



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 450 110<sup>th</sup> Ave NE  
 BELLEVUE, WA 98009-9012

**DETERMINATION OF NON-SIGNIFICANCE**

**PROPONENT:** Susan Harper, City of Bellevue

**LOCATION OF PROPOSAL:** 450 110<sup>th</sup> Avenue NE

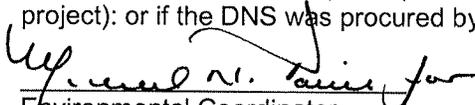
**DESCRIPTION OF PROPOSAL:** Bellevue City Hall East Garage Expansion Preliminary SEPA review to add 138 new parking stalls to the existing 4-story east parking garage to partially offset the loss of the parking in the north garage due to East Link construction.

**FILE NUMBERS:** 14-129054-LM      **PLANNER:** Carol Hamlin

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **7/24/2014**.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

  
 Environmental Coordinator

7/10/2014  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

- State Department of Fish and Wildlife / [Stewart.Reinbold@dfw.gov](mailto:Stewart.Reinbold@dfw.gov); [Christa.Heller@dfw.wa.gov](mailto:Christa.Heller@dfw.wa.gov);
- State Department of Ecology, Shoreline Planner N.W. Region / [Jobu461@ecy.wa.gov](mailto:Jobu461@ecy.wa.gov); [sepaunit@ecy.wa.gov](mailto:sepaunit@ecy.wa.gov)
- Army Corps of Engineers [Susan.M.Powell@nws02.usace.army.mil](mailto:Susan.M.Powell@nws02.usace.army.mil)
- Attorney General [ecyolyef@atg.wa.gov](mailto:ecyolyef@atg.wa.gov)
- Muckleshoot Indian Tribe [Karen.Walter@muckleshoot.nsn.us](mailto:Karen.Walter@muckleshoot.nsn.us); [Fisheries.fileroom@muckleshoot.nsn.us](mailto:Fisheries.fileroom@muckleshoot.nsn.us)

**ENVIRONMENTAL CHECKLIST**

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

**INTRODUCTION****Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

**Instructions for Applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

**Use of a Checklist for Nonproject Proposals:** *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

**Attach an 8 ½" x 11 vicinity map which accurately locates the proposed site.**

C. Hamlin  
7/10/14  
csh ✓

**ENVIRONMENTAL CHECKLIST**

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

**BACKGROUND INFORMATION**

Property Owner: City of Bellevue

Proponent: Susan Harper, Project Manager, City of Bellevue

Contact Person: Aaron Pleskac, AIA, SRG Partnership, Inc.  
(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 110 Union Street, Suite 300, Seattle, WA 98101

Phone: (206) 973-1681

Proposal Title: Bellevue City Hall East Garage Expansion

Proposal Location: 450 110th Avenue NE, Bellevue, WA 98009, Corner of 110th Ave. NE and NE 6th Street  
(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 ½" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: Project is to construct a four tier addition to existing four tier open parking garage.
2. Acreage of site: 209,322 SF (4.8 acres) per King County Assessor
3. Number of dwelling units/buildings to be demolished: 0
4. Number of dwelling units/buildings to be constructed: 0
5. Square footage of buildings to be demolished: 0
6. Square footage of buildings to be constructed: approximately 12,160 SF
7. Quantity of earth movement (in cubic yards): Cut = 1,971 CY, Fill = 46 CY
8. Proposed land use: No change of use from existing City Hall. Mixed A-3, B, I-3, and S-2 occupancies
9. Design features, including building height, number of stories and proposed exterior materials:  
Construct 4-tier addition to existing 4 tier parking garage, with landscaped lid above. Maximum height is approx 46'-0" above adjacent grade. Exterior materials to be concrete and terra-cotta panels to match existing building.

## 10. Other

Note that construction is intended to partially replace existing parking on the site to be demolished by the construction of the proposed Sound Transit station at the corner of 6th Ave. NE and NE 110th Street.

*ish* ✓

Estimated date of completion of the proposal or timing of phasing:

Projected completion of construction is March, 2015.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No future plans are currently contemplated relative to this proposal. Note that this work is one of several independent projects undertaken by the City of Bellevue to prepare for and respond to the construction of the Sound Transit station.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

No environmental information has been prepared specifically for this proposal.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

Applications for the construction of the Sound transit station are pending. The project numbers for these is unknown.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

None are known.

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Preliminary Plat or Planned Unit Development  
Preliminary plat map

Clearing & Grading Permit  
Plan of existing and proposed grading  
Development plans

Building Permit (or Design Review)  
Site plan  
Clearing & grading plan

Shoreline Management Permit  
Site plan

## A. ENVIRONMENTAL ELEMENTS

### 1. Earth

a. General description of the site:  Flat  Rolling  Hilly  Steep slopes  Mountains  Other

b. What is the steepest slope on the site (approximate percent slope)?

15%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Dense glacial till overlain with fill and topsoil.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.  
No.

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Excavation is needed for the proposed garage expansion. In order to maintain the two garage entrances, the adjacent access drive requires re-grading with minimal fill is required for this site. Fill will be obtained from an approved pit.

Cut = 1,971 yd<sup>3</sup> Fill = 46 yd<sup>3</sup> A CSWPPP (Construction Stormwater Pollution Prevention Plan) is required for this project per BCC (Bellevue City Code)

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. Section 23.76.090.

Excavation will temporarily expose soils subject to erosion. Temporary erosion control Best Management Practices will be implemented.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Percentage of impervious surface within the site property boundary after construction is 66%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Temporary erosion and sedimentation control Best Management Practices will be implemented in addition to permanent landscaping erosion control measures.

Geotechnical recommendations for the original City Hall renovation project are presented in a geotechnical report by GeoEngineers, Inc. dated 2/6/04. Geotechnical recommendations specifically for the Parking Garage Expansion project are provided by GeoEngineers, Inc. in a 3/24/14 addendum to the geotechnical report. BCC 23.76 clear/grade code

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

No special emissions will be generated by this project.

During construction, emissions from motorized equipment and vehicles could occur as well as dust during grading. After completion, emission from vehicles will occur.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.  
No.

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

None.

Construction dust suppressant measures per BCC 23.76 clear/grade code

GH ✓

### 3. WATER

#### a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

No.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None.

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No.

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

#### b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

No.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Surface stormwater runoff from new and/or replaced impervious areas will be collected and conveyed by closed conduit through the existing/relocated storm drain system to an existing private on-site flow control facility. Flow rates and volumes will not increase. The site is within the Sturtevant Creek Basin that discharges to Sturtevant Creek.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.  
No.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

The proposed vegetative roof will reduce the runoff, and all areas will discharge to an existing private on-site flow control facility.

*Per Storm Drainage Report by Magnusson Klemencic Associates dated 5/20/14. Utility Developer Extension Agreement submitted under # 14-132969-UE.*

*Project subject to Utility Code 24.06 and any required utility permits.*

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other  
 evergreen tree: fir, cedar, pine, other  
 shrubs  
 grass  
 pasture  
 crop or grain  
 wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other  
 water plants: water lily, eelgrass, milfoil, other  
 other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

7,500 square feet of existing ornamental landscape will be removed as part of the clearing and grading process and replaced with a similar area of native and adaptive vegetation. See site demolition plan for a more detailed description.

c. List threatened or endangered species known to be on or near the site.

None are known to be present on the site.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Ornamental landscaping is to be provided in a portion of the site area. Proposed native and adaptive plants include *Acer circinatum* (vine maple), *Populus tremuloides* (trembling aspen) and *Pseudotsuga menziesii* (Douglas fir). See landscape plan.

*Applicant also proposes a green roof. See Sheet L102.*

*Downtown Landscaping Code LUC 20.25A.040 - proposal exceeds code requirements.*

*gh ✓*

## 5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

*Small urban animals - mice, squirrels are most likely on or adjacent to the site.*

- b. List any threatened or endangered species known to be on or near the site.

No wildlife is believed to inhabit the site.

- c. Is the site part of a migration route? If so, explain.

No.

- d. Proposed measures to preserve or enhance wildlife, if any:

As no wildlife is present, no measures to preserve wildlife are indicated.

*Landscaping will provide habitat for small urban animals, i.e. mice, squirrels*

## 6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

The project includes no conditioned space. Electricity will be used to power lights and ventilation fans.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No. The site will not cast significant shadows on adjacent properties, and is largely shaded by City Hall.

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

High efficiency lighting will be provided.

## 7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No significant health hazards will be caused by this project.

- (1) Describe special emergency services that might be required.

No special emergency services will be required. The addition will be connected to the existing building's sprinkler, fire alarm and emergency egress systems. Note also that some of the added parking will likely be used by the Police Department, who are part of the City's emergency response infrastructure.

- (2) Proposed measures to reduce or control environmental health hazards, if any.

None are required.

### b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

The project may be affected by noise from traffic and construction activity. Note that these impacts are not increased by the presence of the proposed project.

*ck ✓*

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

The project will cause noise impacts due to construction in the short term. In the long term, ~~no~~ increased noise impacts are anticipated, as the project will not increase overall traffic to and from the site, and because the project will not increase the total volume of parking on the site above what it is today.

See sheet 0001.

- (3) Proposed measures to reduce or control noise impacts, if any:

No special measures are proposed.

from the new 138 parking stalls. In the long term, there will be no increase in noise impacts, assuming the new 138 stalls are being constructed for lost Police Dept. stalls due to East Link construction.

Standard sound muffling equipment will reduce noise levels. Construction noise will be limited to the City's Noise Ordinance. This ordinance regulates hours of construction M-F 7-5 Sat 9-5 @ some holidays.

**8. Land and Shoreline Use**

- a. What is the current use of the site and adjacent properties?

The site is currently used as City hall, and is surrounded by commercial, retail, and housing structures.

- b. Has the site been used for agriculture? If so, describe.

Not in recent history.

- c. Describe any structures on the site.

The site is currently occupied by Bellevue City Hall. The project proposes an addition to the parking structure.

- d. Will any structures be demolished? If so, what?

No. detailed demolition of some features of the existing building will be removed to allow the construction.

- e. What is the current zoning classification of the site?

DNTN-MU, Downtown Multi-Use

- f. What is the current comprehensive plan designation of the site?

DNTN - Downtown

- g. If applicable, what is the current shoreline master program designation of the site?

Not applicable.

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

No.

- i. Approximately how many people would reside or work in the completed project?

No people reside on the site, and no residents are contemplated. Approximately 1000 employees work at Bellevue City hall on the site.

- j. Approximately how many people would the completed project displace?

The project will displace no one. It displaces no residences and no commercial area.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

None are required.

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposal is consistent with the site's zoning and the City's plan for the area.

ish ✓

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

No housing will be provided.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

No housing will be eliminated.

- c. Proposed measures to reduce or control housing impacts, if any:

None are required.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

approximately 45' The proposed addition is no more than 32' above adjacent grade, and will be clad primarily in terra cotta.

- b. What views in the immediate vicinity would be altered or obstructed?

Views of City Hall would be altered. No views from any prospect will be blocked.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

The addition will be designed to match and compliment the design of the existing City hall.

The proposed green roof will provide an aesthetic feature to those looking down on the green roof or walking on the green roof. See sheet 6102.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

The project has no reflective surfaces and no glazing, and therefore will cause no glare.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No.

- c. What existing off-site sources of light or glare may affect your proposal?

None.

- d. Proposed measures to reduce or control light or glare impacts, if any:

new lighting will be designed to minimize spill over to adjacent properties.

Cut off shields to prevent off-site glare - per spec 20.20.520.

gh ✓

**12. Recreation**

- a. What designated and informal recreational opportunities are in the immediate vicinity?  
The property includes a public plaza, used for casual gatherings and informal recreation.
- b. Would the proposed project displace any existing recreational uses? If so, describe.  
No recreational uses will be displaced by the project.
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:  
None are required.

*Green roof  
accessible to  
public ✓*

**13. Historic and Cultural Preservation**

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.  
No.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.  
None are known.
- c. Proposed measures to reduce or control impacts, if any:  
None are required.

**14. Transportation**

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.  
Site is served by the downtown street grid. No changes to site access are proposed.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?  
The Bellevue Transit Center is directly across 110th Avenue NE from the site.
- c. How many parking spaces would be completed project have? How many would the project eliminate?  
The project will add 138 parking spaces.
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).  
No.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.  
No. Note that another project proposes soon to build a new light rail line for Sound Transit along the northern portion of the site, with a high traffic station to be located on the NW corner of the site.
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.  
None. The project adds no use, and proposes only to replace some parking to be eliminated later.
- g. Proposed measures to reduce or control transportation impacts, if any:  
None are required.

*Driveway entrance off 112nd Ave NE  
will be reconfigured for oversized vehicle  
parking and pedestrian walkway.*

*No frontage improvements required  
per Transportation Dept. reviewer 9*

*ROW use  
permit  
Bellevue City Code 14.30 ✓  
gh ✓*

**15. Public Services**

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

The project will create no new demand for public services. Note that the project will mitigate negative impacts to the ongoing efficient delivery of government and police services.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

None are required.

**16. Utilities**

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Water for fire sprinklers and electricity will be provided from the existing building for this project. This project will have storm drain and sanitary sewer which connect to a private systems.

**Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

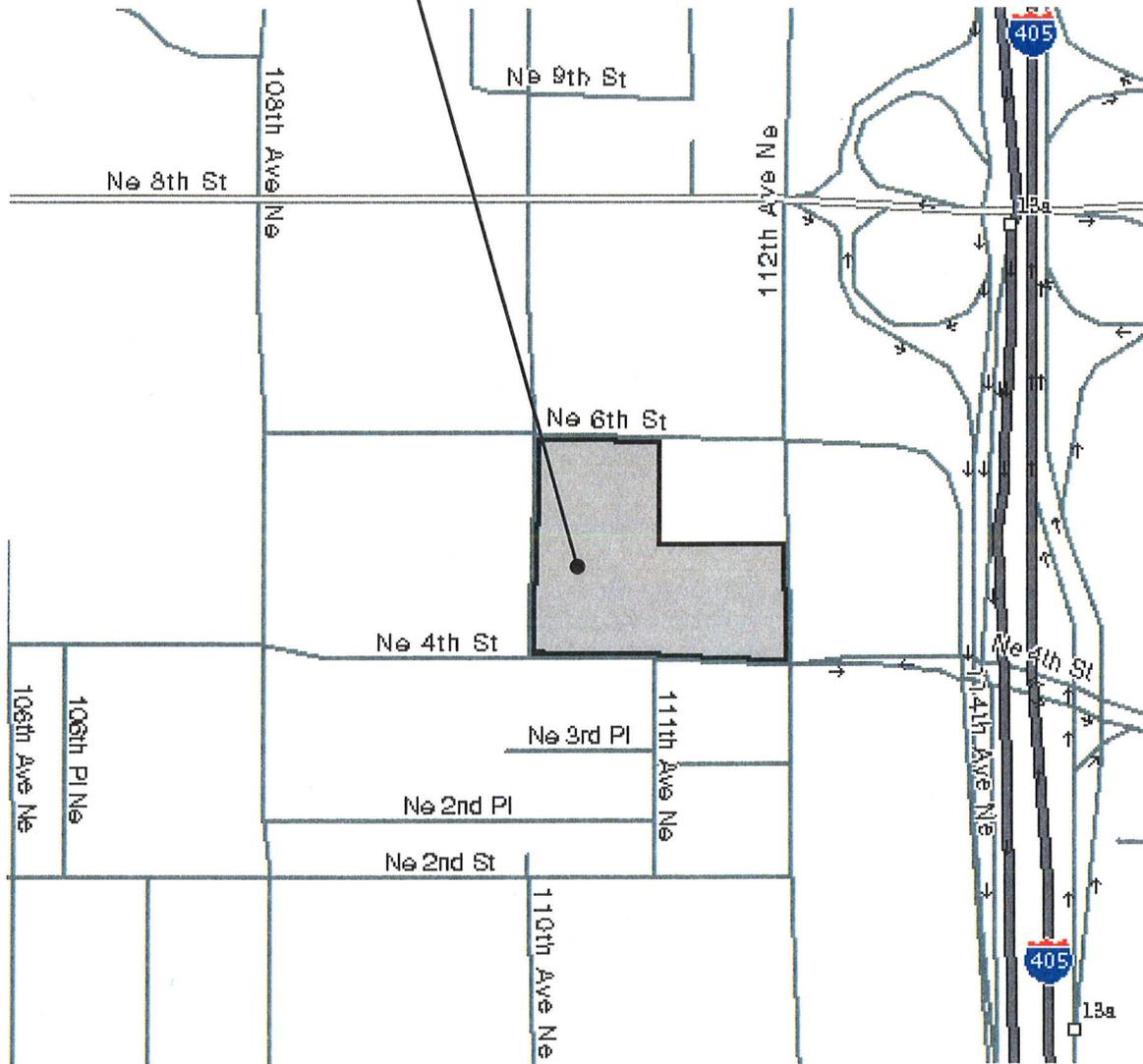
Signature.....  .....

Date Submitted..... April 14, 2014 .....



### Vicinity Map

Bellevue City Hall  
450 110<sup>th</sup> Avenue NE  
Bellevue, WA 98004



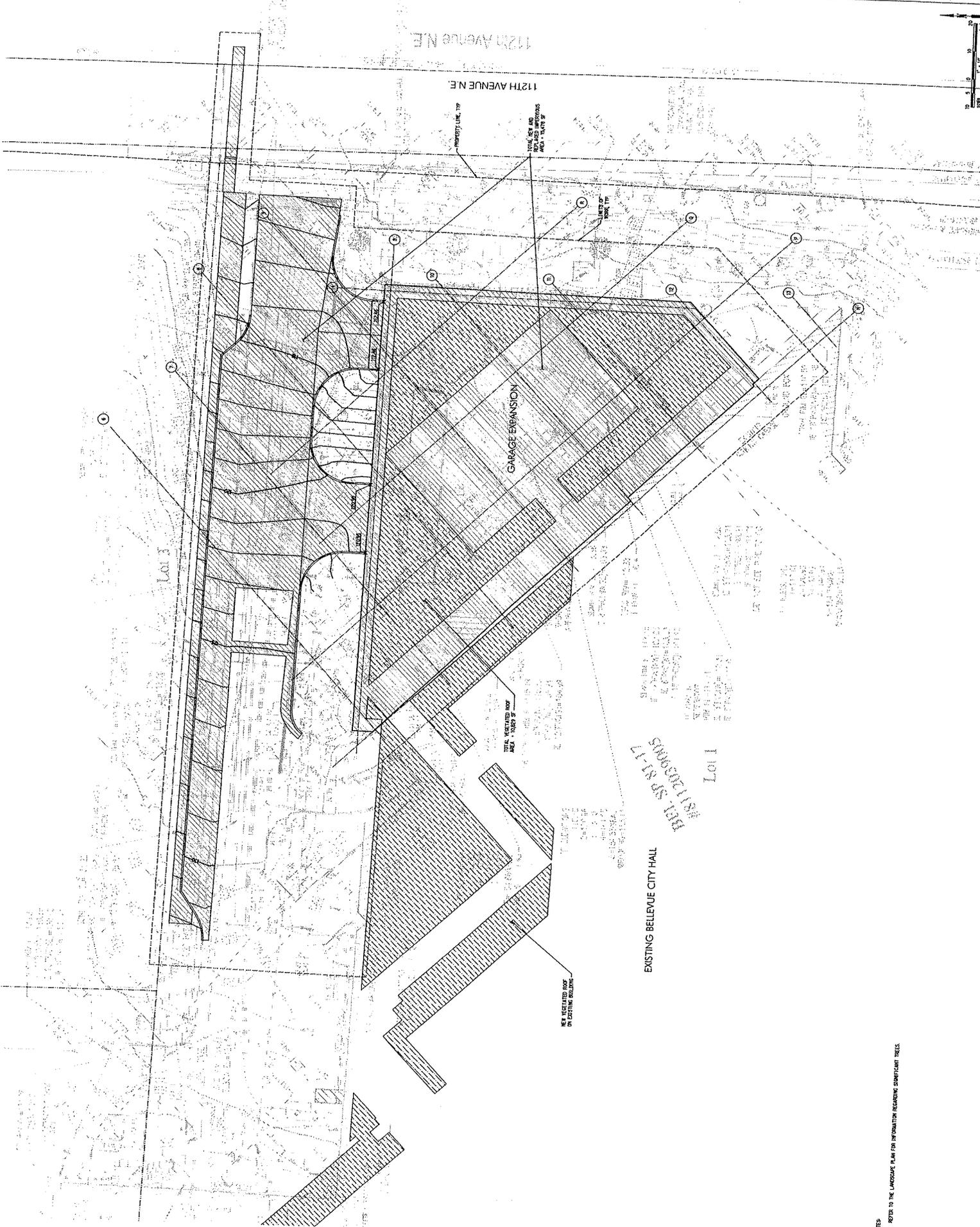
# East Garage Expansion

City of Bellevue  
450 110th Ave NE Bellevue, WA 98004

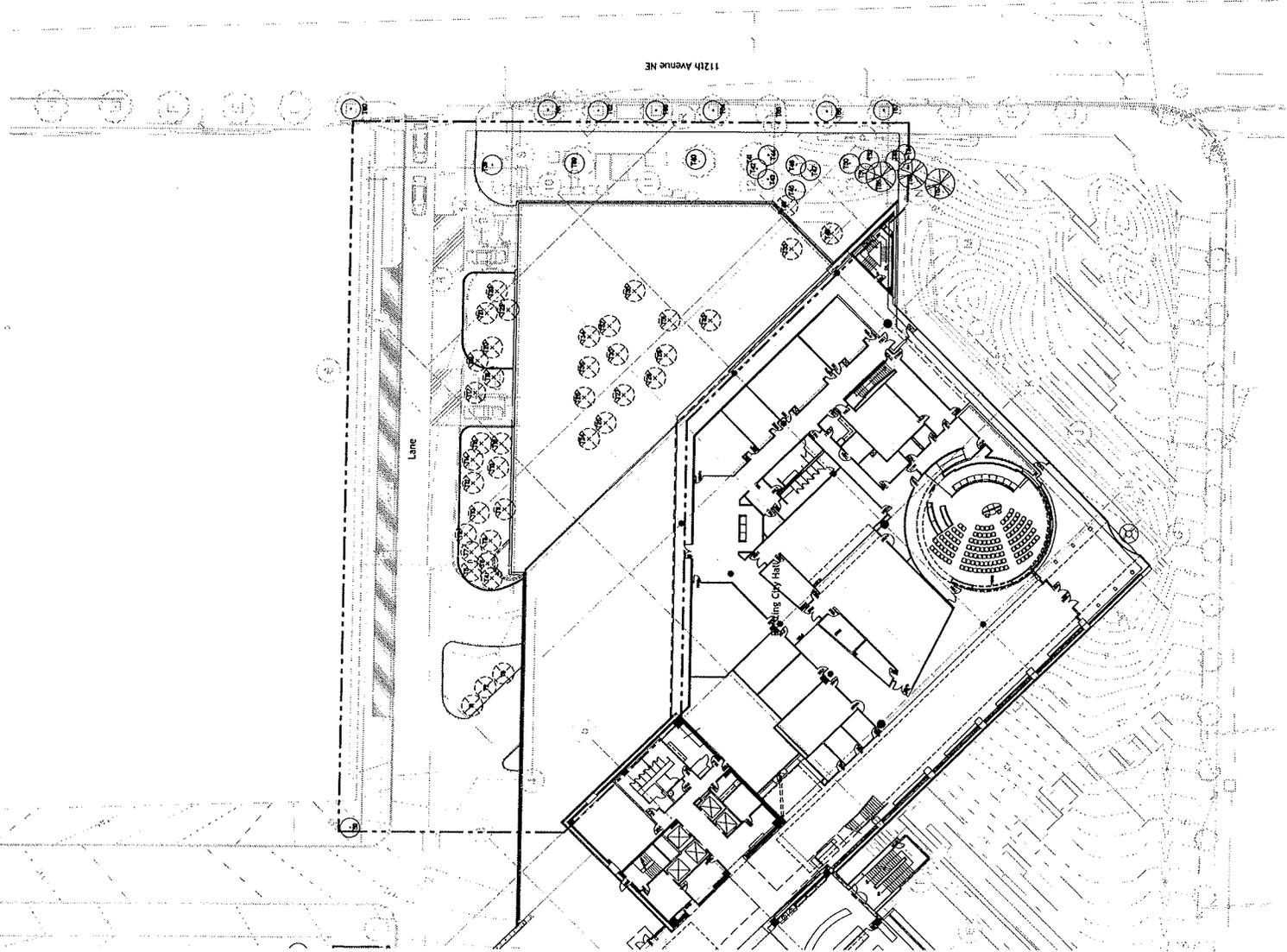








NOTES:  
1. REFER TO THE LANDSCAPE PLAN FOR INFORMATION REGARDING SIGNIFICANT TREES.



City of Bellevue  
East Garage Expansion

Project: 2014-0000  
 Client: City of Bellevue  
 Date: 11/16/14  
 Scale: 1/16"=1'-0"  
 Drawing No.: 14-0000-0000-0000  
 Drawing Title: East Garage Expansion  
 Drawing No.: 14-0000-0000-0000

hap  
 h a p  
 CONSULTANTS  
 400 1st Avenue, Suite 200  
 Bellevue, WA 98004  
 Phone: 206.453.1000  
 Fax: 206.453.1001  
 www.hapinc.com

- LEGEND
- ⊗ CONSERVATION TREE TO BE RETAINED
  - ⊙ REDUNDANT TREE TO BE RETAINED
  - ⊗ TREE TO BE REMOVED

SIGNIFICANT TREES						
TREE ID	SPECIES	DIAMETER	TREES WITH PROMINENT	TREES WITH SITE INTERIOR	WEIGHTING FACTOR	WEIGHTED DIAMETER TREES SAVED
1	FR	12.0			1.0	12.0
2	FR	12.0			1.0	12.0
3	FR	12.0			1.0	12.0
4	FR	12.0			1.0	12.0
5	FR	12.0			1.0	12.0
6	FR	12.0			1.0	12.0
7	FR	12.0			1.0	12.0
8	FR	12.0			1.0	12.0
9	FR	12.0			1.0	12.0
10	FR	12.0			1.0	12.0
11	FR	12.0			1.0	12.0
12	FR	12.0			1.0	12.0
13	FR	12.0			1.0	12.0
14	FR	12.0			1.0	12.0
15	FR	12.0			1.0	12.0
16	FR	12.0			1.0	12.0
17	FR	12.0			1.0	12.0
18	FR	12.0			1.0	12.0
19	FR	12.0			1.0	12.0
20	FR	12.0			1.0	12.0
21	FR	12.0			1.0	12.0
22	FR	12.0			1.0	12.0
23	FR	12.0			1.0	12.0
24	FR	12.0			1.0	12.0
25	FR	12.0			1.0	12.0
26	FR	12.0			1.0	12.0
27	FR	12.0			1.0	12.0
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TOTAL			100	100	1.0	100.0

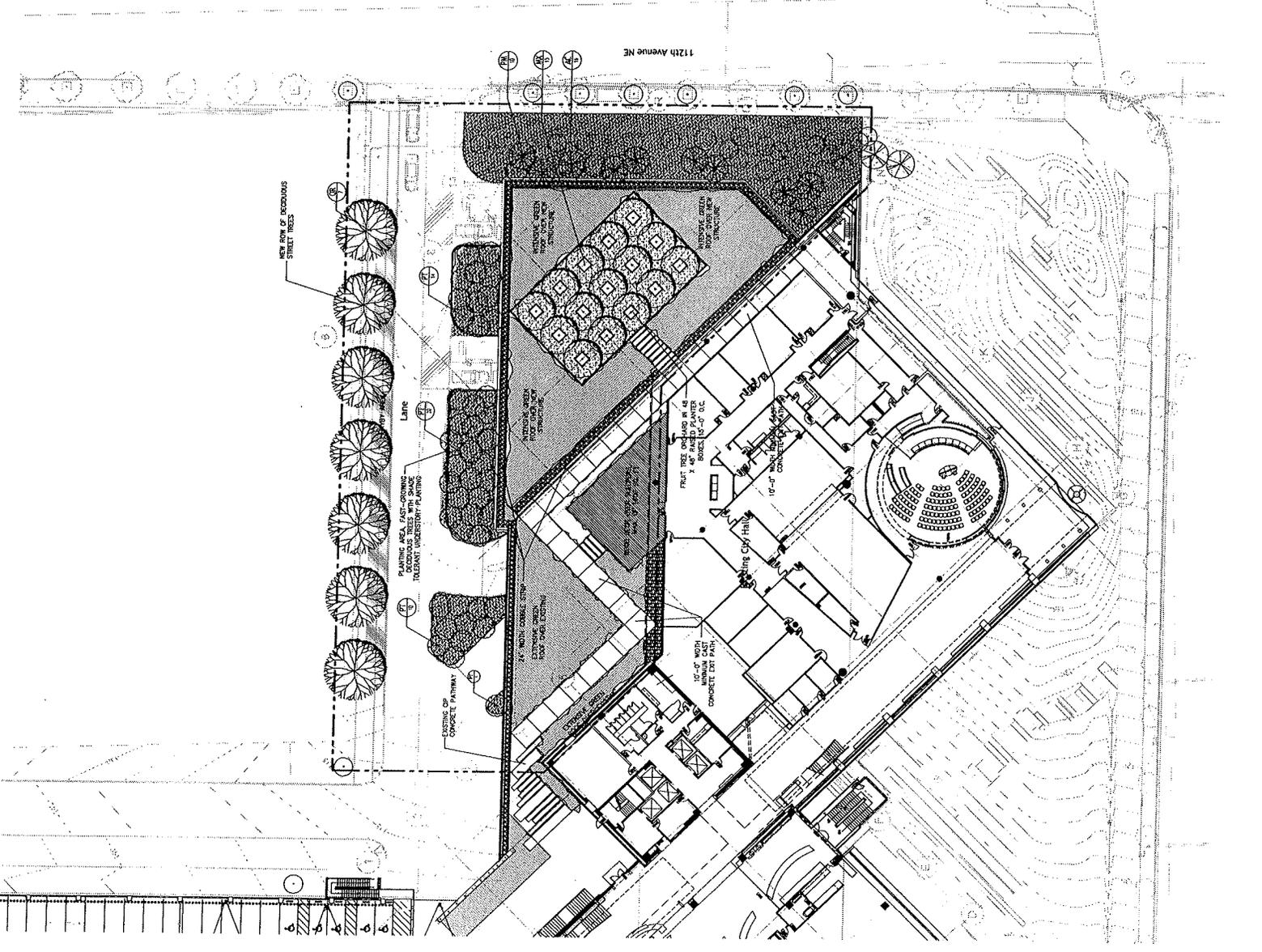
TOTALS, SITE INTERIOR TREE RETENTION REQUIREMENT: 225'  
 TOTAL DIAMETER REQUIRED: 33.29'  
 TOTAL DIAMETER PROVIDED: 77'



Plant Schedule

SYM	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
TREES	45	PRUNUS PENNSYLVANICA	RED TWIG DOGWOOD	2" CAL., B&B	UNIFORM SIZE AND QUALITY
FR	10	FRAXINUS AMERICANA	WHITE BIRCH	2" CAL., B&B	UNIFORM SIZE AND QUALITY
AC	16	ACER ORNATUM	ORNATE ACER	6" CAL., B&B	UNIFORM SIZE AND QUALITY
WA	15	MAELISUS RUBRA	RED MAPLE	3-1/2" CAL., B&B	UNIFORM SIZE AND QUALITY
WA	15	MAELISUS RUBRA	RED MAPLE	5-0" HT., B&B	UNIFORM SIZE AND QUALITY
GROUNDCOVER	1000	POLYSTICHUM MONTANUM	SPERMATOPHYTES	1" CAL. POT, 24" O.C.	FULL
SHRUBS	125	CORNUS SERICEA	DOGWOOD	1" CAL. POT, 24" O.C.	FULL
SHRUBS	125	IRIS DOUGLASSIANA	IRIS	1" CAL. POT, 24" O.C.	FULL
SHRUBS	125	MANISIA AQUIFOLIUM	MANISIA	1" CAL. POT, 24" O.C.	FULL

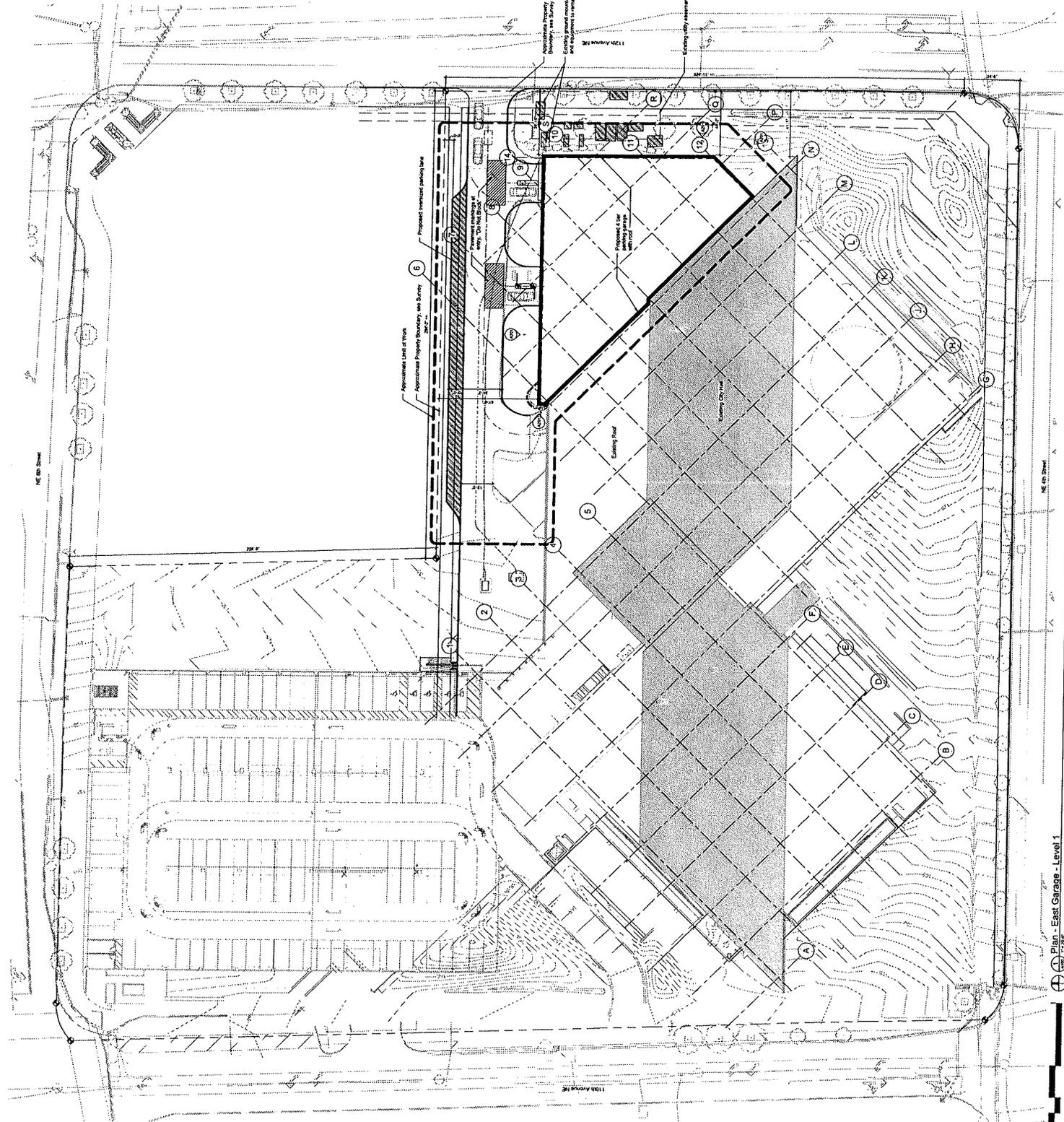
1. PLANT QUANTITIES ARE BASED ON DESIGN DEVELOPMENT DRAWINGS AND ARE ESTIMATED QUANTITIES ONLY.
2. LANDSCAPE PLAN IS SUBJECT TO CHANGE. QUANTITIES WILL BE ADJUSTED TO MATCH THE FINAL DESIGN.
3. STREET TREES UNDER SUPERVISION OF THE CITY OF BELLEVUE DEPARTMENT OF TRANSPORTATION. PLANT SPECIES AND LOCATION SHALL BE DETERMINED BY THE CITY OF BELLEVUE DEPARTMENT OF TRANSPORTATION.
4. ALL PLANT MATERIAL SHALL BE SOURCED FROM A REPUTABLE NURSERY AND SHALL MEET THE REQUIREMENTS OF THE CITY OF BELLEVUE DEPARTMENT OF TRANSPORTATION AND STATE REQUIREMENTS. AREA OF SEARCH: PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON, AND IDAHO.
5. GRADING INFORMATION IS BASED ON PRELIMINARY SURVEY FROM CITY OF BELLEVUE AND SUBJECT TO CHANGE.





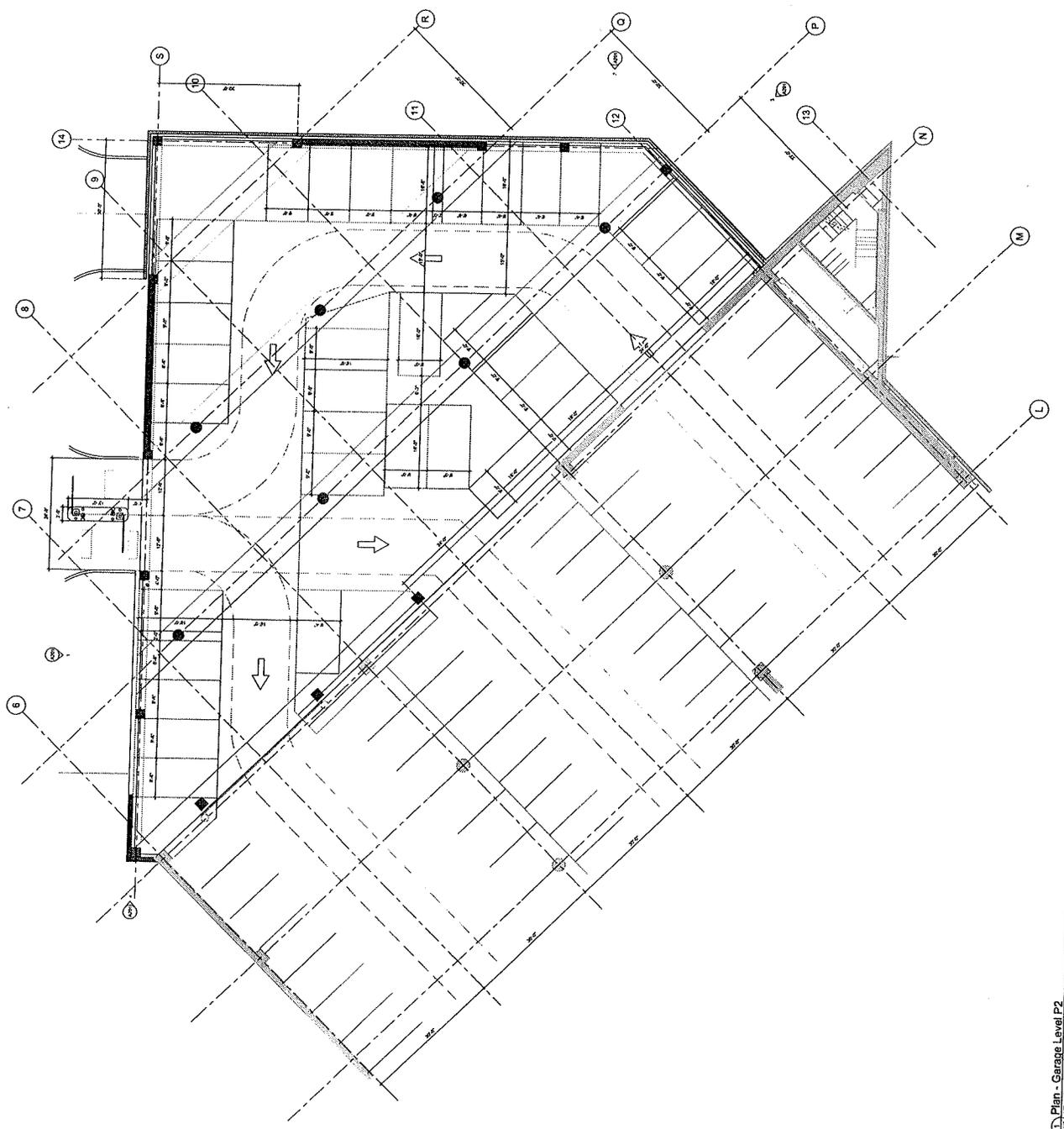
**General Notes**

1. See Survey prepared by Parametric dated 02/02/2014.
2. See Landscape and Civil drawings for site grading, drainage, lighting and proposed parking, and additional information.
3. See 2009 for Utility Map, Legal Description, and Zoning and Building Code information and additional project drawings.

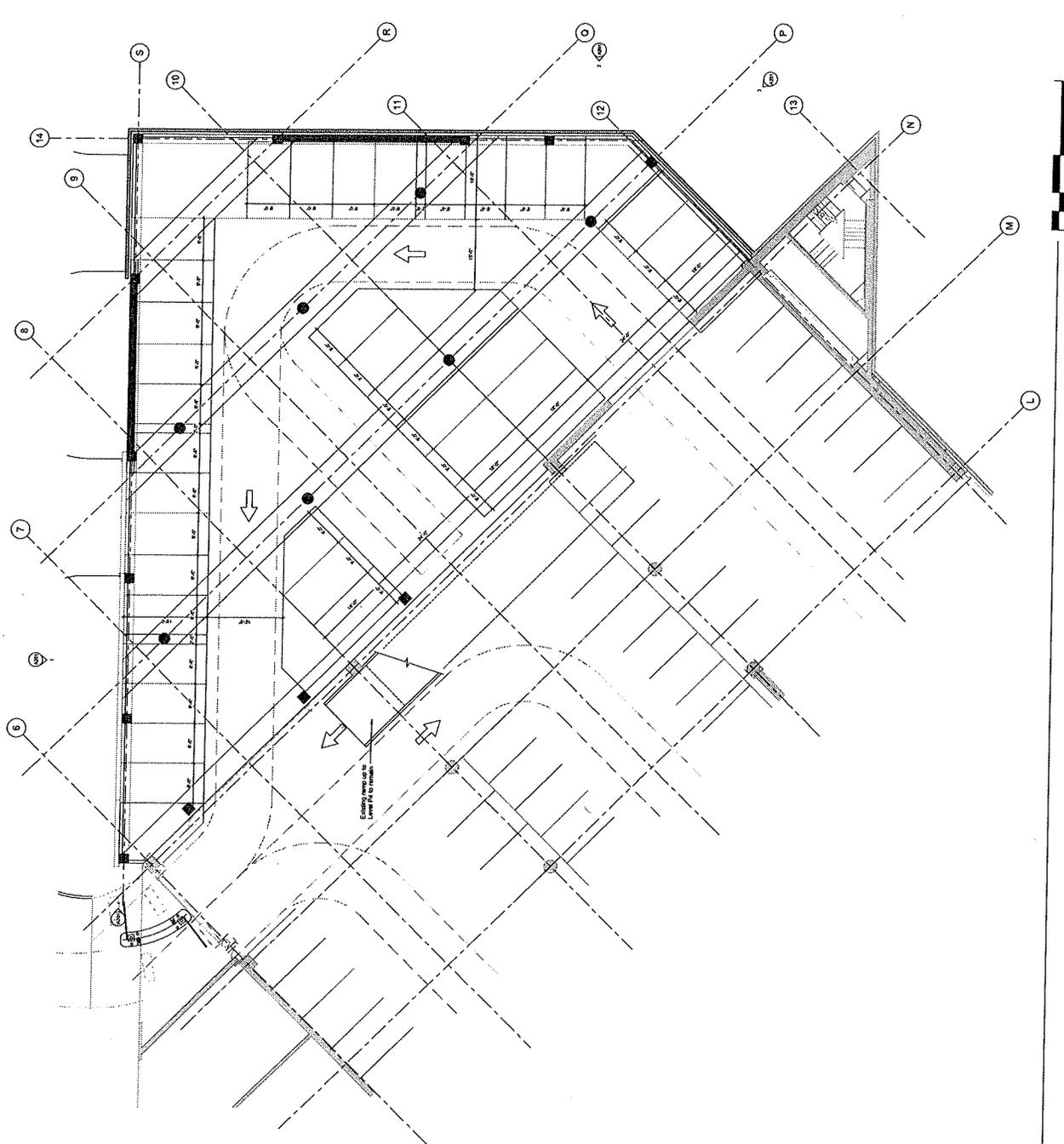


0 20 40 60 Feet  
 North Arrow  
 Plan - East Garage - Level 1



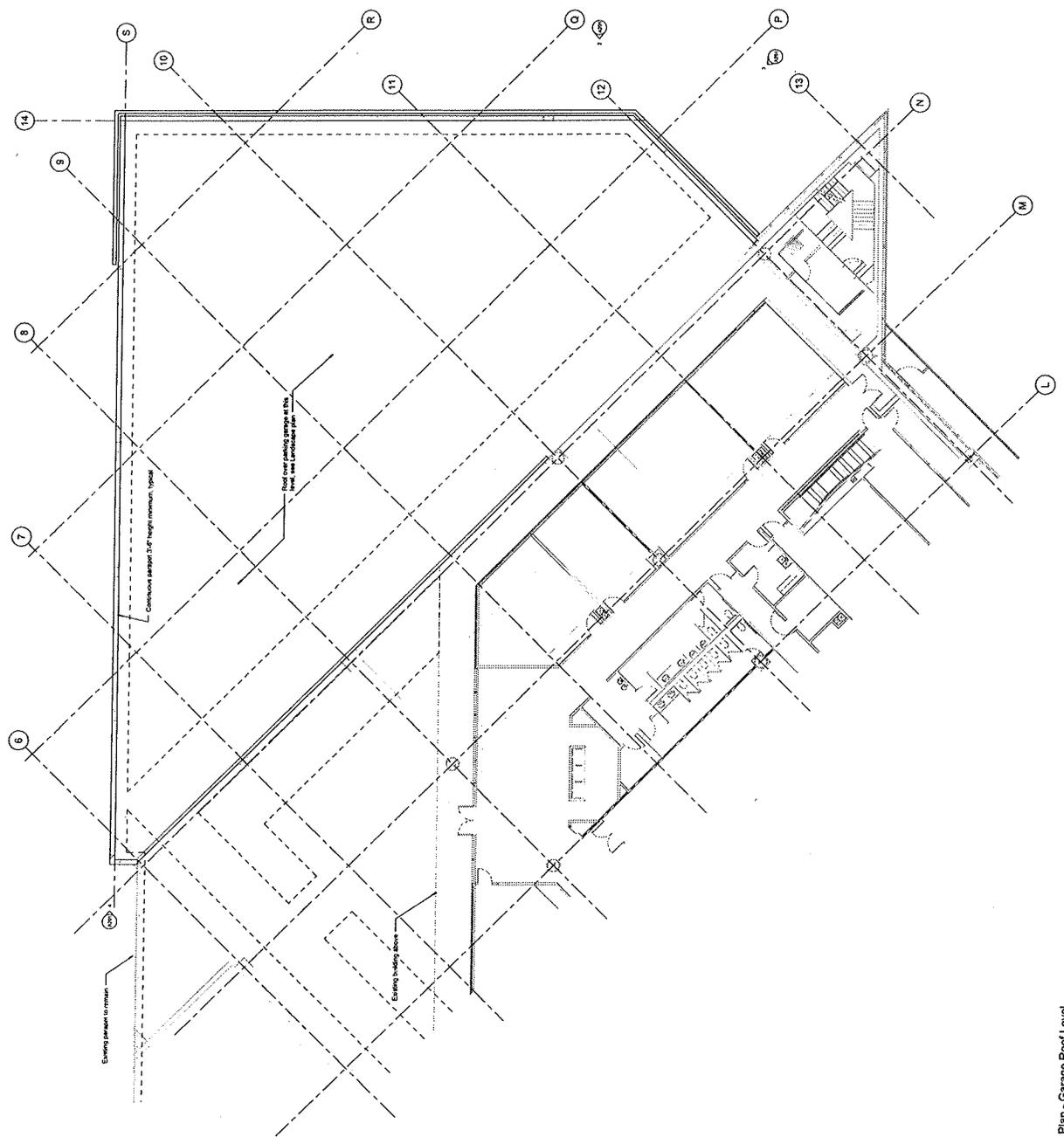


1 Plan - Garage Level P2



Plan - Garage Level P3

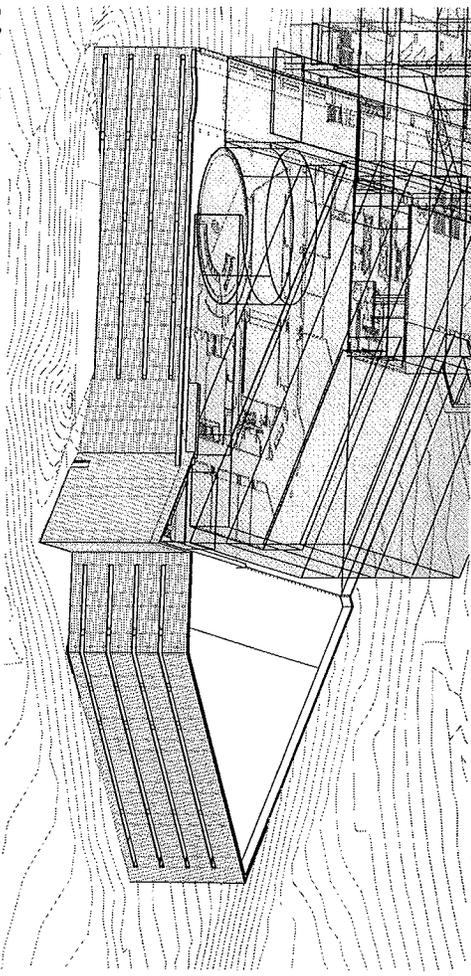




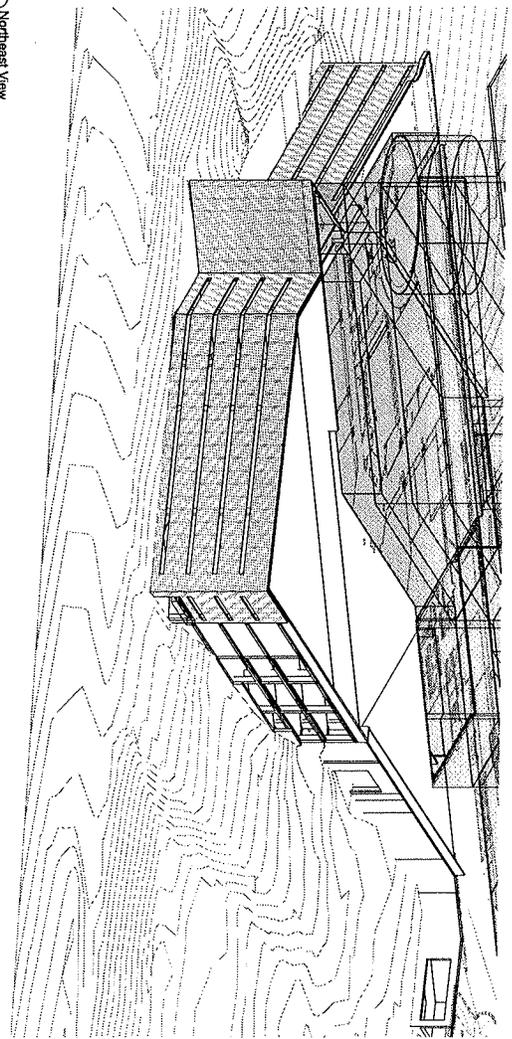
11/15/2014 4:04:16 PM  
Plan - Garage Roof Level



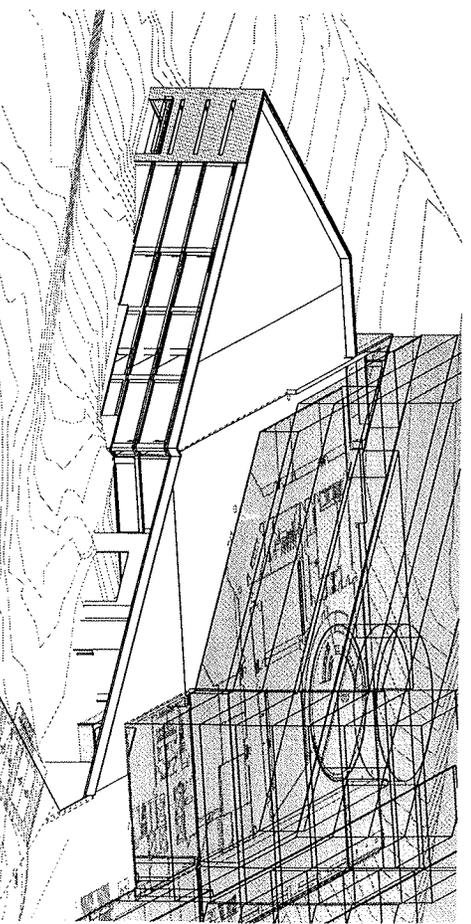
2.1 Southeast View



2.2 Northeast View



2.3 Northwest View



A701

City of Bellevue  
Department of Public Works  
Engineering Division  
2000 1st Avenue, Suite 1000  
Bellevue, WA 98004  
Phone: (206) 835-3000  
Fax: (206) 835-3001  
www.cityofbellevue.gov

Project Name: East Garage Expansion  
City of Bellevue  
Project Number: 2000000000  
Drawing Number: A701  
Scale: As Shown  
Date: 10/15/2010  
Author: [Name]  
Checked: [Name]  
Approved: [Name]

**East Garage Expansion**  
City of Bellevue  
Prelim. SEPA Permit Submittal

