



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 11511 MAIN ST., P.O. BOX 90012  
 BELLEVUE, WA 98009-9012

**DETERMINATION OF NON-SIGNIFICANCE**

**PROPONENT:** AT&T SB1750 West Bellevue Square

**LOCATION OF PROPOSAL:** 9624 NE 8<sup>th</sup> Street

**DESCRIPTION OF PROPOSAL:**

Proposal to replace an existing 75-foot tall PSE utility pole with a new 98-foot glu-lam pole and to install six (6) new panel antennas and ancillary equipment. Additional mechanical equipment will be placed in an equipment shelter on the Grace Lutheran Church campus.

**FILE NUMBERS: 14-136423-LA**

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on January 29, 2015.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_, This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carole V. Hellend  
 Environmental Coordinator

1/15/15  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

State Department of Ecology,  
 Attorney General  
 Muckleshoot Indian Tribe



**City of Bellevue  
Development Services Department  
Land Use Division Staff Report**

**Proposal Name:** AT&T SB1750 West Bellevue Square  
**Proposal Address:** 9624 NE 8<sup>th</sup> Street

**Proposal Description:** Request for ACU approval to replace an existing 75-foot tall PSE utility pole with a new 98-foot glu-lam pole and to install six (6) new panel antennas and ancillary equipment. Additional mechanical equipment will be placed in an equipment shelter on the Grace Lutheran Church campus.

**File Number:** 14-136423-LA, Administrative Conditional Use

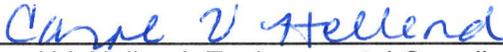
**Planner:** Sally Nichols, Senior Planner

**Applicant:** AT&T  
Rick Stockmann, Cascadia, PM

**Decisions Included:** Administrative Conditional Use Approval (Process II, Land Use Code 20.30E)

**State Environmental Policy Act  
Threshold Determination:**

**Determination of Non-Significance (DNS)**

  
\_\_\_\_\_  
Carol V. Hellend, Environmental Coordinator  
Development Services Department

**Director's Decision:**

**Approval with Conditions**

  
\_\_\_\_\_  
Mike Brennan, Director  
Development Services Department

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Date of Application: July 14, 2014  
Notice of Application: August 7, 2014  
14-day Comment Period: August 21, 2014  
Public Meeting: September 30, 2014  
Decision Publication Date: January 15, 2015  
Appeal Deadline: January 29, 2015

For information on how to appeal the project, visit the Permit Center at City Hall or call (425) 452-6864. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for the appeal deadline.

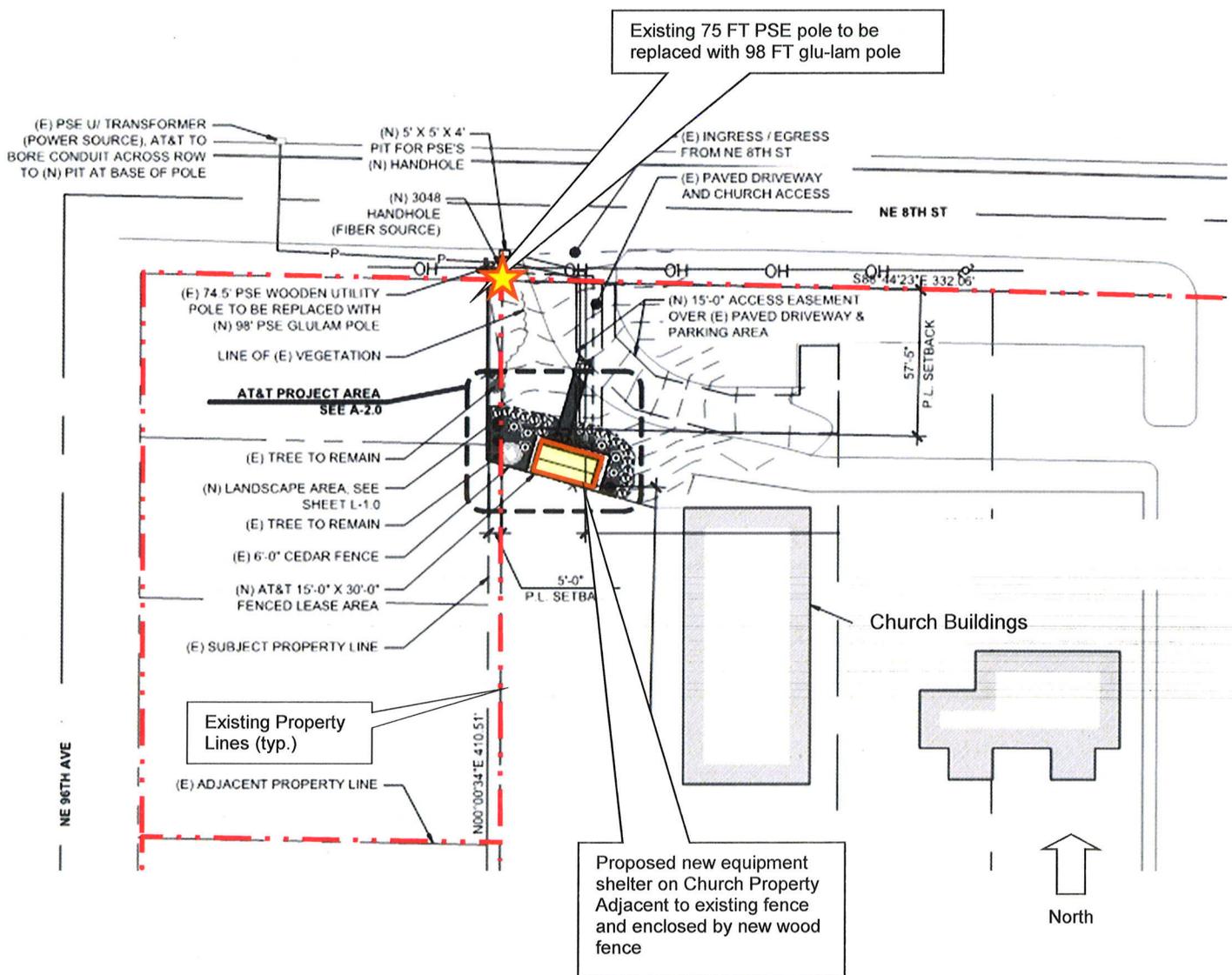
### I. Proposal Description/Process

#### A. Request

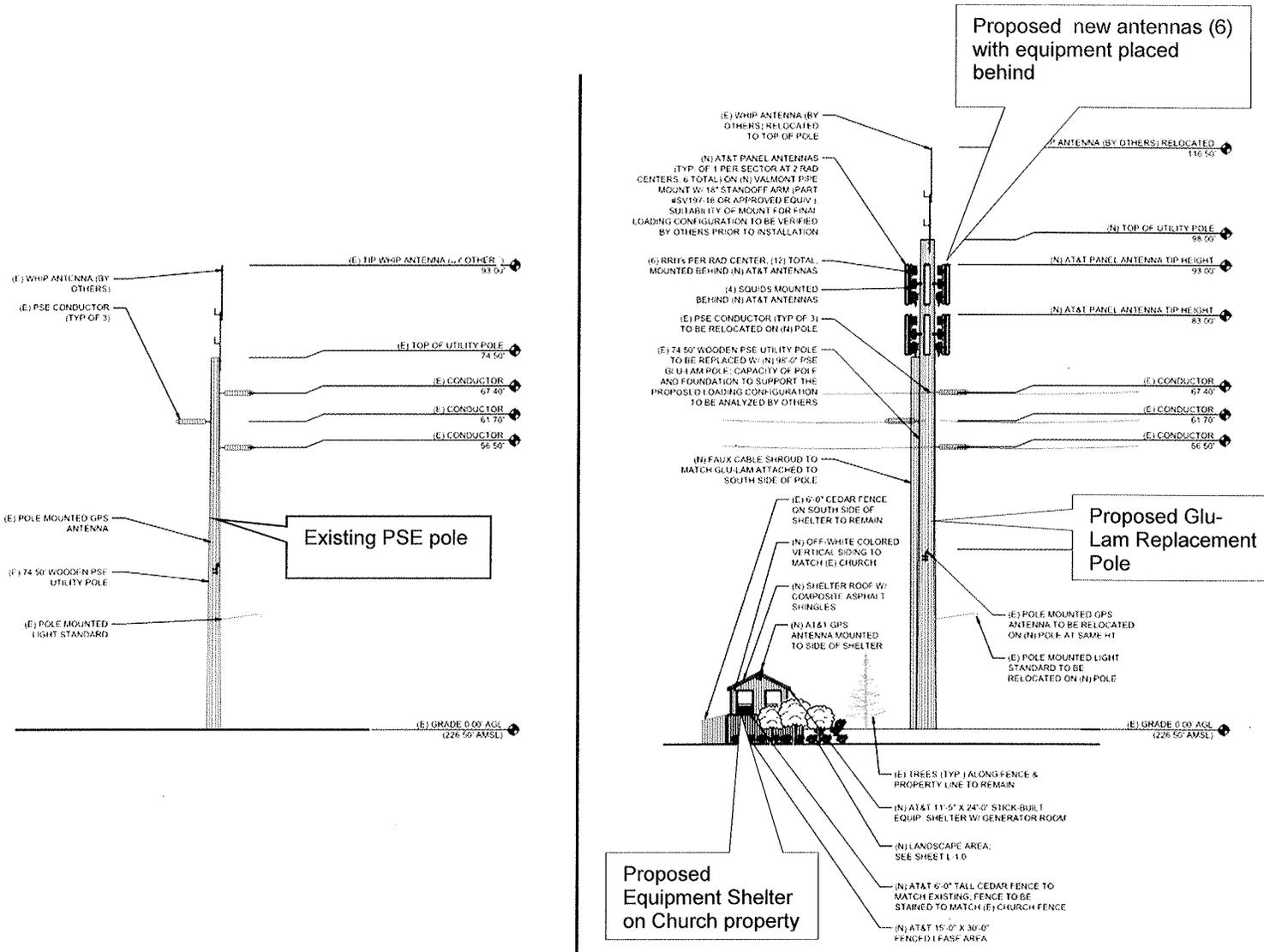
The applicant (AT&T) is requesting Administrative Conditional Use approval and a State Environment Policy Act (SEPA) threshold determination to install a new wireless communications facility (WCF) on an existing utility structure (pole) in the right-of-way. The applicant is proposing to replace the existing 75-foot tall Puget Sound Energy (PSE) utility pole with a new 98-foot glu-lam pole and to install six (6) new panel antennas and ancillary equipment. The equipment and antennas will be placed on what the applicant calls a 'stealth mount' - where the ancillary equipment is placed behind the antennas to minimize visual clutter on the pole.

Proposed new ground equipment will be placed in an enclosed equipment shelter which will be located on the Grace Lutheran Church (referred to in this report as the Church) property. The shelter will be screened with a new wooden fence and landscaping and the equipment inside will be connected to the pole via underground cables.

#### Proposal Site Plan



**East Elevation – Existing and Proposed**



**B. Process:**

A new wireless communications facility within the public right-of-way that also includes the replacement and extension of an existing utility pole requires Land Use review and approval through the Administrative Conditional Use (ACU) process. SEPA review is also required.

The ACU approval and SEPA Threshold Determination are Process II decisions made by the Director of the Development Services Department. Both include public noticing with a minimum 14-day comment period. The Director's decision shall be written in a staff report to indicate whether the application has been approved, approved with conditions, or denied. The decision will be publically noticed with a mandatory 14-day appeal period. Process II decisions may be

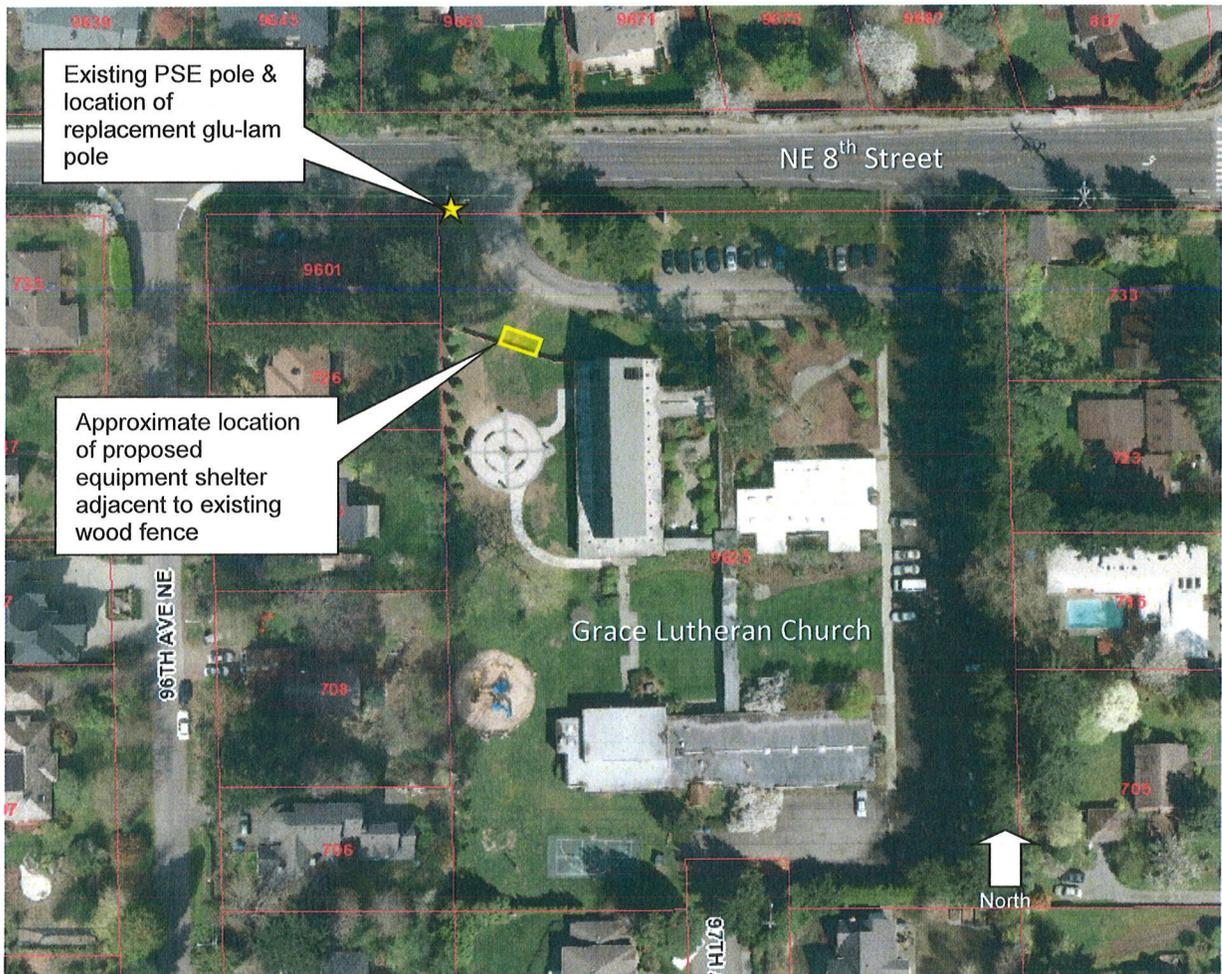
appealed and the appeal shall be heard at a public hearing before the City Hearing Examiner.

## II. Site Description and Zoning

### A. Site Description:

The replacement laminated wood (glu-lam) pole and attached six WCF antennas will be located within the NE 8<sup>th</sup> Street public right-of-way on the south side of the street. It lies between the Grace Lutheran Church to the east and a single-family home to the west. This right-of-way and all surrounding properties are within a single family residential land use district. This location is also a few blocks west of the Downtown and Bellevue Square Mall.

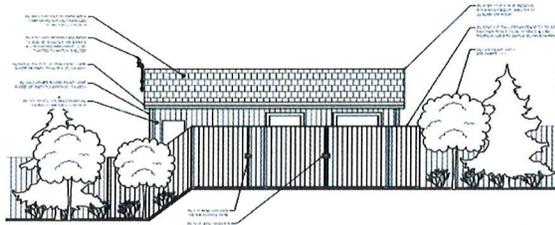
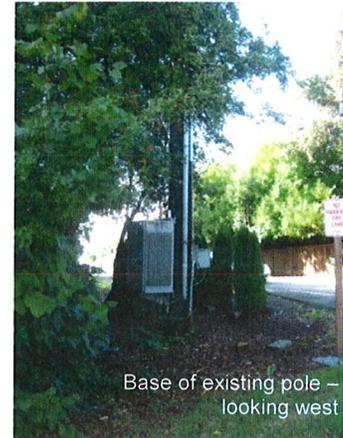
### Aerial Photograph/Site Context



The right-of-way in this location is undeveloped and does not have a sidewalk or curb. The base of the pole and associated PSE equipment is currently screened

with large shrubs to help reduce the visual impacts of the pole from the street and adjacent single-family properties.

The proposed ground equipment shelter will be placed on the Church site along an existing wood fence that lies approximately 10 feet below the grade of NE 8<sup>th</sup> Street. The area in front of the shelter location is currently a lawn and there are dense, mature trees that run along the western property line of the Church site.



North Elevation of Equipment Shelter (facing NE 8<sup>th</sup> Street)

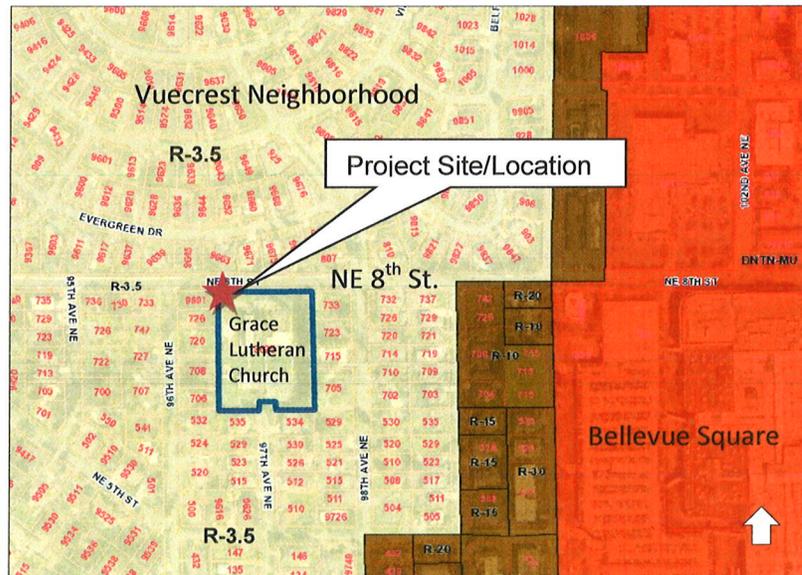
## B. Zoning and Context

The pole is located within the R-5, single-family land use district. Adjacent uses include the following:

**North:** R-3.5: Across NE 8<sup>th</sup> Street lies the existing single-family Vuecrest neighborhood

**South, East and West:** R-3.5: The Church lies within the R-3.5 land use district and is completely surrounded by single-family development.

### Zoning Map



### III. Environmental Impacts of the Proposal

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist adequately discloses expected environmental impacts associated with the project. The Checklist is available for public viewing in the project file in the Record's Office at Bellevue City Hall. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

### IV. Public Comments

The City initially notified the public of this proposal on August 7, 2014 with mailed notice and publication in the *Weekly Permit Bulletin*. One, double-sided public information sign was installed on the site on the same day. In addition, a Public Meeting was held on September 30, 2014 at 6:30 pm at City Hall. Two citizens came to the meeting and written comments were received from two individuals. Comments received, either written or expressed at the Public Meeting, are summarized below:

#### A. Why does the new pole have to be in this location? Why can't this facility be placed on the short distribution pole in front of the Church?

**Response:** AT&T's search ring covers an area surrounding the NE 8<sup>th</sup> Street corridor west of 100<sup>th</sup> Avenue NE and east of 92<sup>nd</sup> Avenue NE. This area is almost exclusively residential and the hilly terrain and mature trees present challenges when siting wireless facilities in this area. Using the City's location hierarchy in LUC 20.20.195, AT&T will place the antennas on an existing utility pole in the public right-of-way, adjacent to a property with a non-residential use (Grace Lutheran Church). Additionally, to best achieve the radio frequency (RF) goals for this search ring, the applicant selected the highest ground elevation possible on NE 8<sup>th</sup> Street to minimize the height required. The search ring and coverage area maps are in the project file in the Record's Office in Bellevue City Hall.

PSE was contacted by the applicant regarding the use of alternative existing poles along the Church property frontage for this facility. In a letter contained in the project file, PSE confirmed that due to engineering constraints, the pole proposed in this application is the only pole that is available for use for this WCF.

#### B. Will the shelter be visible from adjacent properties? How will noise impact the adjacent property?

**Response:** The equipment shelter will be screened with a wood fence and additional landscaping. It will be placed on a building pad that is approximately 10 feet lower than the street and through the use of color, materials, and landscaping, it will appear to be part of the Church campus.

Any associated noise will come primarily from the required HVAC units for the shelter. As a result of this review, the shelter has been redesigned so that the HVAC units will be placed along the eastern wall of the shelter - away from the neighboring properties. There is also an existing dense screen of evergreen trees between the Church and the neighboring properties to the west which will remain and further help to reduce any noise and/or visual impacts. Any noise from the facility will be required to meet the noise control requirements in BCC 9.18. **Refer to Condition of Approval regarding noise and construction hours in Section VIII of this report.**

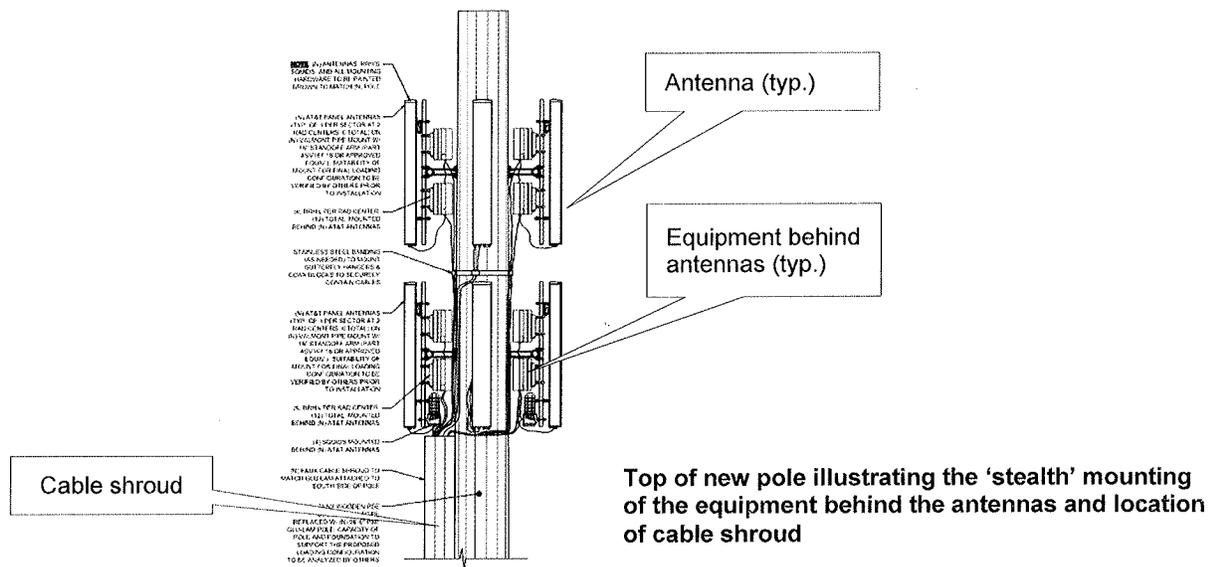
**C. Can the pole be camouflaged? Why can't the antennas be placed in a stealth configuration?**

**Response:** The Land Use Code (LUC) does not give Land Use the authority to require the applicant to use a tree camouflage pole. However, through application of the LUC, the applicant must meet certain development standards to help diminish the impact of this facility. This facility will be required to do the following:

- Construct a replacement glu-lam pole that will complement the surrounding mature trees and will have a residential character.
- Paint the antennas and all ancillary equipment to match the pole
- Contain the power cables and conduit within the support structure
- Pull any exposed cabling tight
- Screen the equipment on the ground by placing it in a structure that in turn will be screened by a wood fence and landscaping
- Retain and/or replace all existing landscaping at the base of the pole.

The applicant explored the stealth design and determined that given AT&T's radio frequency (RF) requirements, it would be more obtrusive in this location. The type of antennas needed to achieve the RF goals would require very large, bulky and obtrusive 'stealth' canister. In lieu of a 'stealth' design, and in addition to the development standards in the LUC, AT&T proposes the following to reduce the visual impacts of the facility:

- The antennas mounts will be 18 inches, which is the shortest they can be while still allowing for both the correct angle of the antennas on the mount and the placement of RRH's and other RF equipment behind the antennas.



- The equipment will be placed behind the antennas, rather than placing them below the antennas on the pole, allowing for the most compact and clean design.
- All equipment mounted on the pole will be painted to match the pole (typically dark brown on the glu-lam poles). **Refer to Condition of Approval regarding antenna and equipment color in Section VIII of this report.**

## V. Changes as a Result of this Review

- The equipment shelter was moved further away from the western property line and it now proposed to be approximately 17 feet away from the closest adjacent neighbor.
- The equipment in the shelter was rearranged so that the air conditioning units could be placed on the eastern wall of the shelter. Any potential noise generation from these units will be directed eastward and will be as far away as possible from the adjacent residential neighborhood to the west. Any noise generated from the facility will be required to meet the noise control code for stationary noise sources.
- Landscaping around the equipment shelter was revised to harmonize better with the landscaping on the Church property and better screen the shelter from the street and adjacent properties to the north and west.

## VI. Applicable Decision Criteria / Findings and Conclusions

Compliance with the decision criteria of Land Use Code Section 20.30E.140 (Administrative Conditional Use Permit) is discussed below.

- The administrative conditional use is consistent with the Comprehensive Plan.

As conditioned, the proposal is consistent with the City of Bellevue's Comprehensive Plan regarding wireless communications facilities. The Comprehensive Plan Utilities Policies listed below are especially relevant to the City's decision on this application:

***Policy UT-40: Requires the reasonable screening and/or architecturally compatible integration of all new above-ground facilities.***

***Policy UT-41: Protect Bellevue's aesthetic quality and infrastructure investment from unnecessary degradation caused by the construction of telecommunication infrastructure.***

***Policy UT-53: Requires all utility equipment support facilities to be aesthetically compatible with the area in which they are placed by using landscape screening and/or architecturally compatible details and integration.***

***Policy UT-55: Requires the placement of personal wireless communication facilities in a manner that minimizes the adverse impacts on adjacent land uses.***

***Finding:***

As conditioned, the antennas and equipment on the glu-lam (wood) replacement pole extension will be painted to match the pole and all cabling will be placed inside the pole in a shroud. The equipment shelter building, which has a residential character, will completely hide the ground-mounted equipment and this shelter will also be screened by a wood fence and landscaping. Landscaping around the base of the existing pole will need to be replaced as part of site restoration once the new pole is constructed.

**Refer to Condition of approval regarding site disturbance, restoration and landscaping, and antenna and equipment color in Section VIII of this report.**

***Policy UT-43: Encourages consolidation on existing facilities where reasonably feasible and where such consolidation leads to fewer impacts than would construction of separate facilities.***

***Finding:*** The proposal involves consolidation of facilities on an existing utility pole. Therefore, no new pole in another location will be required.

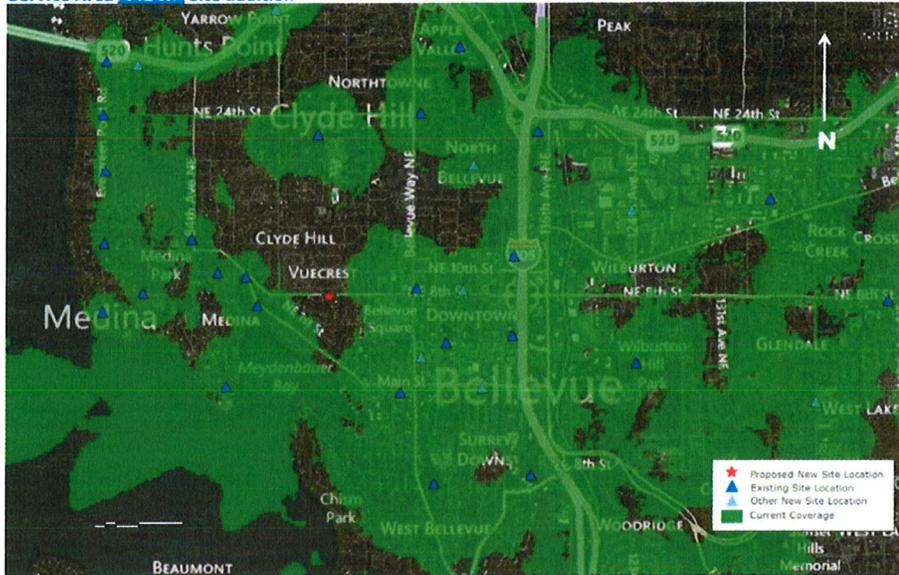
***Policy UT-60: Minimize visual impact of personal wireless communication facilities by encouraging deployment in land use districts in the following preferred and descending order when possible, considering the provider's coverage needs: 1) Non-residential land use districts, except Transition Areas; 2) Transition Areas; 3) Multifamily (R-20 and R-30) districts; and 4) and Park site and Residential districts.***

***Finding:*** The coverage area as shown in the submitted search ring and coverage maps for this project consists almost entirely of residential properties that are important to AT&T's coverage objectives. Thus, the location needs to be within this single family zoning districts and no alternative, non-residential locations would have meet AT&T's functional needs. However, the pole is located in front of the Church property, which has a non-residential use.

**Before and After Coverage Maps**

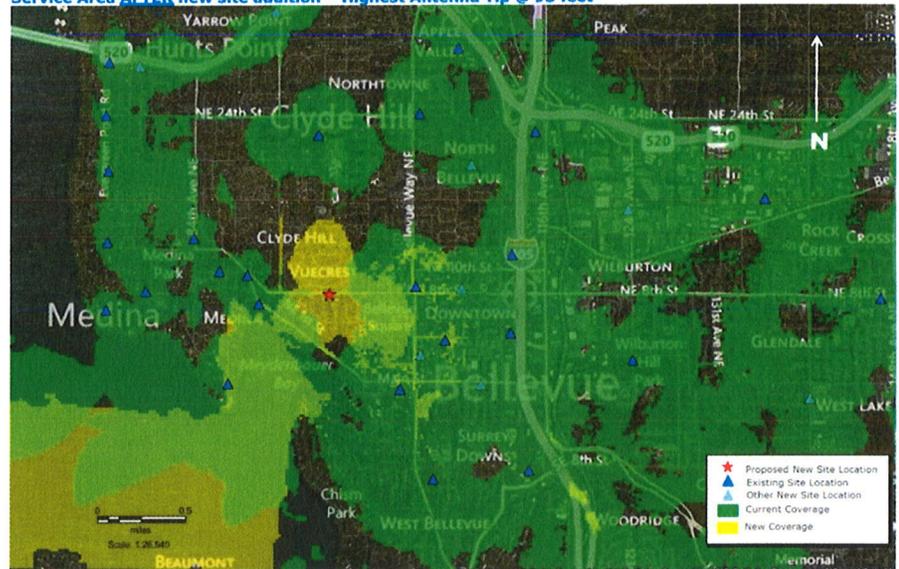
**Exhibit 7 – Existing Service Coverage Coverage**

Service Area BEFORE site addition



**Exhibit 8 – Proposed Service Coverage Map**

Service Area AFTER new site addition – Highest Antenna Tip @ 93 feet



***Policy UT-61: Minimize visual impact of personal wireless communication facilities by encouraging system designs in the following preferred and descending order: 1) attached to public facility structures, building mounted, or integrated with utility poles, light standards, and signal supports; 2) co-located on utility poles, light standards, signal supports; and 3) free standing towers.***

**Finding:** This proposal will be co-located on a replacement PSE utility pole, which is supported by the Comprehensive Plan Policy above and the Land Use Code. Co-locating on one existing pole is preferable to constructing an entirely new WCF in another location.

**B. The design is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity;**

**Finding:** To ensure that the facility is compatible with property in the immediate vicinity, the proposal incorporates the following measures:

- 1) Facility is a co-location on an existing PSE transmission pole.
- 2) Proposal will use 'stealth' antenna mounts whereby the ancillary equipment on the pole will be placed behind the antennas to reduce visual clutter on the pole.
- 3) The pole height is the minimum necessary to add the six antennas while still providing for the effective functioning of the system.
- 4) The panel antennas and ancillary equipment will be painted dark brown to match the replacement pole. The proposed antenna styles, attachment methods, and paint treatment will result in a facility that will be as low-profile in appearance as possible.
- 5) The mechanical equipment will be placed in a equipment shelter on the Church property that will be further screened by a wood fence and new landscaping.
- 6) Cables will be routed entirely within the pole and all exposed cables, both existing and proposed, shall be pulled tight. Cabling connecting the pole to the equipment shelter will be placed underground.

**Refer to Condition of Approval regarding antenna and equipment color, antenna mounting, and cabling and shroud in Section VIII of this report.**

**C. The administrative conditional use will be served by adequate public facilities including streets, fire protection, and utilities.**

**Finding:** The replacement pole and associated equipment shelter will be located in a neighborhood that is already served by adequate public facilities, including streets, fire protection, and utilities.

The Fire Department has reviewed this application and has determined that there are no substantial concerns. **Refer to Conditions of Approval regarding existing City of Bellevue radio systems and interference in Section VIII of this Staff Report.**

**D. The administrative conditional use will not be materially detrimental to uses or property in the immediate vicinity of the subject property; and**

**Finding:** The replacement of an existing utility pole with a new glu-lam utility pole and the co-location of six antennas will not be materially detrimental to the immediate vicinity. Visual intrusion has been reduced as much as possible. Refer to discussions in Sections VI.B and C (above) and VI.E (below) for how the

facility has met the requirements of the LUC and has reduced the impacts of the facility on the surrounding neighborhood. The applicant has also provided photo simulations of the proposal from different vantage points in the surrounding neighborhoods. These simulations demonstrate the minimal impact that this new facility within the immediate vicinity and they are in the project file in the Record's Office in Bellevue City Hall.

In addition, the project will benefit the surrounding neighborhood by providing service to an underserved area within AT&T's network and the proposal will expand the E911 system, which provides emergency responders with the mobile telephone number and the estimated location of the 911 caller to assist them in dispatching emergency assistance.

Finally, the facility will be removed when it ceases to be operational or falls into disrepair and is not maintained, or if the utility support structure is removed or placed underground. **Refer to Condition of Approval regarding antenna and equipment color, the removal of abandoned sites, and removal upon undergrounding in Section VIII of this staff report.**

**E. The administrative conditional use complies with the applicable requirements for a wireless communication facility as provided by the Land Use Code 20.20.195, including location and design preferences.**

***Finding:*** As conditioned, the proposed wireless facility complies with the location and design preferences as detailed in LUC 20.20.195. Further, the proposal meets all specific Land Use Code requirements applicable to non-exempt wireless communications facilities per LUC 20.20.195.D, as summarized below.

**1) Height:** The pole height will be increased from the existing 75 feet to 98 feet. The height is necessary to enable the six new antennas to achieve AT&T's functional needs and provide coverage without interference from surrounding trees and topography. Although the proposed pole height exceeds the maximum height allowed for an exempt WCF in a residential land use district, it is the minimum necessary for effective functioning of the provider's network, as certified by the provider's licensed radio frequency (RF) engineer. The certification letter is available in the project file at the Record's Office in Bellevue City Hall.

**2) WCF Location and Design**

**a. Preferred Location (LUC 20.20.195D.2.a):**

Located within a single family residential land use district, the proposal falls within the least preferred location according to the siting criteria of LUC 20.20.195.D.2.a. However, while non-residential property would be a preferred location, no such option exists given the coverage area requirements for this application; the coverage area and search ring are almost entirely within residential land use districts. The facility location was chosen, however, to be in the public right-of-way, co-located with an existing utility pole, and in front of a property with a non-residential church use. The search ring and coverage area maps can be found in the project file at the Record's Office in Bellevue City Hall.

**b. Preferred Facility Design (LUC 20.20.195D.2.b):**

The requirements for wireless communication facilities encourage co-locating facilities versus building new single-purpose monopoles. AT&T's proposal is consistent with this direction, since they have opted to co-locate on an existing PSE utility pole. The proposal represents the second most preferred system design alternative (co-located on utility poles, light standards, and signal supports) under LUC 20.20.195D.2.b.

In addition, the applicant's radio frequency engineer has certified that the mechanical equipment is the minimum necessary to support operation of the facility. This certification letter can be found in the project file at the Record's Office in Bellevue City Hall.

**c. Minimizing Adverse Impacts LUC 20.20.195D.2.c:**

Application of the location and design hierarchies as described in Sections III.E.2.a. and b. above, the development standards described in Section III.E.4. below, and the conditions of approval found in Section VIII of this report will result in a proposal that minimizes the adverse impacts of the WCF when considering the search ring as a whole. In addition, the applicant has provided a letter from the RF engineer which states that the facility complies with RF Emission Guidelines set forth by the FCC. This certification letter can be found in the project file at the Record's Office in Bellevue City Hall.

**3) Dispersal Limits:** The applicant has verified that there are no other WCF's within 520 feet of this proposal in the public right of way. The submitted map identifying the surrounding WCF site can be found in the project file at the Record's Office in Bellevue City Hall.

**4) Development Standards:** The proposal includes the following development standards to ensure that the WCF minimizes the adverse impacts, especially visual and aesthetic impacts, on the property where the facility is located and in the vicinity of the facility.

**a. Screening Techniques:**

The equipment required for the new antennas will be placed in a new equipment shelter on the Church property. The shelter will be painted off-white to harmonize with other buildings on the Church campus and it will be screened with a wood fence and new landscaping. The equipment in the shelter will be connected to the pole via underground coaxial conduits. All antennas and mechanical units attached to the pole will be painted brown to match the pole. Existing landscaping at the base of the pole must be replaced to ensure that the base of the pole and PSE equipment is adequately screened from the adjacent property to the west and from the street. **Refer to Conditions of Approval site disturbance, restoration and landscaping, antenna and equipment color, and cabling and shroud in Section VIII of this report.**

**b. Design and configurations to minimize visual intrusion of the facility:**

The panel antennas on the proposed pole will have slender, flat profiles and no portion of any antenna will extend above the height of the support pole. The antenna mount will be 18 inches wide; the minimum necessary to support this configuration. The mount will also be 'stealth' where all ancillary equipment will be placed behind the antennas to reduce the visual clutter on the pole. All antennas, mounts and ancillary equipment will be painted dark brown to match the new pole as closely as possible to further reduce the overall visual impact. **Refer to Condition of Approval regarding antenna mounting and antenna and equipment color in Section VIII of this report.**

**c. Construction and site restoration techniques:**

There will be minor clearing to bury the underground coaxial conduits, connect to necessary utilities, and to install the equipment shelter. All construction activities must adhere to the city's noise and construction hours, codes and requirements. All areas of disturbance during construction will be restored and the applicant will provide a maintenance assurance device to ensure correct installation and plant establishment. The facility will not be activated until all work shown on the plans and specifications is completed.

The applicant will be required to obtain a Right-of-Way Use Permit for **any** work that takes place within the public right-of-way. Note that NE 8th Street is a "no cut" road. If the boring requires any potholing to determine existing utility depth, the applicant would need to request a variance (through the Right-of-Way Use Permit) to core through the roadway. Review under the Right-of-Way Use Permit may necessitate the project be redesigned and/or rescheduled.

**Refer to Conditions of Approval regarding site disturbance, restoration, and landscaping, noise and construction hours, completion of work/facility activation, the right-of-way use permit, and landscape maintenance assurance device in Section VIII of this report.**

**d. WCF Equipment:**

WCF equipment in residential districts is required to be screened to minimize the visual impact of the equipment on adjacent land uses. The proposal equipment will be located within the new equipment shelter, which will be screened with a wood fence and new landscaping. Any unintended disturbance of the existing vegetation on the Church site will require full restoration. **Refer to Condition of Approval regarding site disturbance, restoration, and landscaping in Section VIII of this report.**

**e. Co-location:**

This proposal is for co-location of three new antennas on the existing pole. Additional co-location on the pole for other carriers may be a

possibility, subject to technical feasibility. However, specific details or analysis with regards to future co-location are not part of this proposal.

5. **Radio Frequency Emissions:** The Engineering Certification Letter submitted by AT&T's radio frequency engineer states that the facility will comply with the radio frequency emission standards adopted by the Federal Communications Commission (FCC). This certification letter can be found in the project file at the Record's Office in Bellevue City Hall.
6. **Setback Requirements for Freestanding Wireless Communication Facilities:** Setbacks requirements do not apply to the replacement pole because the proposed antennas are on an existing PSE utility pole with the public right-of-way. The equipment shelter on the Church property will meet the setback requirements for the R-3.5 single-family land use district.
7. **Independent Technical Review:** No such review was deemed necessary for this application.
8. **Removal of Abandoned Antennas and Towers:**  
Refer to Condition of Approval regarding abandoned sites in Section VIII of this report.
9. **Removal Upon Under-grounding:**  
Refer to Condition of Approval regarding removal of the facility upon undergrounding in Section VIII of this report.

## VII. DECISION

After conducting the various administrative reviews associated with this proposal, including applicable land use consistency, SEPA, and City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE** the proposal subject to the following **CONDITIONS**:

## VIII. CONDITIONS OF APPROVAL:

The following conditions are imposed under authority referenced:

### **Compliance with Bellevue City Codes and Ordinances**

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including but not limited to:

#### **Applicable Codes, Standards & Ordinances**

Clearing & Grading Code – BCC 23.76  
Construction Codes – BCC Title 23  
Fire Code – BCC 23.11  
Land Use Code – BCC Title 20  
Noise Control – BCC 9.18  
Sign Code – BCC Title 22

#### **Contact Person**

Janney Gwo, (425) 452-6190  
Building Division, (425) 452-6864  
Kevin Carolan, (425) 452-7832  
Sally Nichols, (425) 452-2727  
Sally Nichols, (425) 452-2727  
Sally Nichols, (425) 452-2727

Right-of-Way Use Code 14.30  
Utility Code – BCC Title 24

Tim Stever, (425) 452-4294  
Brad Ayers, (425) 452-6054

**1. Noise & Construction Hours**

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Proximity to existing residential uses will be given special consideration. Upon written request to the Development Services Department (DSD), work hours may be extended to 10:00 p.m. if the criteria for extension of work hours as stated in BCC 9.18 can be met and the appropriate mitigation employed.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

After facility activation, all noise emanating from the facility (including noise from the HVAC system) must meet the noise requirements in BCC 9.18.030.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: BCC 9.18, including 9.18.020.C, 9.18.030, & 9.18.040

**2. Site Disturbance, Restoration, and Landscaping**

- a) After pole replacement construction, the applicant is required replace all existing landscaping, including the replacement of a minimum of six arborvitae shrubs, around the base of the pole to match the pre-construction configuration and screen the pole and PSE equipment from the property to the west. At time of planting, the plants shall be a minimum of five feet tall.
- b) The applicant shall fully restore any disturbance to the Church property not identified in the final landscape plan, including disturbance cause by trenching required to underground the cable connecting the shelter to the pole.
- c) The final landscape plan, which includes restoration plantings required at the base of the pole, shall be submitted with the wireless communication facility permit (CA permit).
- d) Prior to permit close out, the applicant shall contact the City of Bellevue Land Use reviewer to set up a Land Use Inspection on-site to review all landscaping and required plant replacement. Contact Sally Nichols at (425) 452-2727, [spnichols@bellevuewa.gov](mailto:spnichols@bellevuewa.gov) to arrange an inspection.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.20.195.D.4.c

**3. Right-of-Way Use Permit**

Any work in the right of way will be formally reviewed and approved through the Right-of-Way Use Permit.

Note that NE 8th St is a "**no cut**" road. If the boring requires any potholing to determine existing utility depth, applicant would need to request a variance (through the ROW Use Permit) to core through the roadway.

Review under a ROW Use Permit may necessitate the project be redesigned and/or rescheduled.

REVIEWER: Tim Stever, Transportation/Right-of-Way  
AUTHORITY: BCC 14.30.070 and 14.30.080

**4. Completion of Work/Facility Activation**

The facility shall not be activated until all work included in the project scope and shown on the plans and specifications is completed.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.40.425

**5. Antenna Mounting**

The antennas shall be attached to the replacement pole such that no portion of the antenna extends above the height of the new support structure (replacement pole).

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.20.195.B.1.a.v

**6. Antenna and Equipment Color**

All antennas and associated equipment mounted to the pole shall be painted dark brown to match the support structure (pole).

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.20.195.D.4.a

**7. Cabling and Shroud**

All cable connections to each antenna shall be routed through a shroud attached to the pole. The shroud shall be extended as high as feasible to hide the proposed cabling.

All proposed cabling shall be **pulled tightly** to minimize visual impacts from the right-of-way and surrounding properties.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.20.195.B.1.a.iii

**8. Existing Radio System & Interference**

If this telecommunications system causes interference problems with any of the existing radio systems for the City of Bellevue, this system will be required to immediately shut down until the interference can be removed or corrected.

REVIEWER: Kevin Carolan, Fire Department  
AUTHORITY: FCC 90.672

**9. Removal of Abandoned Sites**

The owner of this facility shall provide the Director with copies of any notice of intent to cease operations that is provided to the Federal Communications Commission (FCC). All WCFs and the associated equipment shall be removed by the facility owner within 90 days of the date it ceases to be operational, or if the facility falls into disrepair and is not maintained. Disrepair includes structural features, paint, or general lack of maintenance, which could result in safety or visual impacts.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.20.195.D.8

**10. Removal Upon Undergrounding:**

The facility shall be removed at no expense to the City if co-located on an electrical system facility or utility support structure that is subsequently undergrounded.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.20.195.D.9

**11. Landscape Maintenance Device**

A landscape maintenance assurance device must be filed with the Development Services Department for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping, including restoration work.

REVIEWER: Sally Nichols, Land Use  
AUTHORITY: LUC 20.40.490

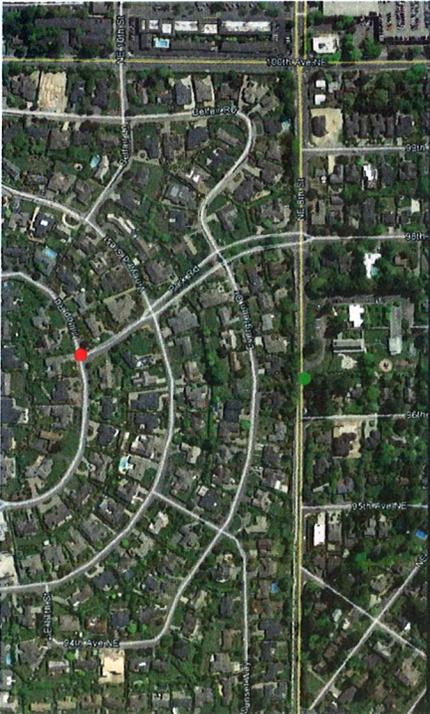
**Attachments**

Project Plans  
SEPA Checklist



# SB1750 West Bellevue Square Mall Looking South

AERIAL OF SUBJECT AREA



- APPROX. PHOTO LOCATION
- APPROX. PROPOSED ANTENNA LOCATIONS



Existing



(N) AT&T PANEL ANTENNAS W/  
RRH'S MOUNTED TO (N) 98'-0" AGL  
WOOD PSE GLULAM POLE

(E) 74.50' WOODEN PSE UTILITY  
POLE TO BE REPLACED W/ (N)  
98'-0" PSE GLULAM POLE



MODEL

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Proposed





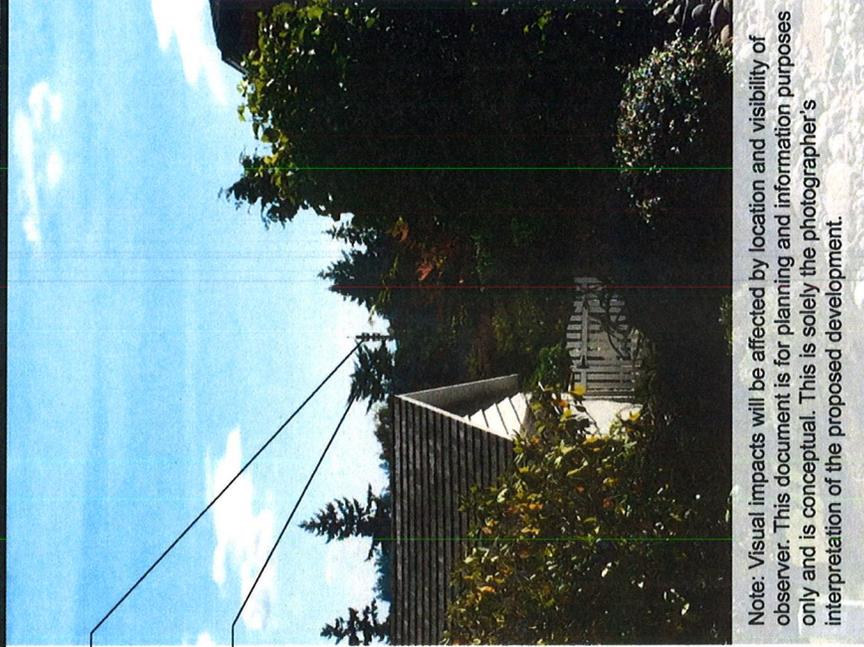
# SB1750 West Bellevue Square Mall

## Looking South



- APPROX. PHOTO LOCATION
- APPROX. PROPOSED ANTENNA LOCATIONS

AERIAL OF SUBJECT AREA



(N) AT&T PANEL ANTENNAS W/ RRR'S MOUNTED TO (N) 98'-0" AGL WOOD PSE GLULAM POLE

(E) 74.50' WOODEN PSE UTILITY POLE TO BE REPLACED W/ (N) 98'-0" PSE GLULAM POLE

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Existing

Proposed





at&t

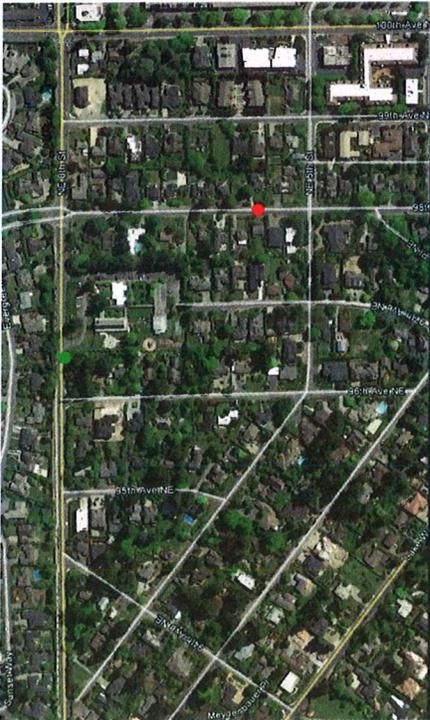
# SB1750 West Bellevue Square Mall

## Looking Northwest

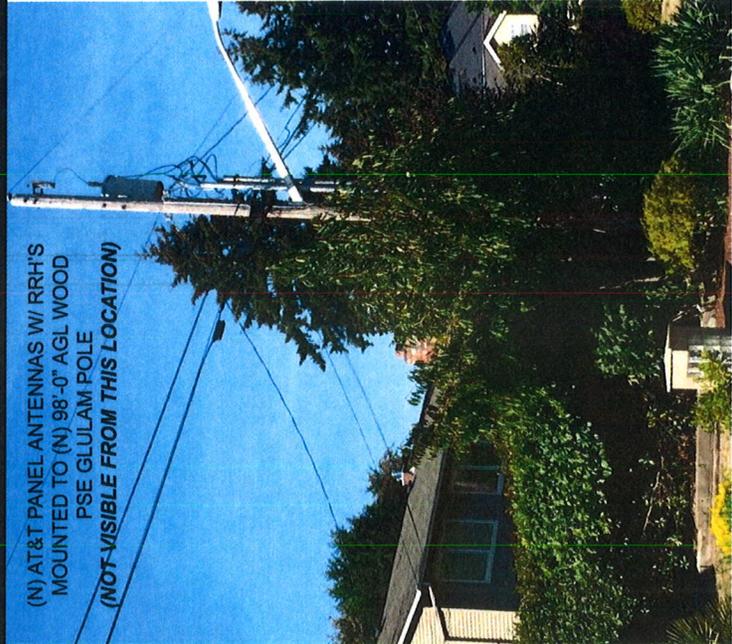


- APPROX. PHOTO LOCATION
- APPROX. PROPOSED ANTENNA LOCATIONS

AERIAL OF SUBJECT AREA



Existing



(N) AT&T PANEL ANTENNAS W/ RRH'S MOUNTED TO (N) 98'-0" AGL WOOD PSE GLULAM POLE (NOT VISIBLE FROM THIS LOCATION)

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Proposed

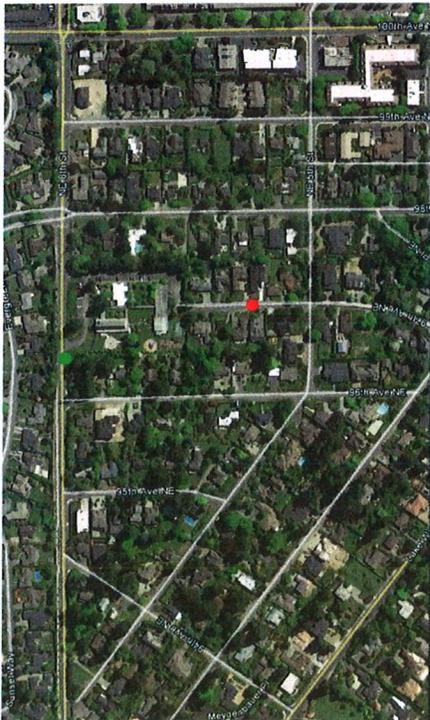




# SB1750 West Bellevue Square Mall Looking Northwest

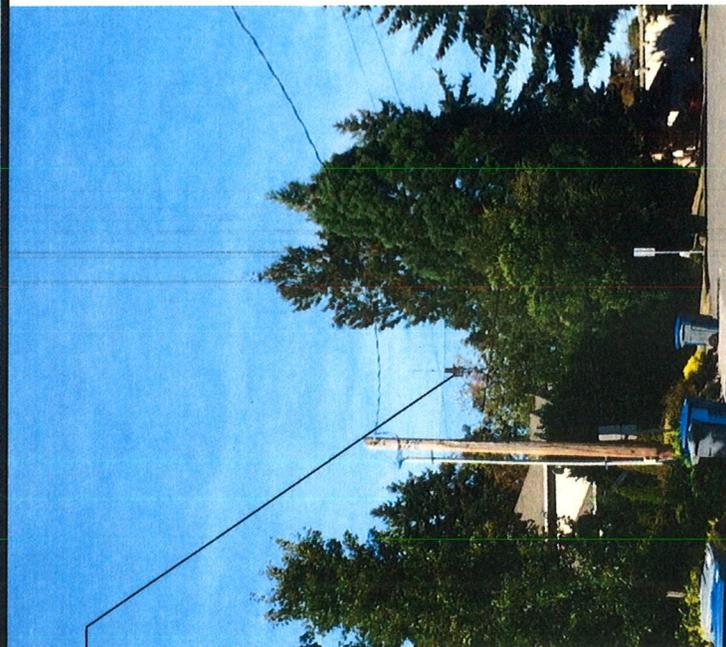
 N  
 ● APPROX. PHOTO LOCATION  
 ● APPROX. PROPOSED ANTENNA LOCATIONS

AERIAL OF SUBJECT AREA



Existing

(N) AT&T PANEL ANTENNAS W/  
RRH'S MOUNTED TO (N) 98'-0" AGL  
WOOD PSE GLULAM POLE



Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Proposed





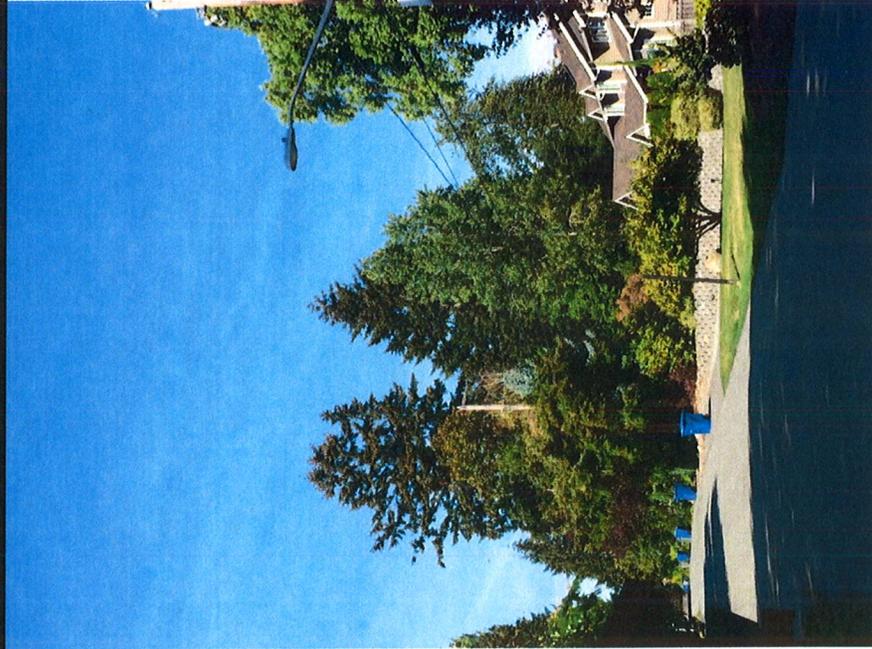
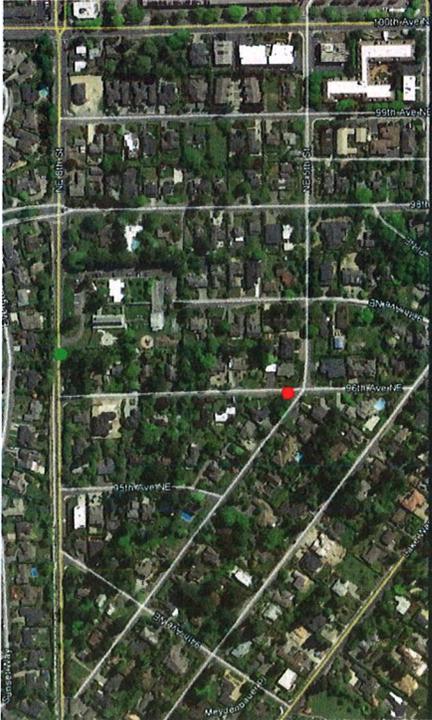
# SB1750 West Bellevue Square Mall Looking North

AERIAL OF SUBJECT AREA

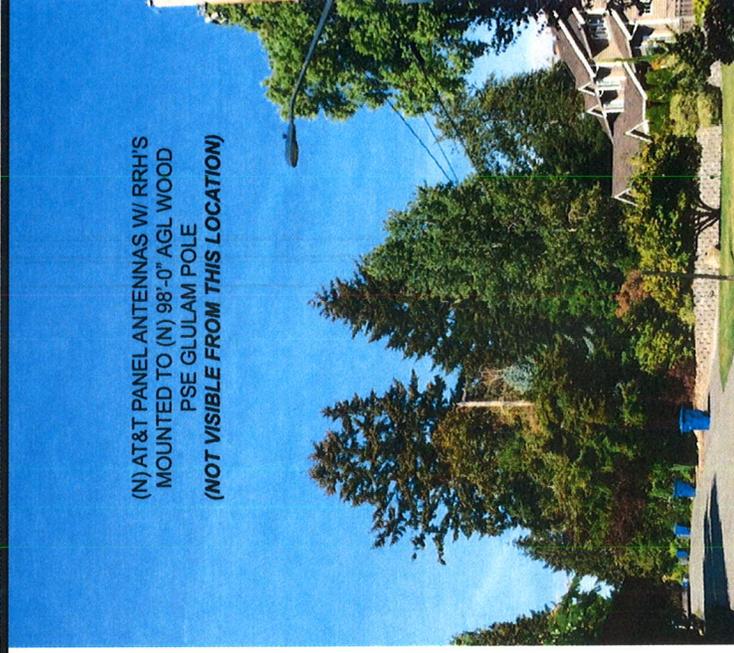
N

APPROX. PHOTO LOCATION

APPROX. PROPOSED ANTENNA LOCATIONS



Existing



(N) AT&T PANEL ANTENNAS W/ RRH'S  
MOUNTED TO (N) 98'-0" AGL WOOD  
PSE GLULAM POLE  
*(NOT VISIBLE FROM THIS LOCATION)*

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Proposed





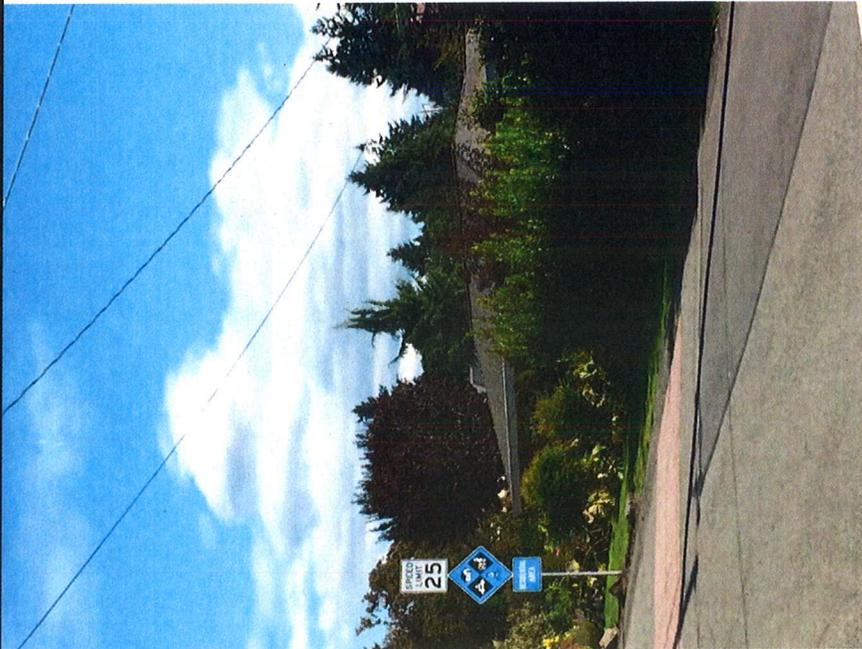
# SB1750 West Bellevue Square Mall

## Looking Southeast

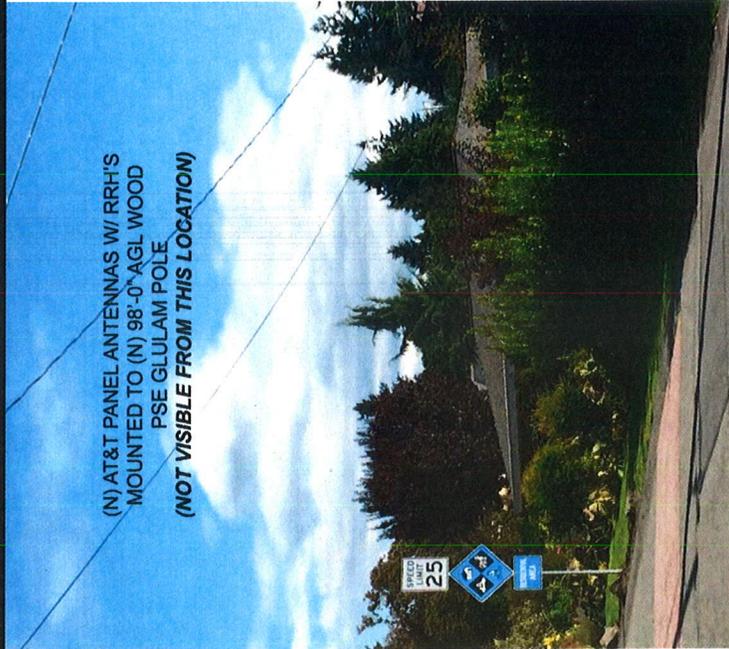
AERIAL OF SUBJECT AREA

N

- APPROX. PHOTO LOCATION
- APPROX. PROPOSED ANTENNA LOCATIONS



Existing



(N) AT&T PANEL ANTENNAS W/ RRH'S MOUNTED TO (N) 98'-0" AGL WOOD PSE GLULAM POLE  
(NOT VISIBLE FROM THIS LOCATION)

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Proposed





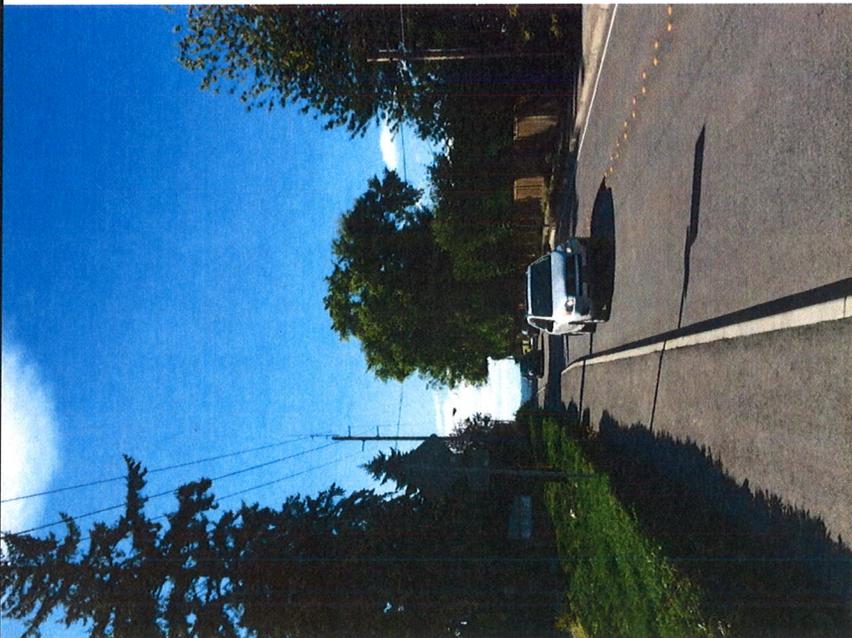
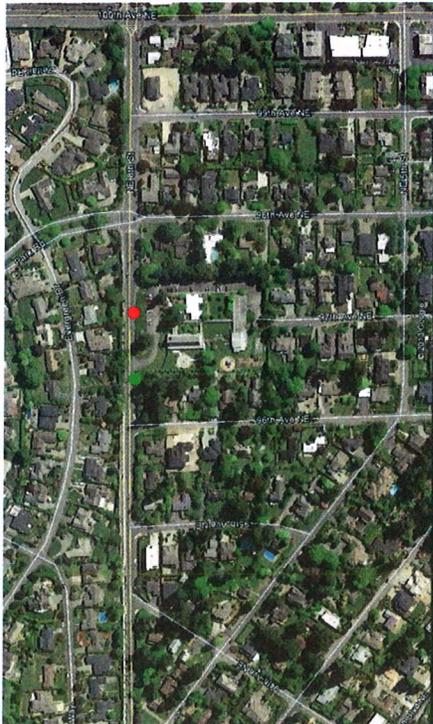
# SB1750 West Bellevue Square Mall

## Looking West



- APPROX. PHOTO LOCATION
- APPROX. ANTENNA LOCATIONS

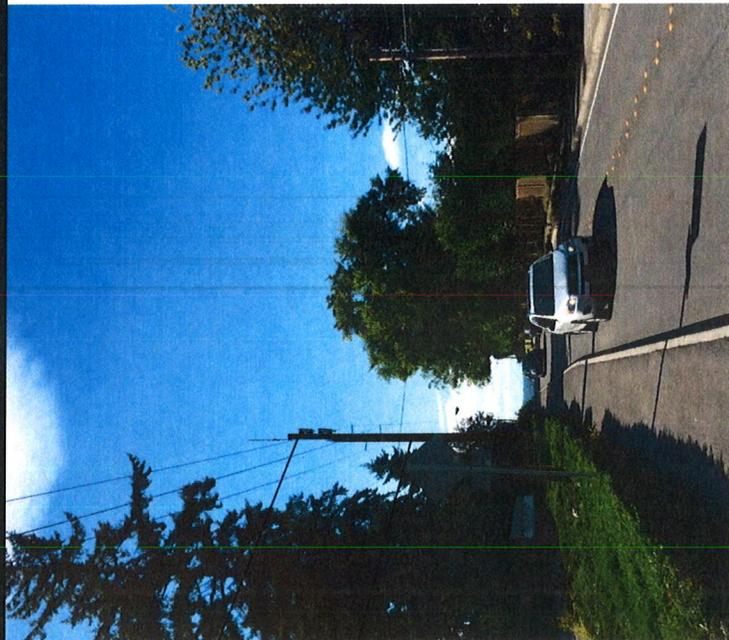
AERIAL OF SUBJECT AREA



Existing

(N) AT&T PANEL ANTENNAS W/ RRH'S MOUNTED TO (N) 98'-0" AGL WOOD PSE GLULAM POLE

(E) 74.50' WOODEN PSE UTILITY-POLE TO BE REPLACED W/ (N) 98'-0" PSE GLULAM POLE



Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.

Proposed

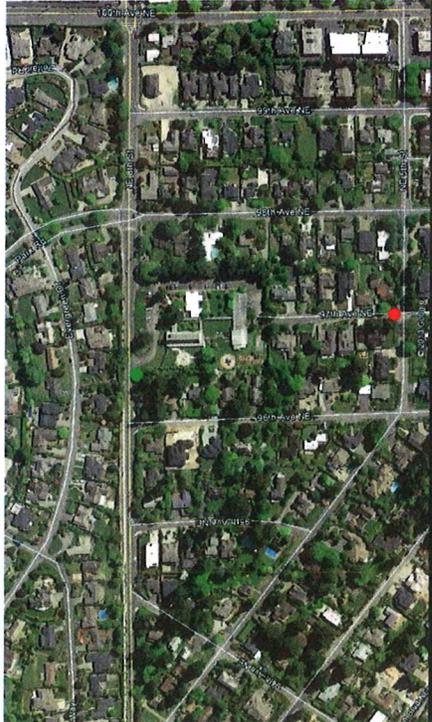




# SB1750 West Bellevue Square Mall Looking Northwest

N  
 ● APPROX. PHOTO LOCATION  
 ● APPROX. ANTENNA LOCATIONS

AERIAL OF SUBJECT AREA



(N) AT&T PANEL ANTENNAS W/ RRH'S MOUNTED TO (N) 98'-0" AGL WOOD PSE GLULAM POLE

(E) 74'-50" WOODEN PSE UTILITY POLE TO BE REPLACED W/ (N) 98'-0" PSE GLULAM POLE

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.



Existing

Proposed





# SB1750 West Bellevue Square Mall Looking South



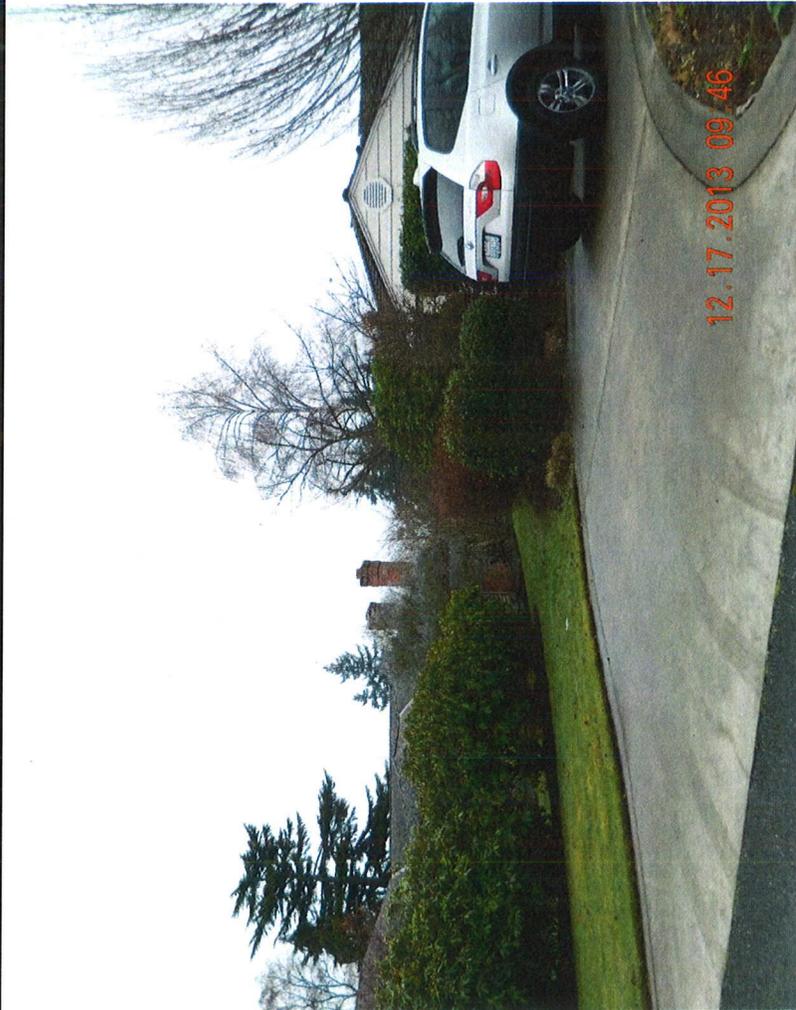
- APPROX. PHOTO LOCATION
- APPROX. PROPOSED ANTENNA LOCATIONS

AERIAL OF SUBJECT AREA



(N) AT&T PANEL ANTENNAS W/ RRH'S MOUNTED TO (N) 98'-0" AGL WOOD PSE GLULAM POLE

(E) 74.50' WOODEN PSE UTILITY POLE TO BE REPLACED W/ (N) 98'-0" PSE GLULAM POLE



Existing



Proposed

Note: Visual impacts will be affected by location and visibility of observer. This document is for planning and information purposes only and is conceptual. This is solely the photographer's interpretation of the proposed development.



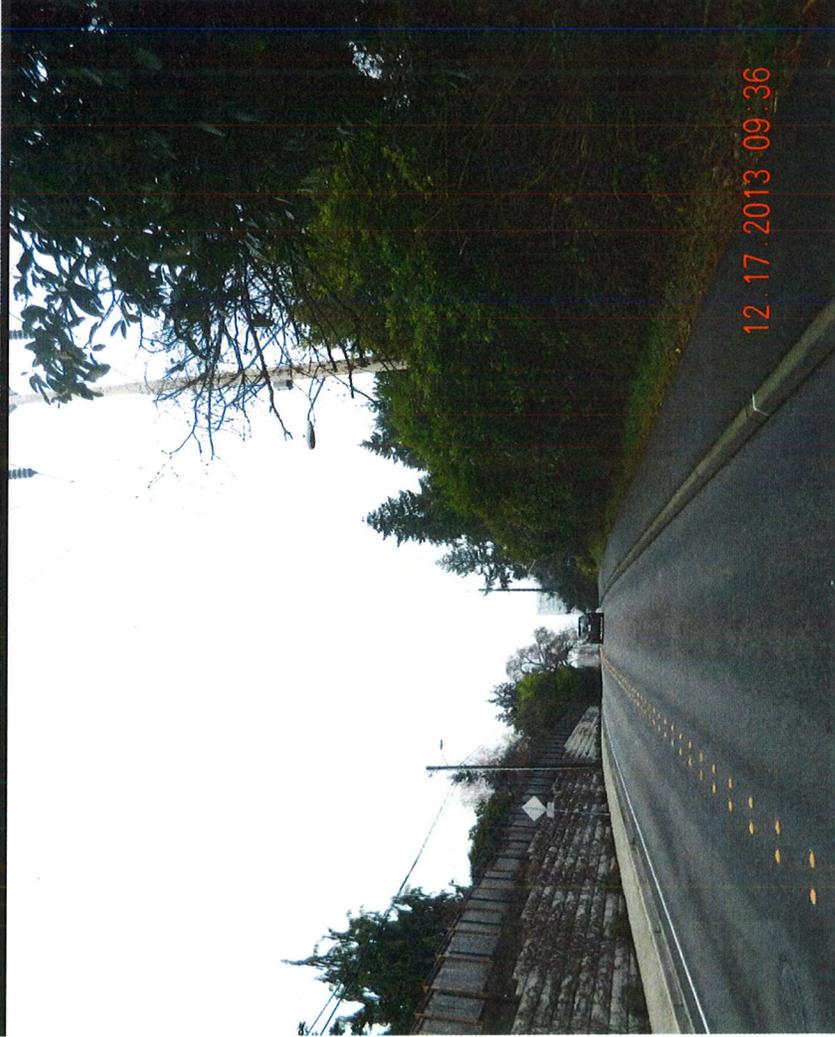
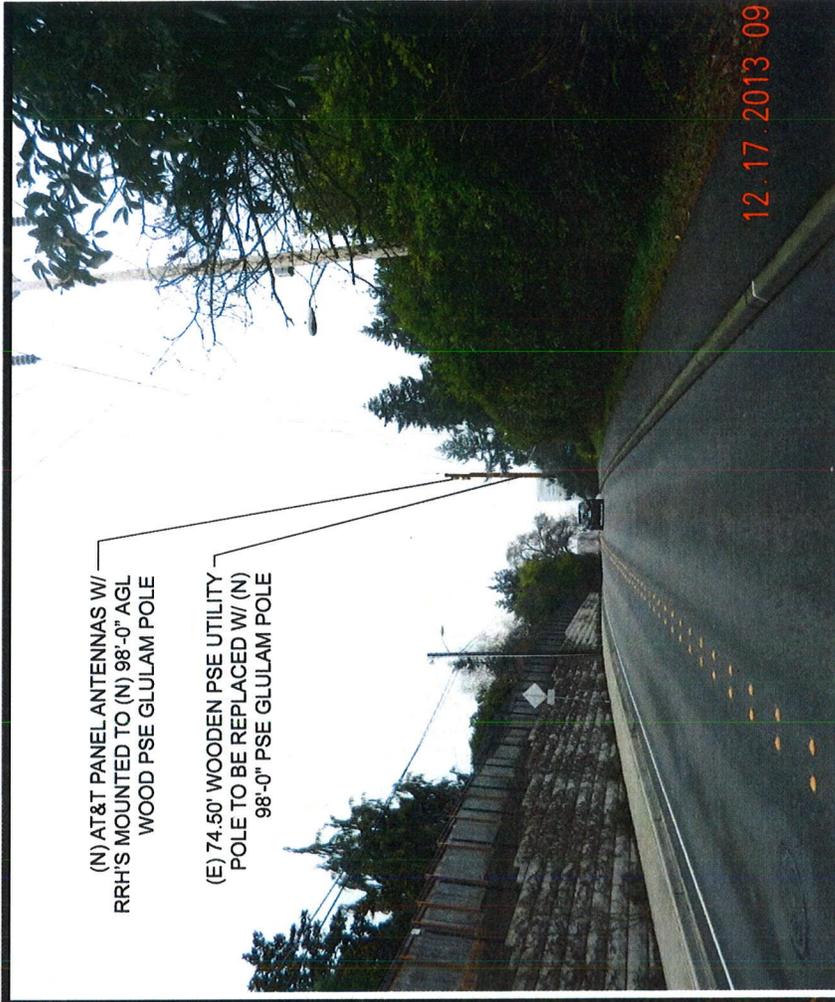
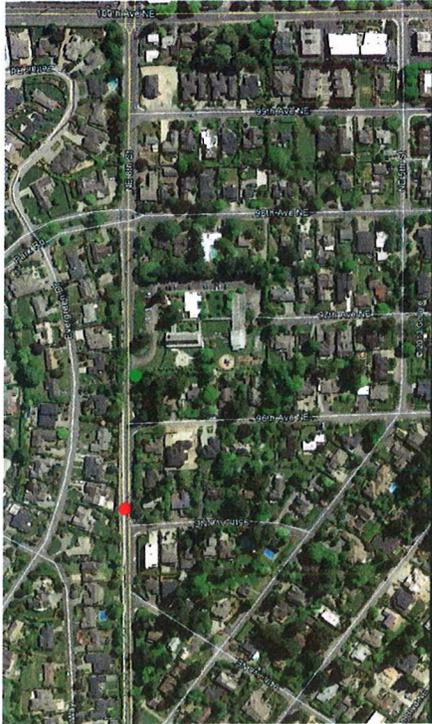


# SB1750 West Bellevue Square Mall Looking East

**AERIAL OF SUBJECT AREA**

N

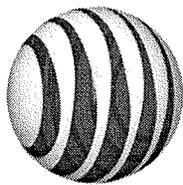
- APPROX. PHOTO LOCATION
- APPROX. PROPOSED ANTENNA LOCATIONS



Existing

Proposed





at&t

Your world. Delivered.

# SB1750 WEST BELLEVUE SQUARE MALL

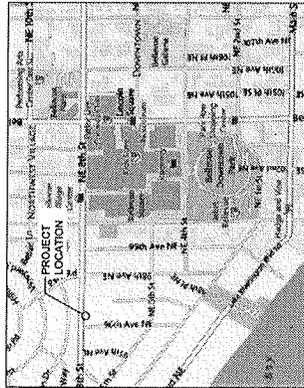
9625 NE 8TH ST  
BELLEVUE, WA 98004



## PROJECT SUMMARY

- THIS PROJECT INCLUDES THE FOLLOWING SCOPE OF WORKS:**
- PROPOSED INSTALLATION OF A WIRELESS COMMUNICATION FACILITY ON A RAW LAND PARCEL.
  - PROPOSED INSTALLATION OF (6) PANEL ANTENNAS, (12) RRHS, AND (6) GPS ANTENNAS MOUNTED AT GROUND LEVEL.
  - PROPOSED INSTALLATION OF A STICK-BUILT EQUIPMENT SHELTER WITH BACKUP GENERATOR WITHIN PROPOSED 15' X 30' FENCED LEASE AREA.
  - PROPOSED INSTALLATION OF 200A POWER PANEL, TELCO / FIBER SERVICE WITH ASSOCIATED HARDWARE ON AN H-FRAME.

## PROJECT VICINITY & AREA MAPS



## DRIVING DIRECTIONS

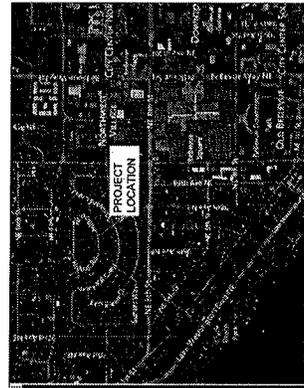
FROM AT&T REMOND OFFICE

- START OUT GOING NORTH ON NE 72ND WAY TOWARD NE 73RD WAY (0.1 MI)
- TURN RIGHT ONTO NE 73RD WAY (0.2 MI)
- TAKE THE 1ST LEFT ONTO 163RD PL NE (0.6 MI)
- TAKE THE 1ST LEFT ONTO NE 74TH ST (0.7 MI)
- TAKE THE 1ST LEFT ONTO LEARY WAY NE (3.0 MI)
- MERGE ONTO WA-520 W TOWARD SEATTLE (5.0 MI)
- MERGE ONTO I-405 S TOWARD SEATTLE (3.9 MI)
- TAKE THE NE 8TH ST WEST RAMP (2 MI)
- TURN RIGHT ONTO NE 8TH ST (1.1 MI)
- SITE IS ON THE LEFT

ESTIMATED DISTANCE: 7.9 MILES  
ESTIMATED TIME: 14 MINUTES

## SITE INFORMATION

LATITUDE: 47.617285° N  
LONGITUDE: -122.211781° W  
SOURCE: 1A  
DATING: NAD 83  
JURISDICTION: CITY OF BELLEVUE  
COUNTY: KING COUNTY  
APN: 438920-0727  
ZONING CLASSIFICATION: R-3.5  
ELEVATION: 226.50' AMSL (NAVD 88)  
TOP OF (E) UTILITY POLE: 58.00' ASL  
TOP OF (N) UTILITY POLE: 58.00' ASL  
OCCUPANCY GROUP: U  
CONSTRUCTION TYPE: II-B



## LEGAL DESCRIPTION

SEE SV-1 SHEET.

## UTILITY COMPANIES

POWER: PSE  
TELEPHONE: LNS  
PH: 425.456.2776  
PH: 253.273.1682

## GOVERNING CODES

IBC-2012 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS  
NEC-2008, NATIONAL ELECTRICAL CODE  
ADA COMPLIANCE  
INSTALLATION IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED PER ADA.

## PROJECT CONTACTS

**CLIENT**  
NEW CIRCULAR WIRELESS PCS, LLC  
18801 SW 72ND AVENUE #200  
TUALATIN, OR 97062  
TODD FEBIG  
PH: 206.354.8271

**PROPERTY OWNER**  
GRACE LUTHERAN CHURCH  
9625 NE 8TH ST  
BELLEVUE, WA 98004  
ROM RYAN  
PH: 425.454.6344

**TOWER OWNER**  
PUGET SOUND ENERGY  
PO BOX 97024  
TUALATIN, WA 98004  
TIM GASSER  
PH: 425.456.2776

**PROJECT CONSULTANT**  
CASCADIA PM  
733 7TH AVE, SUITE 209  
KIRKLAND, WA 98033  
LIZ CARRASQUERO  
PH: 425.463.9097

**SITE ACQUISITION CONSULTANT**  
CASCADIA PM  
733 7TH AVE, SUITE 209  
KIRKLAND, WA 98033  
PAUL DREW  
PH: 206.331.7072

**ZONING & PERMITTING CONSULTANT**  
CASCADIA PM  
733 7TH AVE, SUITE 209  
KIRKLAND, WA 98033  
RICK STOKOMAS  
PH: 425.928.1008

**IMPLEMENTATION MANAGER**  
NEW CIRCULAR WIRELESS PCS, LLC  
18801 SW 72ND AVENUE #200  
TUALATIN, OR 97062  
BYRON JARNAGIN  
PH: 503.691.1837

## DRAWING INDEX

SHEET	DESCRIPTION
T-1.0	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
SV-1	EXISTING SITE SURVEY
L-1.0	LANDSCAPE PLAN
A-1.0	OVERALL SITE PLAN
A-2.0	ENLARGED SITE PLAN
A-3.0	EAST ELEVATIONS
A-3.1	NORTH ELEVATIONS
A-4.0	CONSTRUCTION DETAILS

## SIGN OFF OF FINAL ZONING DRAWINGS

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

CONSULTANT	DATE	SIGNATURE
LANDLORD		
ZONING		
LEASING		
SITE ACQUISITION		
PROJECT MANAGER		
CONSTRUCTION MANAGER		
ATTN:		
CONSTRUCTION MANAGER		
EQUIPMENT ENGINEER		
OPERATIONS MANAGER		
NSB MANAGER		
COMPLIANCE		
RF MANAGER		
RF ENGINEER		
TRANSPORT		

NO.	DATE	DC	DESCRIPTION
1	02-14-14	MS/GS	CLIENT COMMENT
2	02-14-14	MS/GS	CLIENT COMMENT
3	02-14-14	MS/GS	CLIENT COMMENT

NO.	DATE	DC	DESCRIPTION
1	02-14-14	MS/GS	CLIENT COMMENT
2	02-14-14	MS/GS	CLIENT COMMENT
3	02-14-14	MS/GS	CLIENT COMMENT

SHEET TITLE
TITLE SHEET

SHEET NO.
I-1.0

SITE NAME
SB1750 WEST BELLEVUE SQUARE MALL

SITE ADDRESS
9625 NE 8TH ST BELLEVUE, WA 98004

SHEET TITLE
TITLE SHEET

SHEET NO.
I-1.0

## GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND AT&T INTEGRATED CONSTRUCTION STANDARDS FOR WIRELESS SITES. CONTRACTOR SHALL VERIFY THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FIELD SURVEYING SHALL BE CONDUCTED PRIOR TO THE COMMENCEMENT OF WORK TO VERIFY THE LOCATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPLIANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORK.
- DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SUPERINTENDENT OF BUILDINGS & GROUNDS AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS' REQUIREMENTS AND SPECIFICATIONS. SPECIALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATELY REPAIR ANY DAMAGE THAT OCCURS DURING CONSTRUCTION.
- IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY IDENTIFIED AND MARKED PRIOR TO DRILLING. DRILLING SHALL NOT BE PERMITTED INTO CUT OR DAMAGED UNDER ANY CIRCUMSTANCES UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL PENETRATIONS, DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT.
- REPAIR ALL EXISTING WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH ULL LISTED AND FIRE CODE APPROVED MATERIALS.
- KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
- MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS' RECOMMENDATIONS.
- ALL EXISTING INACTIVE WIRER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE PROPOSED WORK, SHALL BE IDENTIFIED AND PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL PENETRATIONS WHICH WILL INTERFERE WITH THE LOCATION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, AS REQUIRED, SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES.
- LOFT SHAVED LINES AND NOTES REPRESENT WORK PREVIOUSLY DONE. DARK SHAVED LINES AND NOTES REPRESENT THE SCOPE OF WORK FOR THIS PROJECT. CONTRACTOR SHALL VERIFY IF ANY EXISTING CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND/OR WIRING CERTIFICATES REQUIRED FOR THE ELECTRICAL SERVICE UPGRADE. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY COORDINATION AND SCHEDULING WITH THE SERVING ELECTRICAL UTILITY AND LOCAL INSPECTION AUTHORITIES.

## SITE WORK NOTES

- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- DO NOT SCALE BUILDING DIMENSIONS FROM DRAWING.
- LOCATION AND TYPE OF ANY EXISTING FOUNDATION UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON A SEPARATE SHEET. GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, THE ENGINEER AND OWNER ASSUME NOT RESPONSIBILITY FOR THE ACCURACY OF THESE RECORDS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF INFORMATION SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- GRAVING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
- NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
- ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH WILL BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
- ANY FILL PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEO TECHNICAL ENGINEER.
- CONTRACTOR SHALL CLEAN ENTIRE SITE DAILY AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANIES, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

## FOUNDATION, EXCAVATION AND BACKFILL NOTES

- ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL.
- ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, AND WITHOUT THE PRESENCE OF FOUNDATION DEBRIS. DEBRIS SHALL BE REMOVED AND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF UNSUITABLE MATERIAL IS FOUND, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE UNSUITABLE MATERIAL. ALL EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
- ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL, SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO FILLING. BACKFILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE. FREE FROM CLOS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACKFILL SHALL BE PLACED IN COMPACTED LAYERS.
- ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED MAXIMUM 6" THICK LIFTS WITH A MINIMUM OF 4" THICK LIFTS. ALL BACKFILL SHALL BE PLACED IN ACCORDANCE WITH ASTM D1557.
- NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
- FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL FINISH GRADE OF SUB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4" ABOVE FINISH GRADE OF EXISTING GRADING. FINISH GRADE ELEVATIONS, PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.

## FNDTN, EXCAVATION AND BACKFILL NOTES CONTD

- NEWLY GRADED SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE PAR-35 AS SPECIFIED ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE REQUIREMENT OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 10 FEET OF THE PERIMETER OF THE GRADED AREA. THE FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 87 FOR ACCESS DRIVE AREA.
- IN ALL AREAS TO RECEIVE FILL, REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND SATURATED SOILS, AND ALL OTHER MATERIALS. OBSTRUCTIONS AND DELETIOUS MATERIALS FROM GROUND SURFACE SHALL BE REMOVED. FILL SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH EXISTING PREPARED SOIL SURFACE.
- WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARY THE GROUND SURFACE TO DEPTH REQUIRED. PULVERIZE MOISTURE-CONDITION AND/OR ABRADE THE SOILS AND RE-COMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILL.
- IN AREAS WHICH EXISTING GRAVEL SURFACING IS REMOVED OR DISTURBED DURING CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING. RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.
- EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED WITH THE CONDITION THAT ANY UNREMOVABLE MATERIALS ARE REMOVED. FURNISH ANY ADDITIONAL GRAVEL RESURFACING MATERIALS AS NEEDED TO PROVIDE A FULL DEPTH COMPACTED SURFACE THROUGHOUT SITE.
- GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR UNDESIRABLE MATERIAL SHALL BE REMOVED. GRAVEL SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" HORIZONTAL. GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIALS. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
- PROTECT EXISTING GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE.
- DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
- ALL SUITABLE DEBRIS OR MATERIAL FOR BACKFILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE. LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.
- FOUNDATION DESIGN IS BASED UPON 1,500 PSF ALL OMBABLE BEARING PRESSURE. INDEPENDENT TESTS BY A LICENSED GEOTECHNICAL ENGINEER IS STRONGLY RECOMMENDED TO VERIFY SOIL BEARING CAPACITY, SLOPE STABILITY, AND ALL OTHER APPLICABLE SOIL PARAMETERS.

## CONCRETE MASONRY NOTES

- CONCRETE MASONRY UNITS SHALL BE MEDIUM WEIGHT UNITS CONFORMING TO ASTM C90, GRADE N-1, (F.W.M.I. 500 PS). MEDIUM WEIGHT (115 PCF).
- MORTAR SHALL BE TYPE "S" (MINIMUM 1,800 PSI AT 28 DAYS).
- GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
- ALL CELLS CONTAINING REINFORCING STEEL OR EMBEDDED ITEMS AND ALL CELLS IN RETAINING WALLS AND WALLS BELOW GRADE SHALL BE SOLID GROUTED.
- ALL HORIZONTAL REINFORCING SHALL BE PLACED IN BOND BEAM OR UNTEL BEAM UNITS.
- WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE GROUT FOUR 1/16" BELOW TOP OF THE UPPERMOST UNIT.
- ALL BOND BEAM BLOCK SHALL BE "DEEP CUT" UNITS.
- PROVIDE INSPECTION AND CLEAN-OUT HOLES AT BASE OF VERTICAL CELLS HAVING GROUT LIFTS IN EXCESS OF 4'-0" OF HEIGHT.
- ALL GROUT SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.
- CEMENT SHALL BE AS SPECIFIED FOR CONCRETE.
- REINFORCING BARS - SEE NOTES UNDER "STRUCTURAL CONCRETE NOTES FOR REQUIREMENTS.
- PROVIDE ONE BAR DIAMETER (A MINIMUM OF 1/2") GROUT BETWEEN MAIN REINFORCING AND MASONRY UNITS.
- LOW LIFT CONSTRUCTION. MAXIMUM GROUT FOUR HEIGHT IS 4 FEET.
- ALL CELLS IN CONCRETE BLOCKS SHALL BE FILLED SOLID WITH GROUT, EXCEPT AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
- CELLS SHALL BE IN VERTICAL ALIGNMENT. DOVELS IN FOOTINGS SHALL BE SET TO ALIGN WITH CORERS CONTAINING REINFORCING.
- REFER TO ARCHITECTURAL DRAWINGS FOR SURFACE AND HEIGHT OF UNITS, LAYING PATTERN AND JOINT TYPE.
- SAND SHALL BE CLEAN, SHARP AND WELL GRADED. FREE FROM INJURIOUS AMOUNTS OF DUST, LUMPS, SHALE, ALAOU OR ORGANIC MATERIAL.
- BRICK SHALL CONFORM TO ASTM C-82 AND SHALL BE GRADE MW OR BETTER.



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CPM PROJECT NO. 6143

NO.	DATE	DOC.	DESCRIPTION
1	02-14-14	ISSUES	CLIENT COMMENT
2	02-14-14	ISSUES	CLIENT COMMENT
3	02-14-14	ISSUES	CLIENT COMMENT









## STRUCTURAL CONCRETE NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 318-11 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE FOR SLABS ON GRADE, SHELTER FOUNDATION, AND PIER FOUNDATIONS FOR FENCES, ICE BRIDGE, AND H-FRAME SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH 16-3,000 PSI AT 28 DAYS UNLESS NOTED OTHERWISE. SPECIAL INSPECTION REQUIRED AS NOTED.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:  
 CONCRETE CAST AGAINST EARTH.....3 IN.  
 CONCRETE EXPOSED TO EARTH OR WEATHER:  
 #6 AND LARGER.....2 IN.  
 #5 AND SMALLER & WWF.....1 1/2 IN.  
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND,  
 SLAB AND WALL.....3/4 IN.  
 BEAMS AND COLUMNS.....1 1/2 IN.
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.O. IN ACCORDANCE WITH ACI 301, LATEST EDITION, SECTION 4.
- HOLES TO RECEIVE EXPANSIONWEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR. REFER TO MANUFACTURERS RECOMMENDATION FOR ANCHOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
- USE AND INSTALLATION OF CONCRETE ADHESIVE AND EXPANSIONWEDGE ANCHORS SHALL BE PER ICC & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.
- FOUNDATION DESIGN IS BASED ON PRESUMPTIVE SOIL PARAMETERS. IT IS STRONGLY RECOMMENDED THAT INDEPENDENT SOILS TESTING BE PERFORMED BY A LICENSED GEOTECHNICAL ENGINEER TO VERIFY SOIL BEARING CAPACITY, SLOPE STABILITY, AND ALL OTHER RELATED SOIL PARAMETERS.

## STRUCTURAL STEEL NOTES

- ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION. STEEL SECTIONS SHALL BE IN ACCORDANCE WITH ASTM AS INDICATED  
 WASHERS: ASTM A 307, 50 KSI  
 ANGLES, BARS CHANNELS: ASTM A 36, 36 KSI  
 HSS SECTIONS: ASTM 500, 46 KSI  
 PIPE SECTIONS: ASTM A 53-E, 35 KSI
- ALL EXTERIOR EXPOSED STEEL AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
- ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC SPECIFICATION. ALL WELDED SURFACES SHALL BE TOUCHED UP. ALL WELDING SHALL BE PERFORMED IN AN APPROVED SHOP.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" Ø ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
- FIELD MODIFICATIONS ARE TO BE COATED WITH ZINC ENRICHED PAINT.

## SPECIAL INSPECTION NOTES

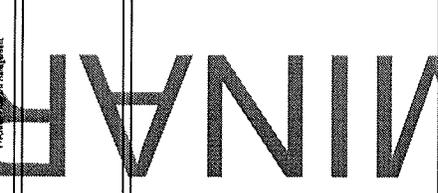
- CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY AT&T AND THE LOCAL JURISDICTION, AS REQUIRED BY IBC SECTION 1704 AND 1705 FOR THE FOLLOWING:
  - STRUCTURAL STEEL:
    - ALL HIGH STRENGTH BOLT INSTALLATIONS; BOLTING INSPECTION TASKS SHALL BE IN ACCORDANCE WITH TABLES N5.6-1, N5.6-2, AND N5.6-3 PER AISC 360-10.
  - RETOFIT ANCHORS IN CONCRETE:
    - ANCHORS IN CONCRETE (ASHES/VEEFOXY, EXPANSION, WEDGE OR SCREW TYPE ANCHORS); INSPECT SIZE, LENGTH, CLEANLINESS, AND INSTALLATION PER MANUFACTURERS RECOMMENDATIONS.
  - CONCRETE CONSTRUCTION:
    - VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC SECTION 1705, TABLE 1705.3.
- PROVIDE SPECIAL INSPECTIONS FOR OTHER ITEMS NOTED ON DRAWINGS TO CONFIRM COMPLIANCE WITH CONTRACT DOCUMENTS.
- THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.
- CONTINUOUS THIRD PARTY SPECIAL INSPECTION REQUIRED FOR ALL BELZONA 1111 MOUNTED PLATES AND HARDWARE.



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### DRAWING ABBREVIATIONS

ABB	DESCRIPTION	LF	LINEAR FEET
ABF	ABOVE FINISH FLOOR	MAX	MAXIMUM
AGL	ABOVE GRADE LEVEL	MEDI	MECHANICAL
AWG	AMERICAN WIRE GAUGE	MFR	MANUFACTURER
AC	AIR CONDITIONING	MGR	MANAGER
ADJ	ADJUSTABLE	MIN	MINIMUM
APPROX	APPROXIMATELY	MISC	MISCELLANEOUS
AZ	AZIMUTH	MTL	METAL
BLDG	BUILDING	MTZL	METAL(ED)
CH	CONSTRUCTION MANAGER	MW	MICROWAVE
CAB	CABINET	NEC	NATIONAL ELECTRICAL CODE
CL	CENTERLINE	NIC	NOT IN CONTRACT
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR	N/A	NOT APPLICABLE
CO	COPPER	OC	ON CENTER
CONC	CONCRETE	OD	OUTSIDE DIAMETER
COND	CONDUIT	OP	OVERHEAD POWER
CONST	CONSTRUCTION	OT	OVERHEAD FIBER
CONT	CONTINUOUS	OPP	OPPOSITE
CPM	CASCADE PM	PL	PROPERTY LINE
DC	DRAFTSCHECKER	PLYWD	PLYWOOD
DEMO	DEMOLISH	PM	PROJECT MANAGER
DIA	DIAMETER	PROJ	PROJECT
DIM	DIMENSION	PROP	PROPERTY
DN	DOWN	PT	PRESSURE TREATED
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	ROW	RIGHT OF WAY
EA	EACH	RRU	REMOTE RADIO UNIT
ELECT	ELECTRICAL	REQ	REQUIRED
ELEV	ELEVATION	SBTC	SOLID BARE TINNED COPPER
EQ	EQUAL	SF	SQUARE FEET
EQUIP	EQUIPMENT	SHT	SHEET
EXT	EXTERIOR	SPEC	SPECIFICATION
FIN	FINISH	SQ	SQUARE
FLR	FLOOR	SS	STAINLESS STEEL
FT	FOOT FEET	STL	STEEL
GA	GAUGE	STRUCT	STRUCTURE, STRUCTURAL
GALV	GALVANIZED	TOC	TOP OF CONCRETE
GC	GENERAL CONTRACTOR	TOM	TOP OF MASONRY
GWB	GYP/SUM WALL BOARD	THRU	THROUGH
GR	GRADE	TNND	TINNED
GRND	GROUND	UBC	UNIFORM BUILDING CODE
HVAC	HEATING, VENTING & AIR CONDITIONING	UG	UNDERGROUND
HORIZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
HT	HEIGHT	UP	UNDERGROUND POWER
IBC	INTERNATIONAL BUILDING CODE	UF	UNDERGROUND FIBER
ID	INSIDE DIAMETER	VF	VERIFY IN FIELD
IN	INCH	VERT	VERTICAL
INSUL	INSULATION	WP	WATERPROOF
INT	INTERIOR	W/	WITH
JBOX	JUNCTION BOX	W/O	WITHOUT
LB(S)	POUND(S)		



CERN PROJECT # 0143

NO.	DATE	DC	DESCRIPTION
1	02-14-14	AS/GS	CLIENT COMMENT
2	07-22-14	AS/GS	CLIENT COMMENT
3	11-05-14	ISSUE	ACK COMMENT

NO.	DATE	DC	DESCRIPTION

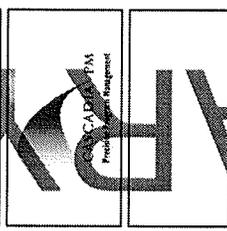
SITE NAME:  
SB 1750  
WEST BELL AVUE  
SQUARE MALL

SITE ADDRESS:  
SELLERS BLVD  
SUITE 100  
SAN JOSE, CA 95004

SHEET TITLE:  
GENERAL NOTES

SHEET NO.:  
GN-2





**MINNAPARC**  
Professional Land Management

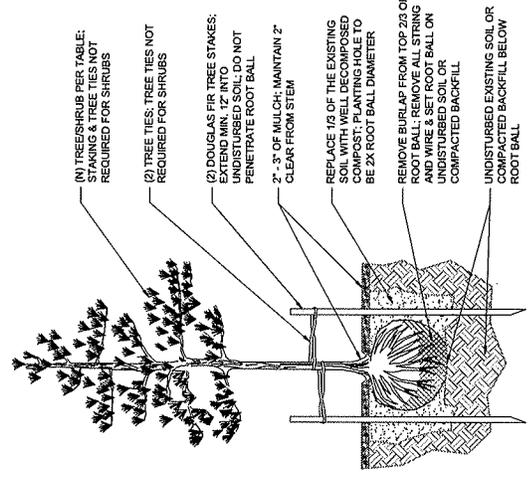
NO.	DATE	DOC.	DESCRIPTION
1	02-14-14	ANS/GS	CLIENT COMMENT
2	08-24-14	ANS/GS	CLIENT COMMENT
3	10-29-15	ANS/GS	CLIENT COMMENT

**MINNAPARC**  
SITE NAME: SB 1750 WEST BELL AVENUE SQUARE MALL  
SITE ADDRESS: BELL AVENUE, WA 98004

LANDSCAPE PLAN  
SHEET TITLE

L-1.0  
SHEET NO.

- NOTES:**
- CONTRACTOR TO PROVIDE SUFFICIENT WATERING UPON INITIAL INSTALLATION OF PLANTINGS.
  - ALL PLANTINGS SHALL BE FERTILIZED PER SPECIFIC SPECIE REQUIREMENTS.
  - INSTALL PLANTINGS AT SAME DEPTH AS ROOT BALL PER DETAIL.

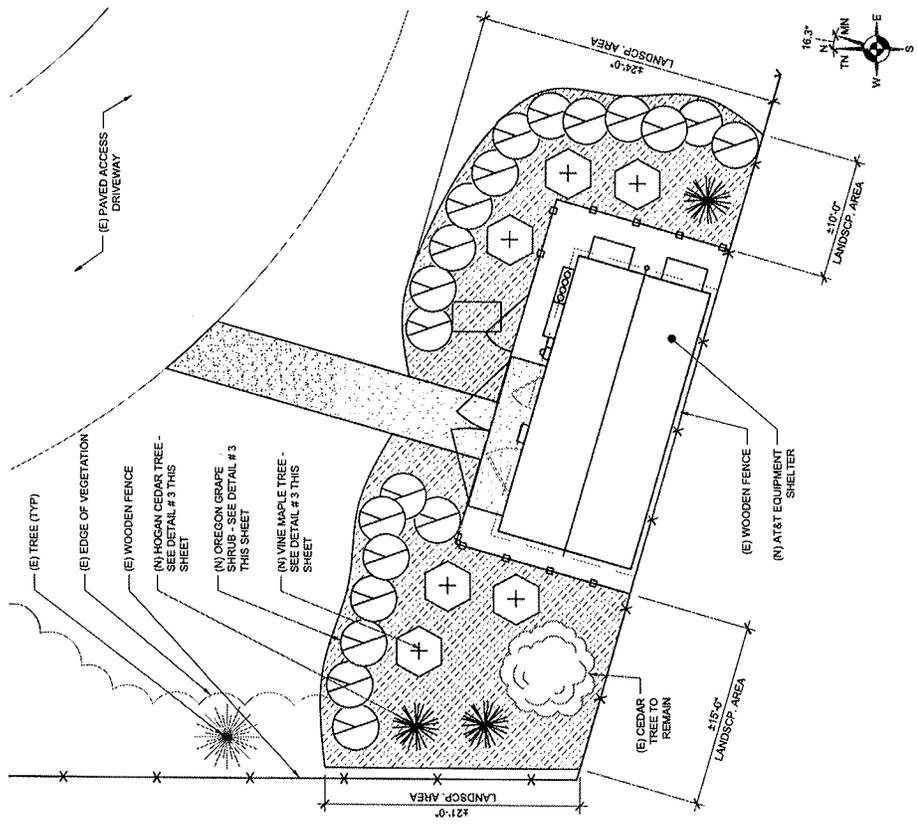


2 TREE / SHRUB PLANTING  
SCALE: NTS (1:1X17)  
SCALE: NTS (2:2X34)

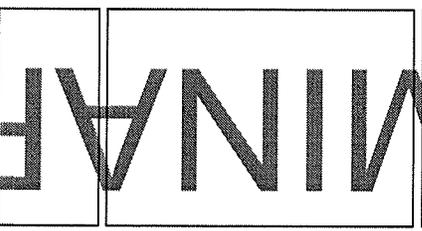
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	CLASS.
(+)	ACER CIRCINATUM	VINE MAPLE	(6)	6'-0" HT. MIN @ PLANTING	SMALL TREE
(V)	MAHONIA AQUIFOLIUM	OREGON GRAPE	(20)	1 1/2' HT. MIN @ PLANTING	SHRUB EVERGREEN
(*)	THUJA PLICATA	HOGAN CEDAR	(3)	6'-0" HT. MIN @ PLANTING	SMALL TREE
(■)	COTONEASTER DAMMERI	COTONEASTER	N/A	3" HT. MIN @ PLANTING	GROUND COVER

3 PLANTING LIST  
SCALE: NTS (1:1X17)  
SCALE: NTS (2:2X34)

- NOTES:**
- ALL LANDSCAPING SHALL BE INSTALLED PRIOR TO RECEIVING FINAL BUILDING INSPECTION APPROVAL.
  - PROPERTY OWNER IS REQUIRED TO PROVIDE LANDSCAPE CARE & WATERING FOLLOWING INITIAL WATERING AT INSTALLATION.
  - ALL PLANTINGS WILL BE WARRANTED BY LANDSCAPER FOR A PERIOD OF ONE YEAR FROM INSTALLATION.
  - ALL DEBRIS AND EXISTING GROUND COVER REMOVAL IS TO BE DONE BY THE CONTRACTOR.
  - MULCH (AS A GROUND COVER) MUST BE CONFINED TO AREAS UNDERNEATH PLANTS AND IS NOT A SUBSTITUTE FOR GROUND COVER PLANTS.



1 LANDSCAPE PLAN  
SCALE: 3/32" = 1'-0" (1:1X17)  
SCALE: 3/16" = 1'-0" (2:2X34)



NO.	DATE	DIC	DESCRIPTION
1	02-14-14	MS/GS	CLIENT COMMENT
2	02-14-14	MS/GS	CLIENT COMMENT
3	02-25-14	MS/GS	CLIENT COMMENT

NO.	DATE	DIC	DESCRIPTION

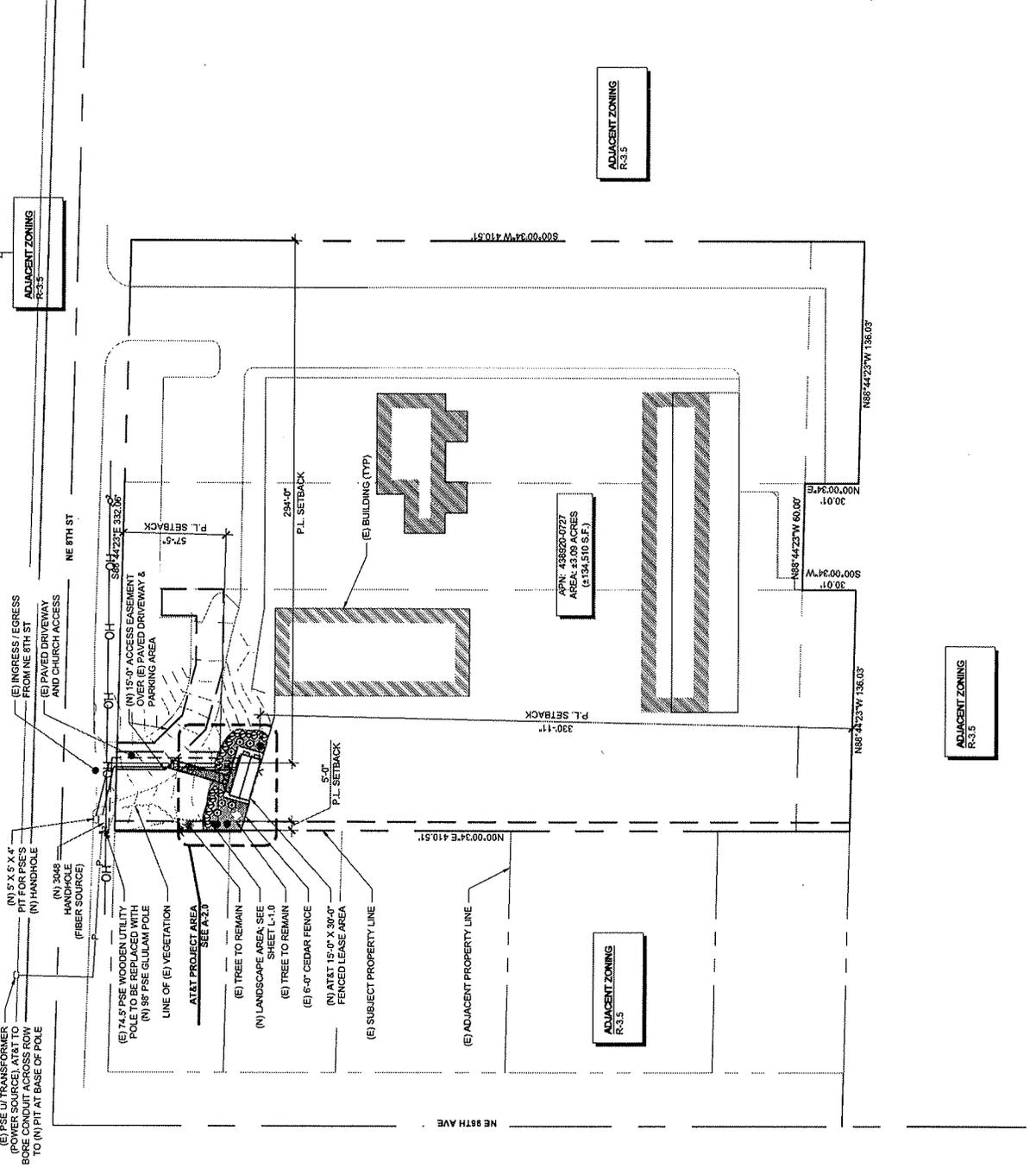
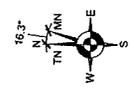
**SITE NAME:**  
SB 1750  
WEST BELL AVENUE  
SQUARE MALL

**SITE ADDRESS:**  
3000 W 36TH ST  
BELLEVUE, WA 98004

**SHEET TITLE:**  
OVERALL  
SITE PLAN

**SHEET NO.:**  
A-1.0

- NOTES:**
- SITE PLAN DERIVED FROM: SURVEY PROVIDED BY TOM NELSON & ASSOCIATES DATED 07-08-14, AERIAL IMAGES, AS-BUILTS AND SITE PHOTOS.
  - GENERAL CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE & SITE EROSION CONTROL MEASURES PER JURISDICTIONAL REQUIREMENTS AT ALL TIMES OF CONSTRUCTION.
  - ACCESS TO TELECOM FACILITY IS RESTRICTED AND ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL.







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CENL PROJECT: 0143

NO.	DATE	DC	DESCRIPTION
1	02-14-14	AS/GS	CLIENT COMMENT
2	02-24-14	AS/GS	CLIENT COMMENT
3	10-29-14	ISSUES	JK COMMENT

NO.	DATE	DC	DESCRIPTION

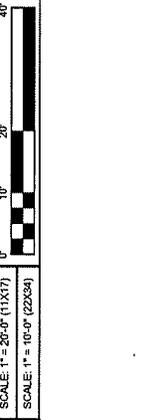
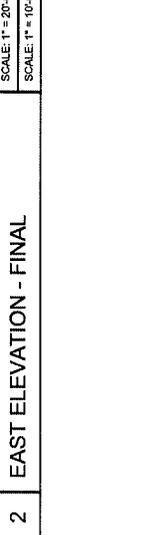
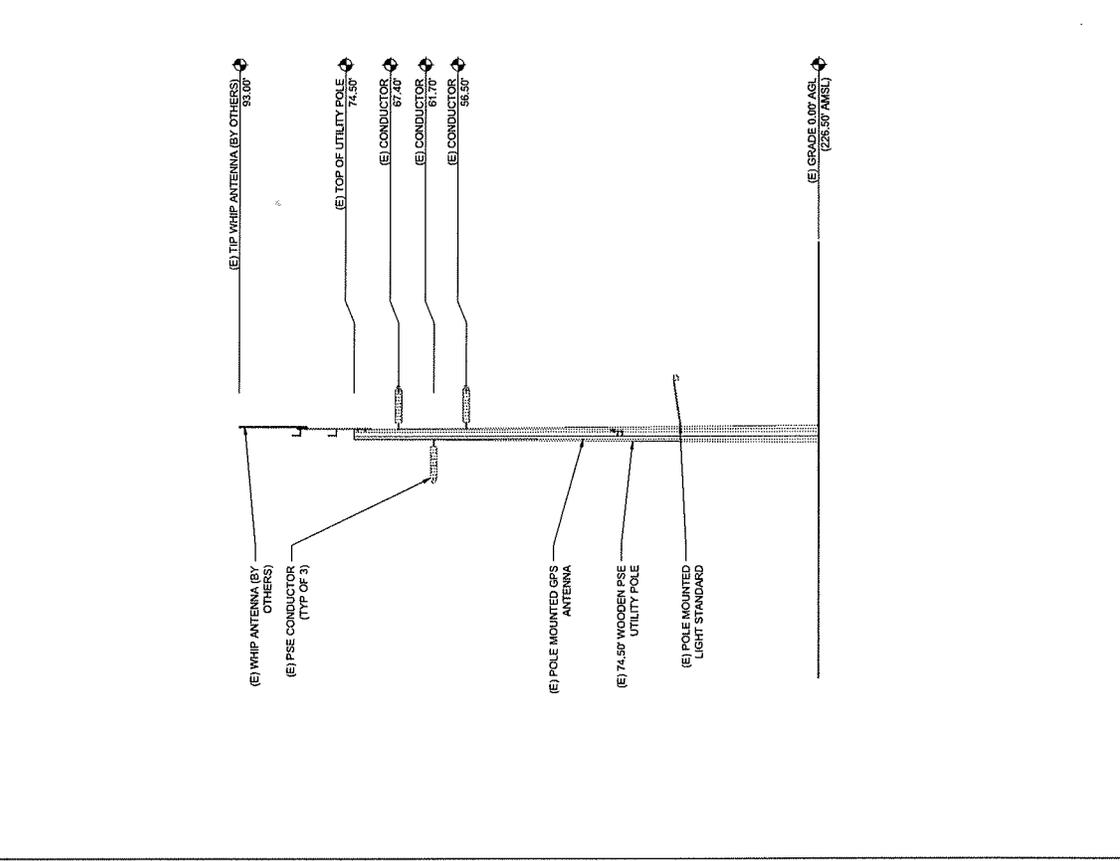
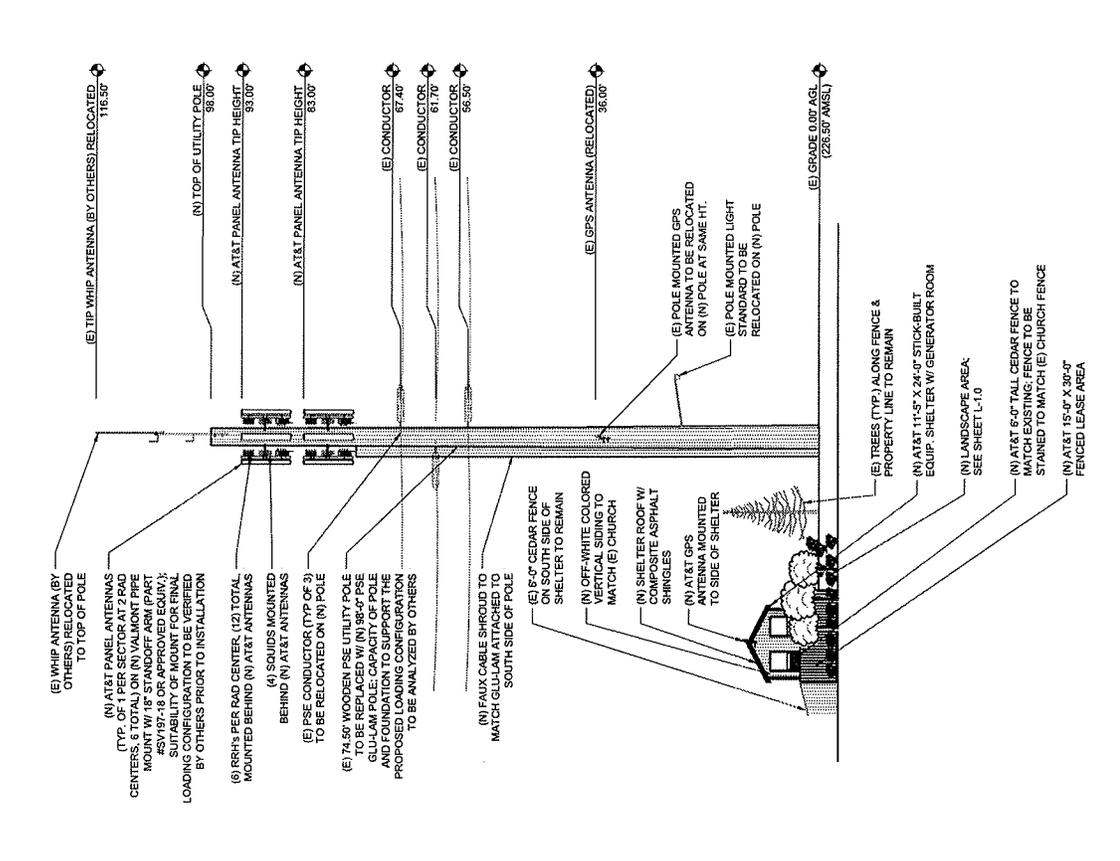
SITE NAME:  
S81750  
WEST BELL BLVD  
SQUAKEMALL

SITE ADDRESS:  
BELL BLVD, SQUAKEMALL  
SHELLEYS, WA 98084

SHEET TITLE:  
EAST  
ELEVATIONS

SHEET NO.  
A-3.0

NOTES:  
NEW ANTENNAS AND ALL MOUNTING HARDWARE TO BE PAINTED BROWN TO MATCH NEW POLE. VERIFY PAINT MANUFACTURER AND FINISH WITH AT&T.



NO.	DESCRIPTION
1	EAST ELEVATION - EXISTING
2	EAST ELEVATION - FINAL



# MINNAPV

CPM PROJECT # 6143

NO.	DATE	LOG	DESCRIPTION
1	02-14-14	AS/GS	CLIENT COMMENT
2	07-24-14	AS/GS	CLIENT COMMENT
3	10-29-14	ISSUES	ISSUES COMMENT

NO.	DATE	DIC	DESCRIPTION

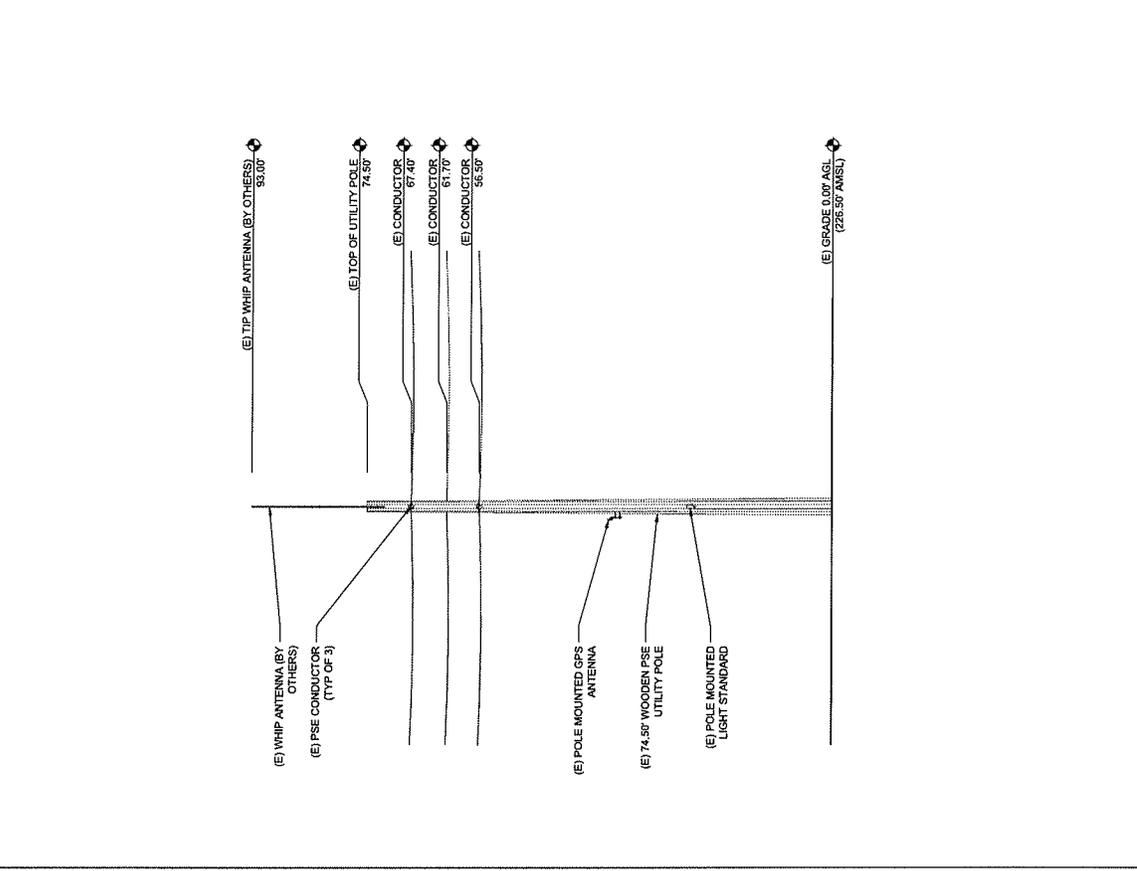
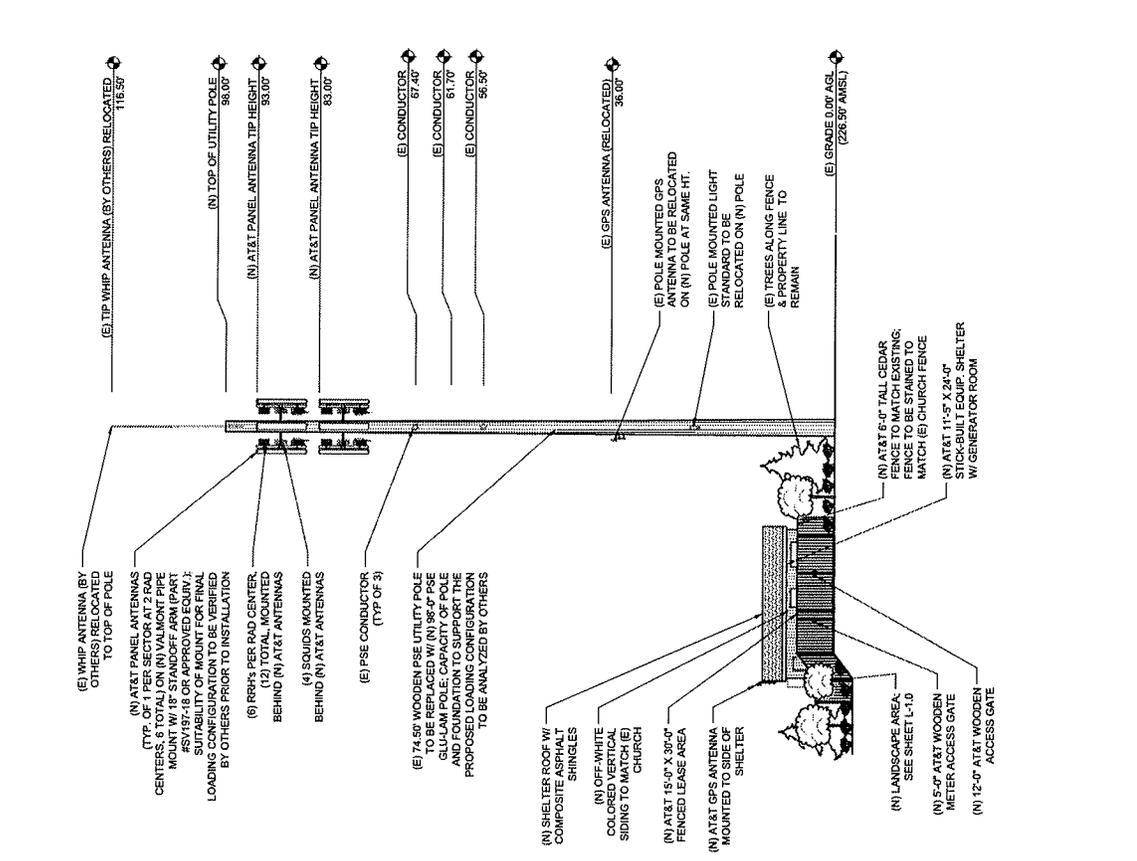
SITE NAME:  
**SB 1750 WEST BELL WUE SQUAREMALL**

SITE ADDRESS:  
SELLERS RD. #100  
WILSON, VA 22604

SHEET TITLE:  
**NORTH ELEVATIONS**

SHEET NO.  
**A-3.1**

**NOTES:**  
NEW ANTENNAS AND ALL MOUNTING HARDWARE TO BE PAINTED BROWN TO MATCH NEW POLE. VERIFY PAINT MANUFACTURER AND FINISH WITH AT&T.



SCALE: 1" = 20'-0" (11X17)  
SCALE: 1" = 10'-0" (22X34)

2 NORTH ELEVATION - FINAL

SCALE: 1" = 20'-0" (11X17)  
SCALE: 1" = 10'-0" (22X34)

1 NORTH ELEVATION - EXISTING



**MINNAPM**  
 PROJECT MANAGEMENT

NO.	DATE	DIC	DESCRIPTION
1	02-14-14	AS/GS	CLIENT COMMENT
2	02-27-14	AS/GS	REVISION COMMENT
3	10-29-14	AS/GS	REVISION COMMENT

**SUBMITAL**

NO.	DATE	DIC	DESCRIPTION

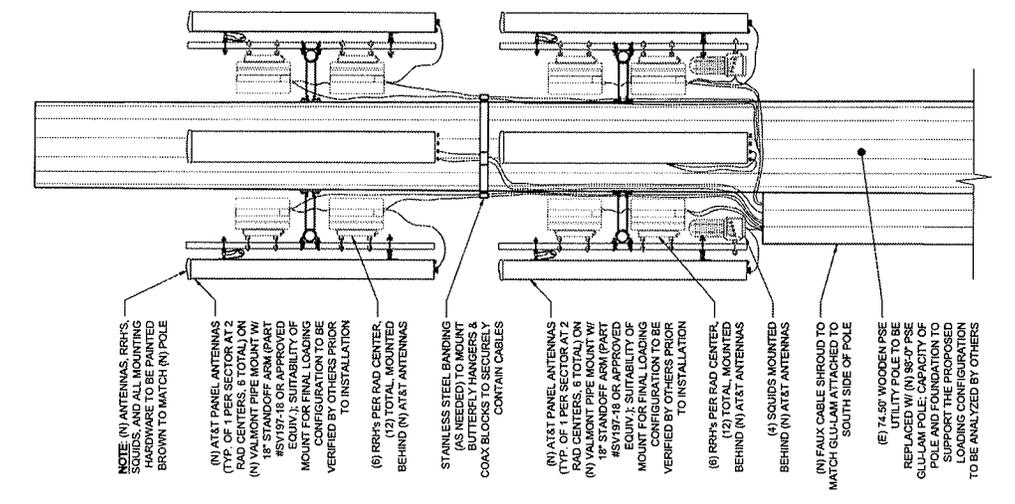
**SITE NAME**  
 SS 1750  
 WEST BELL VUE  
 SQUAREMALL

**SITE ADDRESS**  
 WEST BELL VUE  
 SQUAREMALL  
 A 58004

**SHEET TITLE**  
 CONSTRUCTION  
 DETAILS

**SHEET NO.**  
 A-4.0

**NOTE:** ALL NEW CABINETS TO BE SECURED TO GULLIAM POLE & BUNDLED AS NECESSARY TO ENSURE CABLE IS TIDY



(N) ANTENNAS, RRHS, SQUIDS, AND ALL MOUNTING HARDWARE TO BE PAINTED BROWN TO MATCH (N) POLE

(N) AT&T PANEL ANTENNAS (TYP. OF 1 PER SECTOR AT 2 PER SECTOR) MOUNT W/ (N) VALMONT PIPE MOUNT W/ #SV197-18 OR APPROVED EQUIV., SUITABILITY OF MOUNTING BRACKET CONFIGURATION TO BE VERIFIED BY OTHERS PRIOR TO INSTALLATION

(6) RRHS PER RAD CENTER, (12) TOTAL, MOUNTED BEHIND (N) AT&T ANTENNAS

STAINLESS STEEL BANDING (AS NEEDED) TO MOUNT BUTTERFLY HANGERS & COAX BLOCKS TO SECURELY CONTAIN CABLES

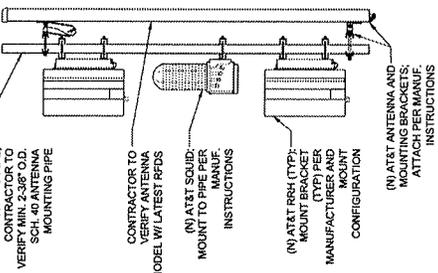
(N) AT&T PANEL ANTENNAS (TYP. OF 1 PER SECTOR AT 2 PER SECTOR) MOUNT W/ (N) VALMONT PIPE MOUNT W/ #SV197-18 OR APPROVED EQUIV., SUITABILITY OF MOUNTING BRACKET CONFIGURATION TO BE VERIFIED BY OTHERS PRIOR TO INSTALLATION

(8) RRHS PER RAD CENTER, (12) TOTAL, MOUNTED BEHIND (N) AT&T ANTENNAS

(4) SQUIDS MOUNTED BEHIND (N) AT&T ANTENNAS

(N) FAUX CABLE SHROUD TO MATCH GULLIAM ATTACHED TO SOUTH SIDE OF POLE

(E) 74.5" WOODEN PSE REPLACED W/ (N) 86.7" PSE GULLIAM POLE; CAPACITY OF POLE AND FOUNDATION TO SUPPORT THE PROPOSED LOADING CONFIGURATION TO BE ANALYZED BY OTHERS



(E) OR (N) ANTENNA MOUNTING PIPE, CONTRACTOR TO VERIFY MIN. 2.38" O.D. WITH ANTENNA MOUNTING PIPE

CONTRACTOR TO VERIFY ANTENNA MODEL W/ LATEST RFDs

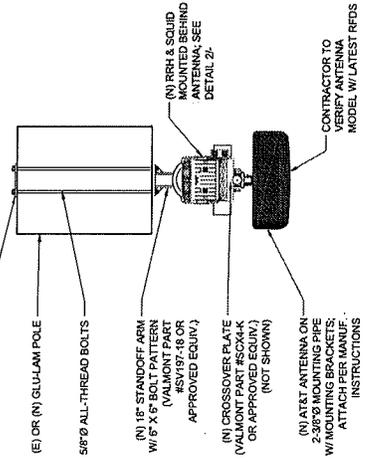
(N) AT&T SQUID, MOUNT TO PIPE PER MANUF. INSTRUCTIONS

(N) AT&T RRH (TYP.) MOUNT BRACKET (TYP) PER MANUFACTURER AND MOUNT CONFIGURATION

(N) AT&T ANTENNA AND MOUNTING BRACKETS, ATTACH PER MANUF. INSTRUCTIONS

SCALE: NTS (11X17)  
 SCALE: NTS (22X34)

2 TYPICAL RRH & SQUID MOUNT



1/2" THICK, 6" SQ. PLATE

(E) OR (N) GULLIAM POLE

5/8" ALL-THREAD BOLTS

(N) 18" STANDOFF ARM (VALMONT PART #SV197-18 OR APPROVED EQUIV.)

(N) CROSSOVER PLATE (VALMONT PART #SC244 OR APPROVED EQUIV.) (NOT SHOWN)

(N) AT&T ANTENNA ON 2.38" O.D. MOUNTING PIPE W/ MOUNTING BRACKETS, ATTACH PER MANUF. INSTRUCTIONS

(N) RRH & SQUID MOUNTED BEHIND ANTENNA; SEE DETAIL 2P.

CONTRACTOR TO VERIFY ANTENNA MODEL W/ LATEST RFDs

SCALE: NTS (11X17)  
 SCALE: NTS (22X34)

1 ANTENNA MOUNT

SCALE: NTS (11X17)  
 SCALE: NTS (22X34)

5 ELEVATION - TOP OF POLE

SCALE: NTS (11X17)  
 SCALE: NTS (22X34)

4 NOT IN USE

SCALE: NTS (11X17)  
 SCALE: NTS (22X34)

3 NOT IN USE



LPM PROJECT NO.: 6143

PRELIMINARY

NO.	DATE	D/C	DESCRIPTION
1	07-07-14	MSGS	CLIENT COMMENT
2	07-07-14	MSGS	CLIENT COMMENT
3	12-04-14	MSMS	JX COMMENT

SUBMITTAL

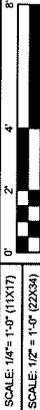
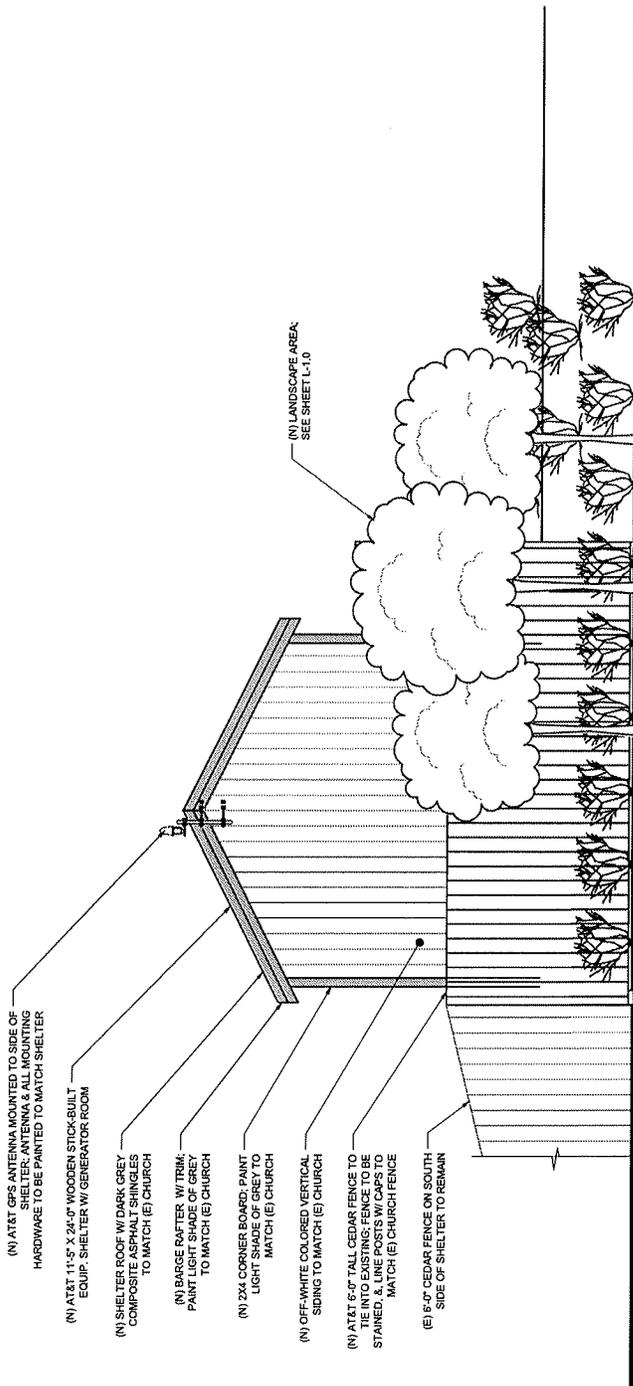
NO.	DATE	D/C	DESCRIPTION

**SITE NAME**  
SB1750  
WEST BELLEVUE  
SQUARE MALL

**SITE ADDRESS**  
9625 NE 8TH ST  
BELLEVUE, WA 98004

**SHEET TITLE**  
EAST ELEVATION  
ENLARGED

**SHEET NO.**  
A-3.2



1 EAST ELEVATION - FINAL ENLARGED



Your world. Delivered.



Problue Program Management

PRELIMINARY		
NO.	DATE / D/C	DESCRIPTION
1	07-14-14	ISSUES / CLIENT COMMENT
2	07-07-14	ISSUES / CLIENT COMMENT
3	12-04-14	ISSUES / CLIENT COMMENT

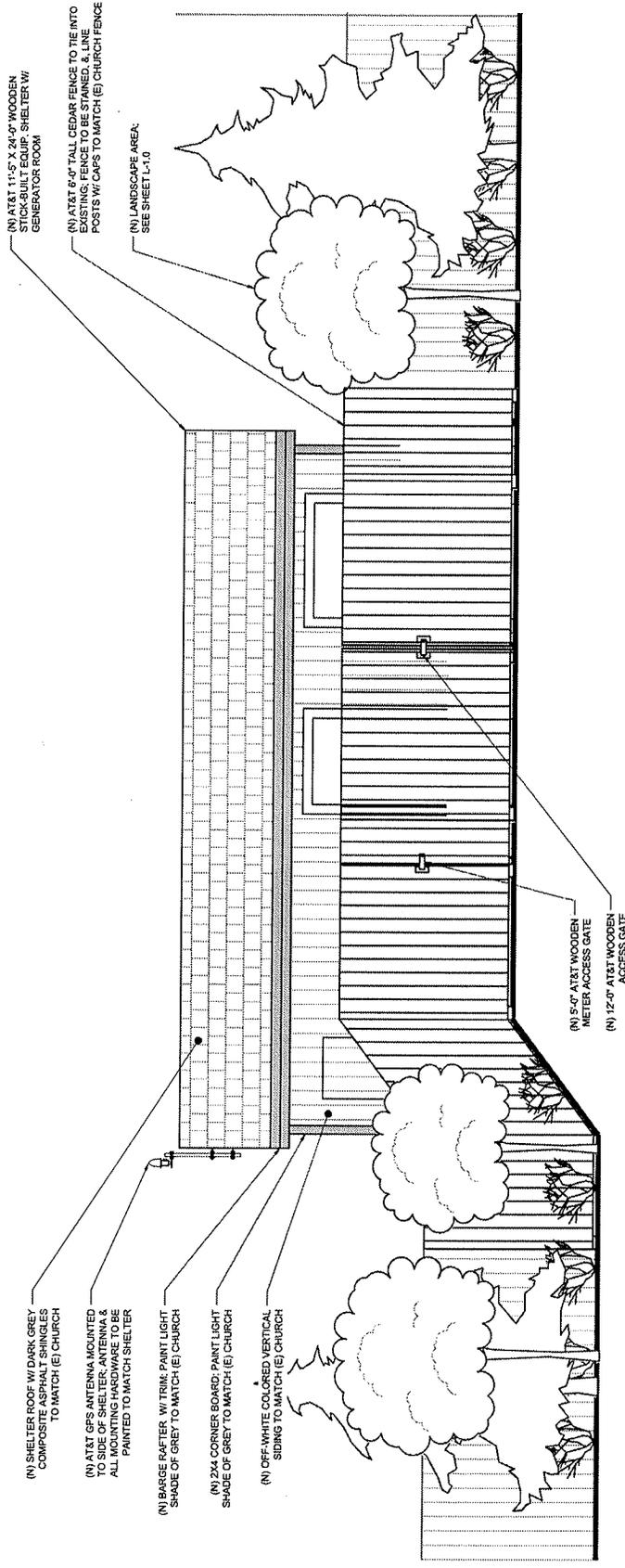
SUBMITTAL		
NO.	DATE / D/C	DESCRIPTION

**SITE NAME**  
SB1750  
WEST BELLEVUE  
SQUARE MALL

**SITE ADDRESS**  
9625 NE 8TH ST  
BELLEVUE, WA 98004

**SHEET TITLE**  
NORTH ELEVATION  
ENLARGED

**SHEET NO.**  
A-3.3



(N) AT&T 11'-5" X 24'-0" WOODEN  
SHELTER BUILT EQUIP. SHELTER W/  
GENERATOR ROOM

(N) AT&T 6'-0" TALL CEDAR FENCE TO TIE INTO  
EXISTING FENCE TO BE STAINED. & LINE  
POSTS W/ CAPS TO MATCH (E) CHURCH FENCE

(N) LANDSCAPE AREA:  
SEE SHEET L-1.0

(N) SHELTER ROOF W/ DARK GREY  
COMPOSITE ASPHALT SHINGLES  
TO MATCH (E) CHURCH

(N) AT&T GPS ANTENNA MOUNTED  
TO SIDE OF SHELTER. ANTENNA &  
ALL MOUNTING HARDWARE TO BE  
PAINTED TO MATCH SHELTER

(N) BARGE RAFTER W/ TRIM. PAINT LIGHT  
SHADE OF GREY TO MATCH (E) CHURCH

(N) 2"x4" CORNER BOARD. PAINT LIGHT  
SHADE OF GREY TO MATCH (E) CHURCH

(N) OFF-WHITE COLORED VERTICAL  
SIDING TO MATCH (E) CHURCH

(N) 5'-0" AT&T WOODEN  
METER ACCESS GATE

(N) 12'-0" AT&T WOODEN  
ACCESS GATE



SCALE: 1/4" = 1'-0" (11X17)  
SCALE: 1/2" = 1'-0" (22X34)

1 NORTH ELEVATION - FINAL ENLARGED

**ENVIRONMENTAL CHECKLIST**

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

**INTRODUCTION****Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

**Instructions for Applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

**Use of a Checklist for Nonproject Proposals:** *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

**Attach an 8 ½" x 11 vicinity map which accurately locates the proposed site.**

City of Bellevue Submittal Requirements	27a
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**ENVIRONMENTAL CHECKLIST**

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

**BACKGROUND INFORMATION** ✓

Property Owner: Grace Lutheran Church

Proponent: NEW CINGULAR WIRELESS (AT&T) as lessee

Contact Person: Cascadia PM - Rick Stockmann  
(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 733 7th Ave Suite 209; Kirkland, WA 98033

Phone: 425-890-1437

Proposal Title: SB1750 WEST BELLEVUE SQUARE MALL ✓

Proposal Location: Full location description and map are available on the summary sheet of drawing packet (Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature: ✓

1. General description: New WCF co-location on existing utility-pole. replace 75 FT pole with 98 FT glu lam pole in r.o.w.
2. Acreage of site: 3.09 acres
3. Number of dwelling units/buildings to be demolished: None
4. Number of dwelling units/buildings to be constructed: None
5. Square footage of buildings to be demolished: NA
6. Square footage of buildings to be constructed: NA New equipment shelter (accessory shelter) constructed on Church property
7. Quantity of earth movement (in cubic yards): less than 1 cy May be more to accommodate new equipment shelter and landscaping
8. Proposed land use: New WCF
9. Design features, including building height, number of stories and proposed exterior materials:  
WCF equipment area will contain an accessory shelter (stick built) surrounded by cedar fencing and vegetation.
10. Other

Estimated date of completion of the proposal or timing of phasing: ✓  
Spring 2015

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.  
None known at this time. ✓

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.  
FCC NEPA checklist ✓ No critical areas on previously developed site.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known. ✓  
None known.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known. ✓  
City of Bellevue Administrative Conditional Use Permit  
City of Bellevue Commercial Building Permit WCF Permit (CA permit) and Right of Way Use Permit  
FCC NEPA checklist

Please provide one or more of the following exhibits, if applicable to your proposal.  
(Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development  
Preliminary plat map
- Clearing & Grading Permit  
Plan of existing and proposed grading  
Development plans
- Building Permit (or Design Review)  
Site plan  
Clearing & grading plan
- Shoreline Management Permit  
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth ✓

- a. General description of the site:  Flat  Rolling  Hilly  Steep slopes  Mountains  Other
- b. What is the steepest slope on the site (approximate percent slope)?  
The 8th Street corridor road prism is ~15%, the remaining site area is relatively flat.
- c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.  
Arents, Alderwood material.

✓  
d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. ✓

None known

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill. ✓

Minimal grading (less than 1 cyd) for equipment shelter foundation. will be minor grading for landscaping and boring for new pole

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. ✓

Minor erosion from equipment area construction.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? ✓

New impervious surface from WCF proposal = 925 SF, this is a .007% increase to existing impervious surface, which is ~60% of site.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: ✓

Best management practices for storm water control will be used throughout all construction activities; and WCF operations.

Erosion Control per Clearing and Grading code - BCC 23.76

## 2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known. ✓

During construction vehicle emissions will result from construction operations.

During operation exhaust fumes will be produced by the generator. The generator will only operate during emergencies and once a month for testing/maintenance purposes. Noise and construction hours per BCC 9.18

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. ✓

None known

c. Proposed measures to reduce or control emissions or other impacts to the air, if any: ✓

The generator will only operate during emergencies and once a month for testing/maintenance purposes.

Construction Dust Suppression measures per Clearing and Grading code - BCC 23.76

### 3. WATER

#### a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. ✓

None known.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans. ✓

No work proposed adjacent to or within surface waters.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. ✓

None.

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. ✓

No proposed surface water withdrawals or diversions.

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. ✓

No; the proposal does not lie within the 100 year flood plain.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. ✓

No; the proposal does not include discharges to surface waters.

#### b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description. ✓

No; ground water will not be withdrawn.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. ✓

No septic tanks or other waste receptacle are proposed.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. ✓

Proposed facility will create minor sheet flow runoff from equipment compound foundation. Vegetative planters will surround compound and serve to mitigate flow.

- (2) Could waste materials enter ground or surface waters? If so, generally describe. ✓

None known

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any: ✓

Please refer to c.(1)

Runoff control per Clearing and Grading Code  
BCC 23.76

4. Plants

a. Check or circle types of vegetation found on the site: ✓

- deciduous tree: alder, maple, aspen, other  
 evergreen tree: fir, cedar, pine, other  
 shrubs  
 grass  
 pasture  
 crop or grain  
 wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other  
 water plants: water lily, eelgrass, milfoil, other  
 other types of vegetation

b. What kind and amount of vegetation will be removed or altered? ✓

Minor ground vegetation (grass) for equipment compound. All large trees will be retained.

c. List threatened or endangered species known to be on or near the site. ✓

None known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: ✓

Existing landscaping around proposal will be preserved. A landscaping plan has been prepared and is included in the design packet.

New landscaping around equipment shelter and  
replacement of shrubs around new pole

## 5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site: ✓

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

- b. List any threatened or endangered species known to be on or near the site. ✓

None known.

- c. Is the site part of a migration route? If so, explain. ✓

Pacific Flyway

- d. Proposed measures to preserve or enhance wildlife, if any: ✓

none proposed.

None required. Minimal construction on developed site

## 6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc. ✓

The facility will be powered by electricity; with a battery back up system and emergency diesel generator.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. ✓

No. Proposed WCF is on an existing utility-pole.

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any: ✓

None proposed.

## 7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. ✓

Emergency generator, diesel powered.

Battery backup system.

Compliance with FCC Radio Frequency standards per certification by AT&T Engineer in project

- (1) Describe special emergency services that might be required. ✓

Unstaffed facility, no emergency services required.

- (2) Proposed measures to reduce or control environmental health hazards, if any. ✓

Diesel tank is double-walled.

Batteries are vented and "double walled"; battery cabinet has elevated lip for containment.

- b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)? ✓

None anticipated.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site. ✓
- During construction, temporary noise from construction operations.  
 During operation, noise from generator (during emergencies and testing); low level noise from cooling fans on cabinets.
- Noise and construction hours per BCC 9.18

- (3) Proposed measures to reduce or control noise impacts, if any: ✓
- Construction to occur during normal working hours. Generator testing to take place during working hours (generally mid-morning). Distance from habitable structures will minimize noise from cabinets.
- Contractor should use noise suppressing techniques whenever possible

**8. Land and Shoreline Use**

- a. What is the current use of the site and adjacent properties? ✓  
 Church site; surrounding land use is residential.
- b. Has the site been used for agriculture? If so, describe. ✓  
 Not known.
- c. Describe any structures on the site. ✓  
 Church building surrounded by annex buildings.
- d. Will any structures be demolished? If so, what? ✓  
 No.
- e. What is the current zoning classification of the site? ✓  
 R 3.5
- f. What is the current comprehensive plan designation of the site? ✓  
 Residential Single-family Medium
- g. If applicable, what is the current shoreline master program designation of the site? ✓  
 NA
- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. ✓  
 No.
- i. Approximately how many people would reside or work in the completed project? ✓  
 None.
- j. Approximately how many people would the completed project displace? ✓  
 None.
- k. Proposed measures to avoid or reduce displacement impacts, if any: ✓  
 None proposed.
- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: ✓
- Proposed WCF has been designed to fit within the architectural character of Church property. Additional mitigation measures include flush mount antennas, landscape plan, paint and fencing have also been used to screen and reduce visual impacts.

**9. Housing**

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. ✓  
None.
  
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. ✓  
None.
  
- c. Proposed measures to reduce or control housing impacts, if any: ✓  
None proposed.

**10. Aesthetics**

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? ✓  
Proposed replacement utility pole is 98'. Principal exterior equipment shelter materials are wood.
- b. What views in the immediate vicinity would be altered or obstructed? ✓  
New pole will be slightly visible in immediate vicinity. These are noted in photo simulations.
- c. Proposed measures to reduce or control aesthetic impacts, if any: ✓  
The site will be collocated on a replacement utility pole so as to negate the need for a new freestanding monopole, and antennas will be flush mounted to the pole and painted to match; cabling will be housed inside the pole; equipment to be placed inside stick frame building and screen with landscaping so as to blend with the existing onsite church building structures.

Per ACU approval, all antennas, cables, and ancillary equipment on pole to be painted dark brown

**11. Light and Glare**

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? ✓  
No impact anticipated at this time.
- b. Could light or glare from the finished project be a safety hazard or interfere with views? ✓  
Lighting is not proposed.
  
- c. What existing off-site sources of light or glare may affect your proposal? ✓  
None anticipated.
- d. Proposed measures to reduce or control light or glare impacts, if any: ✓  
None proposed.

## 12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?  
Walking, biking, etc. ✓
- b. Would the proposed project displace any existing recreational uses? If so, describe.  
None known. ✓
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:  
None proposed. ✓

## 13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.  
None known. ✓
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.  
None known in proximity to proposed site. ✓
- c. Proposed measures to reduce or control impacts, if any:  
None proposed. ✓

## 14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. ✓  
The site is served by 8th Street. refer to drawing packet for details
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? ✓  
Metro Transit leases parking space for park-n-ride.
- c. How many parking spaces would be completed project have? How many would the project eliminate? ✓  
No parking spaces eliminated.
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓  
No new roadways proposed. Right of Way Use Permit required for all work in right of way. NE 8th Street a 'no cut' street.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. ✓  
Project will not use transportation in any form.
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓  
A maintenance technician will visit site ~1-2 times per month.
- g. Proposed measures to reduce or control transportation impacts, if any: ✓  
None proposed.

**15. Public Services**

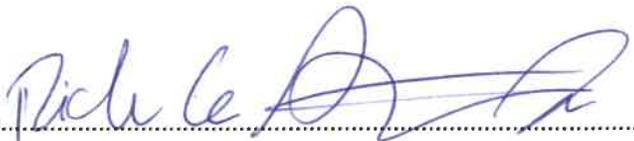
- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. ✓  
No. WCF is an unstaffed facility.
  
- b. Proposed measures to reduce or control direct impacts on public services, if any. ✓  
None proposed.

**16. Utilities**

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.
  
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓  
The project will require power and telephone (fiber connection) service. Connections will be coordinated with local utilities and be pulled from the surrounding infrastructure. New trenching may be required to get the utilities to the site. ✓

**Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision. ✓

Signature   
Date Submitted 7-11-2014

SN 12-11-14