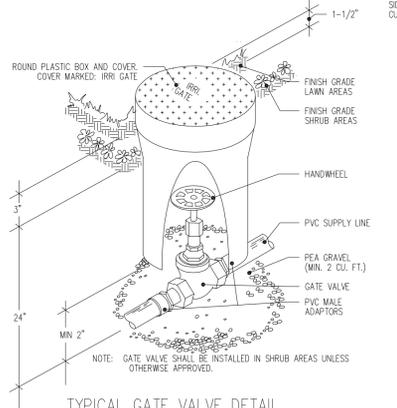
RISER (POP-UP) DETAIL

NO SCALE



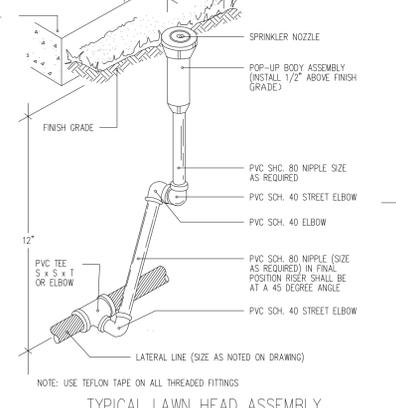
SHRUB PLANTING ON SLOPE

N.T.S.



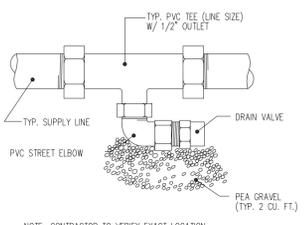
TYPICAL GATE VALVE DETAIL (3" AND SMALLER)

NO SCALE



TYPICAL LAWN HEAD ASSEMBLY

NO SCALE



AUTOMATIC DRAIN VALVE ASSEMBLY

NO SCALE

No.	Date	By	Revision Description

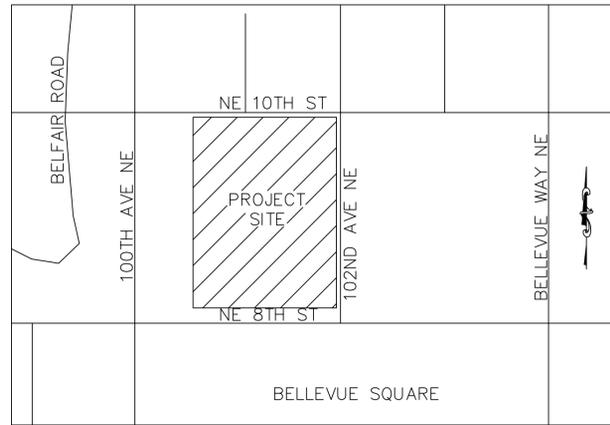
Issue Date:	10/03/2014
Designed By:	DMD
Drawn By:	DMD
Checked By:	TSP
Project No.:	50181001
	PRELIM

PAC LAND
250 4th Ave. South
Suite 101
Edmonds, WA 98020
T (425) 275-9808
F (425) 275-0272
www.PacLand.com

BARTELL DRUGS EXPANSION
BARTELL DRUGS
10116 NE 8TH STREET
BELLEVUE, WA 98004
LANDSCAPE + IRRIGATION DETAILS

14-XXXXXX-BB
14-XXXXXX-GD
GRID : X-X





VICINITY MAP
NTS

BARTELL DRUGS EXPANSION BUILDING PERMIT SUBMITTAL

10116 NE 8TH STREET BELLEVUE, WA 98004

SW 1/4, SW 1/4 SECTION 29, TOWNSHIP 25N, RANGE 5E, W.M.

CONSULTANTS

CIVIL:
 PACLAND
 11235 SE 6TH ST, SUITE 220
 BELLEVUE, WA. 98004
 (425) 453-9501
 CONTACT: JENELLE TAFLIN, P.E.
 JASON GREEN

ARCHITECT:
 MAGELLAN ARCHITECTS
 8383 158TH AVE NE
 SUITE 280
 REDMOND, WA 98052
 (425) 885-4300
 CONTACT: BRIANNE TOMLIN

SURVEYOR:
 AXIS SURVEYING AND MAPPING
 13005 NE 126TH PLACE
 KIRKLAND, WA 98034
 (425) 823-5700 X309
 CONTACT: ZANE L. NALL, PLS

TENANT

BARTELL DRUGS
 4025 DELRIDGE WAY SW
 SUITE 400
 SEATTLE, WA 98106
 BOBE@BARTELLDRUGS.COM
 CONTACT: BOB EDWARDS

OWNER

PROPERTY DEVELOPMENT CORP 4N1398
 PO BOX 1863
 BELLEVUE, WA 98009

EXISTING LEGEND

	FOUND MONUMENT IN CASE		12" M 12" MA	MAPLE
	POWER VAULT		12" C	CEDAR
	LIGHT STANDARD		12" F	FIR
	TRAFFIC SIGNAL			CONCRETE PAVING
	TRAFFIC SIGNAL BOX			BUILDINGS
	BOLLARD			BRICK PAVING
	MONITOR WELL		SS	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE		SD	STORM DRAIN LINE
	CATCH BASIN			
	STORM DRAIN MANHOLE			
	IRRIGATION CONTROL VALVE			
	SIGN			
	LINE CONTINUES			
	SET BENCHMARK			

UTILITIES

WATER/SEWER:
 CITY OF BELLEVUE
 450 110TH AVE NE
 BELLEVUE, WA. 98004
 (425) 452-6932
 CONTACT: TBD

STORM WATER:
 CITY OF BELLEVUE
 450 110TH AVE NE
 BELLEVUE, WA. 98004
 (425) 452-6932
 CONTACT: TBD

ELECTRIC/NATURAL GAS
 PUGET SOUND ENERGY
 355 110TH AVE. NE
 (425) 456-2511
 BELLEVUE, WA 98004

GOVERNING AGENCIES

CITY OF BELLEVUE
 450 110TH AVE NE
 BELLEVUE, WA. 98004
 (425) 452-6800

LEGAL DESCRIPTION

NOT PROVIDED

SURVEY NOTES

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 24TH, 2014 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

NO EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA SYSTEM 1200 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-080/090.

EVIDENCE OF OCCUPATION OF LAND (FOR EXAMPLE: FENCES, STRUCTURES, PAVING, GRAVELED SURFACES, ETC.) MAY NOT COINCIDE WITH THE DEEDED BOUNDARY LINES AS SHOWN ON THIS DRAWING. THERE ARE AREAS ON THIS SURVEY APPEARING TO HAVE DISCREPANCIES BETWEEN THE DEEDED BOUNDARY LINES AND CERTAIN EVIDENCE OF OCCUPATION. WHERE DISCREPANCIES EXIST AXIS RECOMMENDS THAT THE OWNER OR POTENTIAL PURCHASER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTION CONTRACTOR PRIOR TO ANY CONSTRUCTION.

BASIS OF BEARINGS

WASHINGTON COORDINATE SYSTEM NORTH ZONE - NAD83(2011)
 HELD N 88°41'56" W BETWEEN CITY OF BELLEVUE CONTROL POINTS #0077 AND #0544.

REFERENCES

1. CONDOMINIUM BELLEVUE PARK APARTMENTS V.30, P.60-63
(ALL RECORDS OF KING COUNTY, WASHINGTON)

ORIGINATING BENCHMARK

CITY OF BELLEVUE BRASS CAP NO. 27, AS PUBLISHED IN
 CITY OF BELLEVUE SURVEY DATA.
 VERTICAL DATUM: NAVD88
 ELEVATION: 186.86'

⊕ TBM - A
 CHISELED 'SQUARE' @ BACK OF WALK NEAR SW
 CORNER BLDG
 BELLEVUE PARK CONDO'S
 ELEV=179.47'

⊕ TBM - B
 SET 'X' ON BRICK IN CENTER TRAFFIC ISLAND,
 5.65'S. OF B/C AND 25.0' E. OF W. END OF BRICK
 WORK
 ELEV=175.23'

SITE DATA

TOTAL PROPERTY AREA	=	APPROX. 260,618 SF (±5.98 AC)
AREA OF DISTURBANCE	=	APPROX. 21,102 SF (±0.48 AC)
PARCEL NUMBER	=	570900-0240
EXISTING USE	=	COMMERCIAL / RETAIL
PROPOSED USE	=	COMMERCIAL / RETAIL

NOTES

1. SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS, THE CITY OF BELLEVUE STANDARD SPECIFICATIONS, AND THE A.P.W.A. STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
2. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY AXIS SURVEY AND MAPPING, DATED 04/01/2014. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEMARK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEMARK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.

SHEET INDEX

CVR-1	COVER SHEET
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D-2.0	T.E.S.C. PLAN
D-2.1	T.E.S.C. DETAILS
C-1.0	SITE PAVING PLAN
C-1.1	SITE AND PAVING NOTES AND DETAILS
C-1.2	SITE DETAILS
C-2.0	GRADING AND DRAINAGE PLAN
C-2.1	GRADING AND DRAINAGE NOTES AND DETAILS
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE/IRRIGATION DETAILS

No.	Date	By	Revision Description

Issue Date:	10/03/2014
Drawn By:	JKG
Checked By:	JET/PJM
Project No.	50181001



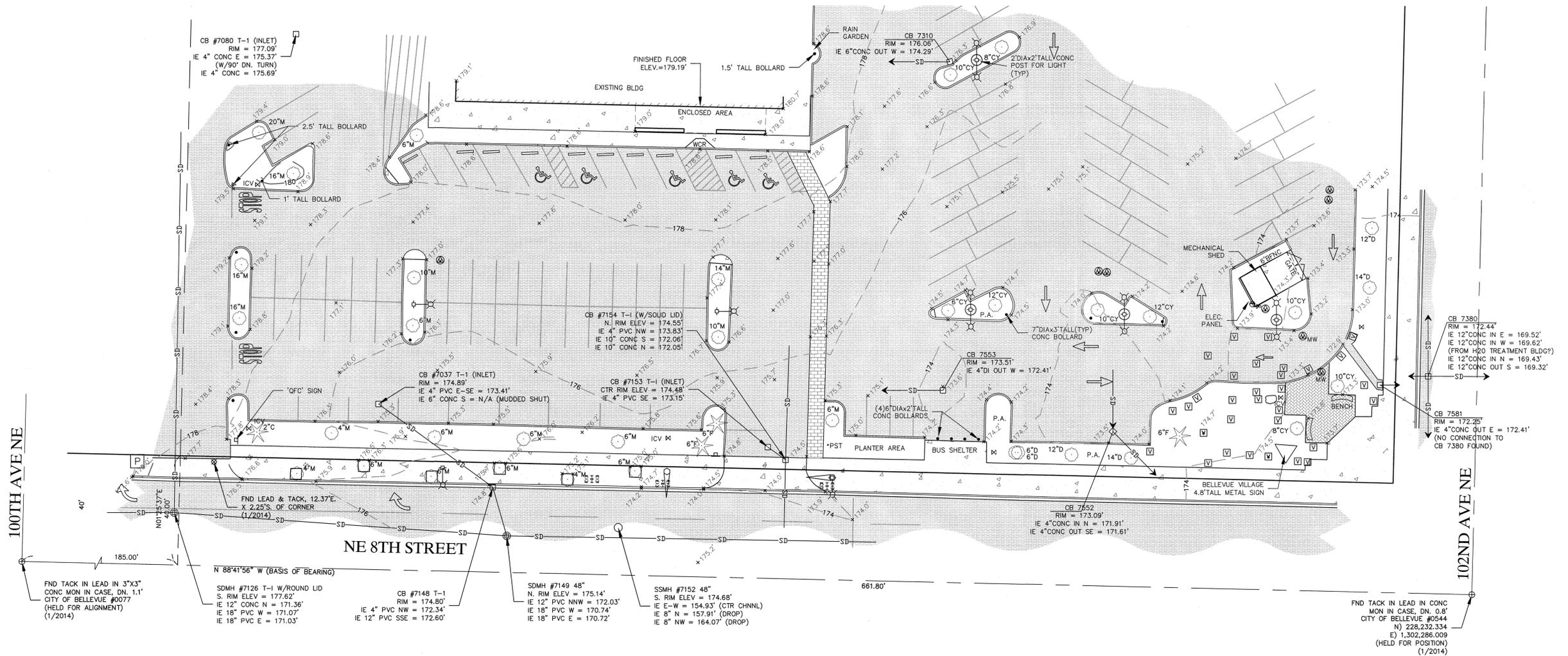
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BARTELL DRUGS EXPANSION
 BARTELL DRUGS
 10116 NE 8TH STREET
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COVER SHEET



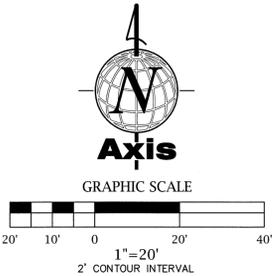
14-XXXXXX-BB
 14-XXXXXX-GD
 GRID : X-X

CVR-1



- LEGEND:**
- FOUND MONUMENT IN CASE POWER VAULT
 - LIGHT STANDARD
 - TRAFFIC SIGNAL
 - TRAFFIC SIGNAL BOX
 - BOLLARD
 - MONITOR WELL
 - SANITARY SEWER MANHOLE
 - CATCH BASIN
 - STORM DRAIN MANHOLE
 - IRRIGATION CONTROL VALVE
 - SIGN
 - LINE CONTINUES
 - SET BENCHMARK
 - POWER METER
 - LARGE ROCK
 - POST
 - HOSE BIB
 - FLOW DIRECTION
 - THROUGH ARROW
 - UNKNOWN VAULT (2.5'x2.5')

- CONCRETE PAVING
- ASPHALT PAVING
- BUILDINGS
- BRICK PAVING
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE



BASIS OF BEARINGS:
 WASHINGTON COORDINATE SYSTEM NORTH ZONE - NAD83(2011)
 HELD N 88°41'56" W BETWEEN CITY OF BELLEVUE CONTROL POINTS #0077 AND #0544.

ORIGINATING BENCHMARK:
 CITY OF BELLEVUE BRASS CAP NO. 27, AS PUBLISHED IN CITY OF BELLEVUE SURVEY DATA.
VERTICAL DATUM: NAVD88
ELEVATION: 186.86'

TBM - A
 CHISELED "SQUARE" @ BACK OF WALK NEAR SW CORNER BLDG
 BELLEVUE PARK CONDO'S
 ELEV=179.47'

TBM - B
 SET "X" ON BRICK IN CENTER TRAFFIC ISLAND, 5.65'S. OF B/C AND 25.0' E. OF W. END OF BRICK WORK
 ELEV=175.23'

LEGAL DESCRIPTION:
 NOT PROVIDED BY CLIENT

REFERENCES:
 1. CONDOMINIUM BELLEVUE PARK APARTMENTS V.30, P.60-63
 (ALL RECORDS OF KING COUNTY, WASHINGTON)

SURVEY NOTES:
 THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 24TH, 2014 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

NO EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA SYSTEM 1200 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-080/090.

EVIDENCE OF OCCUPATION OF LAND (FOR EXAMPLE: FENCES, STRUCTURES, PAVING, GRAVELED SURFACES, ETC.) MAY NOT COINCIDE WITH THE DEEDED BOUNDARY LINES AS SHOWN ON THIS DRAWING. THERE ARE AREAS ON THIS SURVEY APPEARING TO HAVE DISCREPANCIES BETWEEN THE DEEDED BOUNDARY LINES AND CERTAIN EVIDENCE OF OCCUPATION. WHERE DISCREPANCIES EXIST AXIS RECOMMENDS THAT THE OWNER OR POTENTIAL PURCHASER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTION CONTRACTOR PRIOR TO ANY CONSTRUCTION.

SW 1/4, SW 1/4, OF SEC. 29, TWP. 25 N., RGE 5 E., W.M.
 CITY OF BELLEVUE, KING COUNTY, WASHINGTON

REV#	DESCRIPTION OF REVISION	DATE	BY
#1	ADDITIONAL TOPOGRAPHY SURVEY	4/1/14	ERM
#2			
#3			
#4			
#5			
#6			
#7			



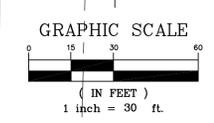
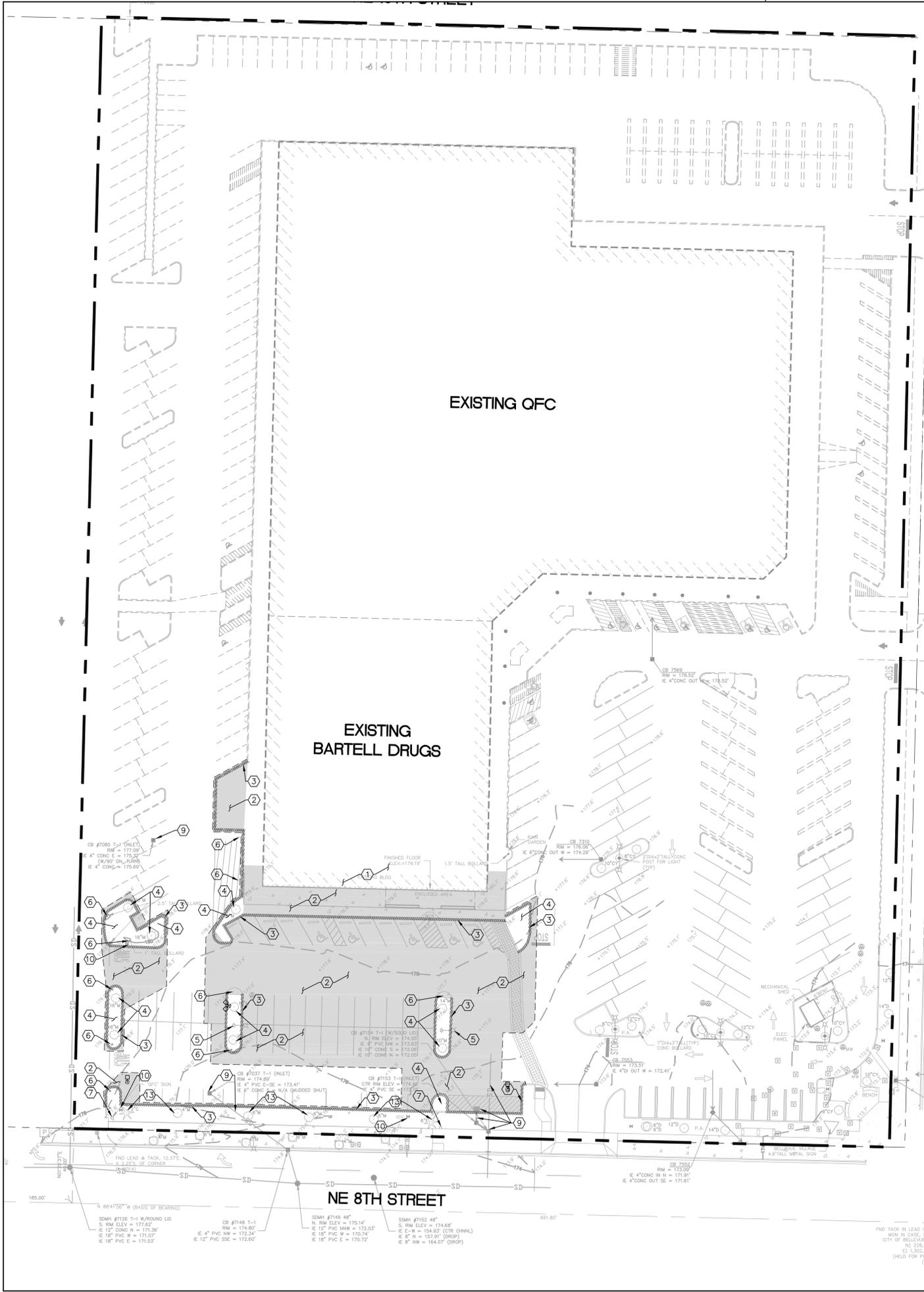
PARTIAL TOPOGRAPHIC SURVEY OF BARTELL DRUGS

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 11711 SE 8th St, Suite 303
 Bellevue, WA 98005
 T (425) 453-9501
 F (425) 453-8208
 www.PacLand.com

Axis
 Survey & Mapping
 13005 NE 126th PL
 KIRKLAND, WA 98034
 TEL 425.823-5700
 FAX 425.823-6700

www.axismap.com

JOB NO.	DATE
14-015	4/1/14
DRAWN BY	CHECKED BY
TJO	ZLN
SCALE	SHEET
1"=20'	1 OF 1



LEGEND:

- PROPERTY LINE
- SAWCUT LINE
- EXISTING CONCRETE CURB TO BE REMOVED
- EXISTING CONCRETE PAVEMENT, ASPHALT PAVEMENT AND CONCRETE SIDEWALK TO BE REMOVED

KEY NOTES:

- 1 CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE PROPOSED EXTENT OF DEMOLITION OF BUILDING WALL AND ASSOCIATED APPURTENANCES, INCLUDING BASEMENTS AND CANOPIES IN ACCORDANCE WITH APPLICABLE CODES. DISCONNECT AND CAP EXISTING UTILITIES. SEE MEP PLANS FOR CONNECTION LOCATIONS. CONTRACTOR SHALL REMOVE ALL ASBESTOS CONTAINING BUILDING MATERIALS IN ACCORDANCE WITH APPLICABLE CODES.
- 2 REMOVE EXISTING CONCRETE PAVEMENT, ASPHALT PAVEMENT, PAVERS, AND/OR CONCRETE SIDEWALK (TYP).
- 3 REMOVE EXISTING CONCRETE CURB (TYP).
- 4 REMOVE EXISTING TREES, SHRUBS, LANDSCAPING AND ROCK (TYP).
- 5 REMOVE EXISTING LIGHT POLE AND BASE. CONTRACTOR TO REROUTE EXISTING POWER SUPPLY AS NECESSARY TO NEW POLE LOCATIONS. LIGHTING PLAN TO BE PREPARED BY OTHERS.
- 6 REMOVE EXISTING PIPE BOLLARD (TYP).
- 7 PRESERVE AND PROTECT EXISTING SIGN TO REMAIN.
- 8 PRESERVE AND PROTECT EXISTING FIRE HYDRANT AND BOLLARD PROTECTION TO REMAIN.
- 9 PRESERVE AND PROTECT EXISTING STORM DRAINS AND PIPING TO REMAIN. ADJUST RIM TO FINISH GRADE AS NECESSARY.
- 10 EXISTING IRRIGATION TO BE REMOVED AND REROUTED TO NEW LANDSCAPE ISLAND.
- 11 PRESERVE AND PROTECT EXISTING SIGNAL POLES TO REMAIN.
- 12 RELOCATE BUS STOP PER LOCATION SHOWN ON SHEET C-1.0. COORDINATION AND DESIGN OF BUS STOP BY OTHER.
- 13 PRESERVE AND PROTECT EXISTING TREES AND LANDSCAPE TO REMAIN.
- 14 PRESERVE AND PROTECT EXISTING VAULT TO REMAIN (TYP). ADJUST RIM TO FINISH GRADE AS NECESSARY.

GENERAL DEMOLITION NOTES

1. DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. THESE NOTES ARE NOT INTENDED TO BE COMPREHENSIVE. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ON-SITE IMPROVEMENTS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
2. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY AXIS SURVEY AND MAPPING, DATED 04/01/2014. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. **CAUTION - NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
4. CONTRACTOR IS TO REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND DEBRIS WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. ALL DEBRIS FOUND ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE CODES.
5. CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN.
6. ABANDONED PIPES LOCATED OUTSIDE PROPOSED BUILDING PAD LIMITS WITH AN EXCESS OF 3' COVER MAY BE DECOMMISSIONED AND ABANDONED IN PLACE, PROVIDED THAT THESE ABANDONED UTILITIES ARE GROUTED AND CAPPED. EXISTING SUBSURFACE IMPROVEMENTS AND DEBRIS WITHIN THE PROPOSED BUILDING PAD AREA, INCLUDING 10' BEYOND FOUNDATIONS, SHALL BE REMOVED.
7. CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY PROPOSED CONSTRUCTION.

No.	Date	By	Revision Description
Issue Date:	10/03/2014		
Designed By:	JKG		
Drawn By:	JKG		
Checked By:	JET/PJM		
Project No.	50181001		
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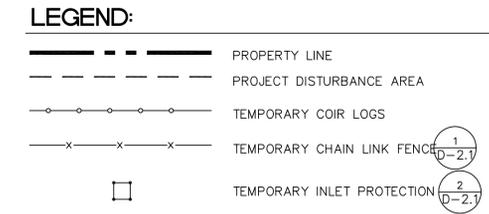
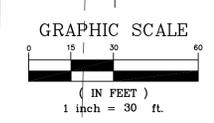
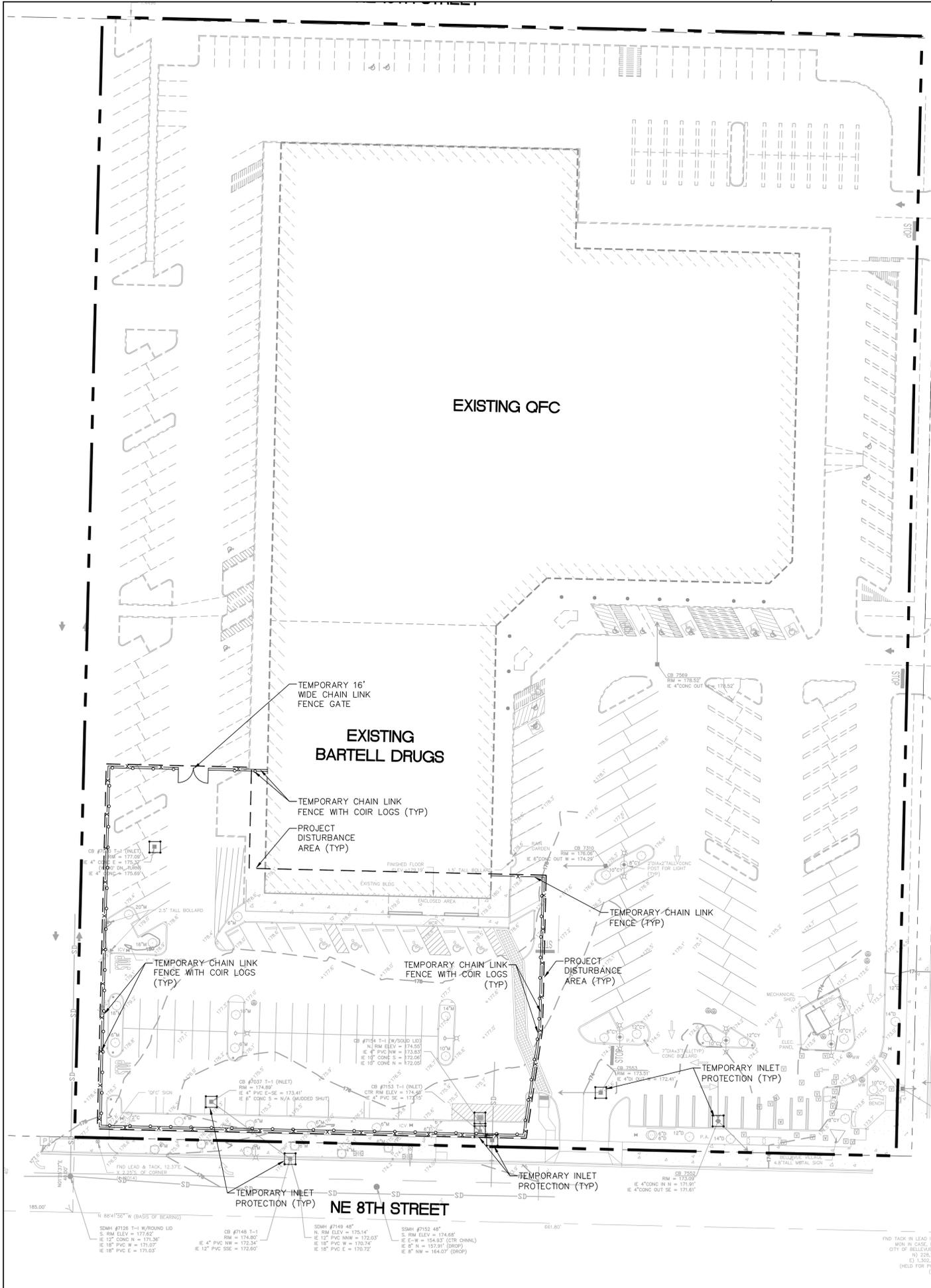
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DEMOLITION PLAN

14-XXXXXX-BB
 14-XXXXXX-GD
 GRID : X-X



D-1.0



- SEQUENCE OF CONSTRUCTION:**
1. HOLD A PRE-CONSTRUCTION MEETING WITH THE CITY AND OBTAIN REMAINING REQUIRED PERMITS.
 2. ESTABLISH PROJECT DISTURBANCE AREA.
 3. INSTALL TEMPORARY CHAIN LINK FENCE AND COIR LOGS.
 4. INSTALL INLET PROTECTION ON ALL EXISTING STORM DRAINAGE STRUCTURES.
 5. REMOVE ALL EXISTING FEATURES PER DEMOLITION PLAN (TO BE PROVIDED ON A LATER ISSUANCE)
 6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURE.
 7. INSTALL PROPOSED UTILITIES AND CURB.
 8. PREPARE SITE FOR PAVING ACTIVITIES.
 9. INSTALL PROPOSED ALL ABOVE GROUND FEATURES.
 10. PAVE SITE AND STRIPE PARKING LOT.
 11. INSTALL PERMANENT SEEDING AND PLANTING.
 12. REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES, ONLY AFTER THE SITE IS DEEMED COMPLETELY STABILIZED BY THE INSPECTOR.

- CITY OF BELLEVUE EROSION CONTROL NOTES:**
1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DSD) PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
 2. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 3. A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
 4. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
 5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
 6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
 7. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
 8. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
 9. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
 10. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTEAM SYSTEM.
 11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
 12. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
 13. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
 14. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
 15. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
 16. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

SEE SHEET D-2.1 FOR T.E.S.C. NOTES AND DETAILS

CONTRACTOR TO ESTABLISH PHASING PLAN TO MAINTAIN SITE ACCESS DURING CONSTRUCTION ACTIVITIES.

14-XXXXXX-BB
14-XXXXXX-GD
GRID : X-X

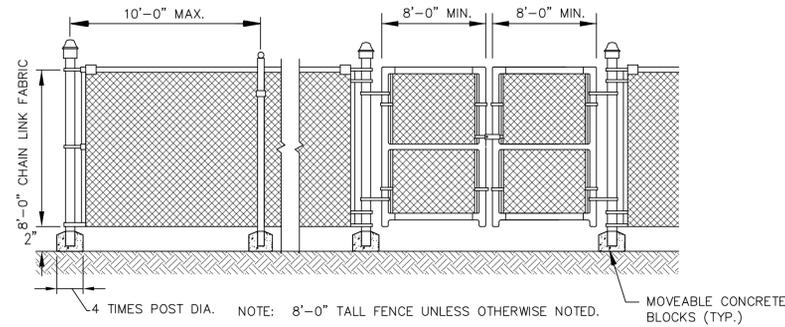


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Suite 345
Bellevue, WA 98004
T (425) 453-9501
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T.E.S.C. PLAN

D-2.0



TEMPORARY CHAIN LINK FENCE

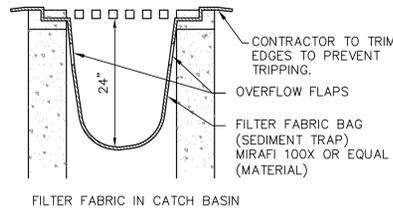
NTS

1

INLET PROTECTION NOTES

1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, SO THAT THE OPEN ENDS FACE OUTWARD, NOT UPWARD. THE ENDS OF ADJACENT BLOCKS SHALL ABUT. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF BLOCKS THAT ARE 4 INCHES AND 12 INCHES WIDE. THE ROW OF BLOCKS SHALL BE AT LEAST 12 INCHES BUT NO GREATER THAN 24 INCHES HIGH.
2. PLACE WIRE MESH OVER THE OUTSIDE VERTICAL FACE (OPEN END) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE BLOCKS. USE HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS.
3. PILE STONE AGAINST THE WIRE MESH TO THE TOP OF THE BLOCKS. USE 3/4-TO 3-INCH GRAVEL.
4. PLACE WIRE MESH OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FT BEYOND EACH SIDE OF THE INLET STRUCTURE. USE HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, OVERLAP THE STRIPS. PLACE FILTER FABRIC OVER WIRE MESH.
5. PLACE 3/4-INCH GRAVEL OVER THE WIRE MESH. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. EXTEND THE STONE BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY FROM THE INLET AND CLEANED OR REPLACED.

NOTE: WHERE CATCH BASIN IS LOCATED IN PAVED AREA USE OF SILT BAG IS ACCEPTABLE



FILTER FABRIC IN CATCH BASIN

TEMPORARY INLET PROTECTION DETAIL

NTS

2

No.	Date	By	Revision Description

Designed By:	JKG	Issue Date:	10/03/2014
Drawn By:	JKG	Project No.:	50181001
Checked By:	JET/PJM		



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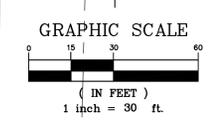
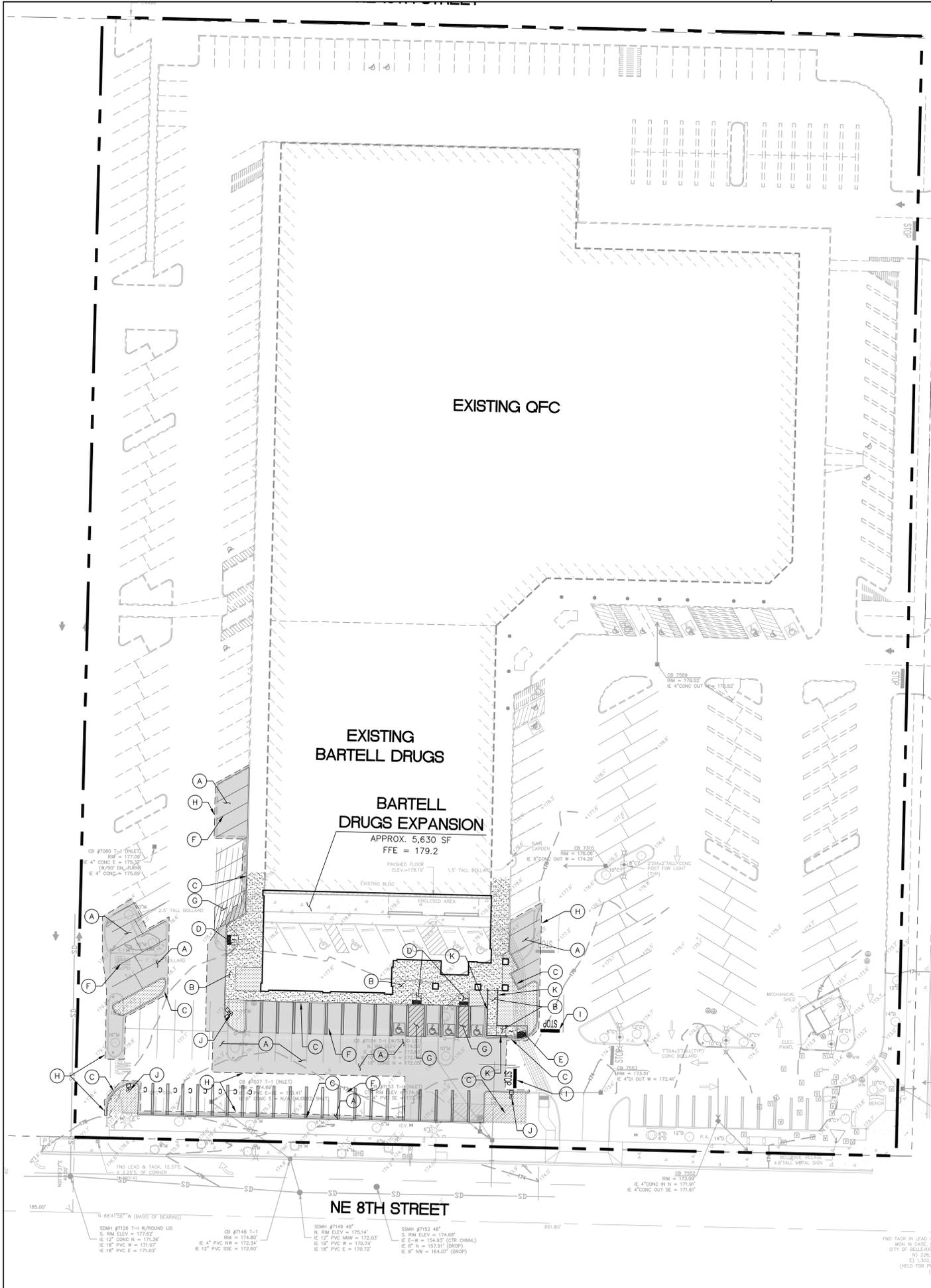
BARTELL DRUGS EXPANSION
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 BELLEVUE, WA 98004
T.E.S.C. DETAILS

14-XXXXXX-BB
 14-XXXXXX-GD
 GRID : X-X



Know what's below.
 Call before you dig.

D-21



LEGEND:

- PROPERTY LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED CURB
- SAWCUT LINE
- STANDARD DUTY PAVEMENT
- CONCRETE SIDEWALK
- LANDSCAPE AREA

SITE KEY:

- (A) STANDARD DUTY ASPHALT PAVEMENT (C-1.1)
- (B) CONCRETE SIDEWALK (C-1.1) (TE-11)
- (C) CEMENT CONCRETE TRAFFIC CURB (C-1.1) (TE-10)
- (D) TYPE 1A ADA RAMP WITH DETECTABLE WARNING SURFACE PER CITY OF BELLEVUE (TE-12A) (TE-12B) (C-1.2) (C-1.2) STANDARD DETAILS AND ADA REQUIREMENTS.
- (E) TYPE 2B ADA RAMP WITH DETECTABLE WARNING SURFACE PER CITY OF BELLEVUE (TE-12A) (TE-12C) (C-1.2) (C-1.2) STANDARD DETAILS AND ADA REQUIREMENTS.
- (F) 4" WIDE SOLID WHITE STRIPE, (TYP.)
- (G) 4" WIDE SOLID WHITE STRIPE AT 45" x 18" SPACING, O.C. (TYP.)
- (H) SAWCUT, MATCH AND SEAL JOINT BETWEEN NEW AND EXISTING ASPHALT PAVING WITH AR-4000 OR APPROVED EQUAL.
- (I) "STOP" PAVEMENT MARKING AND STOP BAR (C-1.1)
- (J) LIGHT POLE AND BASE (MANUFACTURER MODEL, COLOR, AND HEIGHT TO BE DETERMINED BY THE ARCHITECT OR DEVELOPER)
- (K) ADA RAMP WITH RAILING. RAMP AND RAILING SHALL MEET ADA REQUIREMENTS.

SITE DATA:

TOTAL PROPERTY AREA = APPROX. 260,618 SF (±5.98 AC)
 AREA OF DISTURBANCE = APPROX. 21,102 SF (±0.48 AC)

BREAKDOWN OF TOTAL DISTURBANCE AREA:
 NEW/REPLACED ASPHALT PAVING = 10,677 SF (50.6% OF 21,102 SF)
 NEW/REPLACED CONCRETE (I.E. SIDEWALKS, ETC.) = 3,020 SF (14.3% OF 21,102 SF)
 NEW/REPLACED LANDSCAPE ISLANDS (IF ANY) = 1,775 SF (8.4% OF 21,102 SF)
 NEW BUILDING AREA = 5,630 SF (26.7% OF 21,102 SF)

NEW IMPERVIOUS AREA = 1,492 SF

POST-CONSTRUCTION SOIL QUALITY AND DEPTH:

Design Guidelines

- Soil retention. The duff layer and native topsoil should be retained in an undisturbed state to the maximum extent practicable. In any areas requiring grading remove and stockpile the duff layer and topsoil on site in a designated, controlled area, not adjacent to public resources and critical areas, to be reapplied to other portions of the site where feasible.
- Soil quality. All areas subject to clearing and grading that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structural fill or slope shall, at project completion, demonstrate the following:
 1. A topsoil layer with a minimum organic matter content of ten percent dry weight in planting beds, and 5% organic matter content in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the original undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.
 2. Planting beds must be mulched with 2 inches of organic material
 3. Quality of compost and other materials used to meet the organic content requirements:
 - a. The organic content for "pre-approved" amendment rates can be met only using compost that meets the definition of "composted materials" in WAC 173-350-220. This code is available online at: <http://www.ecy.wa.gov/programs/swfa/facilities/350.html>
The compost must also have an organic matter content of 35% to 65%, and a carbon to nitrogen ratio below 25:1.
The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.
 - b. Calculated amendment rates may be met through use of composted materials as defined above; or other organic materials amended to meet the carbon to nitrogen ratio requirements, and meeting the contaminant standards of Grade A Compost.

SEE SITE PLAN, SHEET A1.1 FOR
 PARKING STALL DIMENSIONS, ADA
 STALL LOCATIONS, AND OTHER
 APPLICABLE DETAILS.

14-XXXXXX-BB
 14-XXXXXX-GD
 GRID : X-X



No.	Date	By	Revision Description
Issue Date:	10/03/2014	Project No.:	50181001
Designed By:	JJK	Drawn By:	JJK
Checked By:	JJK	Project No.:	50181001
PRELIM		Project No.:	
10/03/2014		50181001	

PAC LAND
 11400 SE 8th St.
 Suite 345
 Bellevue, WA 98004
 T (425) 453-9501
 F (425) 453-9208
 www.pacland.com

BARTELL DRUGS EXPANSION
 BARTELL DRUGS
 10116 NE 8TH STREET
 BELLEVUE, WA 98004
SITE PAVING PLAN

C-1.0

SITE NOTES

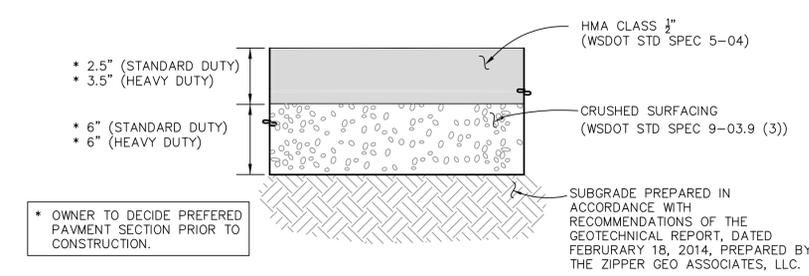
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY AXIS SURVEY AND MAPPING, DATED 04/01/2014. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DIMENSIONS SHOWN REFER TO FACE OF CURB, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
- ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE STANDARD DUTY ASPHALT PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY OF BELLEVUE'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- FIRE LANE STRIPING AROUND BUILDING PERIMETER AND ALONG FIRE TRUCK ACCESS WAYS SHALL BE INSTALLED AS PART OF THIS CONTRACT, IN ACCORDANCE WITH THE LOCAL CODE AND FIRE MARSHALL REQUIREMENTS.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION.
- ALL ON-SITE PAINTED STRIPING SHALL BE DOUBLE COATED. SEPARATE COATS SHALL BE APPLIED NO SOONER THAN 4 HOURS APART. (CONTRACTOR TO REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL PAVING MARKING REQUIREMENTS.)
- PARKING LOT STRIPING SHALL BE WHITE, 4" WIDTH, & DOUBLE COATED, UNLESS OTHERWISE NOTED. LIGHT POLE BASES TO BE PAINTED TRAFFIC YELLOW (DOUBLE COAT)
- ALL DISTURBED AREAS ARE TO RECEIVE TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED AS SPECIFIED ON THE LANDSCAPE PLAN.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- EXISTING PYLON SIGNS SHALL BE PRESERVED AND PROTECTED. THE CONTRACTOR SHALL ENSURE INSTALLED CONDUITS AND ELECTRICAL CIRCUITS BETWEEN THE PYLON SIGN(S) AND THE LIGHTING PANEL IS PROPERLY CONNECTED.
- CURB RADII ADJACENT TO PARKING STALLS SHALL BE 2', UNLESS OTHERWISE NOTED.

GENERAL NOTES

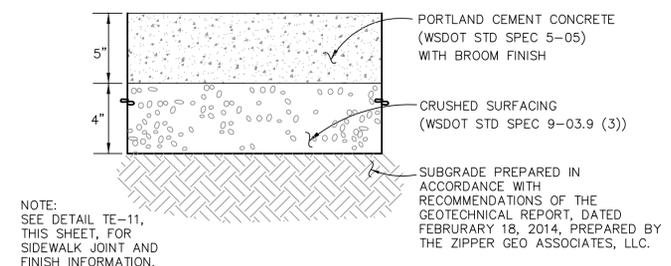
- ALL WORK IN THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF WAY ACCESS PERMIT FROM THE CITY OF BELLEVUE PUBLIC WORKS DEPARTMENT.
- AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY OF BREMERSON PUBLIC WORKS INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF BELLEVUE PUBLIC WORKS CODE, ENGINEERING STANDARDS MANUAL, AND OTHER REFERENCED MANUALS OR DOCUMENTS.
- A COPY OF THESE APPROVED PLANS, SPECIFICATIONS, AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY OF BELLEVUE PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS IN THESE PLANS.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL 811 OR 1-800-424-5555 (CALL BEFORE YOU DIG HOTLINE) AT LEAST 48 HOURS IN ADVANCE. CONTACT THE CITY OF BELLEVUE PUBLIC WORKS INSPECTOR TO CONFIRM LOCATIONS OF CITY-OWNED TRAFFIC SIGNALS AND CONTROLS. THE APPLICANT AND APPLICANT'S ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
- ANY STRUCTURE AND/OR OBSTRUCTION WHICH REQUIRE REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE DEVELOPER'S EXPENSE.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF HIDDEN UTILITIES. ALL VISIBLE ITEMS SHALL BE THE ENGINEER'S RESPONSIBILITY.
- THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN IN THE PLANS OR AS AFFECTED BY CONSTRUCTION.
- ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED PROFESSIONAL LAND SURVEYOR.
- DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY OF BELLEVUE PUBLIC WORKS INSPECTOR.
- CERTIFIED RECORD (AS-BUILT) DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CITY PRIOR TO PROJECT ACCEPTANCE. CONTRACTOR TO PROVIDE DETAILED FIELD NOTES OF LOCATION AND ELEVATIONS OF ALL INSTALLED UTILITIES TO THE ENGINEERING OF RECORD PRIOR TO FINAL INSPECTION.
- A NPDES CONSTRUCTION STORMWATER GENERAL PERMIT & COVERAGE MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY QUALITY FOR THIS PROJECT. CONTRACTOR TO CONTACT WASHINGTON DOE FOR MORE INFORMATION.
- ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES DESIGNATED FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY OF BELLEVUE COMMUNITY DEVELOPMENT DEPARTMENT. PREPARATION AND IMPLEMENTATION OF THE MITIGATION PLAN SHALL BE AT THE DEVELOPER'S EXPENSE.

PAVEMENT NOTES

- MATERIAL THICKNESS IS COMPACTED DEPTH. APPLIES TO ALL SECTIONS.
- SUITABLE ON-SITE SOILS SHALL BE FREE OF DELETERIOUS MATERIALS AND MAY BE USED FOR SUBBASE PROVIDED SOILS MEET REQUIREMENTS IN THE PROJECT'S SPECIFICATIONS.
- FOR PREPARATION OF PAVEMENT SUBGRADE, FILL PLACED WITHIN 12 INCHES OF FINISHED SUBGRADE ELEVATION IN FILL AREAS AND AT LEAST THE UPPER 8 INCHES OF SUBGRADE IN ALL AREAS TO BE PAVED SHOULD BE COMPACTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM MODIFIED PROCTOR DRY DENSITY (ASTM D-1557) AND SHOULD BE NON-YIELDING. FILL PLACED BELOW THIS LEVEL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY.
- ALL COMPACTION SHALL BE IN ACCORDANCE WITH THE WSDOT STANDARD SPECIFICATIONS, SECTION 2-03.3(14)D.
- IF ALTERNATIVE PAVEMENT SECTION WITH A.T.B. IS USED DURING CONSTRUCTION ANY FAILED AREAS THAT SHOW CRACKING UNDER EQUIPMENT SHOULD BE REPAIRED ONCE HEAVY CONSTRUCTION TRAFFIC HAS CEASED AND PRIOR TO PLACEMENT OF FINAL LIFT OF HMA PAVEMENT.
- CRUSHED BASE COURSE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 9-03.9(3) OF THE LATEST EDITION OF THE WSDOT STANDARD SPECIFICATIONS.
- ASPHALTIC SURFACE COURSE MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 9-02 OF THE LATEST EDITION OF THE WSDOT STANDARD SPECIFICATIONS. THE MIXTURE SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1,000 POUNDS, AND THE SURFACE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 96% MARSHALL DENSITY (ASTM SPECIFICATION D 1559).
- THE PORTLAND CEMENT CONCRETE PAVEMENT MIXTURE SHALL BE IN ACCORDANCE WITH CONCRETE FOR PAVEMENT SECTION 5-05 OF THE LATEST EDITION OF THE WSDOT STANDARD SPECIFICATIONS. THE MIXTURE SHALL BE DESIGNED TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH A 4 INCH MAXIMUM SLUMP.
- CONTRACTOR SHALL PROVIDE A PRIME COAT AND TACK COAT TO FACE OF CURB WHERE CURB CONTACTS ASPHALT.



ON-SITE ASPHALT PAVEMENT 1



CEMENT CONCRETE SIDEWALK 2

DRAWING NUMBER	TE-10
SCALE	NONE
REVISION DATE	01/14
DEPARTMENT	TRANS

DRAWING NUMBER	TE-11
SCALE	NONE
REVISION DATE	12/12
DEPARTMENT	TRANS

No.	Date	By	Revision Description

Designed By:	JKG	Drawn By:	JKG	Issue Date:	10/03/2014
Checked By:	JET/PJM	Project No.:	50181001		

PAC LAND
 11400 SE 8th St. Suite 345 Bellevue, WA 98004
 T (425) 453-9501 F (425) 453-8208 www.pacland.com

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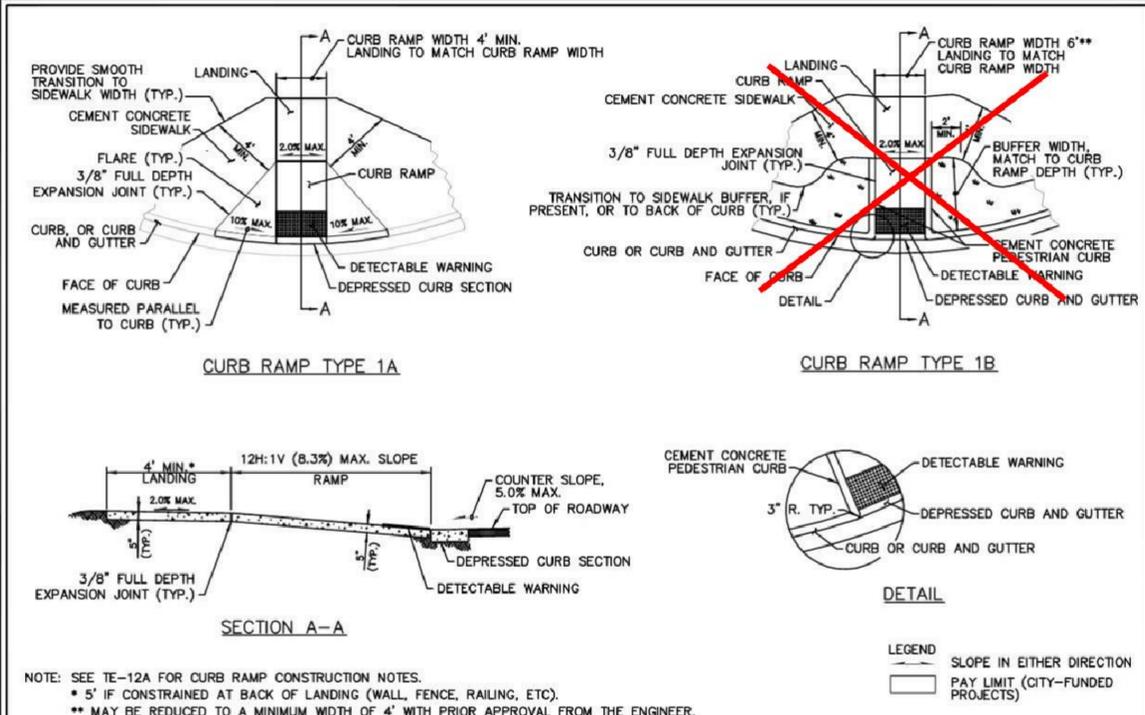
SITE AND PAVING NOTES AND DETAILS

14-XXXXXX-BB
 14-XXXXXX-GD
 GRID : X-X

Know what's below.
 Call before you dig.

CURB RAMP NOTES FOR STANDARD DRAWINGS TE-12B, TE-12C, AND TE-12D:

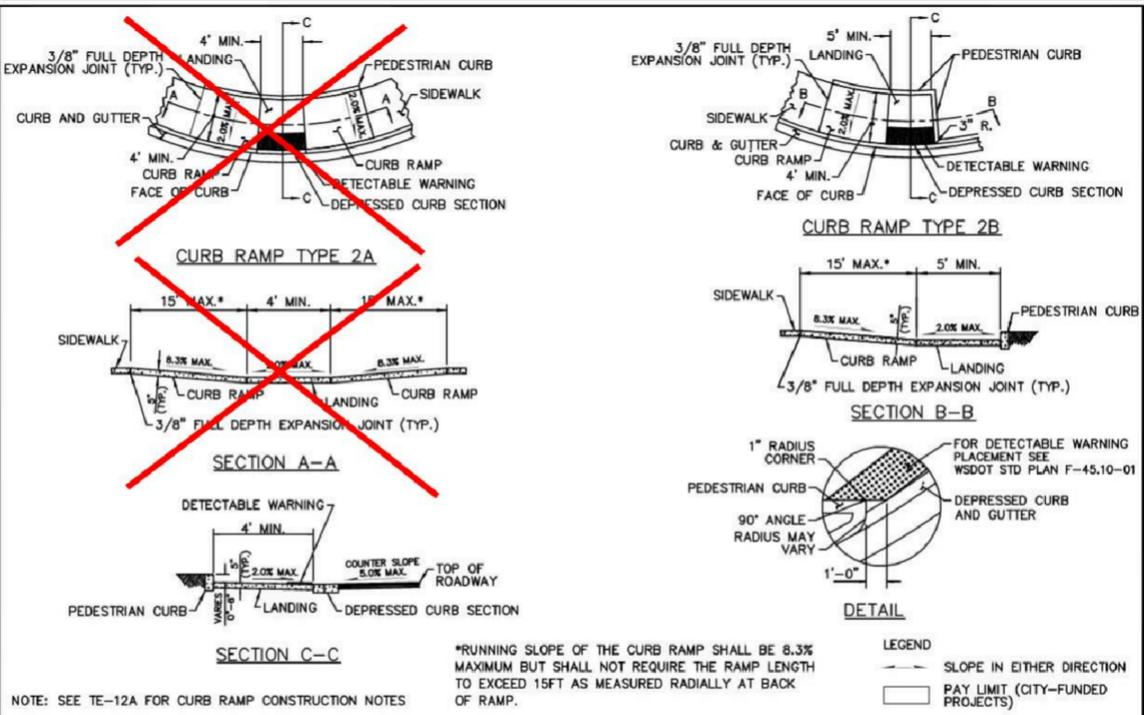
1. TYPICALLY A SEPARATE CURB RAMP WILL BE PROVIDED FOR EACH MARKED OR UNMARKED CROSSWALK. CURB RAMP LOCATION SHALL BE PLACED WITHIN THE WIDTH OF THE ASSOCIATED CROSSWALK OR AS SHOWN IN THE CONTRACT PLANS WHEN NO MARKED CROSSWALK IS PRESENT. IF ONLY ONE RAMP IS TO BE PROVIDED, PRIOR APPROVAL BY THE ENGINEER SHALL BE OBTAINED.
2. RAMPS SHALL BE CONSTRUCTED PARALLEL TO THEIR RESPECTIVE CROSSWALK MARKINGS OR DIRECTION OF TRAVEL.
3. SEE THE CONTRACT PLANS FOR THE CURB DESIGN TYPE AND WIDTH.
4. A MINIMUM 4'x4' FLAT LANDING, WITH 2% MAXIMUM SLOPE IN ALL DIRECTIONS, SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL RAMPS (4'x5' IF CONSTRAINED ON TWO OR MORE SIDES). AREA IN THE ROADWAY WITHIN CROSSWALK MARKINGS MAY BE USED AS LANDING.
5. MAXIMUM SLOPES ARE INCLUSIVE OF ALL CONSTRUCTION TOLERANCES.
6. WSDOT STANDARD PLAN F-45.10-01 SHALL BE USED FOR DETECTABLE WARNING PLACEMENT. FOR NEW CONCRETE CONSTRUCTION, MATERIAL SHALL BE "CAST-IN-PLACE" BY ARMOR-TILE, ADA SOLUTIONS, OR ALERTITILE APPLIED INTEGRAL TO THE CONCRETE POURING OF THE RAMP. FOR RETROFIT CONCRETE APPLICATIONS, MATERIAL SHALL BE "SURFACE APPLIED" BY ARMOR-TILE, ADA SOLUTIONS, OR ALERTITILE. FOR ASPHALT APPLICATIONS, "TOPMARK" BY FLINT TRADING MAY BE USED OR CONSULT THE ENGINEER FOR ALLOWABLE OPTIONS. NO SUBSTITUTIONS PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER. DETECTABLE WARNINGS SHALL BE FEDERAL YELLOW. INSTALLATION SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS.
7. SEE STD. DWG. TE-10 FOR CEMENT CONCRETE TRAFFIC CURB AND GUTTER, DEPRESSED CURB SECTION, CEMENT CONCRETE TRAFFIC CURB, AND CEMENT CONCRETE PEDESTRIAN CURB DETAILS.
8. PEDESTRIAN CURB MAY BE OMITTED IF THE GROUND SURFACE AT THE BACK OF THE CURB RAMP AND/OR LANDING WILL BE THE SAME ELEVATION AS THE CURB RAMP OR LANDING AND THERE WILL BE NO MATERIAL TO RETAIN.
9. SEE STD. DWG. TE-11 FOR SIDEWALK DETAILS.
10. CURB RAMP, LANDING, AND FLARE SURFACES SHALL BE BROOM FINISHED PER STD. DWG. TE-11.
11. CEMENT CONCRETE FOR RAMPS SHALL BE AIR ENTRAINED CONCRETE CLASS 3000, CONFORMING TO WSDOT STD. SPEC. 6-02.
12. REMOVAL/REPLACEMENT OF CEMENT CONCRETE CURB AND SIDEWALK SHALL BE FROM EXPANSION JOINT TO EXPANSION JOINT UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
13. GRADE BREAKS FOR RAMPS SHALL BE PERPENDICULAR TO DIRECTION OF TRAVEL.
14. AT GRADE BREAKS, THE ENTIRE LENGTH OF THE GRADE BREAK BETWEEN THE TWO ADJACENT SURFACE PLANES SHALL BE FLUSH.
15. GRATINGS, JUNCTION BOXES, ACCESS COVERS, OR OTHER APPURTENANCES SHALL NOT BE PLACED IN FRONT OF THE CURB RAMP OR ON ANY PART OF THE CURB RAMP OR LANDING, UNLESS APPROVED IN ADVANCE BY THE ENGINEER.
16. RAMPS AND WINGS SHALL PROVIDE AND MAINTAIN POSITIVE DRAINAGE TOWARDS THE ROADWAY.



DRAWING NUMBER	TE-12A
SCALE	NONE
REVISION DATE	01/14
DEPARTMENT	TRANS

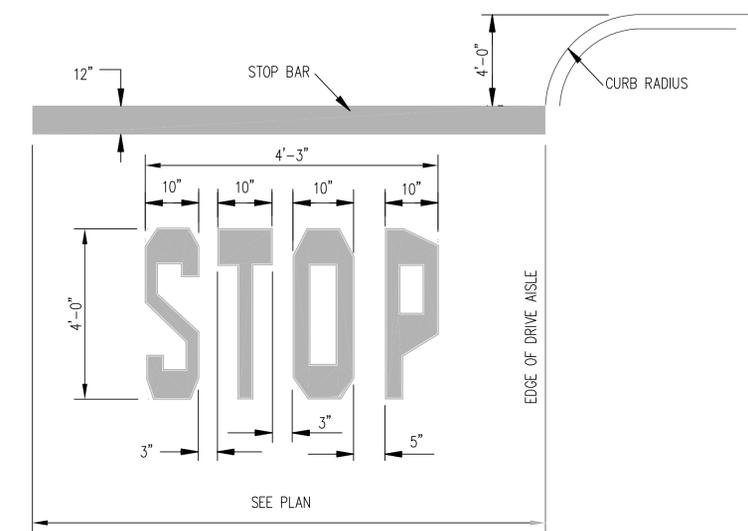
	City of Bellevue CURB RAMP CONSTRUCTION NOTES	DRAWING NUMBER	TE-12A
		SCALE	NONE
		REVISION DATE	01/14
		DEPARTMENT	TRANS

	City of Bellevue CEMENT CONCRETE CURB RAMP TYPE 1	DRAWING NUMBER	TE-12B
		SCALE	NONE
		REVISION DATE	01/14
		DEPARTMENT	TRANS



DRAWING NUMBER	TE-12C
SCALE	NONE
REVISION DATE	01/14
DEPARTMENT	TRANS

	City of Bellevue CEMENT CONCRETE CURB RAMP TYPE 2	DRAWING NUMBER	TE-12C
		SCALE	NONE
		REVISION DATE	01/14
		DEPARTMENT	TRANS



- NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

"STOP" AND STOP BAR PAVEMENT MARKING DETAIL

No.	Date	By	Revision Description
Issue Date:	10/03/2014	PRELIM	Project No. 50181001
Designed By:	JJK	Drawn By:	JJK
Checked By:	JJK	Checked By:	JJK

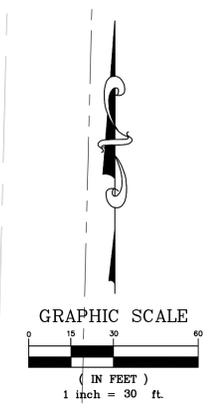
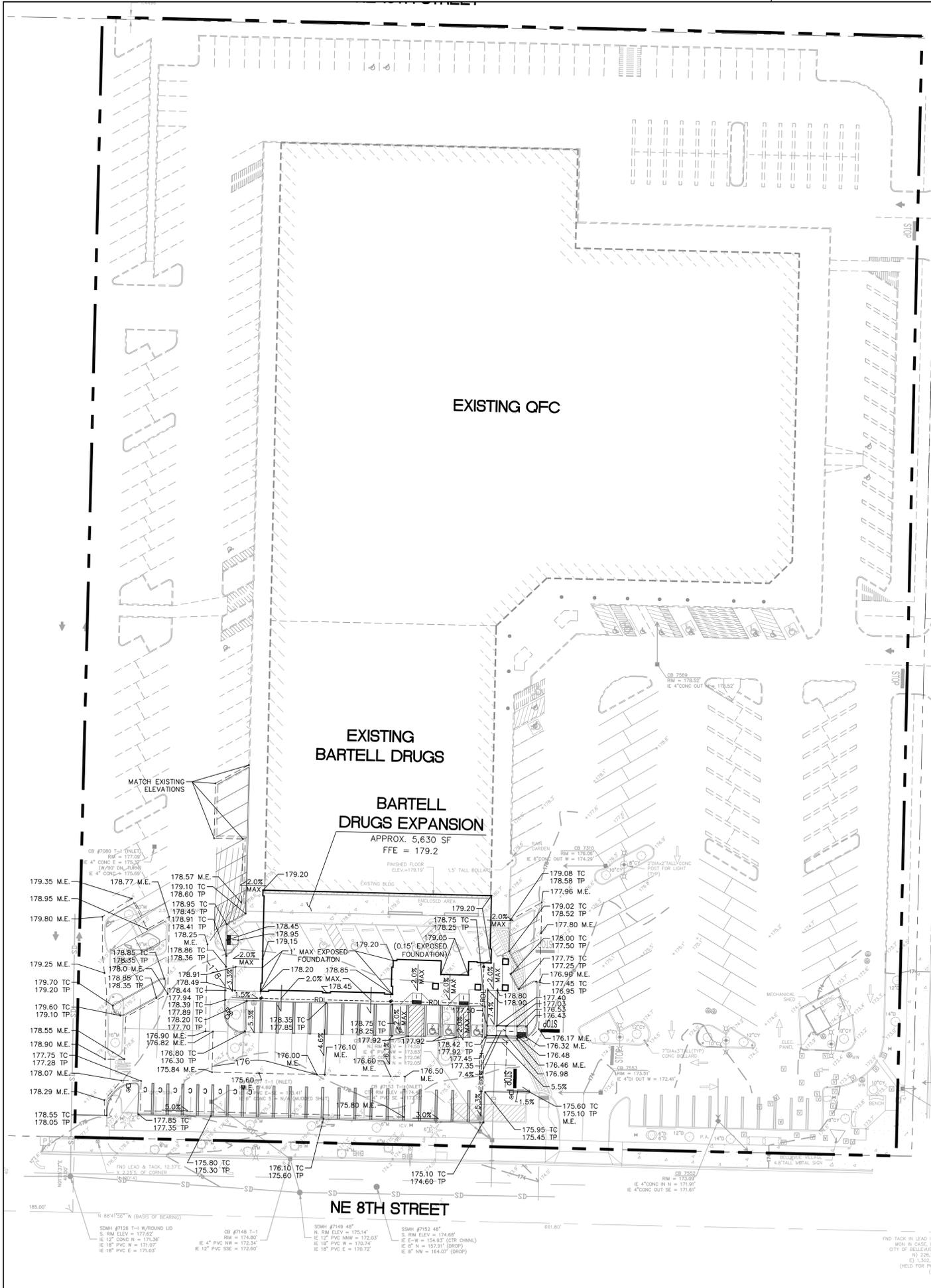


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SITE DETAILS

14-XXXXXX-BB
 14-XXXXXX-GD
 GRID : X-X





LEGEND:

---	PROPERTY LINE
- - - -	EXISTING BUILDING
---	PROPOSED BUILDING
---	PROPOSED CURB
---	SAWCUT LINE
- - - -	EXISTING CONTOUR
---	PROPOSED CONTOUR
176.5	PROPOSED SPOT ELEVATION
2.0%	SLOPE ARROW
TC	TOP OF CURB
TP	TOP OF PAVEMENT
M.E.	MATCH EXISTING
•	STORM DRAIN CLEANOUT
---	ROOF DRAIN LINE
---	PERFORATED PIPE AND TRENCH

CITY OF BELLEVUE CONSTRUCTION NOISE NOTES

CONSTRUCTION NOISE OUTSIDE THE ALLOWABLE HOURS IS PROHIBITED PER BCC 9.18.040. TO BE CONSIDERED A VIOLATION, THE CONSTRUCTION-RELATED NOISE MUST BE AUDIBLE ACROSS A PROPERTY LINE OR AT LEAST 75 FEET FROM THE SOURCE. ANY VIOLATION IS A CIVIL INFRACTION AND THE CITY MAY ASSESS A MONETARY PENALTY TO THE INDIVIDUAL CREATING THE NOISE. THE PENALTIES ARE:

A WARNING WILL BE ISSUED IF NO CONSTRUCTION NOISE VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.

A CITATION WILL BE ISSUED AND A \$125 FINE IMPOSED IF ONE PREVIOUS VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.

A CITATION WILL BE ISSUED AND A \$250 FINE IMPOSED IF TWO OR MORE PREVIOUS VIOLATIONS HAVE BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.

FOR ALL COMMERCIAL, MULTI-FAMILY, AND NEW SINGLE-FAMILY HOMES:

- CONSTRUCTION-RELATED NOISE IS ALLOWED:
- 7 AM TO 6 PM ON WEEKDAYS
 - 9 AM TO 6 PM ON SATURDAYS
- CONSTRUCTION-RELATED NOISE IS NOT ALLOWED:
- OUTSIDE OF ALLOWABLE HOURS
 - LEGAL HOLIDAYS
 - SUNDAYS

THE PROJECT GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE MUST BE ONSITE DURING CRITICAL EARTHWORK OPERATIONS. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL EXCAVATIONS AND FILL AREAS. IN ADDITION, THE ENGINEER SHALL INSPECT THE SOIL CUTS PRIOR TO CONSTRUCTION OF THE ROCKERIES AND INSPECT THE COMPACTION IN FILL AREAS. THE ENGINEER MUST SUBMIT FIELD REPORTS IN WRITING TO THE PCO INSPECTOR FOR SOILS VERIFICATION AND FOUNDATION CONSTRUCTION. ALL EARTHWORK SHOULD BE IN CONFORMANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

THE GEOTECHNICAL ENGINEER MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING. IN ADDITION, THE FOLLOWING CONSTRUCTION STAGES MUST BE INSPECTED, MONITORED, AND TESTED AS NECESSARY BY THE GEOTECHNICAL ENGINEER OF RECORD:

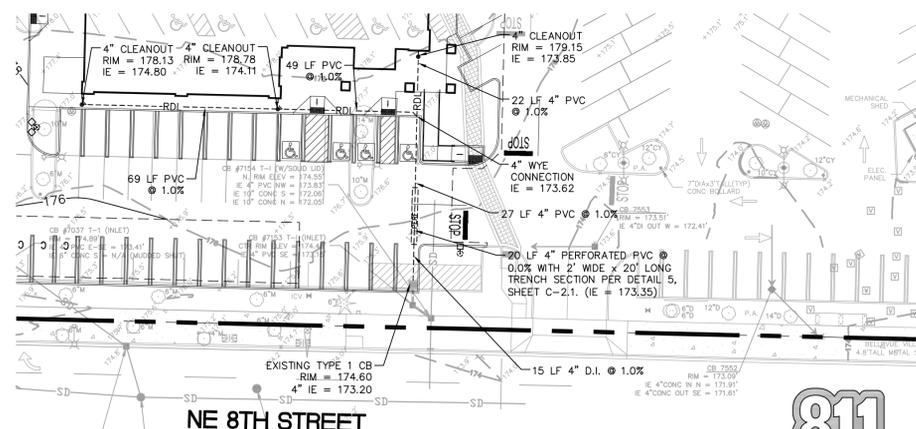
1. SITE CLEARING AND STRIPPING OF ORGANIC TOPSOIL FOR ALL AREAS TO RECEIVE STRUCTURAL FILL, PAVEMENTS, OR FOUNDATIONS.
2. CUT SLOPES OVER FOUR FEET HIGH.
3. BENCHING FOR FILL TO BE PLACED ON SLOPES.
4. INSPECTION OF PROPOSED IMPORT FILL MATERIAL, PRIOR TO PLACEMENT.
5. PLACEMENT OF STRUCTURAL FILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
6. SUBGRADES FOR RETAINING WALLS, FOUNDATIONS, AND FOR THE BASE OF ROCKERIES.
7. INSTALLATION OF SUBSURFACE DRAINAGE FACILITIES.
8. UTILITY TRENCH BEDDING AND BACKFILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
9. UTILITIES ON STEEP SLOPES; SLOPE ANCHORS AND/OR BACKFILL SLOPE STABILIZATION.
10. ANY UNUSUAL SEEPAGE, SLOPE, OR SUBGRADE CONDITION AS DELINEATED IN THE GEOTECHNICAL REPORT OR DISCOVERED IN THE FIELD.

AT THE END OF THE CONSTRUCTION, THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SUMMARY LETTER VERIFYING THAT CRITICAL STAGES OF THE CONSTRUCTION HAVE BEEN INSPECTED AND ARE IN CONFORMANCE WITH GEOTECHNICAL REPORT.

APPROXIMATE EARTHWORK VOLUMES:

APPROX. CUT VOLUME = 225 CY
(AVERAGE 4" OVER DISTURBED AREA)

APPROX. FILL VOLUME = 125 CY
(APPROX. 6" STRUCTURAL FILL WITHIN PROPOSED BUILDING PAD)



14-XXXXXX-BB
14-XXXXXX-GD
GRID: X-X



No.	Date	By	Revision Description
Issue Date:	10/03/2014	Project No.:	50181001
Designed By:	JKG	Drawn By:	JKG
Checked By:	JET/PJM	Project No.:	50181001
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PACLAND
11400 SE 8th St.
Suite 345
Bellevue, WA 98004
T (425) 453-9501
F (425) 453-8208
www.pacland.com

BARTELL DRUGS EXPANSION
BARTELL DRUGS
10116 NE 8TH STREET
BELLEVUE, WA 98004

GRADING AND DRAINAGE PLAN

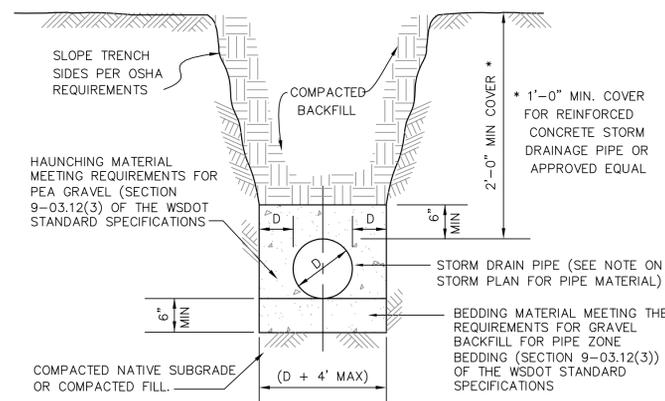
C-2.0

GRADING NOTES

1. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY AXIS SURVEY AND MAPPING, DATED 04/01/2014. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. **CAUTION - NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED AT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE SPOT ELEVATIONS INDICATED ON THIS PLAN REPRESENT THE DESIGN TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
4. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
5. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
6. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE UBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
8. ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
10. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
11. CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
12. FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
13. FOR LAYOUT INFORMATION REFER TO THE SITE PLAN.

STORM DRAINAGE NOTES

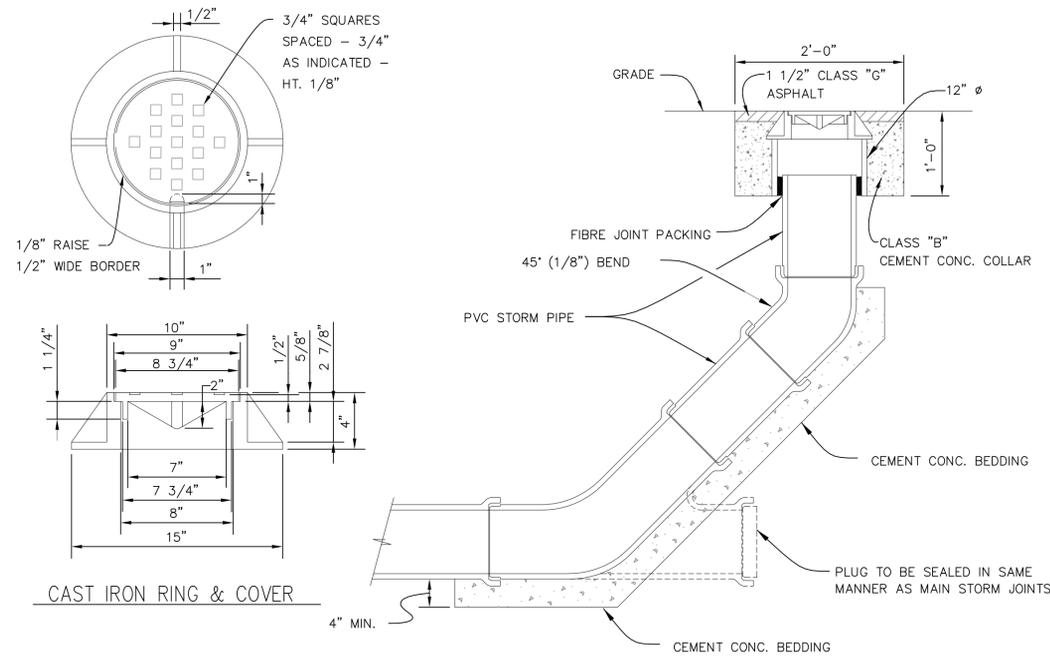
1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MOST CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
4. STORM DRAINAGE PIPE WITH LESS THAN 2'-0" COVER SHALL BE CLASS IV REINFORCED CONCRETE PIPE, OR APPROVED EQUAL TO SUSTAIN H-20 LOADING.
5. ALL ONSITE STORM DRAINAGE PIPE SHALL BE SMOOTH WALLED INTERIOR, MANUFACTURER'S VERIFICATION OF MANNING'S ROUGHNESS COEFFICIENT N=0.012 OR LESS.
6. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
7. ALL CATCH BASINS AND AREA DRAINS ARE TO BE SITUATED SUCH THAT THE OUTSIDE EDGE OF GRATE FRAME IS AT TOE OF CURB OR FLOW LINE OF GUTTER (WHERE APPLICABLE).
8. CATCH BASIN INLET PROTECTION / EROSION CONTROL TO BE USED FOR ALL NEW INLETS.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
11. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE SHOWN IN THE CATCH BASIN DETAIL.
12. CONTRACTOR SHALL CONNECT ROOF DRAIN LEADERS TO PROPOSED STORM DRAINS AS SHOWN.



BACKFILL: MATERIAL SHALL BE FREE OF LARGE ROCKS (3"+) AND SHALL BE PLACED IN 8" MAX LOOSE LIFTS AND COMPACTED TO 95% OF MAX. DENSITY PER MODIFIED PROCTOR TEST (ASTM D1557)

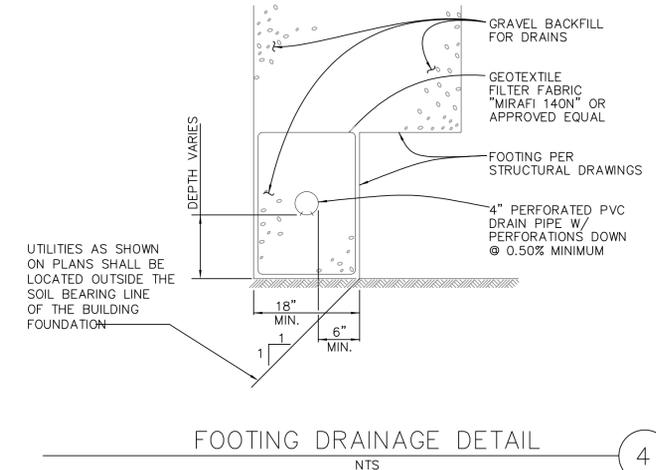
ON-SITE STORM DRAINAGE PIPE TRENCH AND BEDDING DETAIL
NTS

1



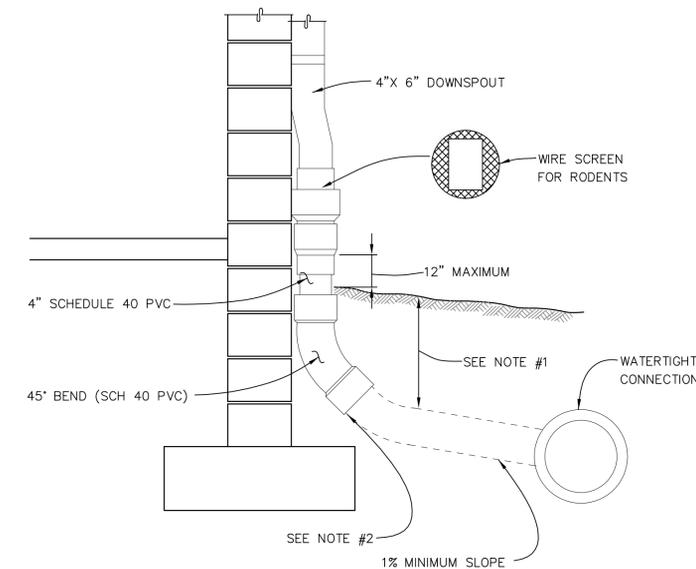
STORM DRAIN CLEANOUT
NTS

2



FOOTING DRAINAGE DETAIL
NTS

4

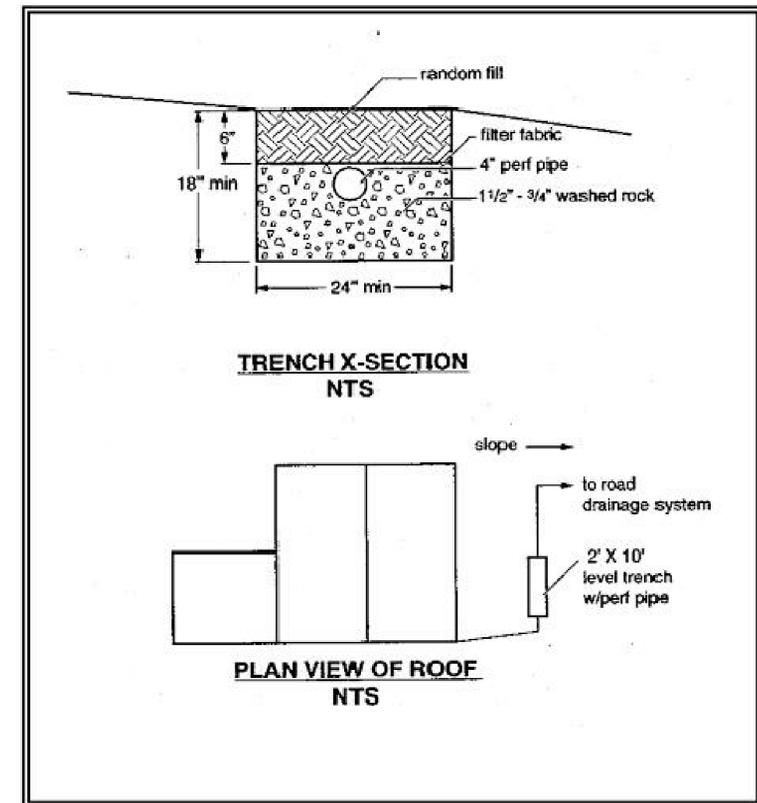


NOTES:

- 1) FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED.
- 2) A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
- 3) THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

DOWNSPOUT COLLECTOR DETAIL
NTS

3



Source: King County

Figure 3.8 Perforated Stub-Out Connection

PERFORATED STUB-OUT CONNECTION
NTS

5

14-XXXXXX-BB
14-XXXXXX-GD
GRID : X-X



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Designed By:	JJK		



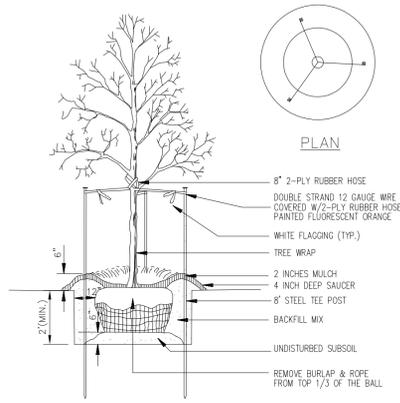
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11400 SE 8th St.
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Bellevue, WA 98004
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BELLEVUE, WA 98004
GRADING AND DRAINAGE NOTES AND DETAILS

C-2.1

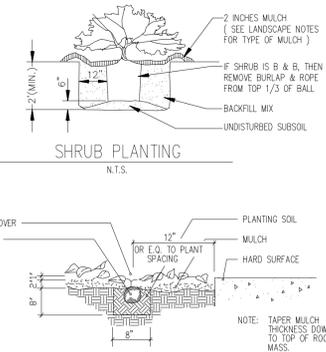
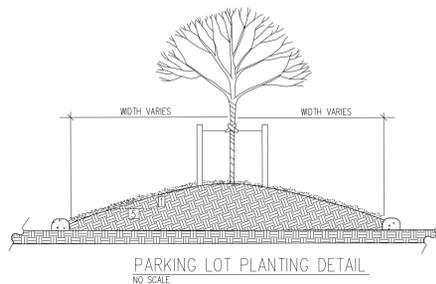
LANDSCAPE DETAILS

IRRIGATION DETAILS

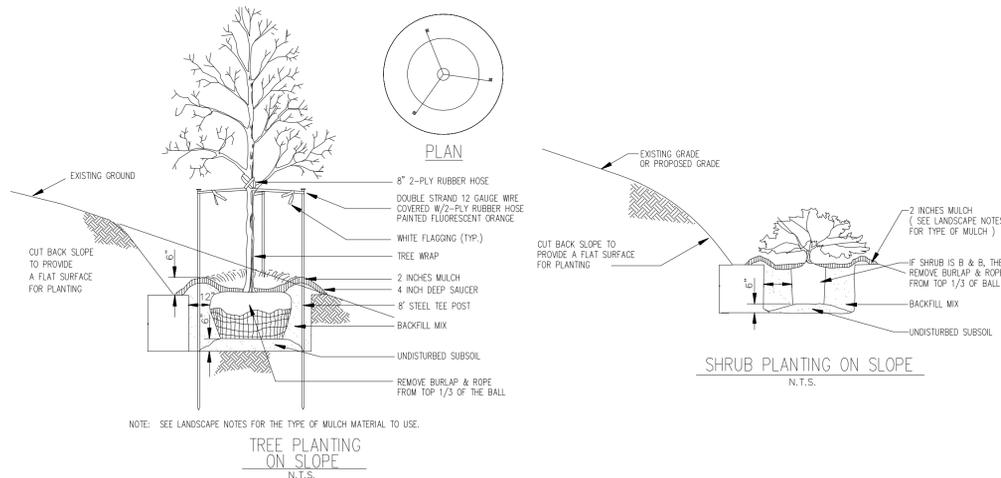


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING
N.T.S.



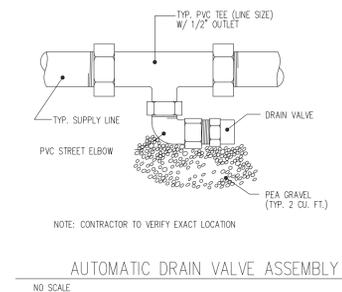
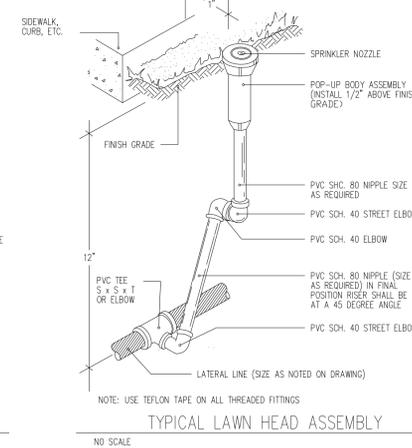
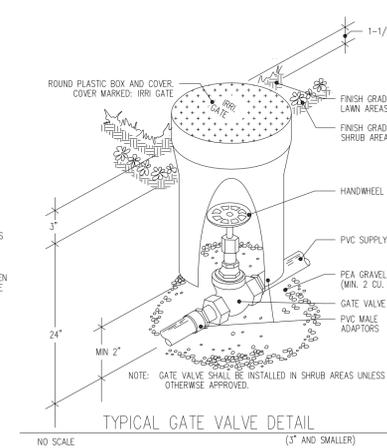
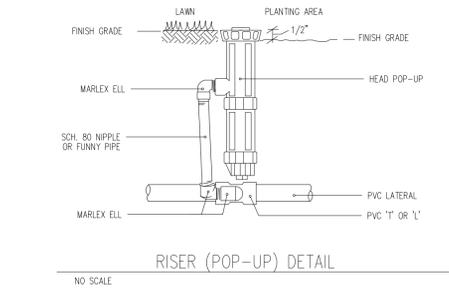
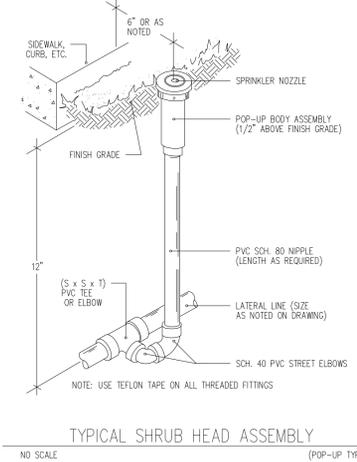
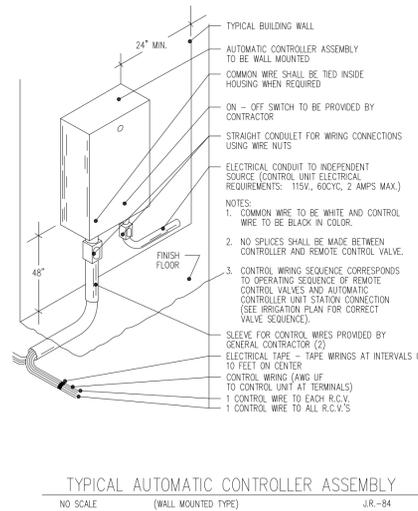
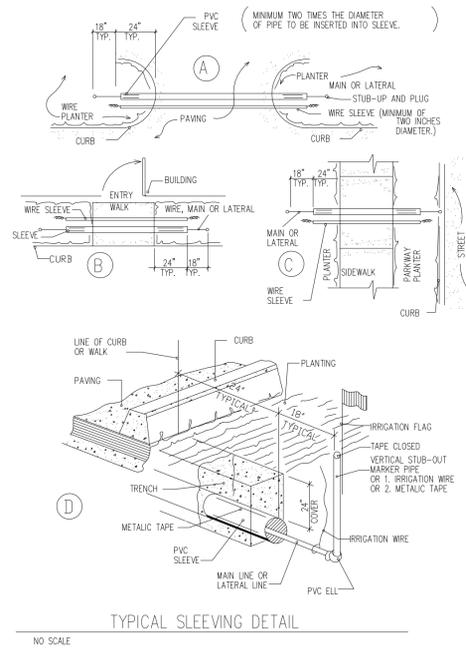
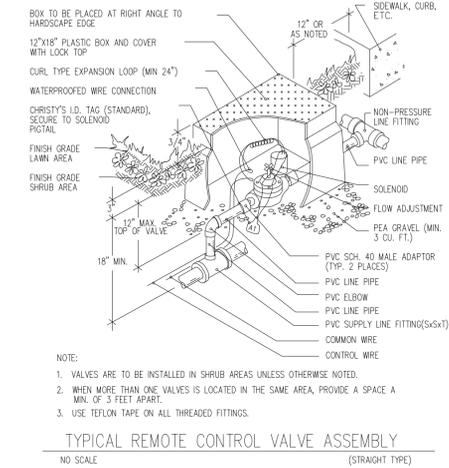
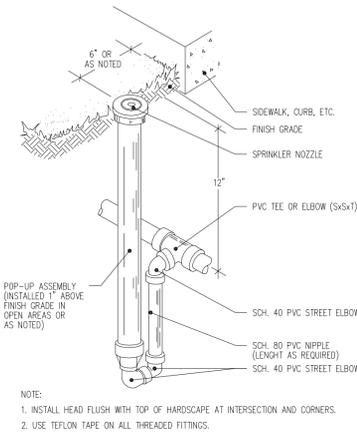
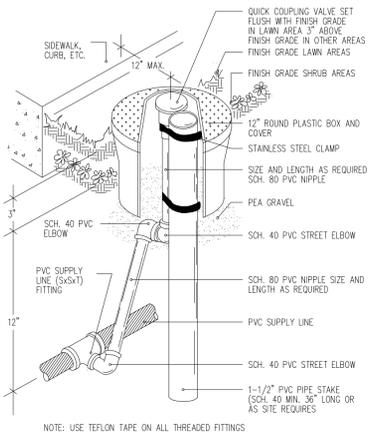
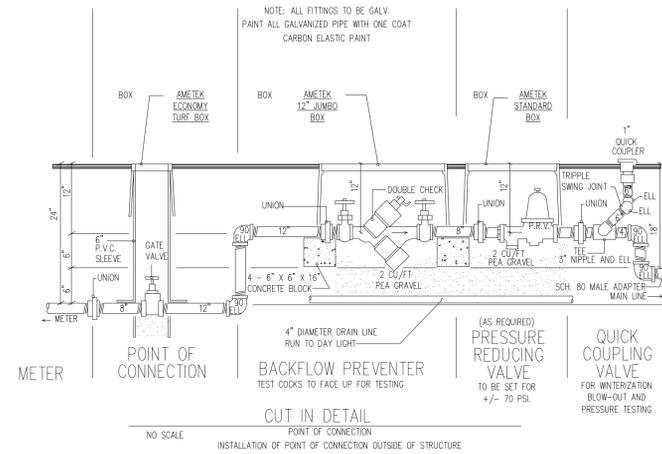
GROUND COVER DETAIL (4" POTS AND SMALLER)
NO SCALE



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING ON SLOPE
N.T.S.

NOTE: FOR INSTALLATION OF POINT OF CONNECTION WITHIN A STRUCTURE REFER TO THE GENERAL CONTRACTOR AND MECHANICAL ENGINEER / CONTRACTOR.



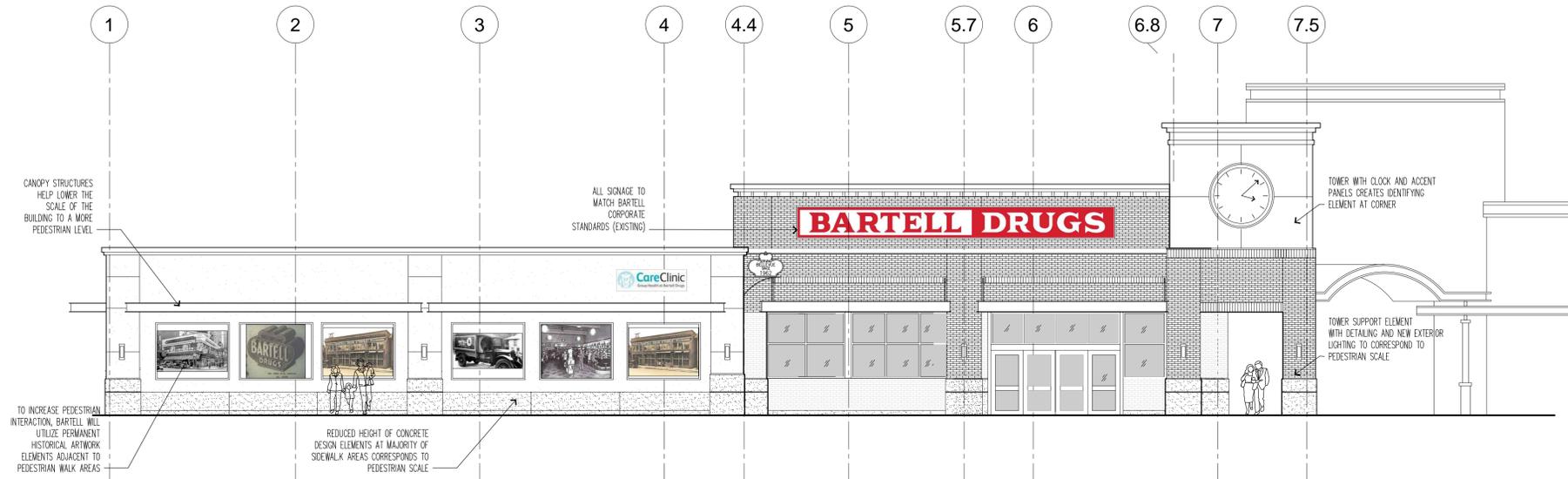
No.	Date	By	Revision Description
Issue Date:	10/03/2014		
Designed By:	DMD		
Drawn By:	DMD		
Checked By:	TSP		
Project No.	50181001		
	PRELIM		

PAC LAND
250 4th Ave. South
Suite 101
Edmonds, WA 98020
T (425) 275-9808
F (425) 275-0272
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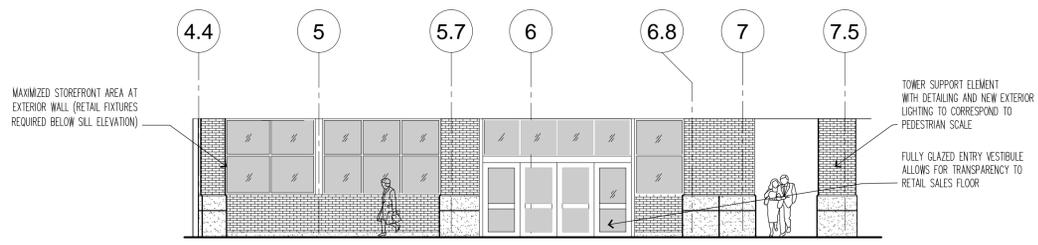
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LANDSCAPE + IRRIGATION DETAILS

14-XXXXXX-BB
14-XXXXXX-GD
GRID : X-X

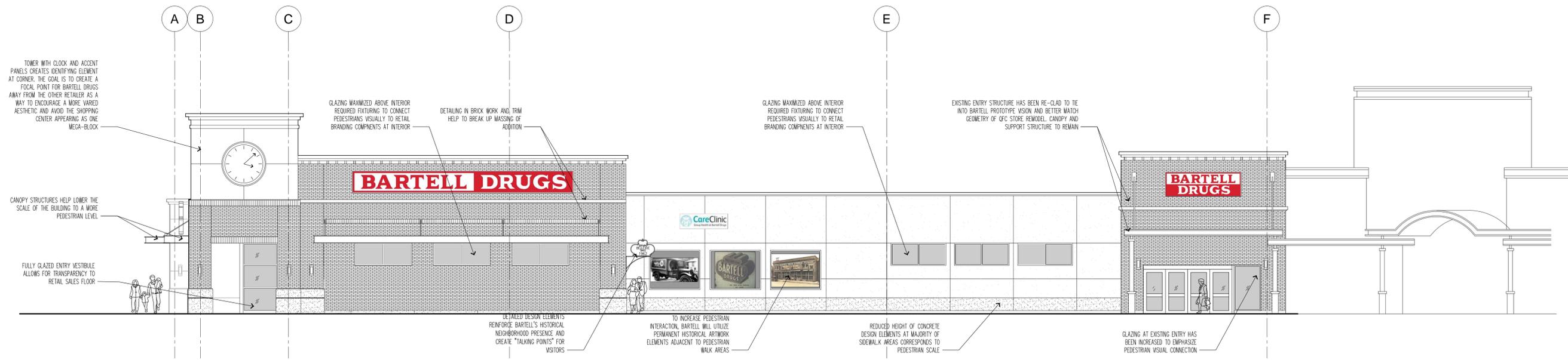




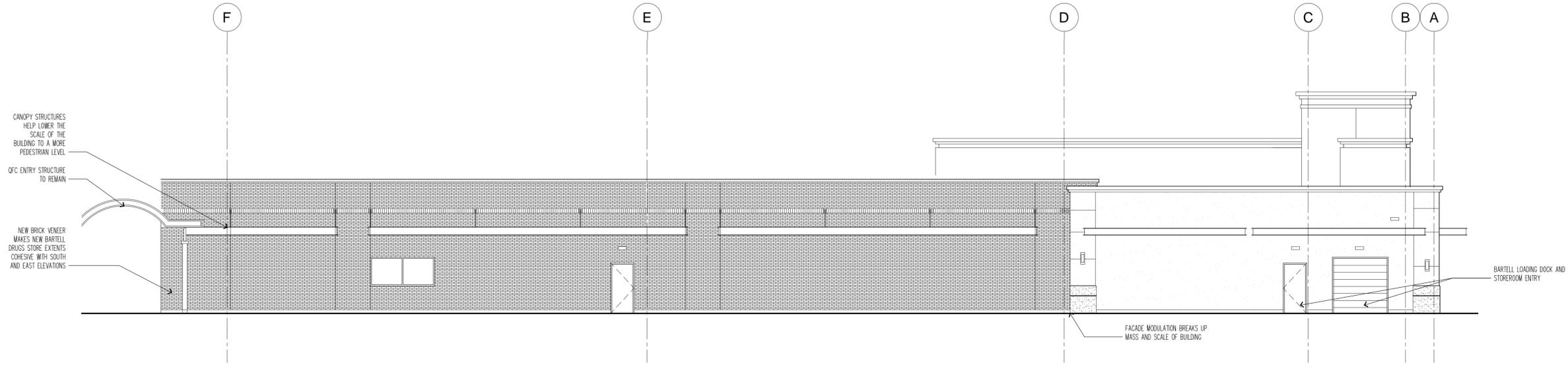
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



ENLARGED ELEVATION - SOUTH STOREFRONT
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

**BARTELL DRUGS BELLEVUE VILLAGE
EXISTING STORE EXPANSION**
10116 NE 8TH ST BELLEVUE, WA 98004

Magellian
ARCHITECTS