



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 450 110th Ave NE., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 13-133321-LN

Project Name/Address: Vasa Short Plat/3423, 3425, 3427 W. Lk Samm Pkwy SE

Planner: Drew Folsom

Phone Number: 425-452-4441/dfolsom@bellevuewa.gov

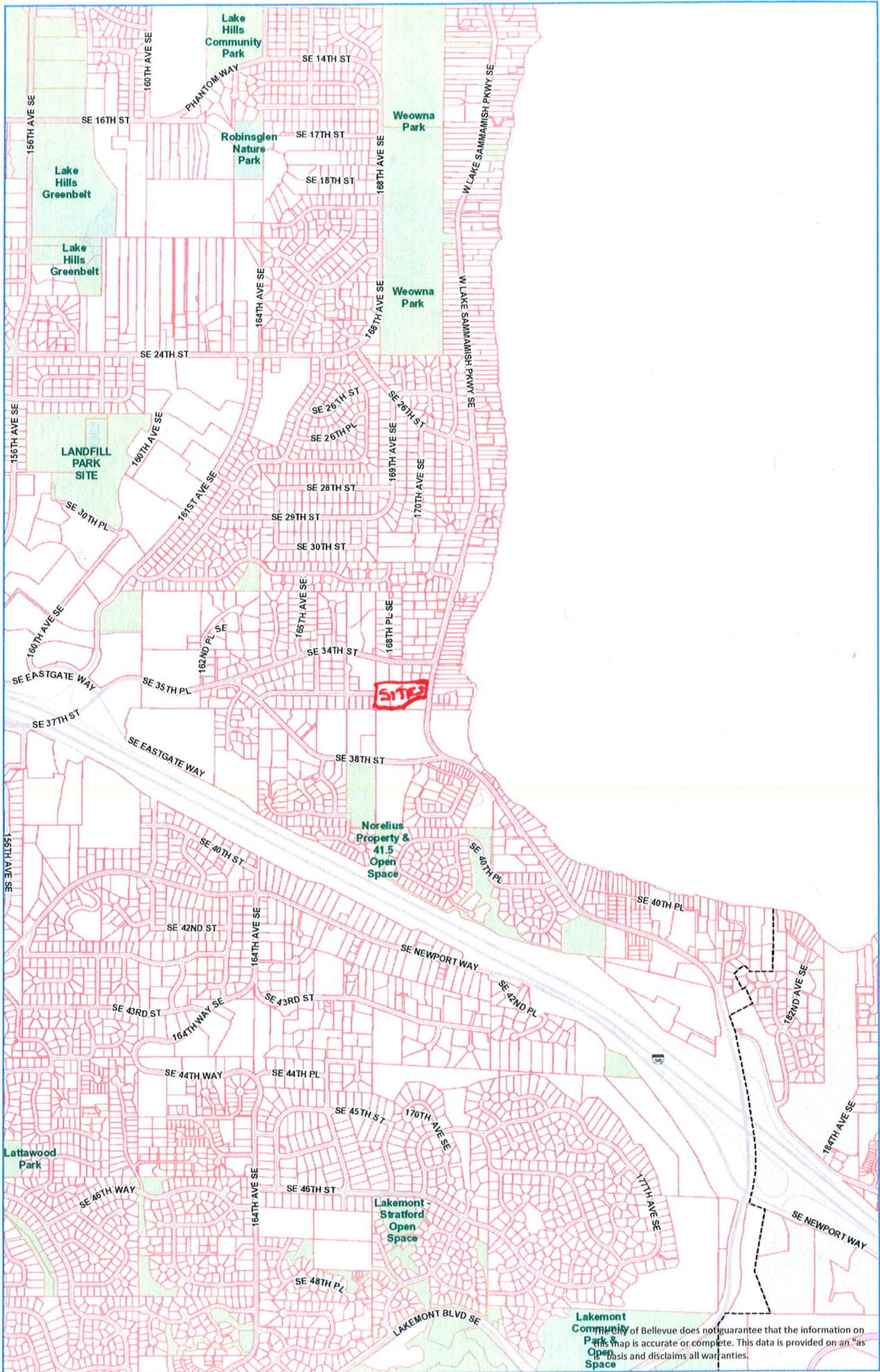
Minimum Comment Period: January 2, 2014

Materials included in this Notice:

- Blue Bulletin
- Checklist
- Vicinity Map
- Plans
- Other:

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife / Stewart.Reinbold@dfw.gov; Christa.Heller@dfw.wa.gov;
- State Department of Ecology, Shoreline Planner N.W. Region / Jobu461@ecy.wa.gov; sepaunit@ecy.wa.gov
- Army Corps of Engineers Susan.M.Powell@nws02.usace.army.mil
- Attorney General ecyolyef@atg.wa.gov
- Muckleshoot Indian Tribe Karen.Walter@muckleshoot.nsn.us; Fisheries.fileroom@muckleshoot.nsn.us



Lakemont Community of Bellevue does not guarantee that the information on this map is accurate or complete. This data is provided on an "as is" basis and disclaims all warranties.

ENVIRONMENTAL CHECKLIST

OCT 29 2013

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

INTRODUCTION**Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

Use of a Checklist for Nonproject Proposals: *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

Attach an 8 1/2" x 11 vicinity map which accurately locates the proposed site.

Estimated date of completion of the proposal or timing of phasing:

Project will be completed within the time allotted for the short plat to record.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

None to our knowledge.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Critical Areas Report by Altmann Oliver Associates, LLC, Geotechnical Study by Earth Solutions Northwest, LLC,

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None to our knowledge

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Preliminary Short Plat Approval, SEPA Determination, Drainage Plan Approval, Water and Sewer Construction Plan Approval, Grading Permit, Final Approval, Residential Building Permits .

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Preliminary Plat or Planned Unit Development
Preliminary plat map

Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

Building Permit (or Design Review)
Site plan
Clearing & grading plan

Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)?

5%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Alluvial Sand (SM, SP and SP-SM), Gravel (GP), Silt (ML) and silty sands (SM)

df 12/12/19

3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

Yes, Lake Sammamish is to the East. Vasa Creek along the south boundary of the property. Stream 1 along the west boundary flows north to south and Wetland A is a category III and Wetland B is a category IV.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

Yes there is a proposed bottomless culvert on Stream 1 and Vasa Creek buffer and Wetland A buffers will be encroached. Please see the wetland determination and mitigation proposal.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

Please see the stream/wetland determination and mitigation proposal included in the submittal.

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

Not applicable

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.
unknown at this time.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No, a public sanitary sewer system will be installed to serve

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

No groundwater will be withdrawn. Public water mains will be installed as part of the plat construction. No water will be discharged to groundwater except through the incidental infiltration of stormwater.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Not applicable. The site will be served by sanitary sewers.

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:
- Birds: hawk, heron, eagle, songbirds, other:
 - Mammals: deer, bear, elk, beaver, other:
 - Fish: bass, salmon, trout, herring, shellfish, other:
- b. List any threatened or endangered species known to be on or near the site.
No threatened or endangered species known to be on or near the site.
- c. Is the site part of a migration route? If so, explain.
Not to our knowledge
- d. Proposed measures to preserve or enhance wildlife, if any:
Per Bellevue Code, the site will retain a minimum of 15% of the existing trees.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.
Electricity and/or natural gas will be the primary source of energy used to provide heating and cooling.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.
No
- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:
The requirements of the Uniform Building Code and the State Energy Code will be incorporated.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.
This project will not generate any environmental health hazards.
- (1) Describe special emergency services that might be required.
None to our knowledge.
- (2) Proposed measures to reduce or control environmental health hazards, if any.
There are no on-site environmental health hazards known to exist today, nor are there any that will be generated as a direct result of this project.
- b. Noise
- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?
The main source of off-site noise in this area originates from the vehicular traffic present on West Lake Sammamish Parkway SE

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.
The preliminary plat contains 8 new single family residences. The new homes are anticipated to be in the middle-income price range.
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.
One (1) existing home will be removed prior to plat construction. The home is in the middle-income price range.
- c. Proposed measures to reduce or control housing impacts, if any:
None, as the current owners are proponents of the project.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?
35'. The exterior building materials may include: wood, hardwood, masonry, cedar shakes, asphalt shingles
- b. What views in the immediate vicinity would be altered or obstructed?
None
- c. Proposed measures to reduce or control aesthetic impacts, if any:
The project will comply with the current zoning of the site and will be similar in style to surrounding homes.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?
Building lighting and exterior lighting and vehicles using the site. Before dawn and evenings.
- b. Could light or glare from the finished project be a safety hazard or interfere with views?
Not to our knowledge.
- c. What existing off-site sources of light or glare may affect your proposal?
Sources from vehicles and street lighting from the adjacent streets and neighborhoods.
- d. Proposed measures to reduce or control light or glare impacts, if any:
Street lighting, when deemed necessary, will be installed in a manner that directs the lighting downward.

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

The need for public service such as fire, health, and police protection will be typical of single family development of this size. The school children originating from the homes in this development will attend the schools in the Bellevue School District.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

The roads and homes will be constructed to meet all applicable standards and codes of the City and the Uniform Building Code. The proposed development will contribute to the local tax base and provide additional tax revenue for the various public services. The impact to the schools, parks and traffic will be mitigated through the payment of impact fees.

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

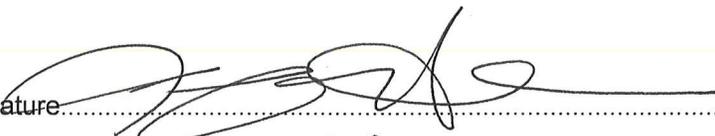
Electricity, Natural Gas, Water, Refuse Service, Telephone, Sanitary Sewer

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

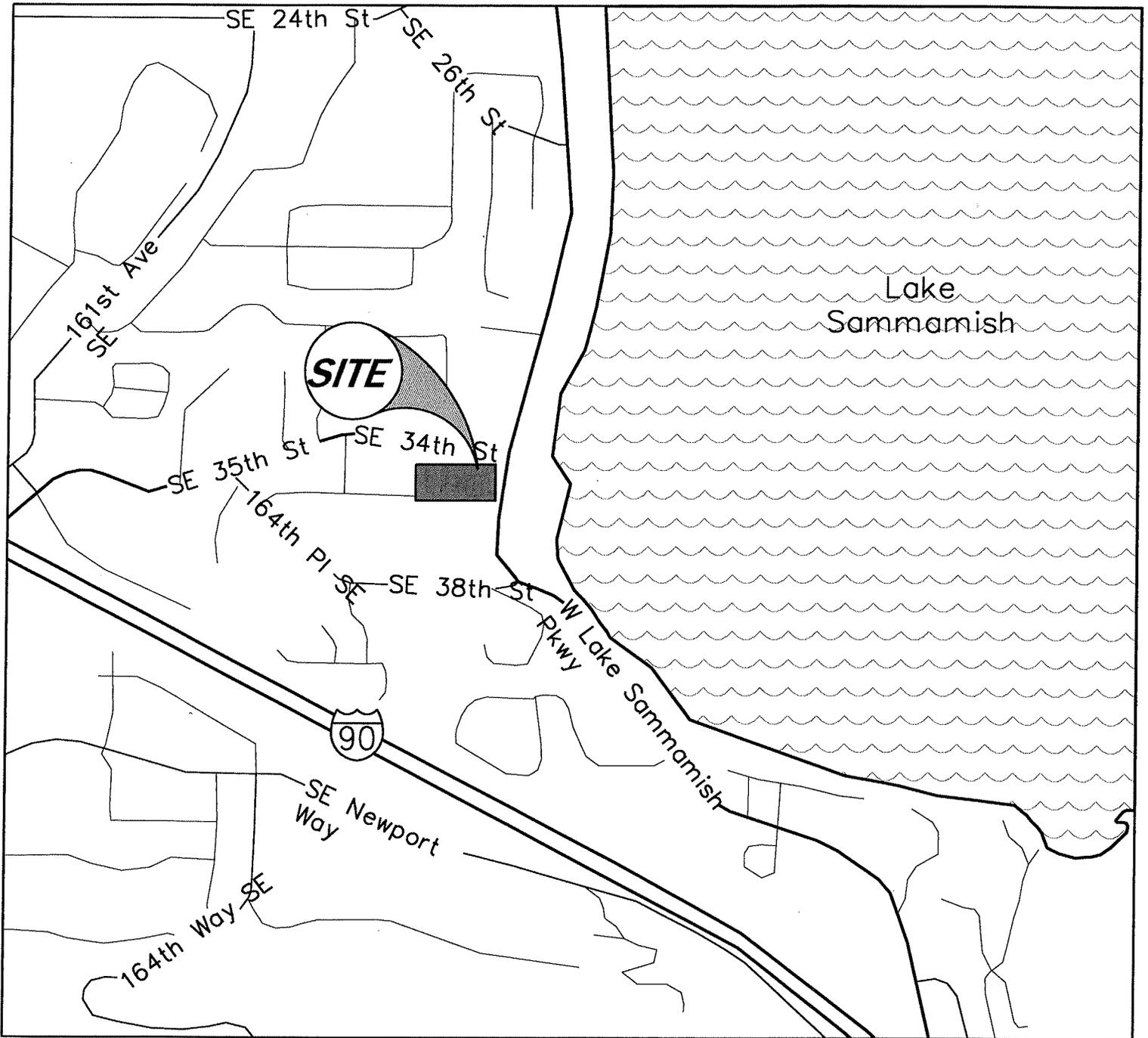
Electricity & Natural gas - Puget Sound Energy. Water/Sewer - City of Bellevue. Refuse - Republic Services. Telephone - Century Link. Cable TV- Comcast.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....
Date Submitted..... 10.28.13

10.7.12/7/13



VICINITY MAP

SCALE: NTS

**CORE DESIGN, INC.
BELLEVUE WA 98007**

Core Project No: 13075
10/29/13

LEGAL DESCRIPTION

PARCEL A:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON BEING THE TRUE NORTH POINT OF BEGINNING;

THENCE NORTH 01°24'03" EAST 297.930 FEET;

THENCE SOUTH 88°23'02" EAST 297.802 FEET;

THENCE ALONG A CURVE TO THE SOUTH AND EAST HAVING A CENTERLINE RADIAL POINT SOUTH 88°23'02" EAST 45.000 FEET AN ARC DISTANCE OF 47.459 FEET;

THENCE SOUTH 47°22'09" WEST 107.279 FEET;

THENCE SOUTH 73°55'26" EAST 59.680 FEET;

THENCE SOUTH 80°07'26" EAST 78.810 FEET;

THENCE SOUTH 06°36'26" EAST 42.170 FEET;

THENCE SOUTH 10°09'34" WEST 70.288 FEET;

THENCE SOUTH 50°24'09" WEST 76.315 FEET

THENCE NORTH 88°21'51" WEST 302.405 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THAT PORTION THEREOF LYING WESTERLY AND NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:
BEGINNING ON THE SOUTH LINE OF GOVERNMENT LOT 3 IN THE SOUTHWEST QUARTER OF SAID SECTION 12 SOUTH 88°21'51" EAST 161 FEET FROM THE SOUTHWEST CORNER THEREOF, SAID POINT BEING HEREINAFTER REFERRED TO AS POINT "A";

THENCE CONTINUING SOUTH 88°21'51" EAST, ALONG SAID SOUTH LINE 141.41 FEET;

THENCE NORTH 50°24'09" EAST 76.32 FEET;

THENCE NORTH 10°09'34" EAST 70.20 FEET;

THENCE NORTH 06°36'26" WEST 42.17 FEET;

THENCE NORTH 80°07'26" WEST 78.81 FEET;

THENCE NORTH 73°55'26" WEST 59.68 FEET;

THENCE NORTH 47°22'09" EAST 107.28 FEET TO THE INTERSECTION OF A CURVE TO THE THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC

AN ARC DISTANCE OF 25.37 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE;
THENCE SOUTH 47°22'09" WEST 130.93 FEET;
THENCE SOUTH 85°13'47" WEST 48.18 FEET;
THENCE SOUTH 01°24'03" WEST 108.09 FEET TO THE ABOVE REFERENCED POINT "A", AND THE TERMINUS OF THE HEREIN DESCRIBED LINE.

PARCEL C:

THAT PORTION OF THE SOUTH 297.96 FEET OF THE NORTH 1324.84 FEET OF GOVERNMENT LOT 3, SECTION 12, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON, LYING WESTERLY OF LAKE SAMMAMISH SHORELINE ROAD, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTH 297.96 FEET;
THENCE SOUTH 88°23'02" EAST ALONG THE NORTH LINE THEREOF 297.802 FEET TO THE TRUE POINT OF BEGINNING;
THENCE ALONG THE ARC OF A CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 88°23'02" EAST 45.000 FEET, AN ARC DISTANCE OF 47.459 FEET;
THENCE SOUTH 47°22'09" WEST 107.279 FEET;
THENCE SOUTH 73°55'26" EAST 59.680 FEET;
THENCE SOUTH 80°07'26" EAST 78.810 FEET;
THENCE SOUTH 06°36'26" EAST 42.170 FEET;
THENCE SOUTH 10°09'34" WEST 70.288 FEET TO THE NORTHWEST LINE OF A TRACT OF LAND CONVEYED TO ALEXINAL L. DEWOLF BY DEED RECORDED UNDER RECORDING NUMBER 5293286;
THENCE NORTHEASTERLY ALONG SAID NORTHWESTERLY LINE TO THE MOST NORTHERLY CORNER OF SAID DEWOLF TRACT;
THENCE EASTERLY PARALLEL WITH THE SOUTH LINE OF SAID NORTH 1324.84 FEET 100 FEET TO THE WEST LINE OF LAKE SAMMAMISH SHORELINE ROAD;
THENCE NORTHERLY ALONG SAID WEST LINE TO A POINT WHICH BEARS SOUTH 88°23'02" EAST FROM THE TRUE POINT OF BEGINNING;
THENCE NORTH 88°23'02" WEST 290.855 FEET TO THE TRUE POINT OF BEGINNING.