



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 450 110<sup>th</sup> Ave NE  
 BELLEVUE, WA 98009-9012

**DETERMINATION OF NON-SIGNIFICANCE**

**PROPONENT:** Dave Armstrong, AAA Washington

**LOCATION OF PROPOSAL:** 1745 114<sup>th</sup> Avenue SE

**DESCRIPTION OF PROPOSAL:** Repair of an existing parking lot by placement of fill, drainage repair, and repaving to restore the elevation of the lot that is located near wetlands and buffers associated with Mercer Slough.

**FILE NUMBERS:** 13-133882-GD      **PLANNER:** Reilly Pittman

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **4/24/2014**
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on \_\_\_\_\_.

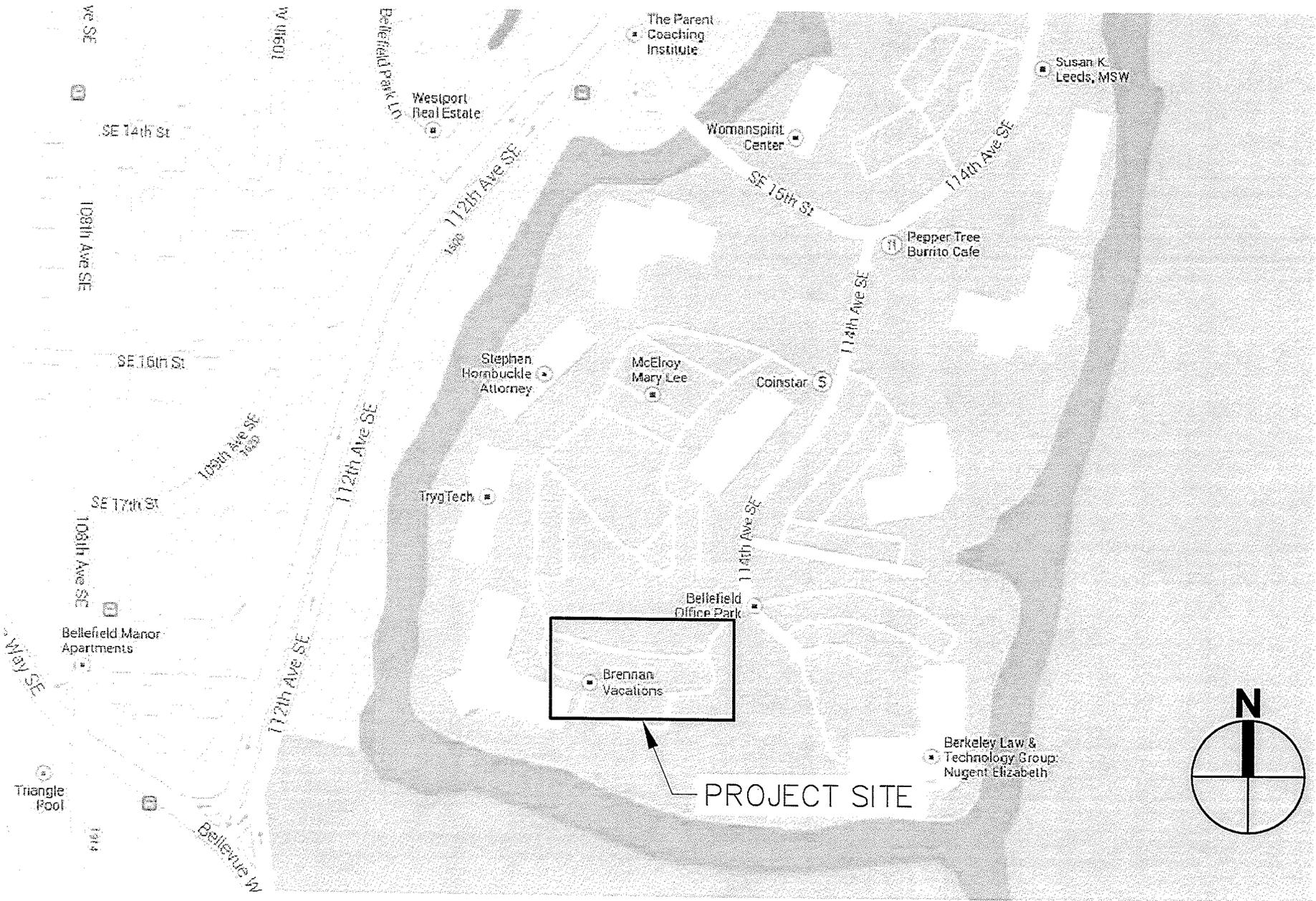
This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

*[Handwritten Signature]*  
 Environmental Coordinator

4/10/2014  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

- State Department of Fish and Wildlife / [Stewart.Reinbold@dfw.gov](mailto:Stewart.Reinbold@dfw.gov); [Christa.Heller@dfw.wa.gov](mailto:Christa.Heller@dfw.wa.gov);
- State Department of Ecology, Shoreline Planner N.W. Region / [Jobu461@ecy.wa.gov](mailto:Jobu461@ecy.wa.gov); [sepaunit@ecy.wa.gov](mailto:sepaunit@ecy.wa.gov)
- Army Corps of Engineers [Susan.M.Powell@nws02.usace.army.mil](mailto:Susan.M.Powell@nws02.usace.army.mil)
- Attorney General [ecyolyef@atg.wa.gov](mailto:ecyolyef@atg.wa.gov)
- Muckleshoot Indian Tribe [Karen.Walter@muckleshoot.nsn.us](mailto:Karen.Walter@muckleshoot.nsn.us); [Fisheries.fileroom@muckleshoot.nsn.us](mailto:Fisheries.fileroom@muckleshoot.nsn.us)



VICINITY MAP  
SCALE: N.T.S.

# AAA WASHINGTON

## PARKING LOT REPAIR

### PROJECT INFORMATION

**Owner:**

AAA OF WASHINGTON  
1745 114TH AVE. SE  
BELLEVUE, WA 98004  
DAVE ARMSTRONG  
(425) 646-2014

**Civil Engineer:**

PACE ENGINEERS INC.  
11255 KIRKLAND WAY, SUITE 300  
KIRKLAND, WA 98033  
TEL. (425) 827-2014  
JOHN ANDERSON, P.E.

**Surveyor:**

PACE ENGINEERS, INC.  
11255 KIRKLAND WAY, SUITE 300  
KIRKLAND, WA 98033  
TEL. (425) 827-2014

JANUARY 2013

Prepared by



11255 Kirkland Way, Suite 300  
Kirkland, WA 98033  
p. 425.827.2014 | f. 425.827.5043  
Civil | Structural | Planning | Survey  
paceengrs.com

### LEGAL DESCRIPTION

LOT 8 OF BELLEFIELD OFFICE PARK, AS PER PLAT RECORDED IN VOLUMEN 119 OF PLATS, PAGE 81 THROUGH 90, RECORDS OF KING COUNTY DISTANCE OF 240.35 FEET;

### SURVEY NOTES

HORIZONTAL DATUM: NAD 83-91 - CITY OF BELLEVUE

VERTICAL DATUM: NAVD 88 - CITY OF BELLEVUE

SITE AREA: LOT 8 - 260612.5 SQUARE FEET OR 5.98 ACRES

ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.

THE LOCATION AND DESCRIPTION OF ALL SURVEY MARKERS SHOWN HEREON

ARE BASED ON FIELD OBSERVATIONS TAKEN ON FEBRUARY, 2013, UNLESS OTHERWISE INDICATED.

WORK PERFORMED IN CONJUNCTION WITH THIS SURVEY UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES: (A) 1" TRIMBLE S6 SERIES ELECTRONIC TOTAL STATION, MAINTAINED TO THE MANUFACTURER'S SPECIFICATIONS PER W.A.C. 332-130-100. (B) FIELD TRAVERSE, EXCEEDING REQUIREMENTS SET FORTH IN W.A.C. 332-130-090.

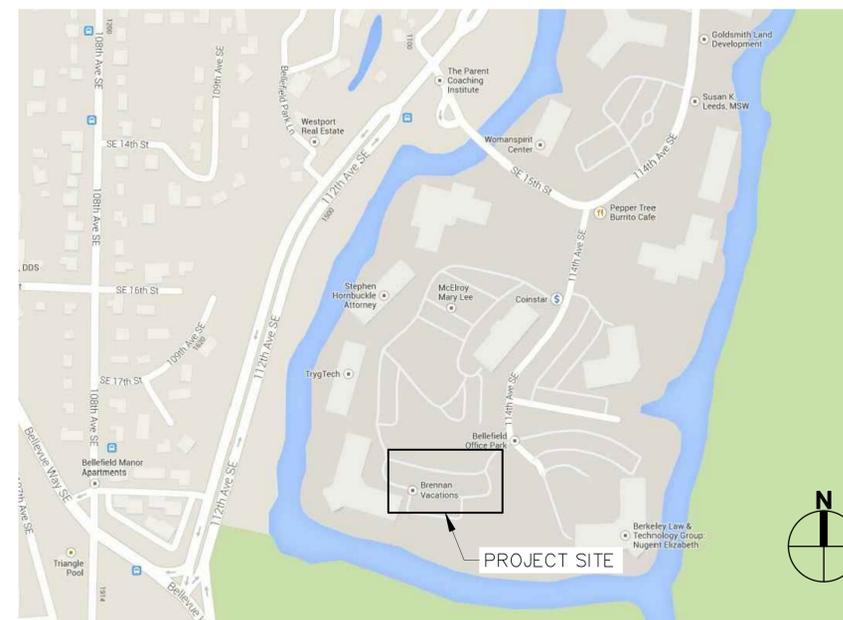
THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS.

THIS TOPOGRAPHIC SURVEY DRAWING ACCURATELY PRESENTS SURFACE FEATURES LOCATED DURING THE COURSE OF THIS SURVEY. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY UPON INFORMATION PROVIDED BY OTHERS AND PACE ENGINEERS, INC. DOES NOT ACCEPT RESPONSIBILITY OR ASSUME LIABILITY FOR THEIR ACCURACY OR COMPLETENESS. CONTRACTOR/ENGINEERS SHALL VERIFY EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.  
CALL FOR LOCATE: UTILITY LOCATION SERVICE: 1-800-424-5555.

### DATUM

HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 / 1991 ADJUSTMENT (NAD 83/91), WASHINGTON, NORTH ZONE AS ESTABLISHED FROM CITY OF BELLEVUE PUBLISHED CONTROL POINTS.

VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS ESTABLISHED FROM CITY OF BELLEVUE PUBLISHED CONTROL POINTS.



VICINITY MAP

SCALE: N.T.S.

### SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
3	SITE PLAN
4	TESC AND DEMOLITION PLAN
5	GRADING AND UTILITY PLAN
6	GRADING AND UTILITY DETAILS

FILE NAME: P:\13\13369\_AAA WASHINGTON\CAD\SHEETS\13369\_CVR.DWG  
 SAVE TIME: 1/13/2014 3:10:44 PM  
 PLOT TIME: 1/14/2014 8:01 AM  
 USER NAME: ERIC MAUNDER  
 XREF FILES: PAGE3.AXA

DESIGNED	JA						
DRAWN	EM						
CHECKED	JA						
	SYM	REVISION	DATE	BY	APP'D		



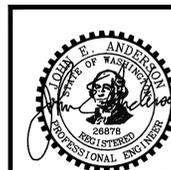
11255 Kirkland Way, Suite 300  
Kirkland, WA 98033  
p. 425.827.2014 | f. 425.827.5043  
Civil | Structural | Planning | Survey  
www.paceengrs.com

DATE  
10/21/2013  
SCALE  
N.A.

AAA WASHINGTON  
PARKING LOT REPAIR  
1745 114TH AVE SE  
COVER SHEET

CALL BEFORE  
YOU DIG 811  
UNDERGROUND SERVICE (USA)

PERMIT SUBMITTAL



01/14/2014

JOB NUMBER  
**13369.00**  
SHEET NAME  
SHEET 1 OF 7

**GENERAL NOTES:**

- ALL WORK PERFORMED AND MATERIALS USED SHALL BE IN ACCORDANCE WITH THE CITY OF BELLEVUE UTILITIES ENGINEERING STANDARDS LATEST EDITION
- A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS PROGRESS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF BELLEVUE. THE CONTRACTOR SHALL NOTIFY THE OWNER'S PROFESSIONAL ENGINEERING CONSULTANT OF THE PRE CONSTRUCTION MEETING TIME AND LOCATION.
- PAVED SURFACES INCLUDING ROADWAYS, SIDEWALKS, AND CURBS THAT ARE DAMAGED BY NEW CONSTRUCTION SHALL BE REPAIRED AS REQUIRED BY THE CITY OF BELLEVUE STREET USE INSPECTOR.
- ALL SURVEYING AND STAKING OF IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY IS TO BE PROVIDED BY THE CITY OF BELLEVUE AT CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE BELLEVUE FIRE DEPARTMENT DISPATCHER (386-1495) TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE LIDS VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.

**CONSTRUCTION SEQUENCE:**

- BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN THE CITY OF BELLEVUE, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
- VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES. CONTACT ALL UTILITY COMPANIES THAT MAY BE EFFECTED BY THE PROPOSED CONSTRUCTION. THE ONE CALL NUMBER IS 1-800-424-5555.
- VERIFY ALL GRADES PRIOR TO CONSTRUCTION. FLAG CLEARING LIMITS.
- INSTALL STRAW WATTLES PER PLAN. INSTALL FILTER FABRIC FENCE, ORANGE CONSTRUCTION OR CHAIN LINK FENCE AND OTHER EROSION CONTROL MEASURES AS REQUIRED BY COB INSPECTOR.
- INSTALL NEW STORM CULVERTS CONNECTING DRAINAGE SWALES TO THE MERCER SLOUGH. INSTALL FLAP GATES WHERE SHOWN ON PLANS.
- REMOVE ASPHALT PAVEMENT AND EXISTING CURBING IN PHASES TO LIMIT EXPOSED AREAS. COORDINATE PARKING LOT PHASING WITH AAA WASHINGTON.
- PLACE CURBED ROCK OR LIGHT WEIGHT FILL AS SPECIFIED IN THE PAVEMENT SECTION AND PLANS. INSTALL PAVEMENT AFTER SUBGRADE IS COMPACTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
- INSTALL CONCRETE CURBS IN NEW PARKING AREAS.
- STRIPE PARKING STALLS.
- REMOVE EXCESS EXCAVATED MATERIALS, TRASH DEBRIS, AND WASTE MATERIALS. DISPOSE OF IN AN AUTHORIZED LOCATION AT NO COST TO THE OWNER.
- CLEAN EXISTING STORM DRAINAGE SYSTEM OF ALL SEDIMENT AND DEBRIS. MAINTAIN TEMPORARY EROSION CONTROL FACILITIES UNTIL LANDSCAPING STABLE.

**CLEARING AND GRADING NOTES:**

- ALL CLEARING AND GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING AND GRADING CODE, CLEARING AND GRADING EROSION CONTROL STANDARD DETAILS (EC-1 THROUGH EC-23); DEVELOPMENT STANDARDS; LAND USE CODE; UNIFORM BUILDING CODE; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION.  
  
IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES, AND GEOGRID REINFORCED MODULAR BLOCK WALLS MUST BE STAMPED BY A PROFESSIONAL ENGINEER.
- A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE AREA TO BE CLEARED AND GRADED MUST BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING & GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE..
- A REINFORCED SILT FENCE MUST BE INSTALLED IN ACCORDANCE WITH COB EC-5 AND LOCATED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING & GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.
- A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED PER CLEARING & GRADING STANDARD DETAIL EC-1 OR EC-2. THIS PAD MUST REMAIN IN PLACE UNTIL PAVING IS INSTALLED..

- CLEARING WILL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITH THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING & GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
- TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) ARE REQUIRED:
  - PRESERVE NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING & GRADING INSPECTOR.
  - PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH MATERIALS, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING & GRADING INSPECTOR.
  - INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING & GRADING INSPECTOR OR PERMIT CONDITIONS APPROVAL.
  - INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ON-SITE.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE UNIFORM BUILDING CODE.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON-SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE PUBLIC INFORMATION SIGN LISTING 24-HOUR EMERGENCY PHONE NUMBERS FOR THE CITY AND THE CONTRACTOR MAY BE PROVIDED TO THE APPLICANT AT THE TIME THE CLEARING & GRADING PERMIT IS ISSUED. THE APPLICANT MUST POST THE SIGN AT THE PROJECT SITE IN FULL VIEW OF THE PUBLIC AND THE CONTRACTORS, AND IT MUST REMAIN POSTED UNTIL FINAL SIGN-OFF BY THE CLEARING & GRADING INSPECTOR.
- TURBIDITY MONITORING MAY BE REQUIRED AS A CONDITION OF CLEARING & GRADING PERMIT APPROVAL. IF REQUIRED, TURBIDITY MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AS AS DIRECTED BY THE CLEARING & GRADING INSPECTOR. MONITORING MUST CONTINUE DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN-OFF BY THE CLEARING & GRADING INSPECTOR.
- ANY PROJECT THAT IS SUBJECT TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING & GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE PCD DIRECTOR. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30TH, AS DEFINED IN SECTION 23.76.093A OF THE CLEARING & GRADING CODE.

**EROSION CONTROL NOTES:**

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS; LAND USE CODE; UNIFORM BUILDING CODE; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DSD) PRIOR TO CONSTRUCTION.  
  
IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED/CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

FILE NAME: P:\13\13369\_AAA WASHINGTON\CAD\SHEETS\13369\_GN NOTES.DWG  
SAVE TIME: 11/7/2013 10:34:32 AM  
PLOT TIME: 1/14/2014 8:01 AM  
USER NAME: ERIC MAUNDER  
XREF FILES: PAGE 2

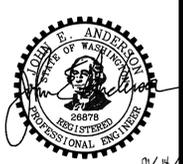


11255 Kirkland Way, Suite 300  
Kirkland, WA 98033  
p. 425.827.2014 | f. 425.827.5043  
Civil | Structural | Planning | Survey  
www.paceengs.com

DATE	10/21/2013
SCALE	N.A.

**AAA WASHINGTON**  
PARKING LOT REPAIR  
1745 114TH AVE SE  
GENERAL NOTES

CALL BEFORE YOU DIG 811  
UNDERGROUND SERVICE (USA)



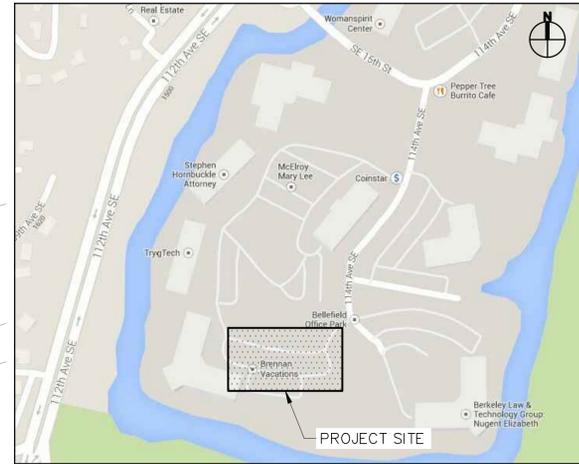
DESIGNED	JA					
DRAWN	EM					
CHECKED	JA					
	SYM	REVISION	DATE	BY	APP'D	

JOB NUMBER	13369.00
SHEET NAME	
SHEET	2 OF 7

**PERMIT SUBMITTAL**

01/11/2014

SEC. 5 , T. 24 N, R. 05E, W.M.



**VICINITY MAP**  
SCALE: N.T.S.

**GENERAL NOTES**

1. ORDINARY HIGH WATER MARK FOR THE MERCER SLOUGH ADJACENT TO THE SITE IS AT AN ELEVATION OF 15'.
2. THE FEM 100 YR FLOOD ELEVATION FOR THE SITE IS AT AN ELEVATION OF 20'.
3. BASE MAP/SURVEY BASED OFF OF 1982 DESIGN AND SHOWS THE RECORD LOCATION OF UTILITIES. LOCATIONS WILL NEED TO BE FIELD VERIFIED.

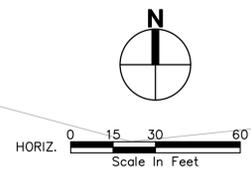
**LEGAL DESCRIPTION**

LOT 8 OF BELLEFIELD OFFICE PARK, AS PER PLAT RECORDED IN VOLUMEN 119 OF PLATS, PAGE 81 THROUGH 90, RECORDS OF KING COUNTY DISTANCE OF 240.35 FEET;

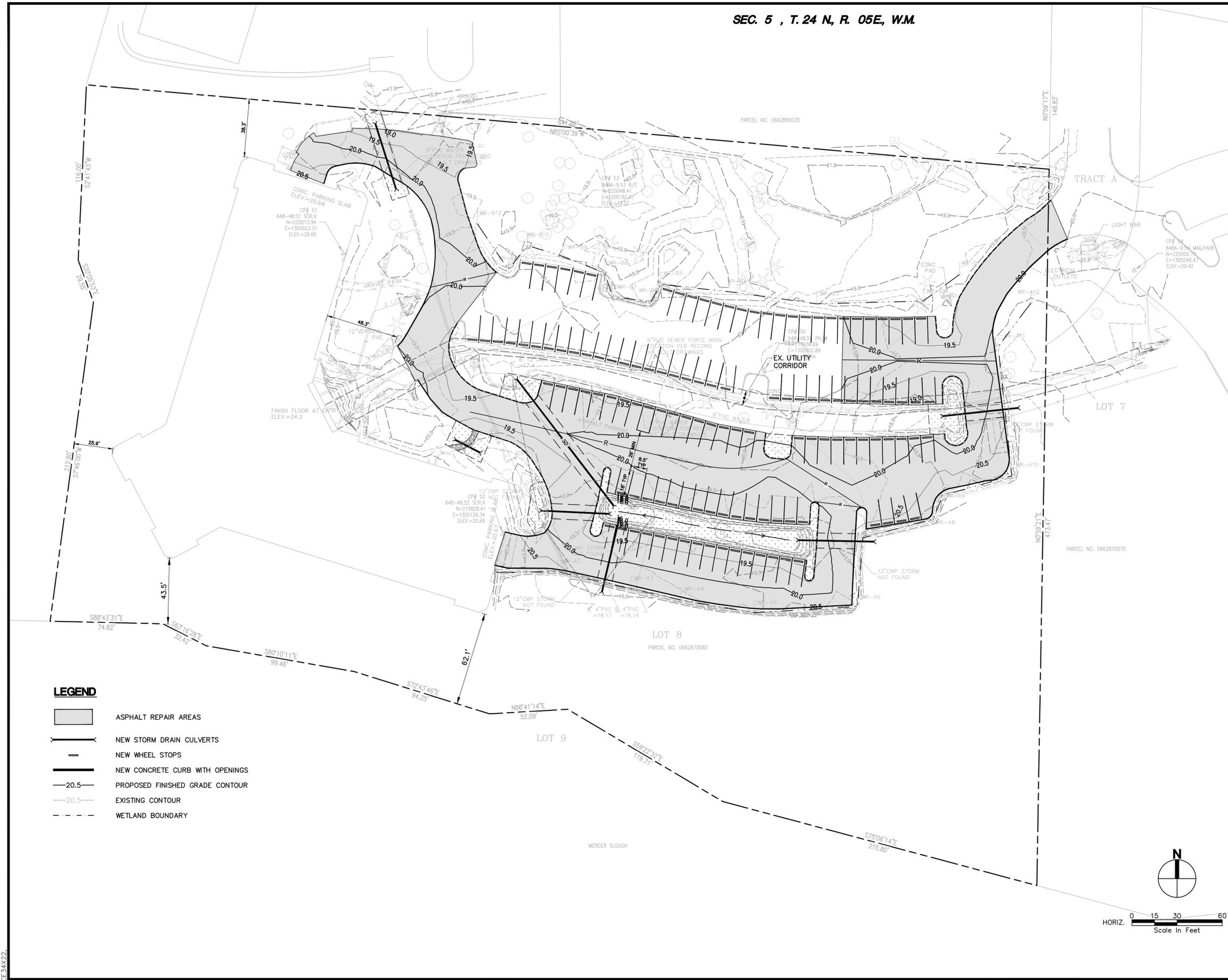
**SURVEY NOTES**

HORIZONTAL DATUM: NAD 83-91 - CITY OF BELLEVUE  
 VERTICAL DATUM: NAVD 88 - CITY OF BELLEVUE  
 SITE AREA: LOT 8 - 260612.5 SQUARE FEET OR 5.98 ACRES  
 ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.  
 THE LOCATION AND DESCRIPTION OF ALL SURVEY MARKERS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS TAKEN ON FEBRUARY, 2013, UNLESS OTHERWISE INDICATED.  
 WORK PERFORMED IN CONJUNCTION WITH THIS SURVEY UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES: (A) 1" TRIMBLE S6 SERIES ELECTRONIC TOTAL STATION, MAINTAINED TO THE MANUFACTURER'S SPECIFICATIONS PER W.A.C. 332-130-100. (B) FIELD TRAVERSE, EXCEEDING REQUIREMENTS SET FORTH IN W.A.C. 332-130-090.  
 THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS.  
 THIS TOPOGRAPHIC SURVEY DRAWING ACCURATELY PRESENTS SURFACE FEATURES LOCATED DURING THE COURSE OF THIS SURVEY. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY UPON INFORMATION PROVIDED BY OTHERS AND PACE ENGINEERS, INC. DOES NOT ACCEPT RESPONSIBILITY OR ASSUME LIABILITY FOR THEIR ACCURACY OR COMPLETENESS. CONTRACTOR/ENGINEERS SHALL VERIFY EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.  
 CALL FOR LOCATE: UTILITY LOCATION SERVICE: 1-800-424-5555.

- LEGEND**
- ASPHALT REPAIR AREAS
  - NEW STORM DRAIN CULVERTS
  - NEW WHEEL STOPS
  - NEW CONCRETE CURB WITH OPENINGS
  - PROPOSED FINISHED GRADE CONTOUR
  - EXISTING CONTOUR
  - WETLAND BOUNDARY



FILE NAME: P:\13\13369\_AAA\_WASHINGTON\CAD\SHEETS\P13369\_DET.DWG  
 SAVE TIME: 11/17/2013 1:40:25 PM  
 PLOT TIME: 1/14/2014 8:02 AM  
 USER NAME: ERIC MAUNDER  
 XREF FILES: PAGE3.AXD



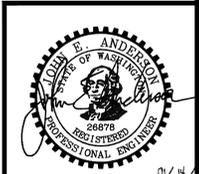
DESIGNED	JA				
DRAWN	EM				
CHECKED	JA				
SYM		REVISION	DATE	BY	APP'D

**PACE**  
An Engineering Services Company

11255 Kirkland Way, Suite 300  
Kirkland, WA 98033  
p. 425.827.2014 | f. 425.827.5043  
Civil | Structural | Planning | Survey  
www.paceengrs.com

DATE	10/21/2013
SCALE	1" = 30'

**AAA WASHINGTON**  
PARKING LOT REPAIR  
1745 114TH AVE SE  
SITE PLAN

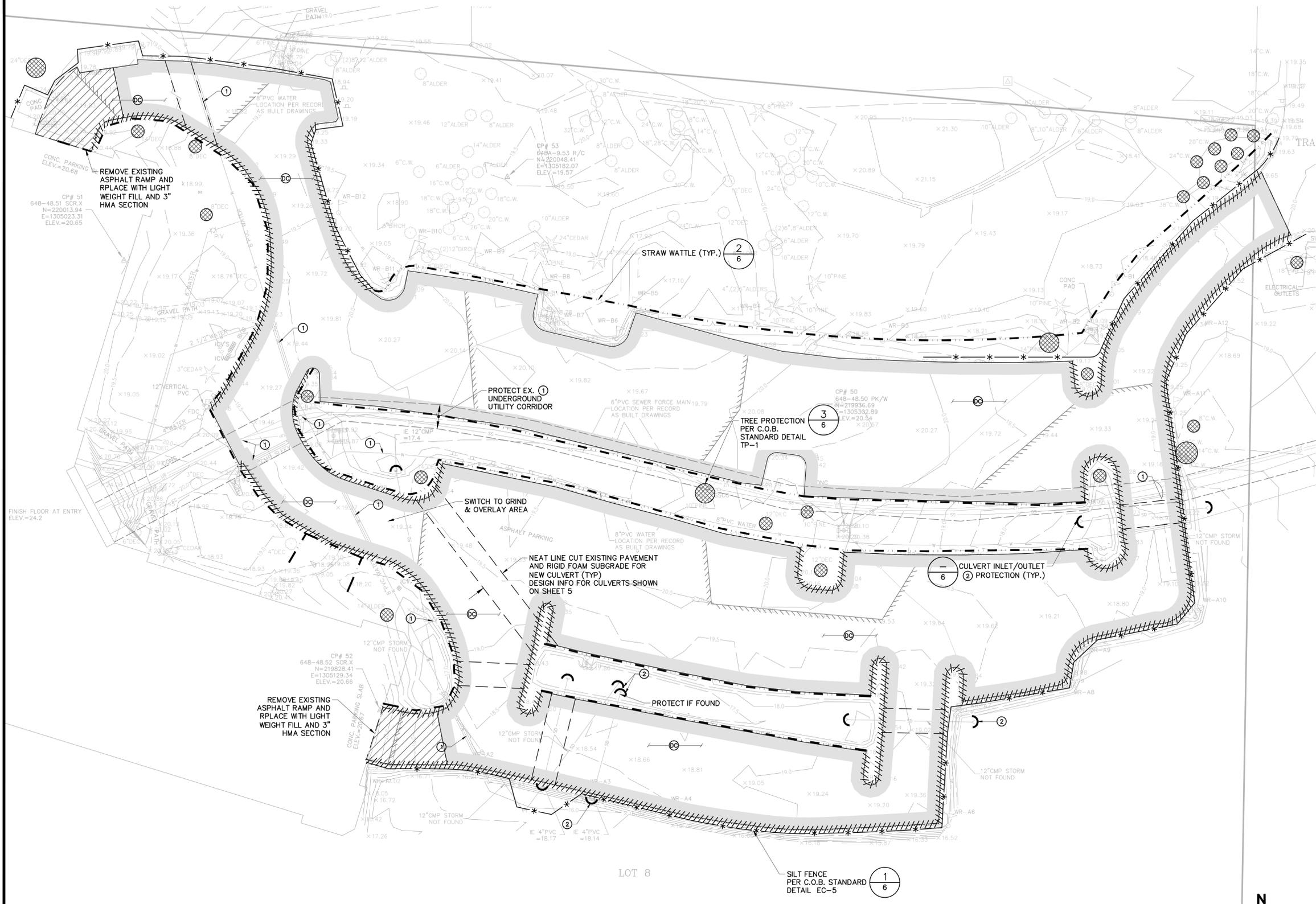


CALL BEFORE YOU DIG 811  
UNDERGROUND SERVICE (USA)

**PERMIT SUBMITTAL**

JOB NUMBER	13369.00
SHEET NAME	
SHEET	3 OF 7

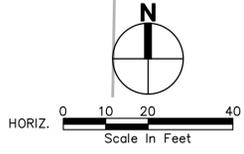
SEC. 5 , T. 24 N, R. 05E, W.M.



**LEGEND**

- CONSTRUCTION FENCE
- SILT FENCE
- DEMOLISH FEATURE
- ASPHALT GRIND & OVERLAY
- REMOVE EXISTING PAVEMENT FOR PLACEMENT OF FILL
- DUST CONTROL
- CATCH BASIN PROTECTION
- STRAW WATTLE/COMPOST SOCK
- TREE PROTECTION
- LIMITS OF 1996 FILL AREA

- EROSION CONTROL NOTES:**
1. PROTECT ALL ABOVE AND BELOW GRADE FEATURES UNLESS OTHERWISE SPECIFIED WITHIN THIS PLAN SET OR AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
  2. ADJUST INLET AND OUTLET PROTECTION TO NEW CULVERTS ONCE INSTALLED.
  3. PROTECT ALL EXISTING ABOVE AND BELOW GRADE UTILITIES WHICH ARE CURRENTLY SERVICING THE SITE.
  4. DURING WINTER STORMS STRAW WATTLES/COMPOST SOCKS MAY NOT BE ADEQUATE TO CONTROL FLOW RATES EXITING THE SITE. SWITCH TO SAND BAGS AS DIRECTED BY CITY INSPECTORS AND/OR PROJECT CESCL.
  5. SITE INSPECTORS SHALL BE CONDUCTED BY A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL) WHO SHALL BE PRESENT ON-SITE OR ON CALL AT ALL TIMES:
- PROJECT CESCL: \_\_\_\_\_  
PHONE: \_\_\_\_\_



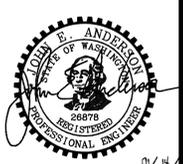
FILE NAME: P:\13369\_AAA WASHINGTON\CAD\SHEETS\P13369\_TESC.DWG  
 SAVE TIME: 1/14/2014 7:48:49 AM  
 PLOT TIME: 1/14/2014 8:02 AM  
 USER NAME: ERIC MAUNDER  
 XREF FILES: PAGE3.AXA

DESIGNED	JA				
DRAWN	EM				
CHECKED	JA				
	SYM	REVISION	DATE	BY	APP'D

11255 Kirkland Way, Suite 300  
 Kirkland, WA 98033  
 p. 425.827.2014 | f. 425.827.5043  
 Civil | Structural | Planning | Survey  
 www.paceengr.com

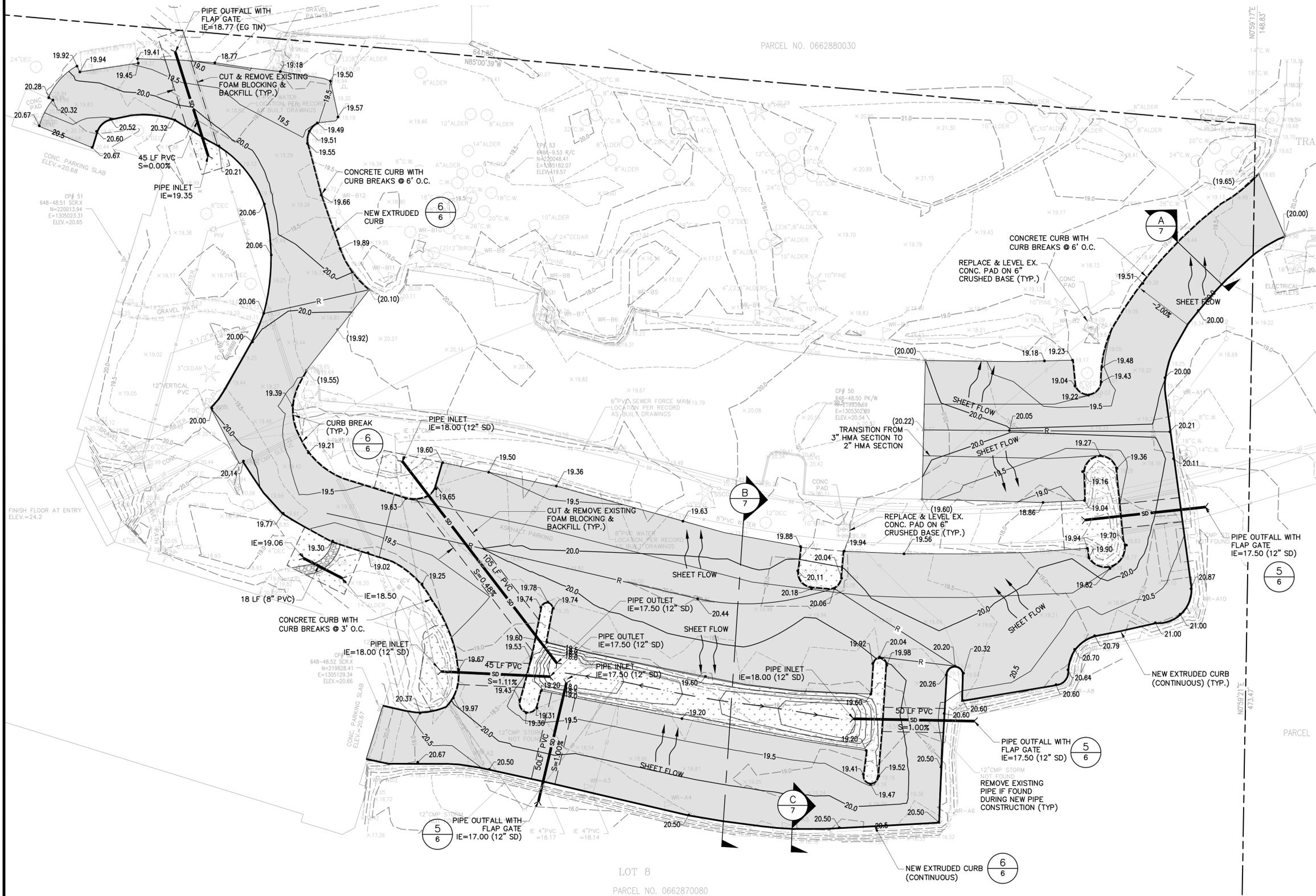
DATE: 10/21/2013  
 SCALE: 1" = 20'

**AAA WASHINGTON**  
 PARKING LOT REPAIR  
 1745 114TH AVE SE  
 TESC AND DEMOLITION PLAN



JOB NUMBER: **13369.00**  
 SHEET NAME: P13369\_TESC  
 SHEET **4** OF **7**

SEC. 5 , T. 24 N, R. 05E, W.M.



**LEGEND**

- SD STORM DRAIN
- NEW PAVEMENT
- EXISTING LANDSCAPING TO BE REPLACED IN KIND
- (XX.XX) EXISTING SPOT GRADE
- XX.XX PROPOSED SPOT GRADE
- R RIDGE LINE

**GENERAL NOTES:**

1. PRIOR TO ORDERING MATERIALS AND CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE PROJECT PLANS AND SITE CONDITIONS AND IDENTIFY IF ANY CONFLICTS EXIST. THE CONTRACTOR SHALL CALL "ONE-CALL" AND IDENTIFY AND ABOVE OR BELOW GRADE FEATURES ARE IN CONFLICT WITH THE PLANS. IF CONFLICTS EXIST CONTACT PACE ENGINEERS (425) 827-2014 WITH THE HORIZONTAL AND VERTICAL LOCATION OF THE CONFLICTS.
2. CONTRACTOR SHALL HAVE A COPY OF THE MOST RECENT CITY OF BELLEVUE DEVELOPMENT MANUAL ON SITE AT ALL TIMES.
3. PVC PIPE SHALL BE SDR 35 WITH JOINTS CONFORMING TO ASTM D3034 AND ASTM F477.
4. ALL UTILITY CUTS AND NEW PAVEMENTS SHALL BE NEAT SAW CUT AND SEALED BY ASPHALT.
5. PLACEMENT AND COMPACTION OF FILL SOILS SHALL BE PER THE RECOMMENDATION OF THE PROJECT'S GEOTECHNICAL CONSULTANT.

**CONSTRUCTION NOISE NOTES:**

- CONSTRUCTION NOISE OUTSIDE THE ALLOWABLE, HOURS IS PROHIBITED PER BCC 9.18.040. TO BE CONSIDERED A VIOLATION, THE CONSTRUCTION-RELATED NOISE MUST BE AUDIBLE ACROSS A PROPERTY LINE OR AT LEAST 75 FEET FROM THE SOURCE. ANY VIOLATION IS A CIVIL INFRACTION AND THE CITY ASSES A MONETARY PENALTY TO THE INDIVIDUAL CREATING THE NOISE. THE PENALTIES ARE:
- A WARNING WILL BE ISSUED IF NO CONSTRUCTION NOISE VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
  - A CITATION WILL BE ISSUED AND A \$125 FINE IMPOSED IF ONE PREVIOUS VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
  - A CITATION WILL BE ISSUED AND A \$250 FINE IMPOSED IF TWO OR MORE PREVIOUS VIOLATIONS HAVE BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
- FOR ALL COMMERCIAL, MULTI-FAMILY, AND NEW SINGLE-FAMILY HOMES, CONSTRUCTION-RELATED NOISE IS ALLOWED:
- 7 AM TO 6 PM ON WEEKDAYS
  - 9 AM TO 6 PM ON SATURDAYS
- CONSTRUCTION-RELATED NOISE IS NOT ALLOWED:
- OUTSIDE OF ALLOWABLE HOURS
  - LEGAL HOLIDAYS
  - SUNDAYS

PROPOSED VOLUME TO EXISTING TIN VOLUME:		
CUT=5.60 Cu. Yd	FILL=890.95 Cu. Yd	NET=885.35 Cu. YD



HORIZ. 0 10 20 40  
Scale In Feet

FILE NAME: P:\13369\_AAA WASHINGTON\CAD\SHEETS\P13369\_GRUT.DWG  
 SAVE TIME: 1/14/2014 8:00:48 AM  
 PLOT TIME: 1/14/2014 8:02:48 AM  
 USER NAME: ERIC MAUNDER  
 XREF FILES: PACE.SHAZ

DESIGNED	JA				
DRAWN	EM				
CHECKED	JA				
SYM		REVISION	DATE	BY	APP'D

11255 Kirkland Way, Suite 300  
 Kirkland, WA 98033  
 p. 425.827.2014 | f. 425.827.5043  
 Civil | Structural | Planning | Survey  
 www.paceengrs.com

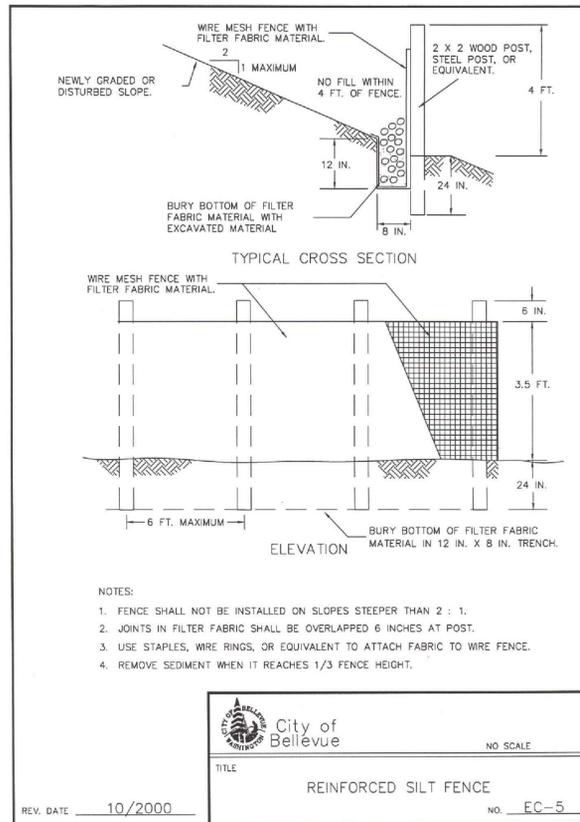
DATE	10/21/2013
SCALE	1" = 20'

**AAA WASHINGTON**  
 PARKING LOT REPAIR  
 1745 114TH AVE SE  
 GRADING AND UTILITY PLAN

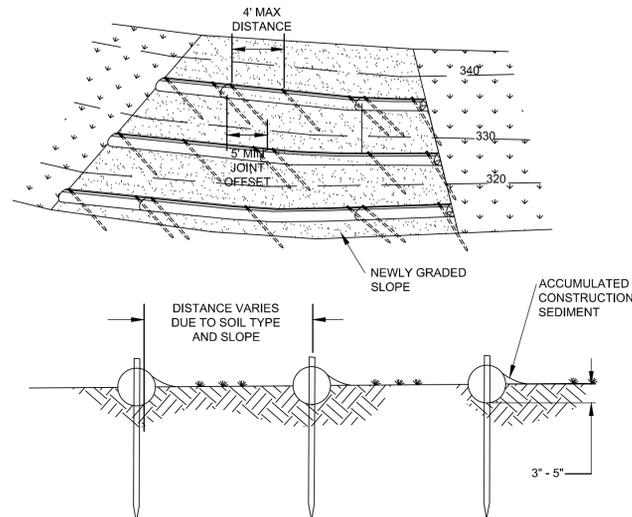
**Call before you Dig.**  
 1-800-424-5555  
UNDERGROUND SERVICE (USA)

**PERMIT SUBMITTAL**

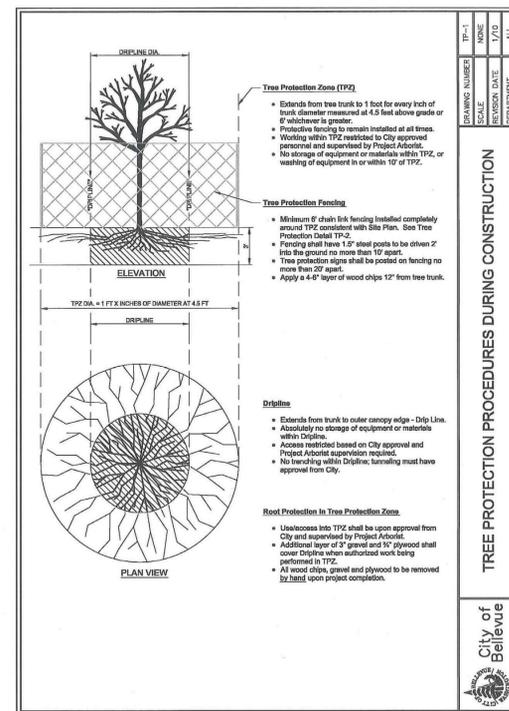
JOB NUMBER  
**13369.00**  
 SHEET NAME P13369\_GRUT  
 SHEET 5 OF 7



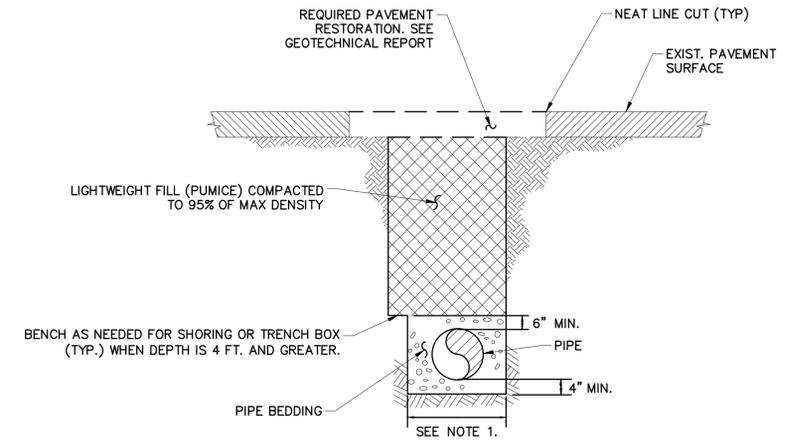
**1 SILT FENCE DETAIL**  
SCALE: NTS



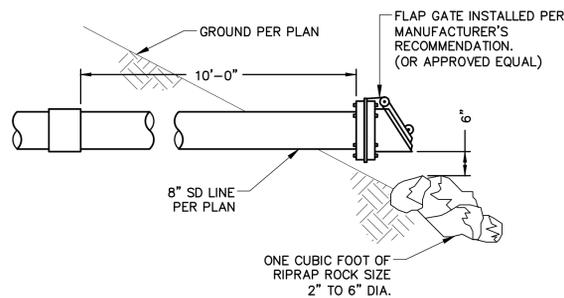
**2 STRAW WATTLE DETAIL, LANDSCAPE AREA**  
SCALE: NTS



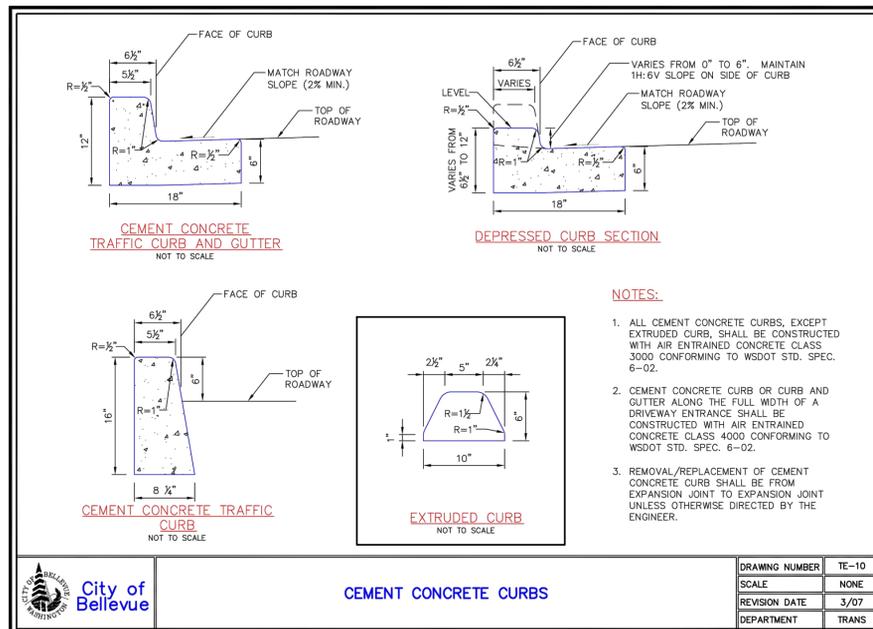
**3 TREE PROTECTION DETAIL**  
SCALE: NTS



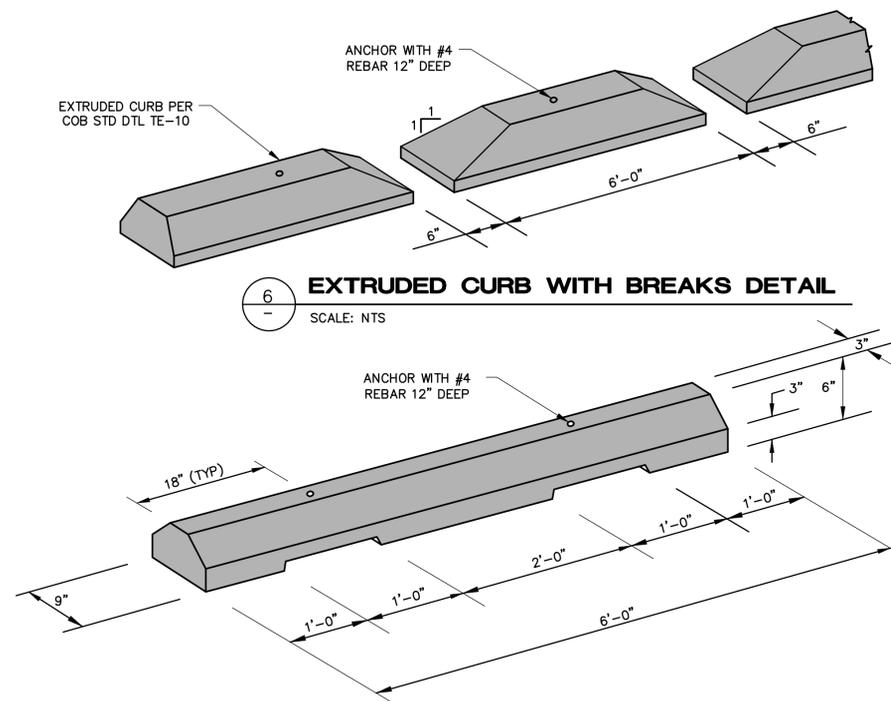
**4 TYPICAL UTILITY TRENCH**  
SCALE: NTS



**5 FLAP GATE DETAIL**  
SCALE: NTS



**6 CONCRETE CURB DETAIL**  
SCALE: NTS



**6 EXTRUDED CURB WITH BREAKS DETAIL**  
SCALE: NTS

**7 CONCRETE WHEEL STOP**  
SCALE: NTS

FILE NAME: P:\13369 AAA WASHINGTON\CAD\SHEETS\P13369\_DTL.DWG  
SAVE TIME: 1/13/2014 5:12:32 PM  
PLOT TIME: 1/14/2014 8:02 AM  
USER NAME: ERIC MAUNDER  
XREF FILES: PAGESHAZ2

DESIGNED	JA				
DRAWN	EM				
CHECKED	JA				
SYM		REVISION		DATE	BY

**PACE**  
An Engineering Services Company

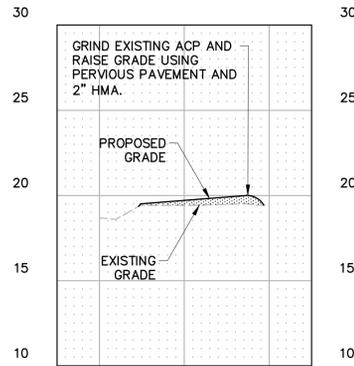
11255 Kirkland Way, Suite 300  
Kirkland, WA 98033  
p. 425.827.2014 | f. 425.827.5043  
Civil | Structural | Planning | Survey  
www.paceengrs.com

DATE	10/21/2013
SCALE	N.A.

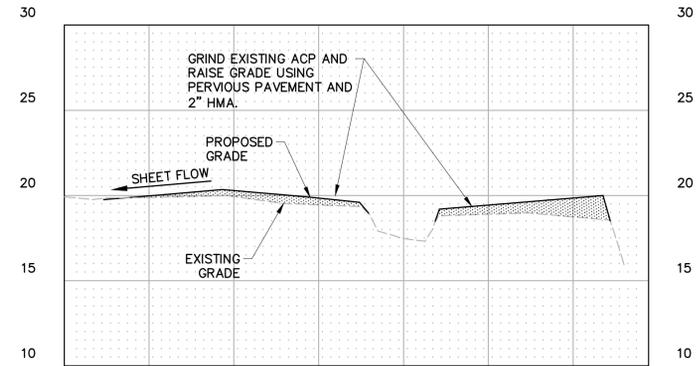
**AAA WASHINGTON**  
PARKING LOT REPAIR  
1745 114TH AVE SE  
GRADING AND UTILITY DETAILS



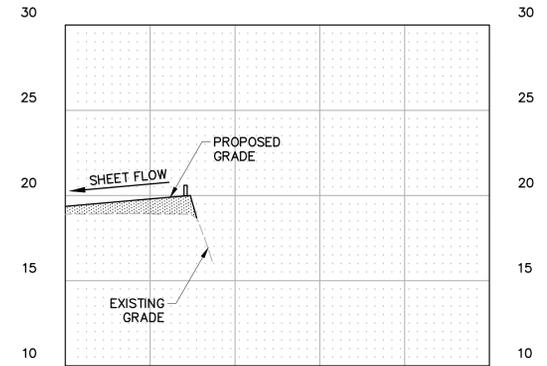
JOB NUMBER	13369.00
SHEET NAME	P13369_DTL
SHEET	6 OF 7



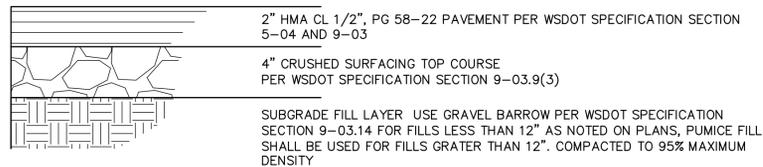
**A** SECTION A



**B** SECTION B

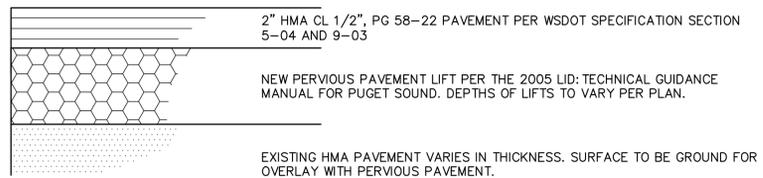


**C** SECTION C



**ASPHALT PAVEMENT SECTION**

LOCATION: ASPHALT REMOVAL AREAS – SCALE: NTS



**ASPHALT PAVEMENT SECTION**

LOCATION: DRIVE LANES – SCALE: NTS

**7** PAVEMENT SECTIONS

SCALE: NTS

FILE NAME: P:\P13\13369\_AAA\_WASHINGTON\CAD\SHEETS\P13369\_DTL.DWG  
 SAVE TIME: 1/13/2014 5:12:32 PM  
 PLOT TIME: 1/14/2014 8:02 AM  
 USER NAME: ERIC MAUNDER  
 XREF FILES: PAGE 2/2

**PACE**  
 An Engineering Services Company  
 11255 Kirkland Way, Suite 300  
 Kirkland, WA 98033  
 p. 425.827.2014 | f. 425.827.5043  
 Civil | Structural | Planning | Survey  
 www.paceengrs.com

DATE  
 10/21/2013  
 SCALE  
 1" = 20'

**AAA WASHINGTON**  
 PARKING LOT REPAIR  
 1745 114TH AVE SE  
 SECTIONS AND DETAILS



JOB NUMBER  
**13369.00**  
 SHEET NAME P13369\_DTL  
 SHEET 7 OF 7

PERMIT SUBMITTAL