



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: AMCUT

Proposal Address: 10135 Main Street

Proposal Description: Proposal to demolish an existing one and a half-story office building located behind the Gordon James Fine Diamonds retail building, and construct an approximately 1,600 square foot two-story office building in the same location. The proposed exterior color and materials will complement those of the existing retail building at the front of the property. Minor site improvements include upgrades to the existing landscaping and walkway between the two structures. The project site is located in Perimeter Subdistrict 'A' within the DNTN-OB (Downtown Old Bellevue) land use district.

File Number: **14-128644-LD**

Applicant: Arne Hall

Decisions Included: Process II, Design Review Decision

Planner: Laurie Tyler, Associate Land Use Planner

State Environmental Policy Act Threshold Determination: Categorically Exempt, per WAC 197-11-800

Carol V. Helland
Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland
Carol V. Helland, Land Use Director

Date of Application:	April 8, 2014
Notice of Application:	May 8, 2014
Public Meeting:	May 28, 2014
Decision:	December 11, 2014
Appeal Deadline:	December 26, 2014
Design Review Expiration:	December 11, 2016

For information on how to appeal a proposal, visit the Development Services Center at City Hall, 450 110th Avenue NE, or call (425) 452-6800. Comments on State Environmental Act Determinations can be made with or without appealing the proposal within the noted comment period for the SEPA determination. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for appeal of the decision.

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- A. Project Drawings

I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests Design Review approval to construct an approximately 1,600 square foot, two-story office building. The site is located in the DNTN-OB (Downtown – Old Bellevue) Land Use District and is also within Subdistrict 'A' of the Downtown Perimeter Design District.

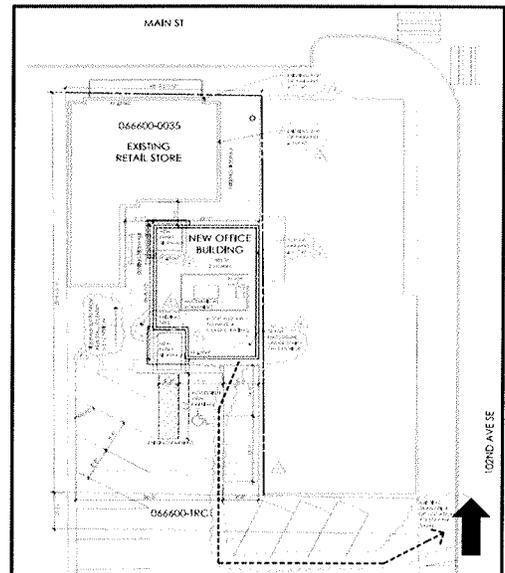
A. Site Design

The proposal is for the development of a new two-story office building, to be located in the interior of the subject site. Currently, the site is improved with a single-story retail building which fronts Main Street, and a smaller one and a half story office/retail building, located behind the retail building. The existing one and a half story building will be demolished as part of the proposal, while the front retail building will remain. The proposed two-story building will replace the existing one and a half-story building and will be sited in the same location. An existing ten foot (10') wide pedestrian pathway provides access from Main Street to the rear of the site, and is proposed to remain.

The pedestrian streetscape along Main Street will remain unchanged. Vehicular access to the site is via 102nd Avenue SE, through the use of a shared driveway approach with the property to the south of the site. This vehicular access will remain unchanged, until the property owner to the south re-develops, at which time, a new vehicular access will be established for the subject site.

The site currently contains six parking spaces, which will be reduced to five spaces in order to accommodate one handicap accessible parking stall. Solid waste and recycling will be stored within a small recessed area at the south east corner of the building. In order for solid waste and recycling to be picked up, the receptacles will need to be moved out of the enclosure and to an on-site accessible location. Republic Services has indicated that they can facilitate trash pick-up at both 102nd Avenue SE, where the property owner currently locates trash receptacles, or on-site. However, Transportation has indicated that no loading, including that associated with moving or trash pick-up will be allowed to take place on 102nd Avenue SE. Therefore, trash pick-up will need to be accommodated on-site. **Refer to Condition of Approval in Section XI regarding Solid Waste and Recycling Removal.**

Site Plan



B. Building Design

The proposed building will be two-stories, and will be sited in the same location as the existing structure to be demolished. The building will provide two separate office spaces with separate entrances located on each level of the building. The height of the structure is approximately 25' and will extend approximately six feet (6') higher than the existing retail building at the front of the property. In addition, the height of the

proposed mechanical screen will be approximately eight and a half feet (8.5') above the parapet of the building fronting Main Street.

The overall building design is rectilinear in shape, with little façade differentiation due to its small scale and proximity to the building located on the adjacent property to the east. However, the western façade provides two recessed entry points at the lower level, which will result in covered entries for each office. The upper level southwest corner of the building will also include a small balcony. In addition, the southern façade will provide a small recessed area at the south east corner of the building to locate refuse receptacles for both buildings. Dark brown metal trellises will be placed on the north, south and west elevations to allow vegetation to grow. The recessed areas of the building, combined with the metal trellises, aid in breaking up areas of the façade which will be visible from the rear parking area, and marginally visible from Main Street.

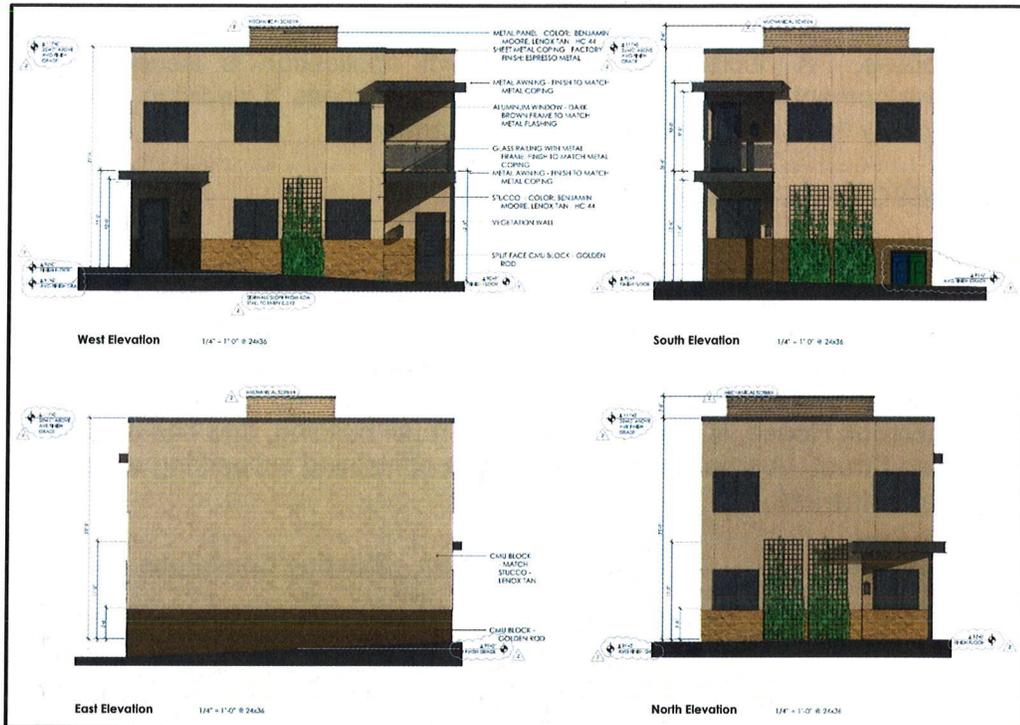
Proposed Building Entry (South-West Corner)



The main pedestrian access point to the proposed building will remain at the front of the property located off Main Street. An approximately ten foot (10') wide paved access pathway currently exists through the site, which will remain unchanged. A mature tree located at the front of the pedestrian pathway will remain, which helps to screen the building from street level, as it currently screens the existing structure to be demolished.

The building exterior will be composed of materials to complement the retail building at the front of the property. Materials include dark beige stucco, dark brown metal awnings, and an earth-toned CMU block facade which will extend 3'-6" up from the bottom of the structure. The small balcony will have glass railings with a dark brown metal frame to match the metal awning and coping on the building. The colors, as expressed in the graphic below, will be a mix of earth tone colors.

Building Elevations/Materials and Colors



Building Perspectives



C. Process

Design Review for Downtown proposals is required by Land Use Code (LUC) 20.25A.010.C. Design Review is a Process II decision, which is an administrative process. A decision on a Process II application is issued by the Director of Development Services. Any appeal of a Process II decision is heard and decided upon by the City of Bellevue Hearing Examiner.

II. SITE DESCRIPTION, ZONING, & CONTEXT

A. Site Description

The project site is relatively level and is currently improved with two detached structures. An existing retail jewelry store is located at the north end of the property, fronting Main Street. The exterior of the retail store was recently modified through a Land Use Exemption (#12-111783-LJ). The second existing structure, known as the Philbrook House, is located behind the retail building, and has pedestrian access from Main Street. A small surface parking lot containing six parking spaces is located at the rear of the site.

Aerial Photograph – Existing Conditions



102nd Avenue SE is located east of the subject site, and provides the only vehicular access to the on-site parking stalls. A single driveway approach, located at 105 102nd Avenue SE, is utilized by both the subject site and this adjacent parcel to the south. A

recorded temporary easement agreement (Rec# 20110329001265) grants the subject site access through the adjacent property, in order to gain entrance to the parking spaces at the back of the site. In addition, both the subject site property owner and the property owner of 105 102nd Avenue SE share an undivided interest in a ten foot (10') wide parcel between the two properties. The purpose of this ten foot (10') wide parcel is to provide access to the subject site, in addition to permitting the encroachment of a building overhang and access ramp for the property to the east of the site, which is currently a restaurant and candy store. It should be noted that the property owner of 105 102nd Avenue SE also owns the property to the east of the site, which is 10149 Main Street. At some point in the future, this adjacent property owner will likely develop on the property to the south, which could result in access issues for the subject site, including access by Republic for refuse pick-up. When this property owner develops, the access issue will be required to be addressed so that the subject site is not land-locked.

Philbrook House

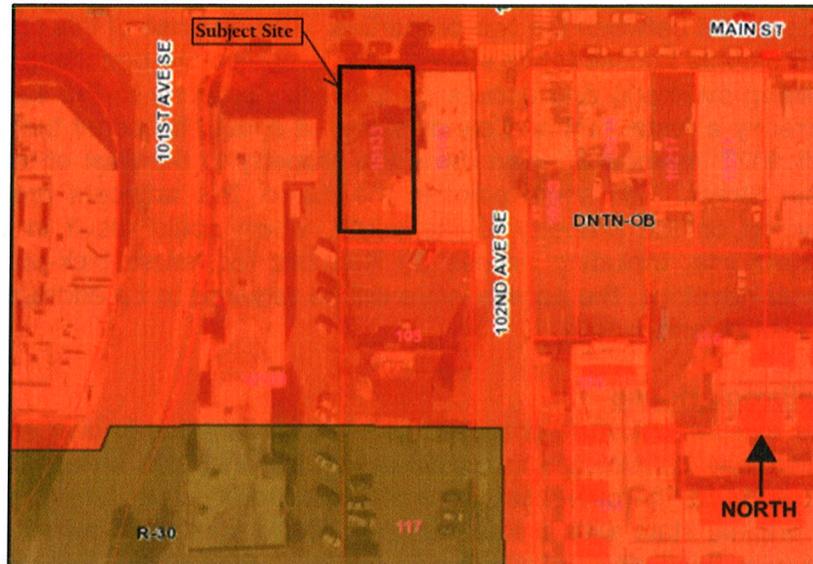
The existing structure proposed to be demolished is known as the Philbrook House, which was constructed in the 1890's in the Victorian style. The Philbrook House is known to be the oldest structure on Main Street. Over time it has been modified from its original state with a small addition at the southeast corner, giving the building an irregular floor plan, in addition to the relocation of the front entrance from the east façade to the north facade. A number of different uses have established over time, including a restaurant, a bakery, an antique shop and a tailor. Most recently it has been utilized as an office.

The Philbrook House is recognized for its local historical significance and is listed on a City of Bellevue historic property inventory. However, it has never been officially listed on either the Washington Heritage Register or the National Register of Historic Places. Due to its unlisted status, the City of Bellevue has no authority to require the property owner to maintain the structure or relocate it for preservation purposes.

B. Site Zoning

A site zoning map is provided below. The site is zoned Downtown-OB (Old Bellevue) and is located in Subdistrict 'A' of the Downtown Perimeter Design District. The Perimeter Design District was initially adopted in 1985 (Ord. 3553) and amended in 1991 (Ords. 4235 & 4268). The proposed office use is a permitted use in Subdistrict 'A' of the Downtown-OB zone.

Land Use Districts



C. Site Context

The subject site is located near the intersection of Main Street and 102nd Avenue SE. The site has frontage on Main Street, but has vehicular access from 102nd Avenue SE. The site has a streetscape designation of 'A' Rights-of-Way, per the LUC's Design Guidelines Building/Sidewalk Relationships. The surrounding properties to the east, west, south, and north are all located in the same land use district, DNTN-OB (Downtown – Old Bellevue). Properties located to the north are located in Perimeter Subdistrict 'B', while properties to the east, west and south are located in Perimeter Subdistrict 'A'. Specific uses on the surrounding properties are as follows:

- North:** DNTN-OB, Subdistrict 'B', Local Burger and 520 Bar & Grill
- East:** DNTN-OB, Subdistrict 'A'; Amore Chocolates and Ginza Sushi
- West:** DNTN-OB, Subdistrict 'A', Condominiums with surface parking
- South:** DNTN-OB, Subdistrict 'A', Antique store with surface parking

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Use

The proposed administrative office use is permitted in the Downtown-OB, Perimeter Design District, Subdistrict 'A', per LUC 20.10.440 – Services – Administrative Office. It should be noted that a medical office use would not be appropriate for the site, due to the increase in parking requirements which the site could not support.

2. Dimensional Requirements

The dimensional/area requirements that apply in DNTN-OB, Subdistrict 'A', are listed below where the proposal is evaluated for consistency.

Table 1: Dimensional Requirements

Item	Permitted/Required	Proposed	Comments/Conditions
Project Limit	No minimum	5,315 SF	Located in DNTN-OB, Perimeter Design Dist. A
Building Height	30 FT – measured from average <i>finished</i> grade Ave. finish grade: 91' 2" Roof: 117'	25' (plus approx. 2' 6" for rooftop mechanical)	Measured from average finish grade to the rooftop excluding 15-FT allowed for rooftop mechanical equip. Roof & mechanical penthouses well below 30 FT + 15 FT allowed. LUC 20.25A.090 & 20.50.012 Meets requirement.
Building Coverage	100% 5,315 SF	44% 2,335 SF	LUC 20.25A.090.D and LUC 20.25A.020.B.5 Meets requirement.
Floor Area Ratio (FAR)	Non- Residential: .5 Min. 1.0 Max.	.55	Meets requirements through FAR Amenity Incentive System. Refer to Section III.B below.
Total GSF for FAR	Maximum: 5,315 SF	1,334 SF	Meets the criteria of LUC 20.25A.020.B.3 And LUC 20.25A.090.D.2 and LUC 20.25A.115 Note per LUC 20.50.022 , GFA <u>excludes</u> vent shafts, stairwells, parking, mechanical areas, outdoor courts and balconies.
Setbacks – Building less than 75 feet	<u>Front:</u> Main Street = 0 FT <u>Rear :</u> Southern property line = 0/20 FT* <u>Sides:</u> Eastern and Western property lines = 0/20 FT*	<u>Front:</u> Existing Bldg: 0 FT Proposed Bldg: 35 FT <u>Rear:</u> 36 FT <u>Sides:</u> East – 0 FT West – 0 FT Note: Building is less than 75 FT high	* LUC 20.25A.020 Footnote (25) - 20' setbacks apply only if building over 75 FT Meets requirement
Refuse & Recycling	Required:	Provided:	LUC 20.20.725 Meets requirement.
Retail:	5 SF/1,000 GSF 5/1,381=7 SF	13.5 SF enclosure located at the south east corner of the building	Republic Services has reviewed the plans and provided written support for the existing trash pick-up plan. Republic has also indicated that trash can be picked-up on site. Refer to email from Republic Services dated Sept. 23, 2014 in the project file
Office:	2 SF/1,000 GSF 2/1,586=3 SF Total Min. Area Required: 10 SF		

Sidewalk Width	Main Street: 8 FT 4 FT planting strip & 6" curb)	8 FT Existing – No Street trees or landscape planter strip. No proposed modifications.	LUC 20.25A.060 Meets requirement Proposal is an infill project in the interior of the lot.
Landscaping - Street Tree Caliper & Species	Main Street: Raywood Ash and Skyline Honey Locust 2.5" Caliper	No street trees or landscaping at front of property due to presence of on-street parking spaces. Project does not trigger landscape requirements as it is an infill project which does not abut the public right-of-way.	LUC 20.25A.060.B, Plate B Street Tree Map
Parking <u>Retail Parking</u>	Min.4/1,000 nsf Max. 5/1,000 nsf	Existing retail bldg. to remain is less than 1,500 sq. ft. (1,381) – no parking required per LUC 20.25A.050.B – Footnote 4	Meets requirements LUC 20.25A.050
<u>Office Parking</u>	Min. 2.5/1,000 nsf Max. 3/1,000 nsf	2.5/1,586 = 4 stalls req. 5 stalls proposed, 1 of which is ADA	
Compact Stalls	No Compact stalls required. Up 65% of required parking stalls may be compact	1 compact stall = 16%	
Loading Area	One 10 FT x 55 FT dedicated loading space	There is no loading space currently on the site and there is none proposed. *	<u>Refer to Condition of Approval in Section XI regarding temporary on-site loading/unloading.</u>

*Loading – Both the existing and proposed development have minimal loading needs. LUC 20.20.590.K.4.c permits an applicant to request a waiver if it can be demonstrated that the development will have no loading needs. Due to the presence of the existing retail store, which could change retail uses over time, it cannot be assumed that the development would never have loading needs. Therefore, Staff has included a Condition of Approval to permit temporary, periodic loading outside of normal business hours, within the existing parking area. At no time can loading/unloading commence within the City Right-of-Way.

B. Special Requirements

Floor Area Ratio (FAR) and Amenity Incentive System Requirements

Table 2: Bonus Amenity Area Earned

Project Area (Site) in DNTN-OB/Subdistrict A		5,315 SF
Project Gross Floor Area (GFA) Proposed		2,967 SF
BASIC Permitted Floor Area (FAR) for <i>Non-Residential DNTN-OB/Subdistrict A</i>		2,657 SF
Basic Non-Residential FAR (.5) X Project Area		<i>.5 X 5,315 SF = 2,657 SF</i>
MAXIMUM Permitted Floor Area (FAR) for <i>Non-Residential DNTN-OB/Subdistrict A</i>		5,315 SF
Maximum Non-Residential FAR (1.0) X Project Area		<i>1.0 x 5,315 SF = 5,315 SF</i>
BASIC FAR	BASIC FAR Amenity Required	531 SF
	Basic <u>Non-Residential</u> FAR (.5) x 20% of the Project Area	<i>0.5 x (0.2 x 5,315) = 531 SF *</i> <i>* 531 "buys" 2,657 SF</i>
	BASIC FAR Amenity Earned (See Table 4 below)	7,600 SF
	Excess BASIC	7,069 SF <i>7,600 SF – 531 SF = 7,069 SF</i>
Non-BASIC FAR	NON-BASIC Earned (see Table 4 below)	0 SF
	Remaining NON-BASIC FAR Amenity to Earn	310 SF
	GFA – Basic Permitted FAR of .5	<i>2,967 SF – 2,657 SF</i>
	Remaining FAR Available after BASIC	7,069 SF <i>7,069 SF + 0 SF = 7,069 SF</i>
Excess FAR Amenity Earned (Total FAR Earned – BASIC FAR Amenity Required – Remaining FAR Amenity to Earn)		6,759 SF <i>7,600 SF – 310 SF = 6,759 SF</i>

Table 3: FAR BONUS AMENITIES

Amenity		Units of Measure	Bonus Ratio	Bonus Floor Area Earned	How it Meets the Design Criteria & Benefits the Public
BASIC Amenities	Pedestrian Oriented Frontage	37 LF	200:1	7,400 (200 x 37)	The existing retail store space is visually and physically connected to Main Street
	Marquees	140 SF	2:1	280 (140 x 2)	Height is less than 12 FT & is coordinated with the building design of existing retail store at front of property
	Sub-Total BASIC			7,600 SF	
Non-BASIC Amenities	Sub-Total Non-BASIC			0 SF	None proposed/required.
	COMBINED TOTAL (BASIC + Non-BASIC)			7,600 SF	

As part of the building permit application, the applicant is required to submit a detailed design for each of the existing/proposed FAR amenity with a design component and a statistical summary for each amenity. Prior to TCO, the floor area earned through the Amenity Incentive System, and the total bonus floor area actually utilized for the project, project drawings and conditions of approval must be recorded with King County, Division of Records (LUC 20.25A.030.D). **Refer to Condition of Approval in Section XI regarding amenity designs and statistics and bonus system recording.**

IV. DESIGN GUIDELINES & DESIGN CRITERIA

A. Design Guidelines Building/Sidewalk Relationships - LUC 20.25A.115

This segment of Main Street has a streetscape designation of 'A' rights-of-way under the Design Guidelines found in LUC 20.25A.115. The intent of the 'A' rights-of-way is to have the highest orientation to pedestrians. Retail or marketing activities are preferred. The subject site is currently improved with a retail jewelry store which fronts Main Street. The proposed building does not front Main Street. About a ten foot (10') wide portion of the Main Street frontage is open to allow for a pedestrian walkway to the proposed structure and parking area.

According to the LUC, the street level edges of the entire project limit shall incorporate retail activities. A street level edge is defined as the street level portion of a development which abuts a public right-of-way. The proposal does not abut a public right-of-way. Therefore this requirement would not apply to the subject building since it does not have a street level edge on Main Street.

B. Downtown-Old Bellevue District – LUC 20.25A.070

1. **Street Improvements** – The subject site is located on Main Street, between 100th Avenue NE and Bellevue Way. Therefore, the applicant is required to provide half-street and sidewalk improvements, including paving, street trees, lighting and other street furniture comparable to the existing Main Street streetscape between 102nd Avenue and Bellevue Way. However, the proposal is an infill project located in the interior of the parcel, and not at the street level edge. Therefore it is not appropriate to require these improvements unless the entire parcel was being re-developed.

2. **Mid-Block Connections – LUC 20.25A.060**

a. **Minimum Width-Perimeter**

Not applicable, as the project is located off Main Street.

b. **Street Trees Required - Perimeter**

Not applicable, as the proposal is for an infill project located in the interior of the parcel, and is not abutting the street level edge.

c. **Walkways – Mid-Block**

Not applicable, as the proposal is for an infill project located in the interior of the parcel, and is not abutting the street level edge. However, an existing ten foot (10') wide pedestrian pathway will remain between Main Street and the rear parking area of the site.

3. **Parking**

An off-street parking area cannot be located between the building and Main Street, between 100th Avenue and Bellevue Way. The subject site currently has off-street parking located behind the buildings, which is to remain.

4. **Minor Publicly Accessible Spaces**

Not applicable, as the project site is not located at the intersection of Main Street and 100th Avenue or Main Street and Bellevue Way.

5. **Pedestrian-Oriented Frontage and Marquees or Awnings**

The applicant is required to provide pedestrian-oriented frontage and marquees or awnings for projects located on Main Street, between 100th Avenue and Bellevue Way. The subject site is located on Main Street, and has a retail jewelry store which fronts Main Street. The jewelry store also has a marquee which extends over the sidewalk for weather protection. Therefore, the pedestrian-oriented frontage and marquee have both been included in the FAR amenity chart. Refer to Condition of Approval in Section XI regarding Bonus System & Pedestrian-Oriented Frontage Recording.

C. Perimeter District Design

1. **Special Standards – LUC 20.25A.090.D.5**

The proposal meets the applicable Special Design Standards for a development within the Perimeter Design District:

a. **Upper Level Stepback:**

A building façade facing Main Street, between 100th Avenue NE and Bellevue Way NE, must incorporate a 15-foot deep stepback in that façade at a height no more than 40 feet above average finished grade. While the

proposed building will face Main Street, the building height will be less than 30 feet. Therefore this standard is not applicable.

b. Lighting:

All exterior lighting fixtures will be required to have cutoff shields to minimize impacts to adjacent properties. **Refer to Condition of Approval in Section XI regarding Exterior Lighting.**

c. Signage:

This decision excludes review and/or approval of any building signage. The project sign(s) must be an integral part of the architectural design while still meeting the Bellevue Sign Code (BCC 22.B). Each sign will require a sign permit, which includes design review. **Refer to Condition of Approval in Section XI regarding Individual Sign Permits.**

2. Perimeter Design District Design Guidelines – LUC 20.25A.090.E

The proposal meets the following applicable Downtown Perimeter Design District Design Guidelines:

a. Development projects should include a mid-block street, where feasible, to provide more convenient circulation within the perimeter of the Downtown and to promote development with a human scale.

Not applicable, as the proposal is an infill project located in the interior of the parcel.

b. Buildings should incorporate interior arcades, open courtyards, enclosed plazas or combinations thereof which offer mid-block pedestrian connections between perpendicular and/or parallel streets.

The proposal is on a small lot with pedestrian access via Main Street. In addition, both pedestrians and vehicles can access the site from 102nd Avenue SE. A mid-block pedestrian connection would not be appropriate, as the proposal is an infill project, located in the interior of the parcel. However, it should be noted that the existing pedestrian connection between Main Street and the rear of the site may aid in providing a connection from Main Street and any future development to the south of the subject site.

c. Buildings should be clad with materials which minimize reflected light. Overhangs, awnings, sunscreens, and other devices should be considered to minimize conditions of glare.

The proposed building will complement the architectural style of the existing retail building at the front of the property. The building will primarily be stucco in a dark beige color (Lenox Tan). Dark brown metal awnings will match the metal coping surrounding the rooftop. Additional accents include split face CMU around the bottom 3' 6" of the building, and metal screens on the north, south and west elevations for plants to grow on. The proposed materials are a matte finish to reduce reflectivity, and will be complimentary in color and texture for both the proposed building and the existing retail building.

- d. **Building facades should be divided into increments through the use of bay windows, offsets, angled facets, recesses and other architectural features, which serve to break down the scale.**

The proposed building will include recessed entry points at the north-west and south-west corners of the building. Metal awnings will extend over each entry area. In addition, a balcony is located at the upper south-west corner of the building. Metal screens will be attached to the building on the north, south and west elevations to create an area for vegetation to grow on. The recessed entry points, balcony and metal screens, combined with the proposed colors and materials, help to break up the visual façade of the structure.

- e. **Rooftops should incorporate features such as pitched or sloped forms, terraces, and perimeter planting to soften an otherwise rectilinear profile.**

The rooftop of the proposed building will mimic the existing retail structure by incorporating a flat rooftop. No rooftop terrace is proposed. An existing mature tree located at the front of the property is to remain, which will aid in screening the building from street level, as it currently screens the existing structure which is to be demolished as part of the project. Refer to Condition of Approval in Section XI regarding Tree Protection.

- f. **Surface parking should be concealed from street level views by berms, hedges, walls or combinations thereof.**

On-site surface parking currently exists at the rear of the site, which is to remain as part of the project. This parking area will continue to be screened from Main Street by the existing retail building at the front of the site, in addition to the proposed building. However, it should be noted that the parking area will continue to be viewed from 102nd Avenue SE until the property to the south of the site re-develops.

- g. **Special attention should be given to the provision of elements at or near the ground level such as awnings, recessed entries, water features, address signs, seasonal flower beds, seating, pedestrian oriented uses and display kiosks.**

The applicant will provide weather protection at each entry point through the use of metal awnings which extend out from the recessed corners of the building. A small amount of landscaping will be installed around the north, south and west elevations, in addition to a small area behind the existing retail building. Design review of the project signage will take place under individual sign permits. Refer to Condition of Approval in Section XI regarding Individual Sign Permits.

D. Design Review Criteria – LUC 20.25A.110

The proposal meets the Design Review Criteria of LUC 20.25A.110 for **SITE DESIGN** and **DOWNTOWN PATTERNS AND CONTEXT**.

1. SITE DESIGN (LUC 20.25A.110.A)

- a. **Vehicular Circulation and Parking**

All required parking will be accommodated on-site, within the existing parking

area. The only vehicular access to the parking area is through a shared driveway approach located on 102nd Avenue SE, on the property to the south of the subject site. Existing on-street parking in front of the building along the southern side of Main Street will remain.

Solid waste and recycling containers will be stored in a recessed trash area at the south east corner of the proposed building. No loading or trash pickup will be allowed to occur within the public street or within the public right-of-way. Republic Services has confirmed that they have the ability to pick up trash and recycling on site with the current vehicular access arrangement. **Refer to Condition of Approval in Section XI regarding Temporary On-site Loading/Unloading and Solid Waste/Recycling Containers.**

b. Pedestrian Circulation and Amenities (LUC 20.25A.060)

Frontage Sidewalks: The frontage sidewalk on Main Street will not be impacted by this proposal and is proposed to remain. The existing retail building which fronts Main Street provides for pedestrian oriented frontage and includes a marquee for weather protection to enhance the pedestrian streetscape at this location.

Street Trees: Currently there is only one street tree located along this block of Main Street between 102nd Avenue SE and 101st Avenue SE. The requirement to install street trees would not be applicable, as the proposal is for an infill project located in the interior of the parcel, and is not abutting the street level edge. In addition, due to the on-street parking in front of the site, there is little room to install street trees or landscaped planter strips.

Walkways: A mid-block connection is not applicable, as the proposal is for an infill project located in the interior of the parcel, and is not abutting the street level edge. However, an existing ten foot (10') wide pedestrian pathway will remain between Main Street and the rear of the site to access the new building and parking area.

c. Wind and Sun

The proposed building will be sited in the same location as the existing structure to be demolished, and will continue to take advantage of a similar wind and solar orientation. A majority of the building takes advantage of southern solar orientation, but will include a small amount of western solar orientation with the removal of the mature tree located at the rear of the site. The building was designed to incorporate recessed entry points with metal canopies at the north-west and south-west corners of the building, which will result in a small amount of weather protection for the building. A noticeable difference between the existing building to be demolished and the proposed structure is its proximity to the building located on the adjacent parcel to the east. The proposed building will be sited almost flush with the adjacent building, which will aid in reducing the wind speed between Main Street and the parking area at the rear of the site.

Pedestrian scaled marquees on the retail building fronting Main Street will continue to provide year-round weather protection along the majority of the

Main Street frontage of the subject site.

d. Open Space

Because this is a relatively small parcel, there is little opportunity for public open space on the site. The existing paved pedestrian pathway from the front of the site, to the rear parking area will remain unchanged. An existing mature tree located at the front of the property within the pedestrian pathway will also remain. A small landscaped area at the back of the existing retail building will provide for a small opportunity for open space, but will likely not be useable in terms of seating, etc.

The proposed building will include a balcony at the upper level south-west corner, which will aid in providing a small amount of useable open space for the future office tenants.

e. Light and Glare

The specific materials proposed for the building have been chosen for their low reflectivity. Additionally, over half of the length of the public sidewalk adjacent to the existing retail building fronting Main Street includes a marquee which provides weather protection as well as diffuse light into the retail space. All exterior building lighting will be required to include cut-off shields to minimize the impacts of light to adjacent structures and off-site properties. **Refer to Condition of Approval in Section XI regarding Exterior Lighting.**

2. DOWNTOWN PATTERNS AND CONTEXT (LUC 20.25A.110.B)

a. Natural Setting and Topography

The proposal is for an infill project located on a developed site within the Old Bellevue subarea of Downtown. The site is moderately sloped and contains a small amount of interior landscaping, which includes two mature trees and shrubs which help to provide a small amount of natural context amongst the structures on the site and the adjacent parcels. The proposal to construct a new office building will not impact the topography of the site, as it will be sited in the same location as the existing building to be demolished. In addition, the building will not be visually prominent from Main Street as it will be located behind the existing single-story retail building at the front of the site. Although the building will project approximately six feet (6') higher than the existing retail building, it will be mostly screened from public view due to the mature tree located within the pedestrian walkway at the front of the site. The proposed building, with its relatively low profile, should not negatively impact views from future development within the surrounding neighborhood.

b. Landscape Design

The existing street frontage does not contain landscaping, as there is little room for the installation of planter strips or street trees due to the on-street parking at the front of the property. This proposal is for an infill project, which does not trigger street frontage improvements. The existing 6'-10' pedestrian walkway from Main Street to the rear parking area, contains two mature trees and a number of shrubs and groundcover on either side of the walkway. This

landscaping is proposed to remain, with the exception of the mature tree located at the rear of the site, which will need to be removed to accommodate the new development. A small landscaped area at the rear of the existing retail building will also be improved as part of the project, and will include a replacement tree, along with various shrubs and groundcover to help soften the appearance of the building, and provide a small amount of open space for the property. The applicant will also provide decorative trellis' along the north, west and southern elevations of the building to reduce the appearance of the stucco facades.

c. Views

Private views and the impact of proposals on those views from adjacent properties are not regulated by the Land Use Code. The views from surrounding properties were considered with this proposal; however, because the proposed building will replace an existing structure, there is little impact to view sheds on adjacent properties. The proposed building is located behind an existing retail building, and will be mostly screened from public view. A large mature tree located toward the front of the property will also help to screen the proposed structure from Main Street. In addition, the rooftop mechanical equipment will be screened on all sides by metal paneling to match the proposed stucco color, which will appear more integrated into the overall design of the structure.

d. Building Height and Bulk

i. Mass & Void:

The proposal has met neither the maximum height nor maximum density for a site of this size. The proposed building is 25 feet high where a 30-foot tall building is allowed. The proposed FAR for the site is 0.55, including the existing building where 1.0 is allowed. The recessed entry points and upper level balcony, combined with the proposed colors, materials and landscape improvements help to reduce the overall mass of the building on the north, west and southern facades.

ii. Rooftop Modulation: As designed, the building complements the existing retail structure with the incorporation of a flat roof. The proposed mechanical penthouse will appear architecturally integrated into the overall building design.

e. Transitions

The subject site is surrounded by properties which are all located within the Downtown-Old Bellevue land use district. While the subject site does not have any transition between differing land use districts, the subject site does provide a level of transition between Main Street and properties located south of the site. In addition, the proposed building is oriented for the building entries to be accessible from the pedestrian pathway. This pedestrian pathway provides access between Main Street and the rear parking area. Once the adjacent property to the south of the site re-develops, this existing pedestrian pathway will also provide an essential pathway to and from Main Street.

f. Patterns of Activity

Because this is a relatively small Downtown site, the pedestrian activity is directed to the area along Main Street due to the existing retail building at the front of the site. A pedestrian connection between the front of the site and the rear parking area will remain. Small amounts of landscaping between the two buildings and at the rear of the existing retail building create a pleasant pedestrian experience when traveling between Main Street and the rear parking area. **Refer to Condition of Approval in Section XI regarding Ground-mounted Mechanical Equipment, Street Furniture and Screening.**

g. Signage

No signage is approved through this Design Review. All signs must be an integral part of the architectural design, and scaled to the pedestrian environment. Each sign will require design review approval through a sign permit and must meet the requirements of the Bellevue Sign Code. **Refer to Condition of Approval in Section XI regarding Individual Sign Permits.**

V. PUBLIC NOTICE AND COMMENT

Application Date:	April 4, 2014
Notice of Application:	May 8, 2014
Public Meeting:	May 28, 2014
Minimum Comment Period:	May 22, 2014

The minimum required public comment period ended on May 22, 2014, but written comments were accepted up to the date of this decision. On May 20, 2014, the Executive Director of the Eastside Heritage Center submitted written comments on the project. In addition, one public meeting was held at Bellevue City Hall on May 28, 2014. The meeting was attended by several citizens in opposition to the project, who subsequently did not submit any written comments. The main objection expressed at the public meeting and by the Eastside Heritage Center was the demolition of the Philbrook House instead of trying to preserve or relocate it. The comments received from the Eastside Heritage Center are summarized below, followed by a response from staff.

1. Comment: Eastside Heritage Center strongly encourages the City and the developer to preserve the Philbrook House and consider alternatives to demolition of this historic property.

Response: The structure to be demolished is known as the Philbrook House, which was built in the 1890's. The City recognizes its historical significance within the City of Bellevue Historic and Cultural Resources Survey. The Eastside Heritage Center, along with several citizens that attended the public meeting, raised concerns regarding the potential loss of this structure, as it is known to be one of the oldest structures within the City, and has housed many significant uses over time which tie into the City's history.

The property owner has expressed a willingness to allow for the structure to be relocated for preservation purposes, however, they do not feel they should bear the

burden of the entire cost of relocation, particularly when there may be impacts to existing overhead utility lines. The property owner has indicated that if the structure can be relocated during the construction time-frame, they would have no objections to its removal. The property owner is willing to place a historic plaque on the new building to recognize the previously existing historic building. It should be noted that the property owner looked into preserving the existing structure, but the cost to improve it and bring it up to current building code requirements far exceeded the cost to demolish and reconstruct an entirely new structure.

Staff has periodically checked in with both the applicant and the Eastside Heritage Center to determine if any arrangements were made to relocate the structure, however, to date, no arrangements have been made. The two main issues with relocation of the structure are obtaining the funding to relocate the structure, and finding a new location for the building, whether it's on public or private land. The City has no authority to require the preservation or relocation of the Philbrook House, since the structure is not officially listed on either the national or state historic registers. In the past, the City of Bellevue Park's Department has helped to facilitate the relocation of other historic structures onto park property. Staff is hopeful that something can be arranged between the property owner and the Eastside Heritage Center to relocate the structure before construction begins; however, if it cannot be preserved through its relocation, at a minimum, photos will be required to be taken of the structure before demolition and provided to the Eastside Heritage Center in addition to being displayed inside the new structure for historical preservation purposes. In addition, a historic plaque will also be required to be placed on the exterior of the new building to identify the history of the Philbrook House. The applicant will be required to work with the Eastside Heritage Center on photographing the structure, as well as determining the content of the historic plaque before fabrication. **Refer to Condition of Approval in Section XI regarding Historical Photographs and Plaque.**

VI. TECHNICAL REVIEW

A. Transportation

The Transportation Department has reviewed the proposal for compliance with applicable codes and standards. As conditioned, this proposal will conform to these requirements. **Refer to Conditions of Approval in Section XI regarding Temporary On-site Loading/Unloading, Right-of-Way Use Permit, Transportation Impact Fee, Pedestrian and Utilities Easements and Pavement Restoration.**

B. Utilities

The plans generally conform to the requirements applicable to this stage of the design process. It is the applicant's responsibility to verify the accuracy all field information and data gathered for the feasibility of this project. Future Utilities permit applications for this development must comply with Bellevue Codes 24.02, 24.04 and 24.06.

The City of Bellevue has adequate capacity for providing water and sanitary sewer for this proposal. The proposal will not increase the rate of return of storm water leaving the site. In addition, the City of Bellevue Surface Water Engineering Standards will provide adequate mitigation requirements for this development. The property owner

is solely responsible for obtaining any needed off-site storm drainage easements as necessary for the storm drainage outfall. **Refer to Condition of Approval in Section XI regarding Utilities Conceptual Approval.**

C. Clearing and Grading

The Clear and Grade reviewer has reviewed the plans and materials submitted for this project and has determined that the clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

D. Fire

The Fire Department has reviewed the proposal for compliance with applicable codes and standards. As conditioned, this proposal will conform to these requirements. **Refer to Conditions of Approval in Section XI regarding Fire Department Requirements.**

E. Building

The plans for this decision have not been sufficiently developed for a thorough review under the International Building Code requirements. This review will occur during review of the Building Permit. The plans generally conform to the requirements applicable to this stage of the design process.

VII. STATE ENVIRONMENTAL POLICY ACT (SEPA)

The subject application is Categorically Exempt from SEPA, per WAC 197-11-800 and Bellevue City Code 22.02.032. The proposed new office building is less than 4,000 gross square feet in size, and demolition of the existing structure will not result in 500 cubic yards of earth movement. In addition, while recognized locally, the demolition of the Philbrook House is also exempt from SEPA because it is not listed in a historic register. Therefore, SEPA review is not required for this project.

VIII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

- Due to the demolition or relocation of the historic Philbrook House, staff is requiring that photographs be taken of the existing structure for preservation purposes, should demolition commence. These photographs will be required to be provided to the Eastside Heritage Center as well as be displayed within the new structure. In addition, a historic plaque will be placed on the new building to indicate the historic nature of the previously existing structure. The applicant will be required to work with the Eastside Heritage Center on photographing the structure as well as the content of the historic plaque. The photographs and the size, colors, materials, content and location of the plaque will be reviewed by Land Use staff prior to temporary certificate of occupancy. **Refer to Conditions of Approval in Section XI regarding Historical Photographs and Plaque.**

IX. DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

1. The proposal is consistent with the Comprehensive Plan.

This project is consistent with the Comprehensive Plan, which includes policies that address the goals of site and building design in the Downtown, in addition to Historic Resources. The most relevant Comprehensive Plan Policies related to this proposal are outlined below:

Policy S-DT-20: Recognize the importance of Downtown's historic resources as identified in the Bellevue Historic and Cultural Resources Survey.

Policy S-DT-21: Work with local heritage groups to

- 1. Collect, preserve, interpret, and exhibit items that document the history of Downtown Bellevue;*
- 2. Use plaques and interpretive markers to identify existing and past sites of historic and cultural importance;*
- 3. Develop a contingency plan and prioritization for Downtown's historic resources, which may include voluntary relocation of significant historic structures to Bellevue parks property.*

Finding: The City, the applicant and the Eastside Heritage Center recognize the significance of the existing structure (Philbrook House) which will be demolished to allow for the construction of a new office building. The applicant has indicated that if a suitable location can be found, they will allow the Philbrook House to be removed from the site for preservation purposes. To date, the applicant has not been contacted by the Eastside Heritage Center or any private party regarding the removal and relocation of the structure. It should be noted that the City has no authority or obligation to relocate the structure, because it is not officially listed on a national or state historic register. However, the applicant has indicated their willingness to place a historical identification plaque on the new building to recognize the historic nature of the previously existing Philbrook House. In addition, Staff is requiring the applicant to work with the Eastside Heritage Center on photographing the existing structure prior to demolition, so that the photographs can be kept with the Eastside Heritage Center as well as displayed within the new structure.

Policy LU-9: Maintain compatible use and design with surrounding built environment when considering new development or redevelopment within an already developed area.

Finding: The proposed two-story office building will replace an existing one and a half story office/retail building on the site. Both the use and the design of the building are consistent with newer development occurring in Old Bellevue.

Policy UD-3: Encourage a variety of site and building designs which are compatible and consistent with surrounding development and that implement the policies of this Plan.

Finding: The proposed building design, including colors and materials, will match and compliment that of the existing single-story retail building located at the front of

the property. In addition, the selected building materials, such as the stucco siding and metal canopies and marquees will also mimic other existing buildings located to the west of the subject site on Main Street.

Policy UD-8. *Design rooftop mechanical screening so that it is integral with building architecture. Consider the visual effects of technical advances such as satellite dishes, on building design.*

Finding: The rooftop mechanical equipment will be screened by metal panels which will extend 2'6" above the roofline. The metal panels will complement the proposed color scheme for the building. In addition, as this property is located within the Downtown, Staff has required that the mechanical equipment be screened from above, which will be reviewed and approved prior to issuance of a building permit.

Policy UD-39: *Include clear and ample walkways from street sidewalks and parking areas to building entrances and within and between developments as a part of site design.*

Policy UD-40: *Ensure that sidewalks, walkways, and trails are furnished, where needed and appropriate, with lighting, seating, landscaping, street trees, trash receptacles, public area, bike racks, railings, handicap access, newspaper boxes, etc. without interfering with pedestrian circulation.*

Finding: The site currently has an approximately 6' to 10' wide pedestrian connection from Main Street to the rear parking area, which is proposed to remain. This pedestrian connection will provide access between the pedestrian oriented frontage and the proposed office entrances and parking area. The walkway will continue to provide a paved travel surface, along with landscaping and lighting for a safe and aesthetically pleasing path of travel through the site.

2. The proposal complies with the applicable requirements of this Code.

Finding: The tables in Section III.A and B of this report summarize the applicable requirements, and analyze the proposed project for consistency with the applicable requirements. The proposal complies with the LUC requirements for building height, floor area ratio and parking. The proposal also conforms to the applicable design guidelines and decision criteria, as described in Section IV.

3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

Finding: Refer to Section IV of this report, which includes information on how the design guidelines and criteria have been met.

4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

Finding: The proposal is compatible with the scale and character of development that is continuing to emerge in this neighborhood. The proposed exterior materials are visually harmonious with the surrounding development and the existing retail building at the front of the property. Both the proposed structure and existing retail building is consistent with the character the Downtown buildings being constructed with recent development.

5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

Finding: The proposal site has access to water, sewer and electrical services.

X. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, and City Code & Standard compliance reviews, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal.

XI. CONDITIONS OF APPROVAL:

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL:

The following conditions are per each phase of the development:

1. Compliance with Bellevue City Codes and Ordinances

Compliance with all applicable Bellevue City Codes and Ordinances including but not limited to the following is required:

Clearing and Grading Code - BCC 23.76	Savina Uzunow,	425-452-7860
Bellevue Development Standards	Abdy Farid,	425-452-7698
Transportation Code - BCC 14.60	Abdy Farid,	425-452-7698
Trans. Improvement Program - BCC.22.16	Abdy Farid,	425-452-7698
Right-of-Way Use Permit - BCC 14.30	Tim Stever,	425-452-4294
Bellevue Utilities Code - BCC Title 24	Don Rust,	425-452-4856
Construction Codes - BCC Title 23	Sheri Crawford,	425-452-2843
Code - BCC Title 20	Laurie Tyler,	425-452-2728
Sign Code - BCC Title 22B	Laurie Tyler,	425-452-2728
Noise Control - BCC 9.18	Laurie Tyler,	425-452-2728
Uniform Fire Code - BCC 23.11	Adrian Jones ,	425-452-6032

2. Construction Hours

Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to noise created by extended hour construction activity would likely have a significant impact on the surrounding residents. In order to minimize detriment to nearby residential uses, the contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. Requests for exemption from the Noise Control Code must be submitted in writing two weeks prior to the scheduled onset of extended hour construction activity. Such request shall include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise

Ordinance for new residential construction.

AUTHORITY: Bellevue City Code 9.18.040
REVIEWER: Laurie Tyler, Land Use

3. Use of Best Available Noise Abatement Technology

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: Bellevue City Code 9.18.020F
REVIEWER: Laurie Tyler, Land Use

4. Utilities Conceptual Approval

Utility Department approval of the design review application is based on the conceptual design only. There are no implied approvals of the conceptual utility design. Final engineering plans may require changes to the site layout to accommodate the utilities. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. The water, sewer and storm drainage systems shall be reviewed, approved and inspected under the Utility Developer Extension Agreement Application process (UE) and or applicable connection permits processes.

AUTHORITY: Bellevue City Code 24.02, 24.04, 24.06
REVIEWER: Don Rust, Utilities

5. Fire

Demolition and construction shall conform to the requirements of International Fire Code Chapter 33.

AUTHORITY: International Fire Code (IFC) Chapter 33
REVIEWER: Adrian Jones, Fire

6. Temporary On-site Loading/Unloading

The Land Use Code requires the property owner to provide an off-street loading space which can access a public street. Due to the small scale nature of the overall development, temporary/periodic loading and unloading is permitted within the on-site parking area, without the presence of a defined loading zone. Loading and unloading may take place only during non-business hours. No on-street loading, unloading, or garbage pickup will be allowed. The backing of trucks in any street or across any public sidewalk in order to access this site is prohibited.

AUTHORITY: Land Use Code 20.20.590.K.4 & Bellevue City Code 14.60.150
REVIEWER: Laurie Tyler, Land Use & Abdy Farid, Transportation

7. Modification to the Design Review Plans

Any modification to this approval after construction shall be documented as an Amendment to this Design Review OR as an addition or revision to this issued land use approval, processed as a Land Use Exemption. The applicant shall demonstrate compliance with the Land Use Code in effect at the time of issuance

of this report. Any modification of the project design must be reviewed for consistency with the design intent as stated in Section III.B of this report. Conditions of Approval run for the life of the project.

AUTHORITY: Land Use Code 20.30F.175, 20.25A.060
REVIEWER: Laurie Tyler, Land Use

8. Solid Waste/Recycling

Prior to the issuance of any construction permit, the applicant shall provide a written document demonstrating that Republic Services has been contacted and has approved the proposed sizing of and access to the recycling and solid waste collection area(s) for this building, using current standards. In addition, all rights of way and public easement shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

AUTHORITY: Land Use Code 20.20.720
REVIEWER: Laurie Tyler, Land Use

9. Solid Waste and Recycling Removal

During non-pickup times, the property owner shall maintain the solid waste and recycling receptacles within the designated trash enclosure. During pick-up times, solid waste and recycling receptacles shall be placed in an easily accessible area on-site that will not block parking spaces. After pick-up, the receptacles shall be immediately placed back within the trash enclosure.

AUTHORITY: Land Use Code 20.20.720
REVIEWER: Laurie Tyler, Land Use

10. Conditions of Approval

A copy of these Conditions of Approval (Sections A.-E.) shall be copied onto a plan sheet at the beginning of the plan set(s) submitted for building permits.

AUTHORITY: Land Use Code 20.35.230
REVIEWER: Laurie Tyler, Land Use

B. PRIOR TO CLEARING & GRADING PERMIT:

The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements and to mitigate adverse environmental impacts not addressed through applicable Code provisions. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.

- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities, such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access. The applicant will secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, foundation, or demolition permit.

AUTHORITY: Bellevue City Code 11.70 & 14.30
REVIEWER: Tim Stever, Right-of-Way

2. Final Landscape Plan

A Final Landscape Plan and irrigation plan shall be submitted with the Clearing and Grading application for review by Land Use.

AUTHORITY: Land Use Code 20.20.520.1
REVIEWER: Laurie Tyler, Land Use

3. Tree Protection

To mitigate adverse impacts during construction to the tree to be retained adjacent to Main Street, the applicant must comply with the following:

- a) Clearing limits shall be established for the retained tree within the developed portion of the site, outside of the drip lines. Six-foot chain link fencing with driven posts, or an approved alternative, shall be installed at the clearing limits (outside of the driplines) prior to initiation of any clearing and grading.
- b) No excavation of clearing should be performed within drip lines of the retained tree except as specifically approved on plans. All such work shall be done by hand to avoid damage to roots and shall be done under the supervision of an arborist approved by the City.

AUTHORITY: Bellevue City Code 23.76.060
REVIEWER: Laurie Tyler, Land Use

C. PRIOR TO BUILDING PERMIT:

The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building permit application:

1. Transportation Impact Fee

Payment of traffic impact fees will be required at issuance of building permit. This

fee is subject to change and the most current fee schedule in effect at the time of permit issuance will apply. Currently the fee for a new office building is \$3.86 per gross square feet until 12/31/15. A credit of \$2.85 per gross square feet will be given to the existing use.

AUTHORITY: Bellevue City Code 22.16
REVIEWER: Abdy Farid, Transportation

2. Pedestrian and Utilities Easements

If necessary, the applicant shall provide sidewalk and utility easements to the City as needed to encompass the required width of any public sidewalks located outside the city rights of way fronting this site. Documents granting such easements shall be signed by the property owner.

AUTHORITY: Bellevue City Code 14.60.100
REVIEWER: Abdy Farid, Transportation

3. Screening for Rooftop Mechanical Equipment

The rooftop mechanical screening and equipment shall not exceed a height of 15-feet above the roof. The equipment shall be consolidated. The screen shall be visually integrated with the form and color of the building, and the equipment shall be screened from all sides (and from above). Screening from above shall be accomplished with a solid, non-reflective roof, which may incorporate louvers, vents or similar penetrations to provide the necessary ventilation or exhaust for the equipment being screened. The applicant shall submit for review and approval a sample of the metal panels to be used for screening for the rooftop equipment. The color of the screen shall match the color of the roof. Any rooftop structures to house mechanical equipment shall be the minimum size necessary and also painted to match the color of the roof.

AUTHORITY: Land Use Code 20.20.525 and Comprehensive Plan Policy UD-8
REVIEWER: Laurie Tyler, Land Use

4. Ground-Mounted Mechanical Equipment, Street Furniture and Screening

No mechanical equipment (including power, telephone, traffic control, etc.) shall be located in above ground cabinets in a "pedestrian travel zone." Such equipment shall be located in underground vaults, in a building, or substantially screened in planting areas per the approval of the Transportation Department and Land Use. No street furniture shall be located within the "pedestrian travel zone."

AUTHORITY: Land Use Code 20.20.650, 20.25A.110.B.6
REVIEWER: Laurie Tyler, Land Use

5. Amenity Designs and Statistics

The building permit submittal plans and drawings shall include a detailed design for each proposed FAR amenity with a design component and a statistical summary for each amenity.

AUTHORITY: Land Use Code 20.25A.030
REVIEWER: Laurie Tyler, Land Use

6. Exterior Lighting

The applicant shall submit a detailed design for all building exterior lighting. Lighting shall be contained to this site and not be permitted to spill-over to adjacent sites. All exterior building lighting is required to include cut-off shields to minimize impacts of light and glare.

AUTHORITY: Land Use Code 20.25A.110.A.5

REVIEWER: Laurie Tyler, Land Use

D. PRIOR TO ANY Temporary Certificate of Occupancy:

The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. Pavement Restoration

Pavement restoration associated with street frontage improvements, utility installation, or to repair damaged street surfaces shall be provided as follows. On Main Street adjacent to the site, any trenching or construction-related street damage will require a grind and overlay at least 50 feet long for the full width any affected lane. The exact extent of the pavement restoration will be determined in the Right of Way Use Permit for the development.

AUTHORITY: Bellevue City Code 14.60. 250;
Design Manual Design Standard #23

REVIEWER: Tim Stever, Right-of-Way

2. Solid Waste/Recycling Containers

No solid waste and/or recycling containers will be allowed within the public right-of-way or in the public street.

AUTHORITY: Land Use Code 20.20.725

REVIEWER: Laurie Tyler, Land Use

3. Bonus System & Pedestrian-Oriented Frontage Recording

The applicant shall record 1) a copy of the approved bonus point calculations (Tables 2, and 3 in Section III.B of this report), and the project drawings and conditions of this Design Review with the King County Office of Records and Elections.

AUTHORITY: Land Use Code 20.25A.020.D.3

REVIEWER: Laurie Tyler, Land Use

4. Record an Agreement to Provide Pedestrian-Oriented Frontage Uses and Design Review Conditions of Approval

The applicant shall record the following with the King County Office of Records and Elections:

- a) An agreement that 100% of the street level of Main Street will remain pedestrian-oriented uses with pedestrian-oriented design elements per LUC

20.25A.030.

- b) The applicant shall record a document which contains all of the Design Review Conditions of Approval, Amenities Plan and FAR calculations. The document shall also include the FAR points and amenities (both Basic and Bonus) for the entire project limit.

AUTHORITY: Land Use Code 20.25A.020.C, Land Use Code 20.25A.020, .040, .050, .100 and .115

REVIEWER: Laurie Tyler, Land Use

5. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the following may be submitted: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation, inspection and approval by the land use reviewer for the project.

AUTHORITY: Land Use Code 20.40.490

REVIEWER: Laurie Tyler, Land Use

6. Landscape Maintenance Assurance Device

File with the Development Services Department a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: Land Use Code 20.20.520.K and 20.40.490

REVIEWER: Laurie Tyler, Land Use

7. Historical Photographs and Plaque

The applicant shall work with the Eastside Heritage Center on photographing the existing structure prior to demolition, as well as the creation of a historical identification plaque to recognize the previously existing Philbrook House. The final design of the plaque, including size, colors, material and content, and proposed location on the building, shall be reviewed and approved by Land Use staff, prior to issuance of the Temporary Certificate of Occupancy. In addition, the photographs shall be provided to the Eastside Heritage Center, as well as be displayed within the new structure for preservation purposes.

AUTHORITY: Comprehensive Plan Policy S-DT-21

REVIEWER: Laurie Tyler, Land Use

E. PRIOR TO ISSUANCE OF SIGN PERMITS

1. Individual Sign Permits

All signage shall be pedestrian oriented. Design review of individual signs and compliance with the approved sign package will occur through review of each sign permit application. The sign package plans, elevations, and/or sketches shall include but are not limited to:

1. Location
2. Illumination
3. Color and Materials
4. Design (no cabinet or freestanding signs are permitted)

AUTHORITY: Land Use Code 20.25A.110, Land Use Code 20.30F,
Bellevue City Code 22B.10.025.E.4

REVIEWER: Laurie Tyler, Land Use

Attachments:

- A. Design Review Submittal Drawings



Amcut Office

Design Review

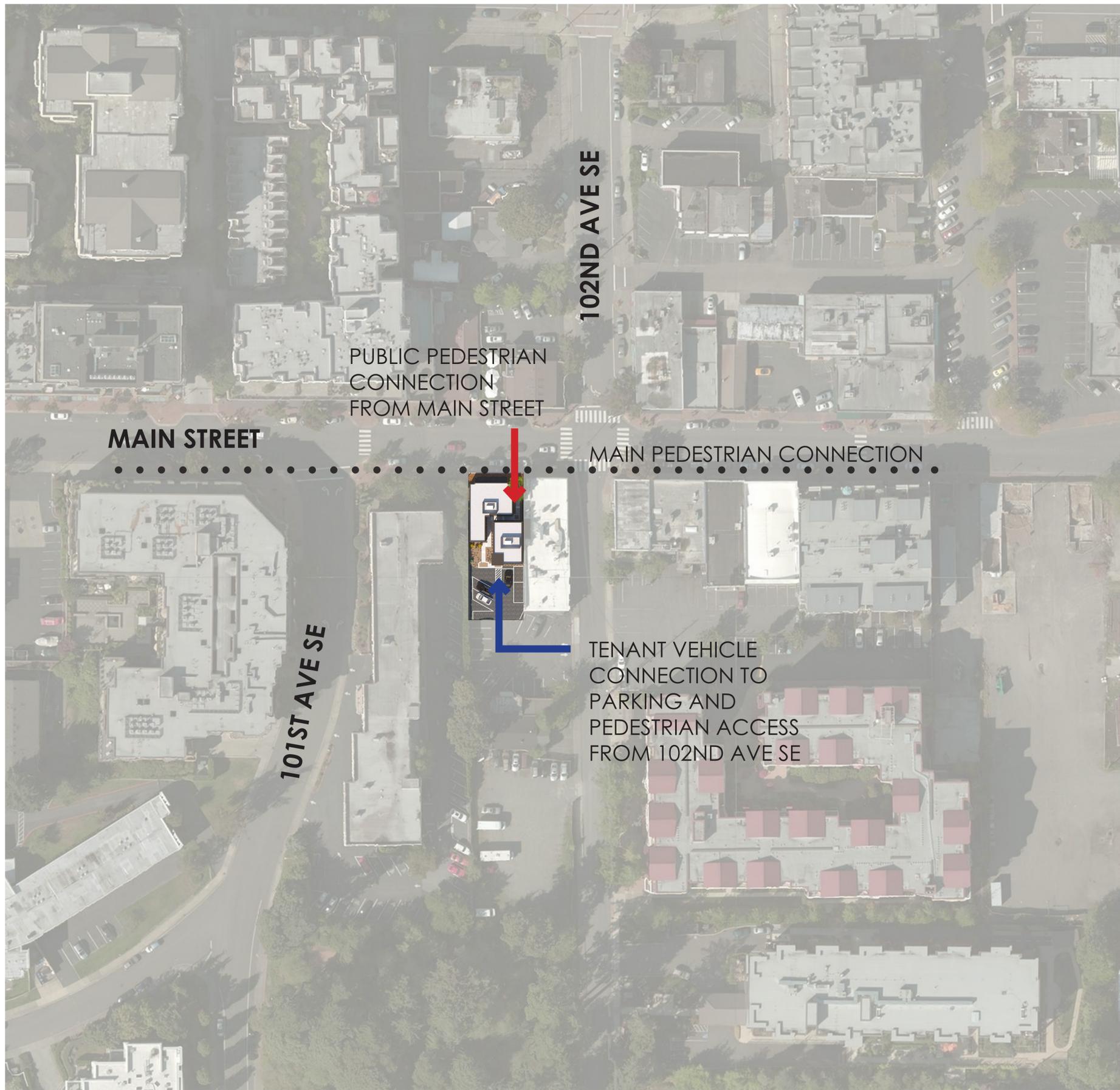
10135 Main Street
Bellevue, WA

October 16, 2014



4444 Woodland Park Ave N
Suite 100
Seattle, WA 98103
(206) 402-4484
twist-design.com

AHL, LLC
(425) 269-9889



Located in the center of the Main Street Bellevue District...

... In 2013 Gordon Rain Fine Diamonds phase one was completed in accordance with the approved LUX. Gordon and Gretchen had always planned to occupy the existing two story structure as their administrative office the next phase of the site is re-building the existing 1,613 SF two story office building to replace the existing building at 10133 main street (tax parcel #066600-0035) in the Bellevue Design District (sub-district a). After Gordon's contractor surveyed the existing building structure, it was determined that there was no foundation and significant insect damage was discovered. The cost to repair the existing structure was greater than the cost to replace the existing building. The new structure will utilize a similar footprint to the existing building. The existing first floor foundation square footage is approximately 862 sf and the new square footage will be approximately 954 sf. An increase of 10.7%. The elevations and scale of the new construction will be similar to the existing building completed in 2013..

The exterior in color and material will be similar to the retail building, stucco, metal awning, and will be architecturally integrated with the Old Main Design District.

The code information...

Project address:	10135 Main St Bellevue, WA 98004
Legal Description:	Bellevue acre & half-acre trs w 48.3 ft of n 110 ft & 1/2 int of s 10 ft of n 120 ft
Tax parcel number:	0666000035
Zoning:	Bellevue Design District (sub-district a) DNTN-OB
Type of Use:	Office & Retail
Occupancy Group:	Office (B) & Mercantile (M)
Existing site area:	±5,315 SF
Footprint square footage:	1,381 SF Existing North retail footprint 954 SF Proposed South office footprint (862 SF existing; a 10.7% increase)
Square footage Existing:	1,381 SF Existing North retail <u>1,281 SF</u> Existing South office (756 SF 1st flr 495 SF 2nd flr) 2,662 SF Total building existing square footage on site
Square footage New:	1,381 SF Existing North retail <u>1,586 SF</u> South office (826 SF 1st flr 760 SF 2nd flr) 2,967 SF Total building square footage on site
Construction Type:	V-B non-sprinklered

Parking

Retail:	Retail: 0 required. 1,500 SF located in an existing building.
Office	2.5 min / 3.0 max: 1,334 GFA SF = 4 min / 5 max
Provided:	5 Stalls 3

Bathrooms

Occupants Load:	1/100 gross per Business: 1,334 GFA / 100 = 14 Occupants 3
Water closets required:	1 per 25 for the first 50 = 1 water closet required
Lavatories required:	1 per 40 for the first 80 = 1 lavatory required
Provided:	2 restrooms and 2 lavatories provided

*Drinking Founttain and Service Sink not required because the occupant load is less than 15.

Site Analysis



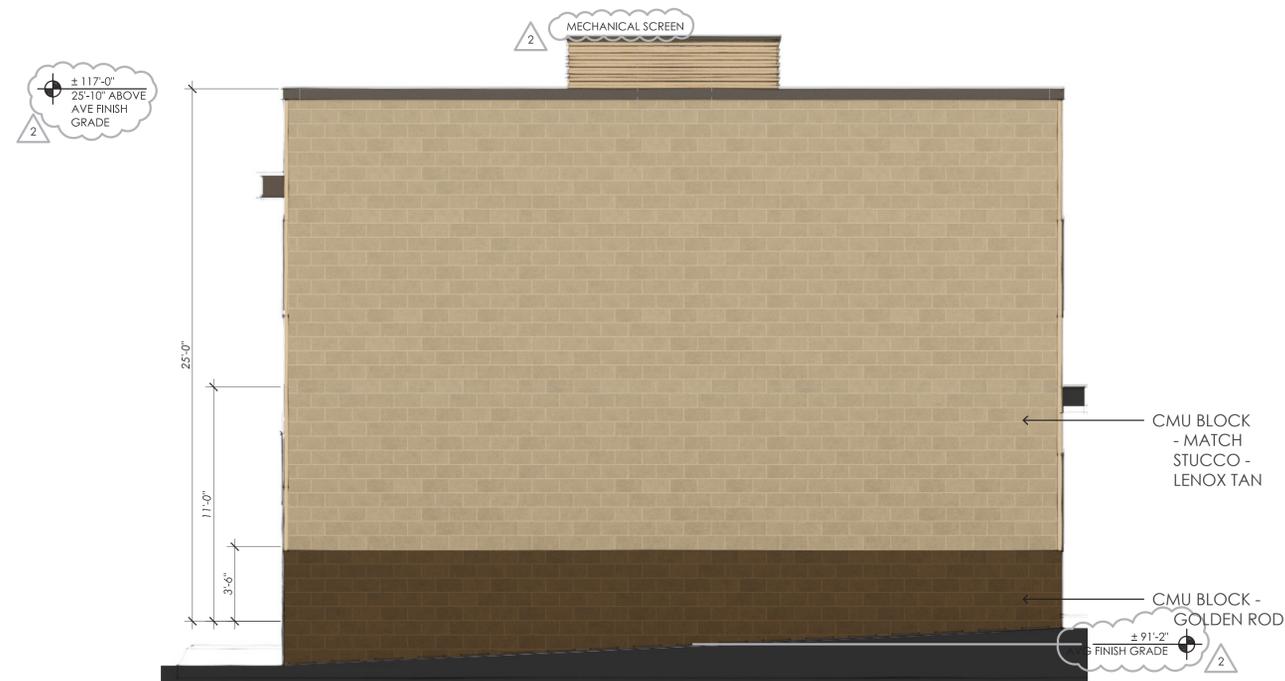
West Elevation

1/4" = 1'-0" @ 24x36



South Elevation

1/4" = 1'-0" @ 24x36



East Elevation

1/4" = 1'-0" @ 24x36



North Elevation

1/4" = 1'-0" @ 24x36

Building Elevations



NE Aerial Perspective



Parking Lot Perspective



NW Aerial Perspective



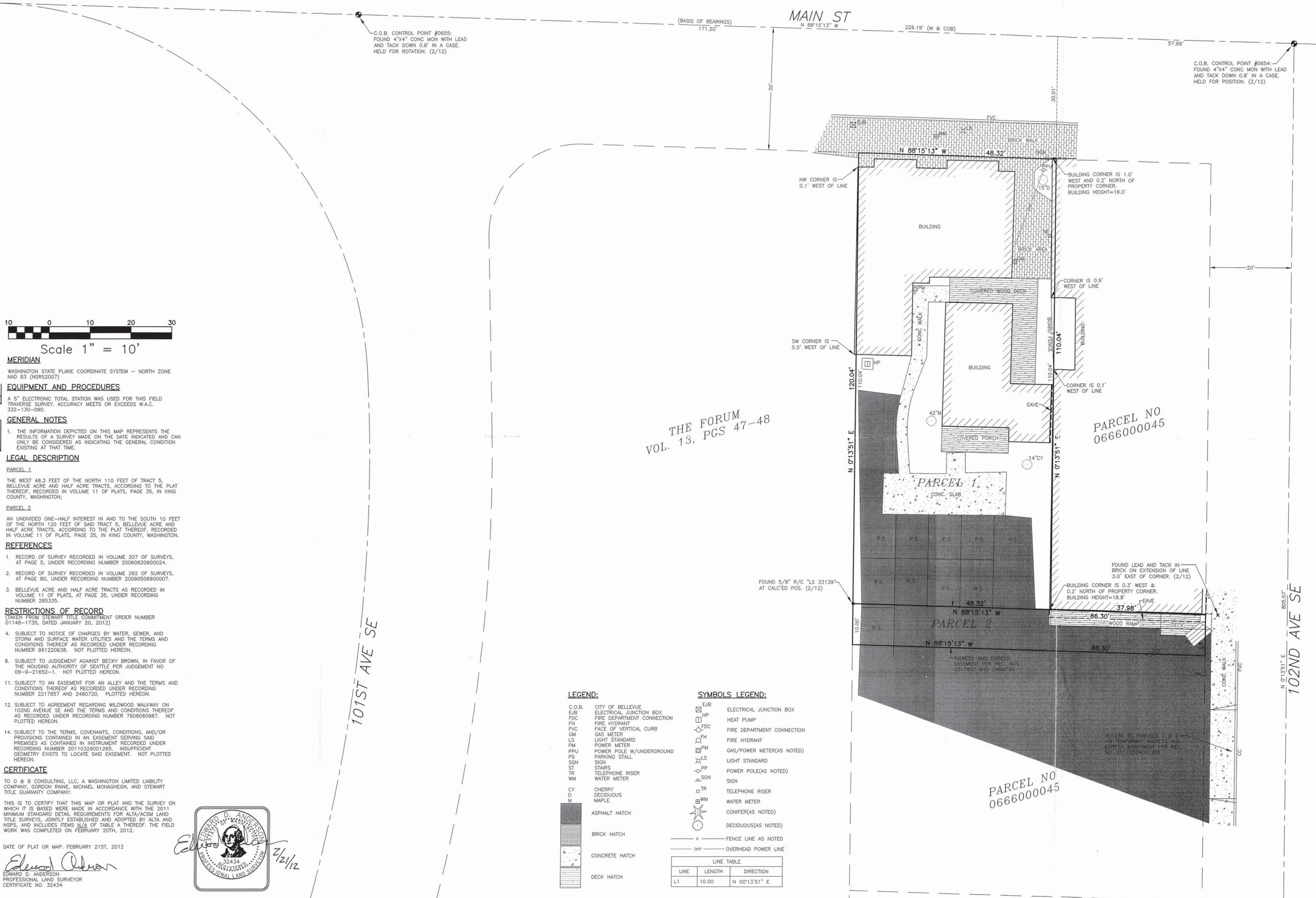
SW Aerial Perspective



TWIST
ARCHITECTURE + DESIGN

Perspectives

NW1/4, SW1/4, SEC. 32, T. 25 N., R. 5 E., W.M.



MERIDIAN
WASHINGTON STATE PLANE COORDINATE SYSTEM - NORTH ZONE NAD 83 (NSRS2007)

EQUIPMENT AND PROCEDURES
A 5" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. ACCURACY MEETS OR EXCEEDS W.A.C. 332-130-090.

GENERAL NOTES
1. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.

LEGAL DESCRIPTION
PARCEL 1
THE WEST 48.3 FEET OF THE NORTH 110 FEET OF TRACT 5, BELLEVUE ACRE AND HALF ACRE TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 35, IN KING COUNTY, WASHINGTON;

PARCEL 2
AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE SOUTH 10 FEET OF THE NORTH 120 FEET OF SAID TRACT 5, BELLEVUE ACRE AND HALF ACRE TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 35, IN KING COUNTY, WASHINGTON.

REFERENCES
1. RECORD OF SURVEY RECORDED IN VOLUME 207 OF SURVEYS, AT PAGE 5, UNDER RECORDING NUMBER 20060620900024.
2. RECORD OF SURVEY RECORDED IN VOLUME 262 OF SURVEYS, AT PAGE 80, UNDER RECORDING NUMBER 20090506900007.
3. BELLEVUE ACRE AND HALF ACRE TRACTS AS RECORDED IN VOLUME 11 OF PLATS, AT PAGE 35, UNDER RECORDING NUMBER 285335.

RESTRICTIONS OF RECORD
(TAKEN FROM STEWART TITLE COMMITMENT ORDER NUMBER 01148-1735, DATED JANUARY 20, 2012)
4. SUBJECT TO NOTICE OF CHARGES BY WATER, SEWER, AND STORM AND SURFACE WATER UTILITIES AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 961220938. NOT PLOTTED HEREON.

6. SUBJECT TO JUDGEMENT AGAINST BECKY BROWN, IN FAVOR OF THE HOUSING AUTHORITY OF SEATTLE PER JUDGEMENT NO 09-9-21652-1. NOT PLOTTED HEREON.
11. SUBJECT TO AN EASEMENT FOR AN ALLEY AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 2217857 AND 2480720. PLOTTED HEREON.

12. SUBJECT TO AGREEMENT REGARDING WILDWOOD WALKWAY ON 102ND AVENUE SE AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 7906060987. NOT PLOTTED HEREON.
14. SUBJECT TO THE TERMS, COVENANTS, CONDITIONS, AND/OR PROVISIONS CONTAINED IN AN EASEMENT SERVING SAID PREMISES AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NUMBER 20110329001285. INSUFFICIENT GEOMETRY EXISTS TO LOCATE SAID EASEMENT. NOT PLOTTED HEREON.

CERTIFICATE
TO O & B CONSULTING, LLC, A WASHINGTON LIMITED LIABILITY COMPANY, GORDON RAINE, MICHAEL MOHAGHEGH, AND STEWART TITLE GUARANTY COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1/2 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 20TH, 2012.

DATE OF PLAT OR MAP: FEBRUARY 21ST, 2012

Edward D. Anderson
EDWARD D. ANDERSON
PROFESSIONAL LAND SURVEYOR
CERTIFICATE NO. 32434



LEGEND:

C.O.B.	CITY OF BELLEVUE	EJB	ELECTRICAL JUNCTION BOX
EJB	ELECTRICAL JUNCTION BOX	HP	HEAT PUMP
FDC	FIRE DEPARTMENT CONNECTION	FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT	FH	FIRE HYDRANT
FVC	FACE OF VERTICAL CURB	PM	POWER METER (AS NOTED)
GM	GAS METER	LS	LIGHT STANDARD
LS	LIGHT STANDARD	PP	POWER POLE W/UNDERGROUND
PM	POWER METER	PS	PARKING STALL
PPU	POWER POLE W/UNDERGROUND	SGN	STAIRS
PS	PARKING STALL	TR	TELEPHONE RISER
SGN	STAIRS	WM	WATER METER
ST	STAIRS		
TR	TELEPHONE RISER		
WM	WATER METER		
CY	CHERRY		
D	DECIDUOUS		
M	MAPLE		
	ASPHALT HATCH		
	BRICK HATCH		
	CONCRETE HATCH		
	DECK HATCH		

SYMBOLS LEGEND:

□	EJB	□	ELECTRICAL JUNCTION BOX
□	HP	□	HEAT PUMP
□	FDC	□	FIRE DEPARTMENT CONNECTION
○	FH	○	FIRE HYDRANT
□	PM	□	GAS/POWER METER (AS NOTED)
○	LS	○	LIGHT STANDARD
○	PP	○	POWER POLE (AS NOTED)
□	SGN	□	SIGN
□	TR	□	TELEPHONE RISER
□	WM	□	WATER METER
○	CONIFER (AS NOTED)		
○	DECIDUOUS (AS NOTED)		
x	FENCE LINE AS NOTED		
—	OHP	—	OVERHEAD POWER LINE

LINE TABLE

LINE	LENGTH	DIRECTION
L1	10.00	N 00°13'51" E

Mead Gilman & Assoc.
Professional Land Surveyors
P.O. BOX 289, WOODINVILLE, WA 98072
PHONE: (425) 486-1252 FAX: (425) 486-6108

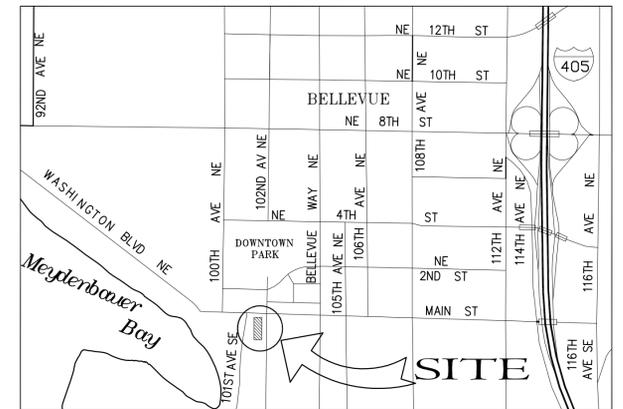


PERKINS COIE
10885 NE 4TH ST SUITE 700 BELLEVUE, WA 98004

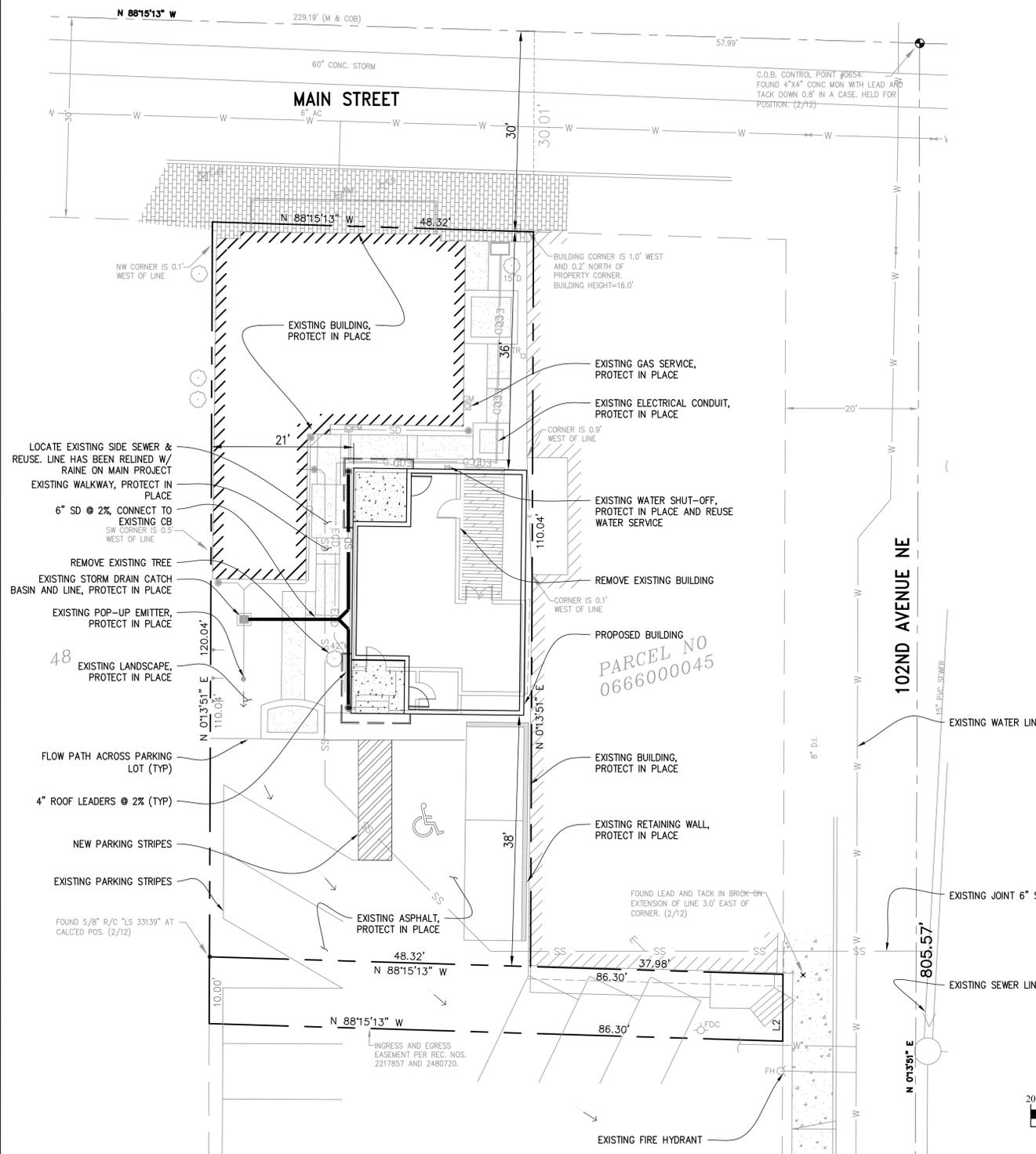
RAINE - MAIN ST BUILDING
ALTA/ACSM LAND TITLE SURVEY

DRAWN BY: MRP
REV. BY:
DATE: 2-20-12
SCALE: 1" = 10'
DRAWING NO. 12015
SHEET 1 OF 1

AMCUT BUILDING BELLEVUE, WASHINGTON



VICINITY MAP
NOT TO SCALE



ESTIMATED ON-SITE GRADING QUANTITIES

CUT	0 CY
FILL	50 CY

PLAN NOTE

THIS PLAN IS INCLUDED AS A REGULATORY REQUIREMENT. IT IS NOT INTENDED TO BE USED FOR CONSTRUCTION

STATISTICAL INFORMATION

NO	DESCRIPTION	REQUIRED/ALLOWED	PROPOSED
1	LAND USE ZONE	DN1N-MN	
2	SITE AREA	5,314 SF (0.12 ACRES)	
3	SITE DATA SUMMARY:		
A	NUMBER OF DWELLING UNITS/ACRE	-	N/A
B	TOTAL NUMBER OF DWELLING UNITS	-	N/A
C	AREA OF PROPOSED STRUCTURE		
	NET		1,280 SF NET
	NET LEASE (FOR SHOPPING CENTER)		N/A
	GROSS		1,586 SF GROSS
D	FLOOR AREA RATIO	-	5.0
E	AREA OF PROPOSED BUILDING BY USE		
	NET	RETAIL EX. 1,381 SF GROSS	EXISTING GROSS
	GROSS	OFFICE 1,586 SF GROSS	-
		1,280 SF NET	2,967 GROSS
4	PERCENTAGE OF LOT COVERAGE	NEW BLDG 954 SF FOOTPRINT	43.9%
5	SITE DISTURBANCE AREA IN SQUARE FEET (INC. ROW)	-	1,254 SF
6	CUT/FILL (CUBIC YARDS)	±50 CY FILL	
7	BUILDING HEIGHT: MEASURED FROM AVG. EXISTING GRADE IN SHORELINE & TRANSITION AREAS; MEASURED FROM AVG. FINISHED GRADE FOR ALL OTHER AREAS	-	23'
8	PARKING: TOTAL # OF SPACES FOR THE PROJECT	-	5
A	PERCENTAGE OF COMPACT	-	20%
B	PERCENTAGE OF HANDICAPPED STALLS	-	20%
9	AREA OF PROPOSED LANDSCAPING		
A	ADJACENT TO RIGHT-OF-WAY	-	N/A
B	ADJACENT TO INTERIOR PROPERTY LINES	-	N/A
C	WITHIN THE PARKING AREA	-	0
D	SIGNIFICANT TREES TO BE RETAINED	-	0

VERTICAL DATUM - BASIS OF ELEVATION
CONTOURS SHOWN ARE FROM CITY GIS SYSTEM.

LEGAL DESCRIPTION

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THE WEST 48.3 FEET OF THE NORTH 110 FEET OF TRACT 5, BELLEVUE ACRE AND HALF TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 35, IN KING COUNTY, WASHINGTON;

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OWNERS REP

AJH DEVELOPMENT SERVICES, LLC
10900 NE 4TH STREET, SUITE 2300
BELLEVUE, WA 98004
(425) 269-9899
CONTACT: ARNE HALL

CIVIL ENGINEER

DCI ENGINEERS
818 STEWART STREET, SUITE 1000
SEATTLE, WA 98101
(206) 332-1900
CONTACT: DARREN SIMPSON

ARCHITECTS

TWIST
4444 WOODLAND PARK AVE N SUITE 100
SEATTLE, WA 98103
(206) 402-4484
CONTACT: KIRK CALLISON

SURVEYOR

MEAD GILMAN AND ASSOC.
PO BOX 289
WOODINVILLE, WA 98072
(425) 486-1252
CONTACT: ED ANDERSON

DEMOLITION NOTE

ALL EXISTING ON-SITE IMPROVEMENTS WILL BE REMOVED FOR THE PROPOSED CONSTRUCTION. EXISTING UTILITIES SHALL BE ABANDONED IN ACCORDANCE WITH THE CITY OF BELLEVUE ENGINEERING STANDARDS. EXISTING SERVICE LATERALS SHALL BE CAPPED AT THE MAIN.

CONTRACTOR NOTE

ALL EXISTING UTILITIES, WHETHER SHOWN ON PLANS OR NOT, ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY FURNISHED BY OTHERS. DCI ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

**PRELIMINARY
NOT FOR CONSTRUCTION**

CALL 48 HOURS
BEFORE YOU DIG
1-800-424-5555

Plot Date: 2014-10-16 File Location: O:\Cadd\2014\10\16\10228-Amcut\Office\Bldg\14028-PLAN.dwg

NO	DATE	BY	APPR	REVISIONS

DCI ENGINEERS®
818 STEWART STREET • SUITE 1000
SEATTLE, WASHINGTON 98101
PHONE: (206) 332-1900 • FAX: (206) 332-1600
WEBSITE: www.dci-engineers.com
CIVIL / STRUCTURAL

DARREN A. SIMPSON
STATE OF WASHINGTON
27856
REGISTERED
PROFESSIONAL ENGINEER
10/16/14

DAS
PROJECT MANAGER
RH
DRAWN BY
DAS
CHECKED BY
14012-0028
JOB NUMBER

**10135 MAIN STREET
AMCUT
BUILDING**

BELLEVUE WASHINGTON

DRAINAGE MAP # E-6
WATER GRID # E-6
SEWER GRID # E-6

SITE PLAN B

SEC 32 TWP 25N RGE 5E SHT C001 OF 1

MAIN STREET

SIDEWALK

EXISTING BUILDING
FIRST FLOOR

WALKWAY

NEW BUILDING
FIRST FLOOR

EXISTING
PLANTINGS
& COBBLE

EXISTING
PLANTINGS
& COBBLE

EXISTING
BIG LEAF MAPLE
TO BE REMOVED

TRANSPLANT
EXISTING
MAGNOLIA

ADD 1'-3"
COBBLE ALONG
PLANTING EDGES

STEWARTIA
PSEUDOCAMELLIA

PLANT LIST

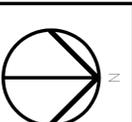
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
TREES				
	<i>Stewartia pseudocamellia</i>	Stewartia	1	2" CAL.
	<i>Magnolia grandiflora</i> 'Little Gem'	'Little Gem' Dwarf Southern Magnolia	1	TRANSPLANT
SHRUBS				
	<i>Arbutus unedo</i> 'Compacta'	Compact Strawberry Bush	3	EXISTING
	<i>Sarcococca h. humilis</i>	Sweetbox	18	1 GAL. + TRANSPLANTS
	<i>Cornus s. 'Kelsey'</i>	Kelsey Dogwood	15	1 GAL. + TRANSPLANTS
PERENNIALS				
	<i>Liriope muscari</i> 'Big Blue'	Lily Turf	33	1 GAL. + TRANSPLANTS
GROUND COVERS				
	<i>Waldsteinia fragaroides</i>	Barren Strawberry	54	4" + TRANSPLANTS



Revisions By

SANDER GROVES
LANDSCAPE SERVICES
20018 ne 50th street
redmond, wa. 98053
tel: 425-868-2200
fax: 425-868-4212

GORDON JAMES DIAMONDS
10133 MAIN STREET BELLEVUE, WA 98004
PLANTING PLAN



Date	10/15/14
Scale	1" = 4'
Drawn By	JF/KZ
Sheet	1 of 1