



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Seto Residence

Proposal Address: 729 97th Avenue SE

Proposal Description: Land Use approval to construct a driveway in the 50-foot top-of-slope buffer from a steep slope critical area that will serve a new single family residence.

File Number: 13-133282-LO

Applicant: Lisa Lu, Baylis Architects

Decisions Included Critical Areas Land Use Permit
(Process II. 20.30P)

Planner: Reilly Pittman, Land Use Planner

**State Environmental Policy Act
Threshold Determination:** Exempt

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: 
Carol V. Helland, Land Use Director

Application Date: October 28, 2013
Notice of Application Date: November 14, 2013
Decision Publication Date: February 20, 2014
Project Appeal Deadline: March 6, 2014

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Appeal of the Critical Areas Land Use Permit decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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Attachments

1. Project Plans – Enclosed
2. Restoration and Monitoring Plan – In File
3. Project Narrative, Geotech Assessment, Forms, Application Materials – In File

I. Proposal Description

The applicant proposes to construct a new house on a previously undeveloped property. The driveway that is required to serve this property is located within the 50-foot top-of-slope buffer from a steep slope critical area that is located on the property. The construction of a driveway is an allowed use in a critical area buffer under LUC 20.25H.055, provided certain criteria and performance standards are met by the proposal. A Critical Area Land Use Permit is required to approve the proposed driveway and slope buffer reduction. See Figure 1 below for a site plan showing the proposed house and driveway.

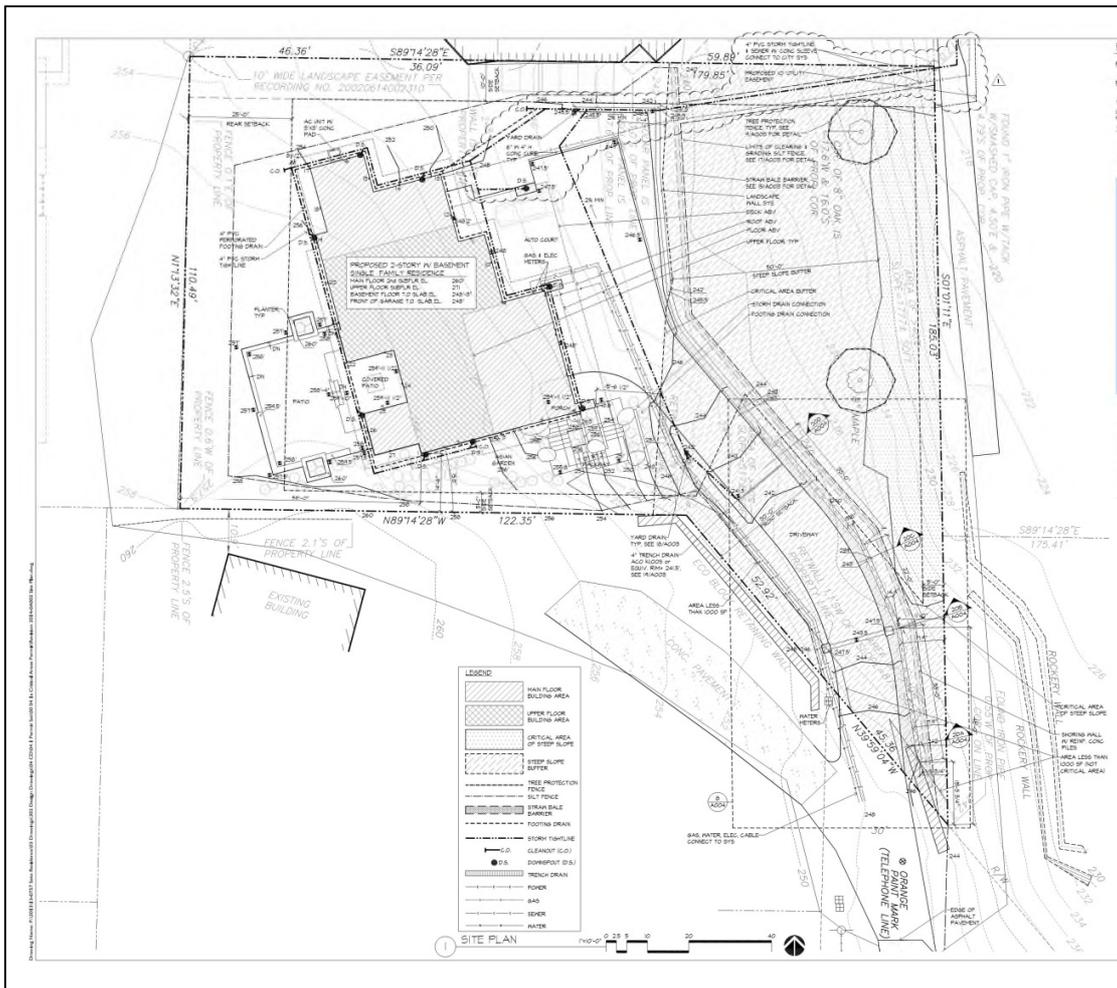


Figure 1

II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The undeveloped property is located within the Southwest Bellevue subarea. The property is zoned residential and is surrounded by other developed residential properties. The steep slopes on the site, which are protected by the buffer proposed for modification, are found along the east property line. The site generally slopes down from west to east. The property is shaped like a flag and the only location where the lot has public street frontage is

on the small triangular piece where the driveway is proposed. See figure 2 for existing site condition.

Figure 2



B. Zoning

The property is zoned R-1.8, single family residential.

C. Land Use Context

The property has a Comprehensive plan Land Use Designation of SF-L (Single Family Low Density).

D. Critical Areas On-Site and Regulations

i. Geologic Hazard Areas

Geologic hazards pose a threat to the health and safety of citizens when commercial, residential, or industrial development is inappropriately sited in areas of significant hazard. Some geologic hazards can be reduced or mitigated by engineering, design, or modified construction practices. When technology cannot reduce risks to acceptable levels, building in geologically hazardous areas is best avoided (WAC 365-190).

Steep slopes may serve several other functions and possess other values for the City and its residents. Several of Bellevue’s remaining large blocks of forest are located in steep slope areas, providing habitat for a variety of wildlife species and important linkages between habitat areas in the City. These steep slope areas also act as conduits for groundwater, which drains from hillsides to provide a water source for the City’s wetlands and stream systems. Vegetated steep slopes also provide a visual amenity in the City, providing a “green” backdrop for urbanized areas enhancing property values and buffering urban development.

III. Consistency with Land Use Code Requirements:

A. Zoning District Dimensional Requirements:

The R-1.8 zoning requirements are reviewed in the table below.

i. Zoning Table

BASIC INFORMATION		
Zoning District	R-1.8	
Site Area	22,412 square feet	
Critical Areas Square Feet	1,796 square feet	
ITEM	REQ'D/ALLOWED	PROPOSED
Building Setbacks Front Yard/Easement Rear Yard Min. Side Yard 2 Side Yard	30 feet 25 feet 5 feet 15 feet	Meets Required Setbacks See setback layout per file 13-122139-DC
Maximum in Building Height	35 feet for Pitched Roof 30 feet for Flat Roof Measured from AEG	Meets height 30 foot height limit for flat roof house To be verified at building permit No walls allowed in any setback that are greater than 30 inches high unless approved by Land Use. The proposed walls associated with the driveway are within the setbacks and are allowed as there is no other feasible means to obtain access.
Maximum Façade Height	40 feet	40 feet or less
Maximum Lot Coverage by Structure	35% of net Lot Area $\frac{.35 \times 20,616}{7215.6 \text{ SF}}$	3,356 SF or 16.3 Percent To be verified at building permit
Maximum Impervious Surface Coverage	50% of Lot Area $\frac{.50 \times 22,412}{11,206 \text{ SF}}$	8,095 square feet or 39.3 Percent To be verified at building permit

Maximum Floor Area Ratio	.5 or 50 Percent $\frac{22,412 \times .5}{11,206 \text{ SF}}$	6,158 or 27%
Tree Retention	30% of diameter inches	Met per tree retention proposed

B. Critical Areas Requirements LUC 20.25H:

The City of Bellevue Land Use Code Critical Areas Overlay District (LUC 20.25H) establishes performance standards and procedures that apply to development on any site which contains in whole or in part any portion designated as critical area, critical area buffer or structure setback from a critical area or buffer. The project proposes to construct a new driveway and associated improvements in a 50-foot top of slope buffer which is an allowed use provided the conditions in LUC 20.25H.055.C.2 are met and the performance standards for construction in a geologically hazardous area in LUC 20.25H.125 are followed.

i. Consistency with LUC 20.25H.055.C.2

New or expanded facilities and systems are allowed within the critical area or critical area buffer only where no technically feasible alternative with less impact on the critical area or critical area buffer exists. A determination of technically feasible alternatives will consider:

- 1. The location of existing infrastructure;**
- 2. The function or objective of the proposed new or expanded facility or system;**
- 3. Demonstration that no alternative location or configuration outside of the critical area or critical area buffer achieves the stated function or objective, including construction of new or expanded facilities or systems outside of the critical area;**
- 4. Whether the cost of avoiding disturbance is substantially disproportionate as compared to the environmental impact of proposed disturbance; and**
- 5. The ability of both permanent and temporary disturbance to be mitigated.**

The configuration of the lot and the location of the public street frontage is the primary reason that driveway is position where it is within the buffer. There is no alternative location to place the driveway that connects to the public street and is not within the slope buffer. Avoidance of the buffer is not possible and the width of the area to be disturbed to build the driveway and supporting wall could only be reduced slightly in width and would not have a substantial reduction of the buffer intrusion. The cost of avoiding the disturbance is substantially disproportionate compared to the environmental impact proposed to the slope buffer which is currently disturbed by invasive plants and prior grading activities. The proposed restoration plan restores 2,860 square feet of buffer area with native planting, which is more than the permanent impact proposed. A

further 1,938 square feet of the buffer will have invasive plants remove and be reseeded with a native plant mix. Almost all of the remaining slope buffer below the proposed development will be restored with native planting that improves the condition of the buffer.

ii. Consistency With LUC 20.25H.125

Development within a landslide hazard or steep slope critical area or the critical area buffers of such hazards shall incorporate the following additional performance standards in design of the development, as applicable. The requirement for long-term slope stability shall exclude designs that require regular and periodic maintenance to maintain their level of function.

The proposed site development is not with any steep slope and avoids any modification to steep slope critical areas. The proposed wall along the eastern edge of the driveway is a pile supported construction which will avoid the temporary disturbance cause by excavation associated with typical wall construction. The geotech for the project found that the construction will not adversely affect the overall stability of the existing slope. The proposed wall allows the maintenance of existing grades within the slope buffer. The foundation of the house is not built on steep slopes and does not need to meet performance standards for structures being constructed on steep slopes such as foundation wall retention or stepped or pole supported foundations.. All temporary and permanent disturbance is being restored per the project restoration planting plan.

IV. Public Notice and Comment

Application Date:	October 28, 2013
Public Notice (500 feet):	November 14, 2013
Minimum Comment Period:	December 2, 2013

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin and Seattle Times on November 14, 2013. It was mailed to property owners within 500 feet of the project site. No comments were received.

V. Summary of Technical Reviews

A. Clearing and Grading

The Clearing and Grading Division of the Development Services Department has reviewed the proposed site development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff approved the application.

VI. State Environmental Policy Act (SEPA)

The proposed house is exempt from SEPA in WAC 197-11-800 and no work is proposed within a critical area.

VII. Changes to Proposal Due to Staff Review

Staff required changes to the proposed planting in order to have sufficient plant density and ask for clarifications to meet code requirements.

VIII. Decision Criteria

A. 20.30P.140 Critical Area Land Use Permit Decision Criteria – Decision Criteria

The Director may approve, or approve with modifications an application for a Critical Area Land Use Permit if:

1. **The proposal obtains all other permits required by the Land Use Code;**
The applicant must obtain a building permit and any other permits required. **See Conditions of Approval in Section X of this report.**
2. **The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;**
The proposal will restore the slope buffer with native vegetation which will improve the functions expected from a buffer.
3. **The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and ;**
As discussed in Section III of this report, the applicable performance standards of LUC Section 20.25H are being met.
4. **The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;**
The property is served by adequate public facilities.
5. **The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and**
The mitigation planting is sufficient to meet the requirements for restoration planting. The planting will be maintained and monitored for a period of five years. Maintenance will be performed by a landscape contractor. The monitoring reporting will be performed by a landscape architect or the property owner with annual reports submitted once a year. The reports shall include a copy of the approved plan and photographs and written narrative regarding the success the planning has had in regards to the goals and performance standards found in the submitted mitigation report.
6. **The proposal complies with other applicable requirements of this code.**
As discussed in this report, the proposal complies with all other applicable requirements of the Land Use Code.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the construction of the proposed driveway and associated improvements with the 50-foot steep slope buffer. **Approval of this Critical Areas Land Use Permit does not constitute a**

permit for construction. A building permit, clear and grade permit, and/or utility permit is required and all plans are subject to review for compliance with applicable City of Bellevue codes and standards.

Note- Expiration of Approval: In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a clearing and grading permit or other necessary development permits within one year of the effective date of the approval.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC Title 20	Reilly Pittman, 425-452-4350
Noise Control- BCC 9.18	Reilly Pittman, 425-452-2973

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

- 1. Building Permit:** Approval of this Critical Areas Land Use Permit does not constitute an approval of a development permit. Application for a building permit or other required permits must be submitted and approved. Plans submitted as part of either permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

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- 2. Restoration Planting:** The proposed restoration planting is required to be installed as found on the approved planting plan. Modifications to plant species and location can be considered if supply is limited or due to unforeseen circumstances. Inspection of the planting is required by Land Use as part of the building permit inspection process.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

- 3. Maintenance and Monitoring:** The planting area shall be maintained and monitored for 5 years as required by LUC 20.25H.220. Annual monitoring reports are to be submitted to Land Use each of the five years. Photos from selected photo points will be included in the monitoring reports to document the planting. The reports are required to document

the success of the planting per the goals and standards in the restoration management plan in the project file.

Annual monitoring reports are to be submitted to Land Use each of the five years. The reports, along with a copy of the planting plan, can be sent to Reilly Pittman at rpittman@bellevuewa.gov or to the address below:

Environmental Planning Manager
Development Services Department
City of Bellevue
PO Box 90012
Bellevue, WA 98009-9012

Authority: Land Use Code 20.30P.140; 20.25H.220
Reviewer: Reilly Pittman, Development Services Department

- 4. Maintenance Assurance Device:** A maintenance assurance device in an amount equal to 20% of the cost of labor and materials in an amount of \$6,320.00 for the maintenance and monitoring shall be held for a period of five years from installation. Release of this assurance device is contingent upon receipt of documentation reporting successful establishment in compliance with the approved management plan. Land Use inspection of the planting after 5-years is required to release the surety. The maintenance surety is required to be submitted prior to building permit issuance.

Authority: Land Use Code 20.25H.220
Reviewer: Reilly Pittman, Development Services Department

- 5. Land Use Inspection:** Following installation of the mitigation planting the applicant shall contact Land Use staff to inspect the planting area prior to final building inspection. Staff will need to find that the plants are in a healthy and growing condition. Land Use inspection is also required to release the maintenance surety at the end of the 5-year monitoring period. Release of the maintenance surety is contingent upon successful monitoring and maintenance and submittal of the annual monitoring reports.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

- 6. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18

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Reviewer: Reilly Pittman, Development Services Department

ENERGY CODE

CALCULATION BASED ON Chapter 51-11R MAC STATE BUILDING CODE ADOPTION AND AMENDMENT OF THE 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE, RESIDENTIAL

PRESCRIPTIVE REQUIREMENTS

TABLE R402.1.1 FOR CLIMATE ZONE 4C

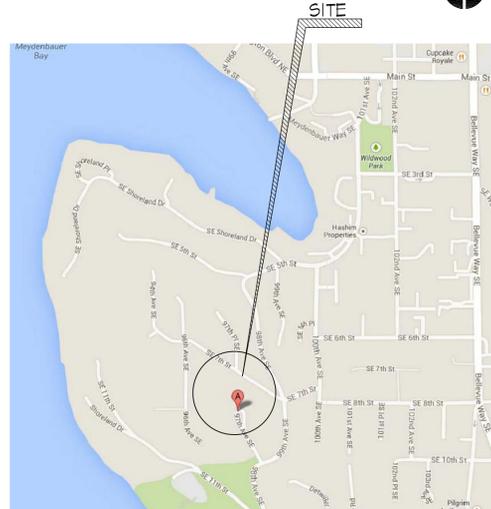
FENESTRATION (GLAZING) U-FACTOR MAX	0.30
SKYLIGHT U-FACTOR MAX	0.50
GLAZED FENESTRATION SHGC	NOT REQ'D
ATTIC CEILING R-VALUE	R-44
VAULTED CEILING R-VALUE	R-30
WOOD FRAME WALL R-VALUE	R-21
MASS WALL R-VALUE	R-21
FLOOR R-VALUE	R-30
BELOW-GRADE WALL - EXT CONT INSUL	R-10
BELOW-GRADE WALL - INT CONT INSUL	R-15
BELOW-GRADE WALL - CAVITY INSUL	R-21 + TB*
SLAB R-VALUE & DEPTH	R-10, 2 ft

*TB- THERMAL BREAK

VICINITY MAP

129 4TH AVENUE SE BELLEVUE, WASHINGTON 98004

N.T.S.



GENERAL NOTES

- GENERAL NOTES DO NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES DOCUMENTED IN AIA FORM A201 GENERAL CONDITIONS AND SUPPLEMENTAL GENERAL CONDITIONS OR INFORMATION CONTAINED WITHIN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS.

CODES

3. ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND ORDINANCES. IN ANY CONFLICT WHERE THE METHOD OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE APPLICABLE CODE OR ORDINANCES, THE CODE OR ORDINANCES SHALL GOVERN. IN THE EVENT THIS OCCURS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CURRENT EDITIONS OF THE CODE ARE LISTED HERE FOR GENERAL REFERENCE, BUT DO NOT RELEASE THE CONTRACTOR FROM CONFORMING TO ALL APPLICABLE BUILDING CODES AND ORDINANCES AND THEIR SUBSEQUENTS.

APPLICABLE CODES PER CITY OF BELLEVUE REQUIREMENTS:

- 2009 INTERNATIONAL BUILDING CODE (IBC) - MAC 51-50
- 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) - MAC 51-51
- 2009 INTERNATIONAL MECHANICAL CODE (IMC) - MAC 51-52
- 2009 INTERNATIONAL FUEL GAS CODE (IFGC) - MAC 51-52
- 2009 INTERNATIONAL FIRE CODE (IFC) - MAC 51-54

SUPPLEMENTAL CODES INCLUDE:

- 2012 WASHINGTON STATE ENERGY CODE, Chapter 51-11R MAC
- 2008 UNIFORM PLUMBING CODE & STANDARDS - MAC 51-56 AND MAC 51-57
- 2008 NATIONAL FUEL GAS CODE (NFCC) - MAC 51-52
- 2008 NFPA 54, NATIONAL FUEL GAS CODE - MAC 51-52
- 2008 EDITION OF NFPA 58, LIQUEFIED PETROLEUM GAS CODE-MAC 51-52

CONSULTANT'S DRAWINGS:

4. CONSULTANT DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL ARE SUPPLEMENTARY TO THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES IDENTIFIED BETWEEN THE CONSULTANT DRAWINGS WITH A WRITTEN REQUEST FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION:

5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF A SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT.

6. THE CONTRACTOR SHALL INVESTIGATE EXISTING CONDITIONS BEFORE BEGINNING WORK.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT INDICATED IN THE CONTRACT DOCUMENTS, AND PROVIDED BY OTHERS.

8. THE CONTRACTOR SHALL PROVIDE ALL BLOCKING, BUCK-OUTS, BACKING AND JACKS AS REQUIRED FOR THE WORK, UNLESS NOTED OTHERWISE.

9. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR INSPECTING THE WORKMANSHIP OF SUBCONTRACTORS PRECEDING. DISCREPANCIES IN PRECEDING WORK SHALL BE REPORTED TO THE CONTRACTOR IMMEDIATELY. FAILURE TO DO SO IN A TIMELY MANNER SHALL BE CONSTRUED AS ACCEPTANCE OF THAT WORK.

10. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK CAUSED BY THE SUBCONTRACTOR, ITS AGENTS, OR EMPLOYEES. SUBCONTRACTOR SHALL REPAIR SAID DAMAGE AT THE SUBCONTRACTOR'S EXPENSE.

DRAWING STANDARDS / DIMENSIONS:

- DO NOT SCALE DRAWINGS; USE WRITTEN DIMENSIONS. IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY CLARIFY SAID CONDITION WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN REPRESENTED TO THE BEST KNOWLEDGE OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES THAT WOULD EFFECT THE CONSTRUCTION OF THE PROJECT BEFORE STARTING THE WORK.
- DIMENSIONS ARE TO THE FACE OF FRAMING, FACE OF CONCRETE, GRID LINES, OR CENTERLINE OF COLUMNS, DOORS AND WINDOWS UNLESS NOTED OTHERWISE.
- VERIFY SIZE AND LOCATION OF AND PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, ANCHORS, INSERTS, ROUGH BLOCKS AND BACKING FOR SURFACE MOUNTED ITEMS.
- PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND ELECTRICAL IN ALL FINISHED AREAS.
- ALL SWING DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 4" FROM FACE OF STUD TO EDGE OF ROUGH OPENINGS OR CENTERED BETWEEN ROOM PARTITIONS AS SHOWN.
- PLANS ARE DRAWN ASSUMING THE FOLLOWING ROUGH OPENINGS:
SWINGING DOORS: NOMINAL SIZE +2"
BIFOLD DOORS: NOMINAL SIZE +1 1/2"
BI-PASS DOORS: NOMINAL SIZE +0"
WINDOWS: NOMINAL SIZE +0"
- PROVIDE CAULKING BETWEEN SOLE PLATES AND SUBFLOOR AND BETWEEN RIM JOISTS AT BOTH TOP PLATE AND SUBFLOOR.
- SAFETY GLAZING: WINDOW MFR. SHALL PROVIDE TEMPERED SAFETY GLAZING WHERE REQUIRED BY W.S.B.C. SECTION 2406.
- SKYLIGHTS SHALL COMPLY WITH W.S.B.C. 2409.
- REFER TO ARCHITECT'S STANDARDS FOR SYMBOLS AND ABBREVIATIONS FOR CLARITY OF DRAWINGS. IF A SYMBOL OR ABBREVIATION IS IDENTIFIED ON THE ARCHITECTURAL DRAWINGS THAT IS IN DISCREPANCY WITH THE STANDARDS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.
- DEFERRED SUBMITTALS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDER DESIGN AND FOR SUBMITTING DRAWINGS AND/OR SPECIFICATIONS TO THE CITY OF BELLEVUE AS DEFERRED SUBMITTALS FOR THE FOLLOWING:
-PLUMBING
-HVAC, MECHANICAL SYSTEMS
-AUTOMATIC SPRINKLER SYSTEMS
THESE SUBMITTALS SHALL BE PROVIDED TO THE CITY PRIOR TO COMMENCING ANY WORK ON THE SYSTEM.
- ALL FASTENERS, CONNECTORS & HANGERS IN CONTACT WITH PRESERVATIVE-TREATED WOOD ARE REQUIRED TO BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153 OR BE STAINLESS STEEL.

SETO RESIDENCE



MECHANICAL & ENERGY NOTES

- ALL GLAZING SHALL BE TRIPLE GLAZED PER SPECIFICATIONS.
- ALL METAL DUCT JOINTS TO BE SEALED WITH DUCT SEALANT AND TESTED.
- ALL OPENINGS IN THE EXTERIOR WALLS SHALL BE SEALED OR WEATHERSTRIPPED AS APPROPRIATE TO LIMIT AIR LEAKAGE.
- BATT INSULATION SHALL BE CAREFULLY INSTALLED TO AVOID TEARING OR RIPPING THE VAPOR BARRIER. ALL JOINTS (BETWEEN BATT SPLICES) AND TEARS SHALL BE SEALED WITH DUCT TAPE (OR OTHER APPROVED MATERIAL).
- SHOWERS SHALL BE EQUIPPED WITH FLOW-CONTROL DEVICES THAT LIMIT TOTAL FLOW TO A MAXIMUM OF 2.5 GPM PER SHOWERHEAD.
- FACTORY-BUILT WINDOWS SHALL BE RATED AND TESTED BY THE ASTM STANDARD E 283-T8 LISTING AIR LEAKAGE RATES.
- R-10 DUCT INSULATION REQUIREMENTS PER WSECC TABLE 5-11.
- ALL FAN DUCTS TO BE SMOOTH WALL 26-GAUGE OR HEAVIER.
- FUEL FOR WATER AND SPACE HEATING SHALL BE GAS.
- SERVICE WATER HEATER SHALL HAVE A LABEL WHICH STATES THAT IT COMPLIES WITH 1987 THE NATIONAL APPLIANCE ENERGY CONSERVATION ACT
- ALL WATER SERVICE PIPING SHALL BE THERMALLY INSULATED IN ACCORDANCE WITH LOCAL CODE.
- CONTINUOUS APPROVED VAPOR BARRIERS SHALL BE INSTALLED ON THE HEATED SIDE OF ALL INSULATION INSTALLED.
- ONLY ONE DUCT IS ALLOWED PER JOIST BAY FOR BATH, KITCHEN OR LAUNDRY ROOM VENT FANS.
- ALL HVAC AND MECHANICAL CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE WSECC AND VIAC REGULATIONS.
- ALL AIR DUCTS, DRYER EXHAUST VENTS AND DUCTS, OUTSIDE COMBUSTION AIR, FLUES, PLUMBING WASTE, ELECTRIC LIGHT RECESSED CANS AND BOXES MUST MAINTAIN THE INTEGRITY OF FIRE-RESISTIVE ASSEMBLIES. REF. WSECC 104, 104.1, 110 AND 113, UFC AND CITY OF SEATTLE STANDARDS.
- DISHWASHER MUST BE PROVIDED WITH AN ATMOSPHERIC AIR GAP MOUNTED ABOVE THE FLOOD LEVEL RIM OF SINK.
- HOT WATER TANKS MUST BE PROVIDED WITH ALL OF THE FOLLOWING:
a) BE SECURED TO PREVENT SEISMIC DISPLACEMENT
b) BE PROVIDED WITH A PRESSURE RELIEF VALVE DISCHARGING TO THE EXTERIOR OF THE BUILDING TERMINATING 6" TO 24" ABOVE THE GROUND.
c) BE PROVIDED WITH A THERMAL EXPANSION TANK SIZED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ELECTRIC RESISTANCE HEAT IS NOT ALLOWED.
- ENCLOSURES AT HOT WATER TANKS AND FURNACES MUST BE PROVIDED WITH OUTSIDE AIR AND THERMALLY ISOLATED TO SAME STANDARDS AS EXTERIOR ENVELOPE WITH TIGHT-FITTING U-0.40 DOOR.
- IF THE WATER HEATER HAS A NONRIGID WATER CONNECTION AND IS OVER 4' IN HEIGHT IT MUST BE ANCHORED OR STRAPPED TO RESIST EARTHQUAKE MOTION
- INSTALL BACKWATER VALVE AT BASEMENT LEVEL AS REQUIRED TO PREVENT SEWERAGE BACKUPS PER UPS 1101

PROJECT TEAM

OWNER

RON CHIHANG & MAY SETO
12800 GAMING MIDDY LANE
LOS ALTOS HILLS, CA 94022
CONTACT: MAY SETO
EMAIL: msrcc@pacbell.net

STRUCTURAL

BTL ENGINEERING
17924 140th AVE NE, STE 220
WOODINVILLE, WA 98072
PHONE: (425) 814-8448
FAX: (425) 821-2120
CONTACT: BRIAN LAMPE
EMAIL: Lampe@btlong.net

GEOTECHNICAL

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3256 NE 20TH SUITE 16
BELLEVUE, WA 98005
PHONE: (425) 747-5610
FAX: (425) 747-8561
CONTACT: Marc R. McGinnis
EMAIL: MarcM@geotechn.com

ARCHITECT

BAYLIS ARCHITECTS
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(425) 454-0566
FAX: (425) 453-8013
CONTACT: LISA LU
EMAIL: lu@baylisarchitects.com

CONTRACTOR

Design Build Homes of WA, Inc.
10001 NE 8th Street, Suite 201
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CELL: 425-890-2864
CONTACT: JOEL GLASS
EMAIL: joelg@designbuildhomes.com

SURVEYOR

CRONES LAND SURVEYING
23806 190TH AVE SE
COVINGTON, WA 98042
PHONE: (425) 492-5430
FAX: (877) 471-8175
CONTACT: JOHN BENTLER
EMAIL: john@crones.com

PROJECT DATA

PROJECT NAME: SETO RESIDENCE
SINGLE FAMILY RESIDENCE
PROJECT ADDRESS: 129 4TH AVENUE SE
BELLEVUE, WASHINGTON 98004

PROJECT LEGAL DESCRIPTION

LOT 16, BLOCK 1, MEYDENBAUER HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 69 OF PLATS, PAGE 71, RECORDS OF KING COUNTY, WASHINGTON.

TAX PARCEL #: 5491700160
JURISDICTION: CITY OF BELLEVUE, WA
LAND USE ZONING: R-1B
OCCUPANCY GROUPS: R-3 SINGLE FAMILY RESIDENCE
TYPE OF CONSTRUCTION: V
OCCUPANCY SEPARATIONS: ONE HOUR BETWEEN GARAGE & RESIDENCE

PROJECT SCOPE OF WORK

TO CONSTRUCT A NEW 2-STORY SINGLE-FAMILY HOUSE WITH A DAYLIGHT BASEMENT AND ATTACHED 3-CAR GARAGE

PROPOSED SQ. FT CALCULATION

HEATED AREAS	UNHEATED AREAS
MAIN FLOOR 2,711 SF	GARAGE 496 SF
LOWER FLOOR 291 SF	STOR/MECH/EQUIP 545 SF
UPPER FLOOR 1,301 SF	UNFINISHED BONUS 742 SF
TOTAL 4,303 SF	TOTAL 2,283 SF

OTHER AREAS

DECK @ MAIN FLOOR 500 SF
ENTRY PORCH 74 SF
PATIO 437 SF
DECK @ UPPER FLOOR 115 SF

NET LOT SIZE CALCULATION

LOT SIZE 22,412 SF
CRITICAL AREAS (40% SLOPE & >1,000 SF & > 10 FT) 1,746 SF
LOT NET AREA (NOT INCLUDE CRITICAL AREA) 20,616 SF

LOT COVERAGE CALCULATION

TOTAL LOT COVERAGE ALLOWED (35%): 20,616 x 0.35 = 7,216 SF
TOTAL PROPOSED STRUCTURE AREAS 3,356 SF (16.3%) < 7,216 SF(35%)... OK
SEE 0/A003 FOR DETAIL BREAKDOWN & DIAGRAM

IMPERVIOUS SURFACE COVERAGE CALCULATION

TOTAL IMPERVIOUS COVERAGE ALLOWED (50%): 20,616 x 0.5 = 10,308 SF
TOTAL PROPOSED IMPERVIOUS SURFACES 8,045 SF (39.3%) < 10,308 SF(50%)... OK
SEE 0/A003 FOR DETAIL BREAKDOWN & DIAGRAM

F.A.R. CALCULATION

NET AREAS
MAIN FLOOR 2,573 SF F.A.R. 6,150 SF / 20,616 SF = 29.8%
LOWER FLOOR 2,360 SF
UPPER FLOOR 1,217 SF
TOTAL 6,150 SF

BUILDING HEIGHT CALCULATION

AVERAGE EXIST GRADE ELEVATION = 253.56', SEE A002 FOR DETAIL
ALLOWED BUILDING HEIGHT ELEVATION = 253.56' + 30' = 283.56'
PROPOSED HIGHEST POINT OF ROOF 282.83' < 283.56' ... OK

LIST OF DRAWINGS:

A001	COVER SHEET
A002	SITE PLAN & CSNPPPP
A003	LANDSCAPE PLAN & SITE DIAGRAM & ESC/SITE DETAILS & CSNPPPP NOTES
A004	SHORING/RETAINING & SITE ENTRANCE PLAN & SECTIONS & ELEVATIONS
A005	SITE SLOPE CATEGORIES PLAN
-	SURVEY
-	STRUCTURAL
SH1	GENERAL SHORING NOTES & DETAILS
SH2	SITE STABILIZATION PLAN & ELEVATION



BRIAN BRAND

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SETO RESIDENCE
BELLEVUE WASHINGTON

PROJECT NUMBER: 13-0757
PROJECT MANAGER: F.L.
DRAWN BY: F.L.
PLOT DATE: Oct 28, 2013 - 11:29am

DATE: 10-28-2013

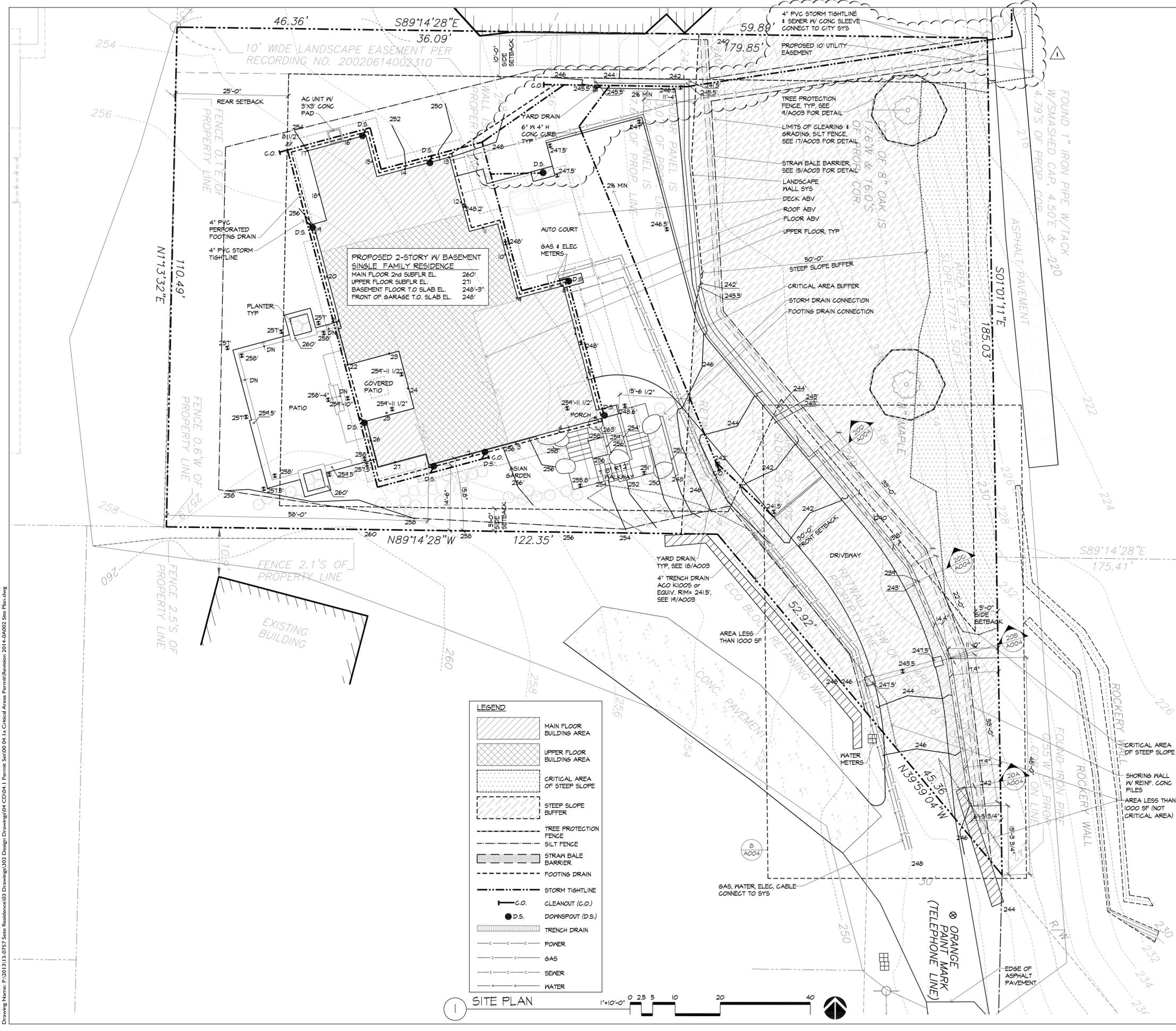
CRITICAL AREAS
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1904 Third Avenue, #330 | Seattle, WA 98101
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COVER SHEET

A001



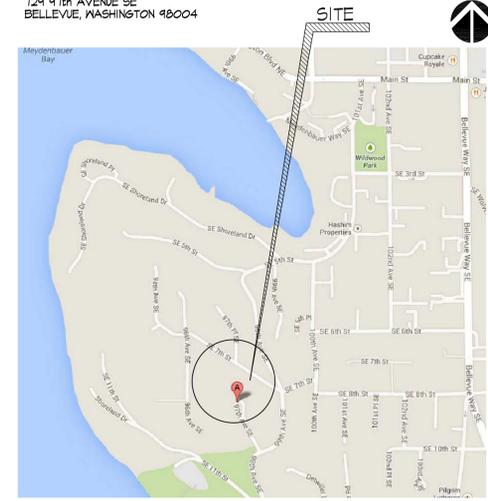
PROJECT DATA

PROJECT NAME: SETO RESIDENCE
PROJECT ADDRESS: 124 9TH AVENUE SE, BELLEVUE, WASHINGTON 98004

PROJECT LEGAL DESCRIPTION: LOT 16, BLOCK 1, MEYDENBAUER HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 64 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WA.

TAX PARCEL #: 5411700160

VICINITY MAP



PROJECT TEAM

OWNER: RON CHWANG & MAY SETO
 12800 CAMINO MEDIO LANE
 LOS ALTOS HILLS, CA 94022
 CONTACT: MAY SETO
 EMAIL: mrc@pacbell.net

ARCHITECT: BAYLIS ARCHITECTS
 10801 MAIN STREET, SUITE 110
 BELLEVUE, WA 98004
 PHONE: (425) 454-0566
 FAX: (425) 455-8013
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STRUCTURAL: BTL ENGINEERING
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 WOODINVILLE, WA 98072
 PHONE: (425) 814-8448
 FAX: (425) 821-2120
 CONTACT: BRIAN LAMPE
 EMAIL: lampe@btlnet.net

CONTRACTOR: GRONES LAND HOMES OF WA, INC.
 10001 NE 8th Street, Suite 201
 BELLEVUE, WA 98004
 PHONE: (425) 455-3133 EXT 22
 CELL: 425-840-2864
 CONTACT: JOEL GRONES
 EMAIL: joel@gronesdesignhomedesign.com

GEOTECHNICAL: GEOTECH CONSULTANTS INC
 3256 NE 20TH SUITE 16
 BELLEVUE, WA 98005
 PHONE: (425) 747-5618
 FAX: (425) 7474-8561
 CONTACT: Marc R. McGinnis
 EMAIL: Marc@geotechnw.com

SURVEYOR: GRONES LAND SURVEYING
 28806 140th AVE SE
 COVINGTON, WA 98042
 PHONE: (425) 482-5930
 FAX: (877) 471-8175
 CONTACT: JOHN BENTLER
 EMAIL: john@grones.com

EXST GRADE ELEVATION CALCULATION

POINT	ELEV (ft)
Every 10 ft	
1	256.1
2	255.5
3	253.5
4	250.6
5	250.0
6	249.9
7	248.5
8	248.5
9	251.1
10	250.3
11	250.8
12	251.2
13	250.8
14	252.7
15	253.5
16	253.3
17	254.5
18	255.4
19	256.2
20	256.5
21	256.7
22	256.8
23	256.1
24	256.6
25	256.8
26	257.4
27	257.2
Total	6846.10
Average Finished Grade EL (ft)	253.56
Max. Building Height (ft)	30.00
Allowable HT @ Mid. Point between Eave & Ridge or T.O. Flat Roof (ft)	283.56

EXCAVATION & FILL CALCULATION

THE DAYLIGHT BASEMENT AREA WILL BE EXCAVATED 6' TO 9' AT WEST SIDE PROPERTY, APPROXIMATELY 4558.5 CY CUT. AUTO COURT/SURROUNDING LANDSCAPE AREA WILL HAVE 465.4 CY CUT AND 488.6 CY FILL. ENTRY WALKWAY/SURROUNDING LANDSCAPE AREA WILL HAVE 487.5 CY FILL. PATIO AREA WILL HAVE 46.7 CY FILL. DRIVEWAY WILL HAVE 42.4 CY FILL WITH IMPORT GRAVEL. WEST SIDE OF DRIVEWAY LANDSCAPE AREA WILL HAVE 42.6 CY CUT. LANDSCAPE AREA IN THE CRITICAL BUFFER WILL HAVE 108 CY FILL. THE TOTAL OF THE CUT WILL BE 6047.7 CY AND TOTAL OF THE FILL WILL BE 591.9 CY. MOST OF CUT MATERIAL 4371.6 CY WILL BE USED ON-SITE IN AREAS NEEDING FILL, 1232.1 CY MATERIALS WILL BE EXPORTED, AND 424 CY GRAVEL WILL BE IMPORTED FROM AN APPROVED SOURCE.

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 STATE OF WASHINGTON
BRIAN BRAND
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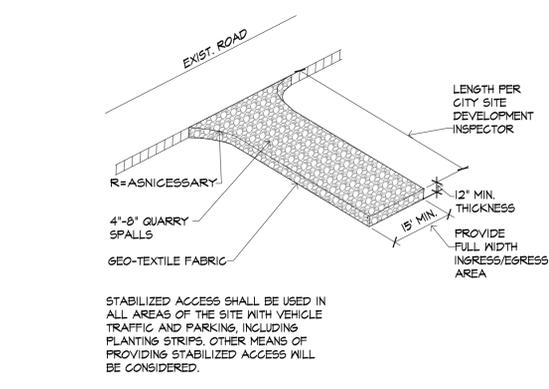
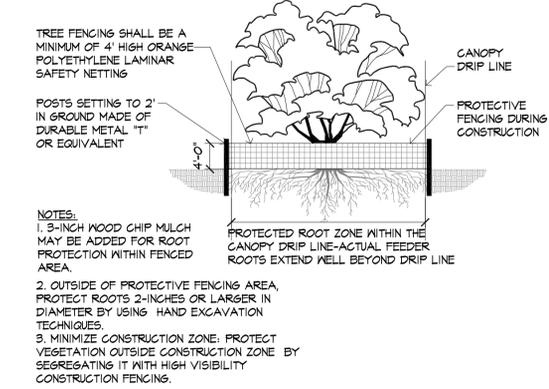
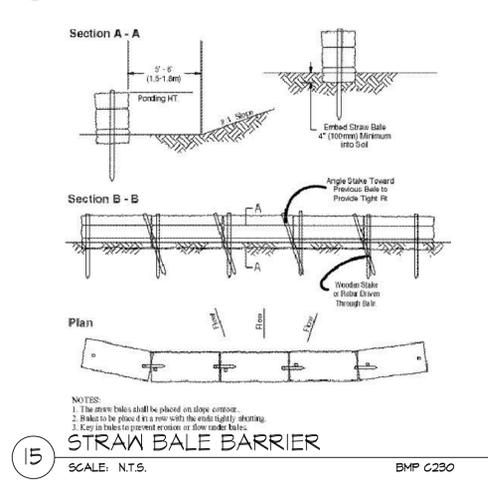
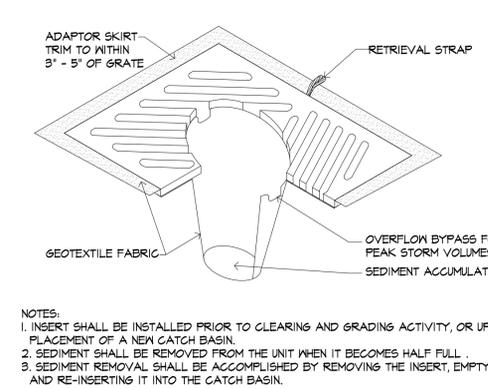
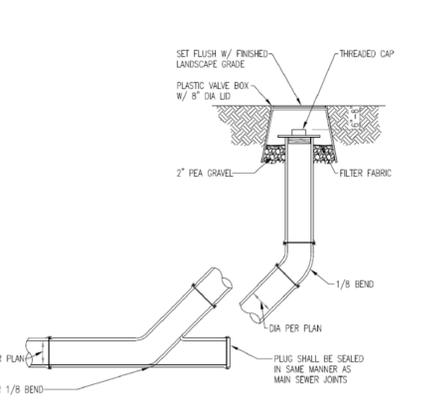
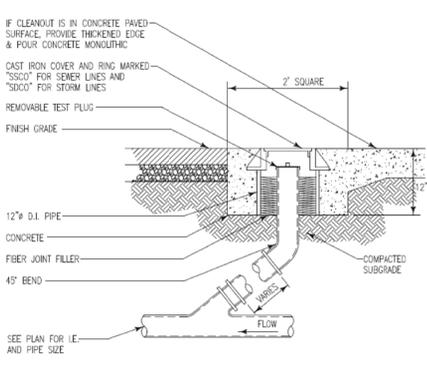
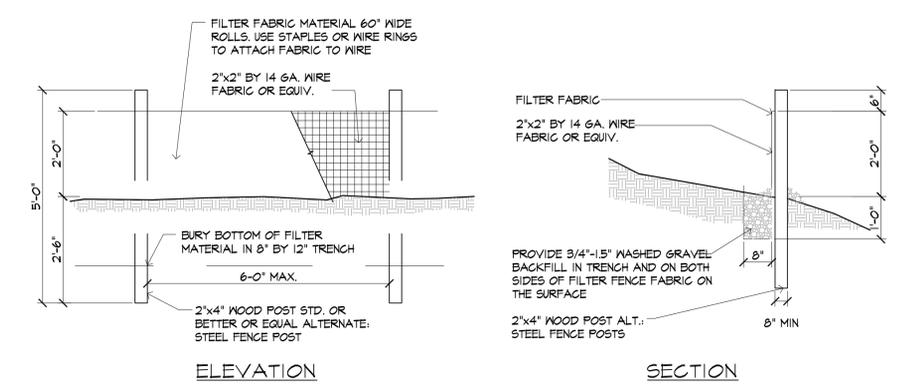
SETO RESIDENCE
 BELLEVUE WASHINGTON

CRITICAL AREAS
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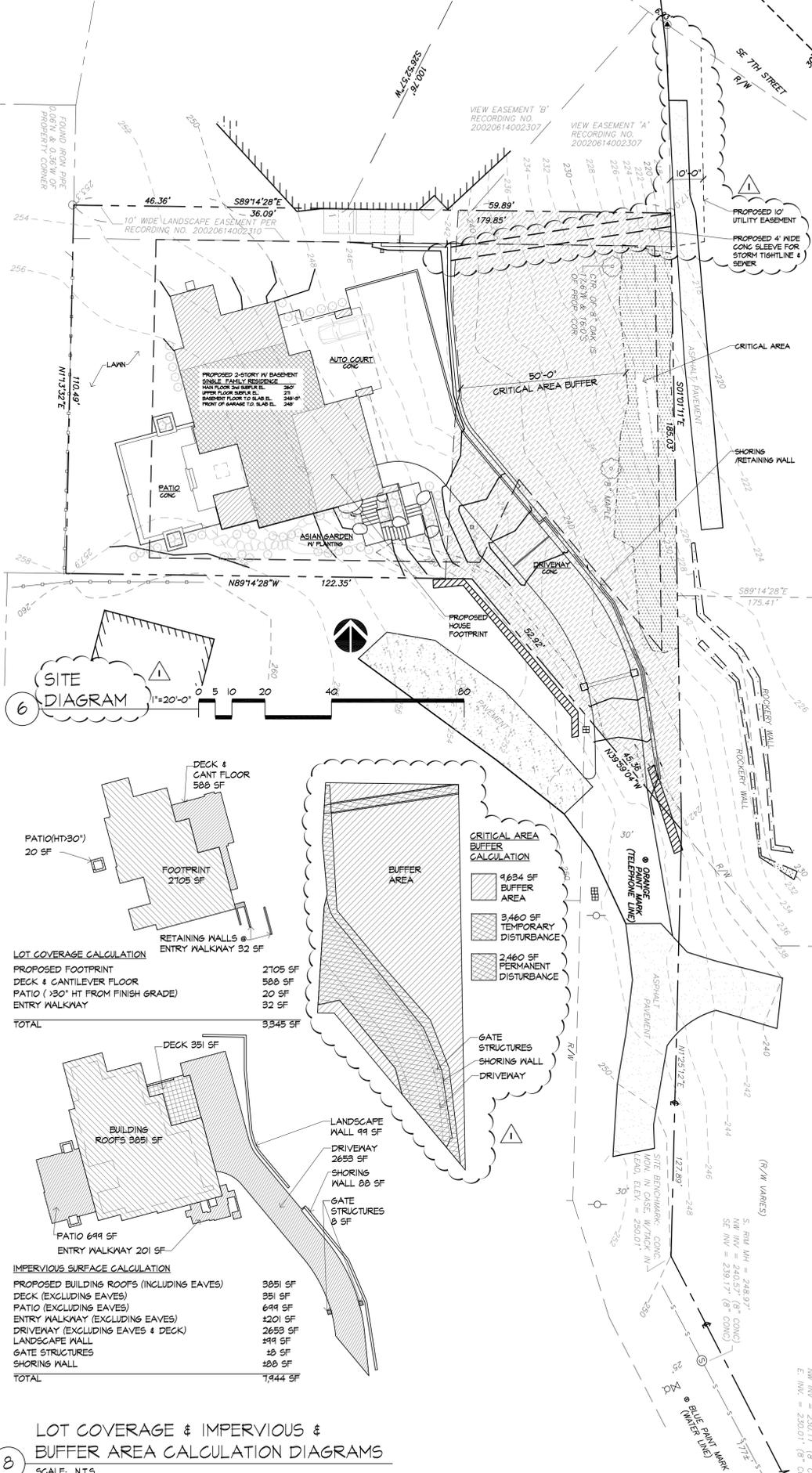
SITE PLAN & CSWPPP
A002

Drawing Name: P:\2013\13-0757 Seto Residence\03 Drawings\302 Design\Drawings\04 CD\04.1 Permit Set\0004.1a Critical Areas Permit\Revision 2014.06.02 Site Plan.dwg



STANDARD NOTES FOR EROSION CONTROL PLANS (CSWPPP)

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DSD) PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH, FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.



SETO RESIDENCE
 BELLEVUE WASHINGTON

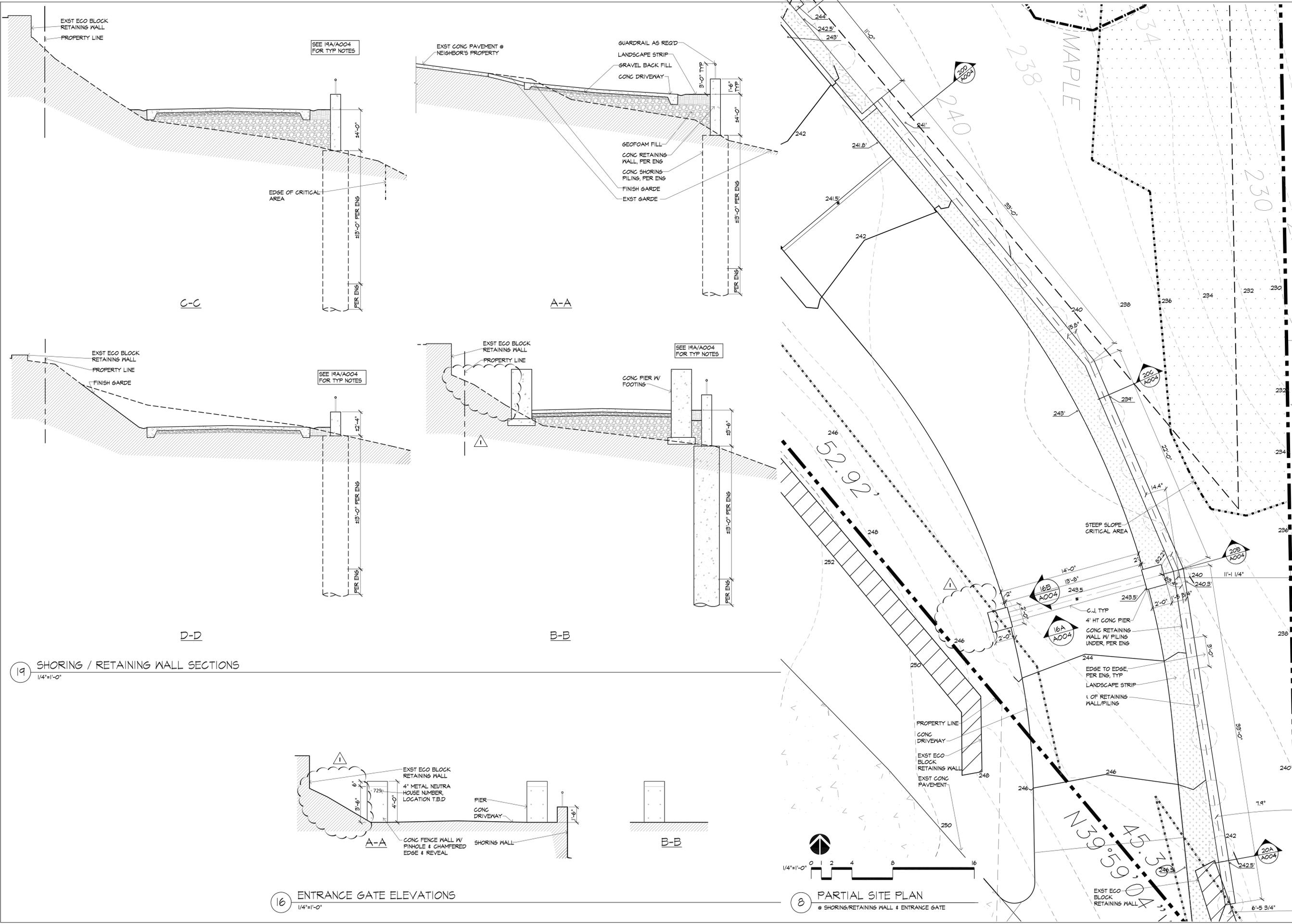
PROJECT NUMBER: 13-0757
 PROJECT MANAGER: F.F.F.
 DRAWN BY:
 PLOT DATE: Jan 22, 2014 - 12:39pm

DATE: 10-28-2013 CALUP SET

REVISIONS:
 CALLUP 01/23/2014

CRITICAL AREAS
 LAND USE PERMIT

SHORING/
 RETAINING WALL & ENTRANCE GATE
 PLAN, SECTIONS & ELEVATIONS



Drawing Name: P:\2013\13-0757 Seto Residence\03 Drawings\02 Design Drawings\04 CD\04.1 Permit Set\00 CD\04.1a Critical Areas Permit\Revision 2014\A004 Shoring-Retaining.dwg

GENERAL SHORING NOTES

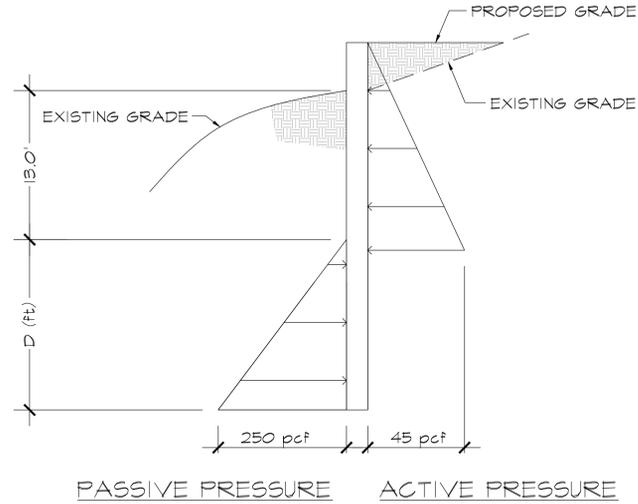
- CRITERIA:**
- CODE REQUIREMENTS:** ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC), 2012 EDITION.
 - REFERENCE DOCUMENTS:**
 - TOPOGRAPHIC AND BOUNDARY SURVEY BY CRONES LAND SURVEYORS, LLC
 - GEOTECHNICAL ENGINEERING REPORT, GEOTECH CONSULTANTS, INC., PROJECT# JN 13264, DATED SEPTEMBER 25, 2013.
 - DESIGN LOADS:** IN ADDITION TO SELF WEIGHT DEAD LOADS, THE SOIL PRESSURE DIAGRAM SHOWN ON DETAIL 1/SH WERE USED FOR DESIGN.
 - SUBMITTALS:** SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO ANY FABRICATION OR CONSTRUCTION FOR ALL STRUCTURAL ITEMS INCLUDING THE FOLLOWING: STRUCTURAL STEEL, GROUTS AND CONCRETE MIXES. PROPOSED DEMOLITION AND SHORING SEQUENCE SHALL ALSO BE SUBMITTED TO THE ENGINEER FOR REVIEW.
 - SPECIAL INSPECTION:** INSPECTION BY THE GEOTECHNICAL ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT. ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF PILES. SOIL COMPACTION SHALL BE SUPERVISED BY AN APPROVED QUALIFIED INSPECTION AGENCY.
 - UTILITY LOCATION:** THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES, OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN, IF ANY IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE COMPLETE OR CORRECT.
 - VERIFICATION:** CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATION OF EXISTING STRUCTURES PRIOR TO FABRICATION AND INSTALLATION OF ANY SHORING MEMBERS. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL DISCREPANCIES IN DIMENSIONS AND ALL FIELD CHANGES PRIOR TO FABRICATION AND INSTALLATION.
 - SOILS:** SEE GEOTECHNICAL REPORT FOR SPECIFIC INFORMATION AND RECOMMENDATIONS FOR SHORING, SHORING MONITORING, EXCAVATION, LAGGING AND DRAINAGE BEHIND LAGGING.
 - CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905 AND ACI 301-05. STRENGTHS SHALL BE VERIFIED BY STANDARD CYLINDER TESTS. UNLESS APPROVED OTHERWISE, REQUIRED ULTIMATE COMPRESSIVE STRENGTH OF STRUCTURAL GROUT SHALL BE REACHED BY 28 DAYS FOR PILES.**

TYPE OF CONSTRUCTION	28 DAY STRENGTH (psi)	GALLONS OF WATER PER 94 LBS CEMENT	MIN. CEMENTITIOUS MATERIAL CONTENT PER CUBIC YARD
A. LEAN CONCRETE	3000 PSI*	5"	1/2 SACKS
B. STRUCTURAL CONCRETE	3000 PSI*	5"	6 SACKS

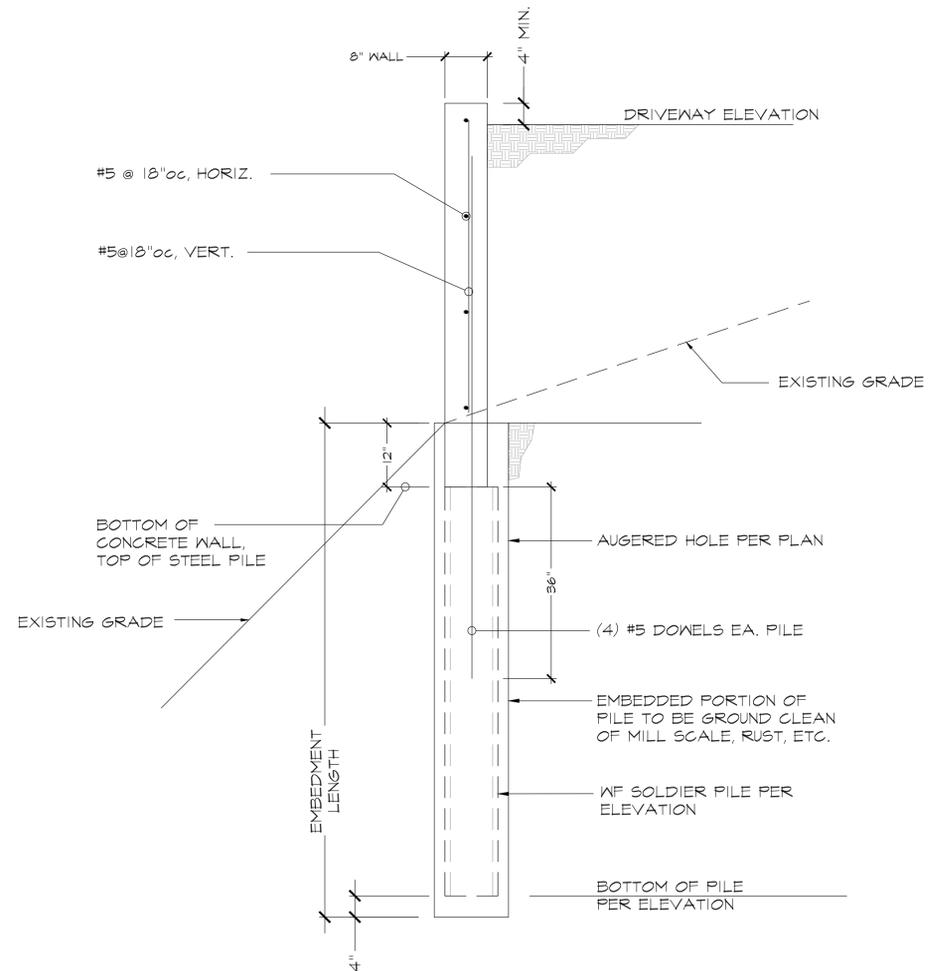
THE MINIMUM AMOUNTS OF CEMENTITIOUS MATERIAL MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE MIX WILL BE REVISED FOR CONFORMANCE WITH IBC SECTION 1905 AND ACI 301-05. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES, AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTITUTING STRENGTH DATA IN ACCORDANCE WITH ACI 318-05, CHAPTER 5. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

BATCH PLANT INSPECTION MAY BE ELIMINATED IF AUGERCAST PILING GROUT MIX CONFORMS TO DPD DIRECTOR'S RULE 26-87.

- REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318-11. LAP ALL CONTINUOUS REINFORCEMENT (#5 AND SMALLER) 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS (#5 AND SMALLER) 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-11, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 6" AT SIDES AND ENDS.**



- NOTES:**
- ACTIVE SOIL PRESSURE ACTS OVER ONE PILE SPACING
 - PASSIVE SOIL PRESSURE ACTS OVER 2 PILE DIAMETERS
 - PASSIVE PRESSURE INCLUDES SAFETY FACTOR OF 1.5



SETO RESIDENCE
 BELLEVUE
 WASHINGTON

PROJECT NUMBER: 13-010-05
 PROJECT MANAGER: BTL
 DRAWN BY: BDS
 PLOT DATE:

DATE: 10/23/2013

REVISIONS:



ARCHITECTS
baylis

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 1904 Third Avenue, #330 | Seattle, WA 98101
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SH1



SETO RESIDENCE
WASHINGTON
BELLEVUE

PROJECT NUMBER: 13-010-05
 PROJECT MANAGER: BTL
 DRAWN BY: BDS
 PLOT DATE:

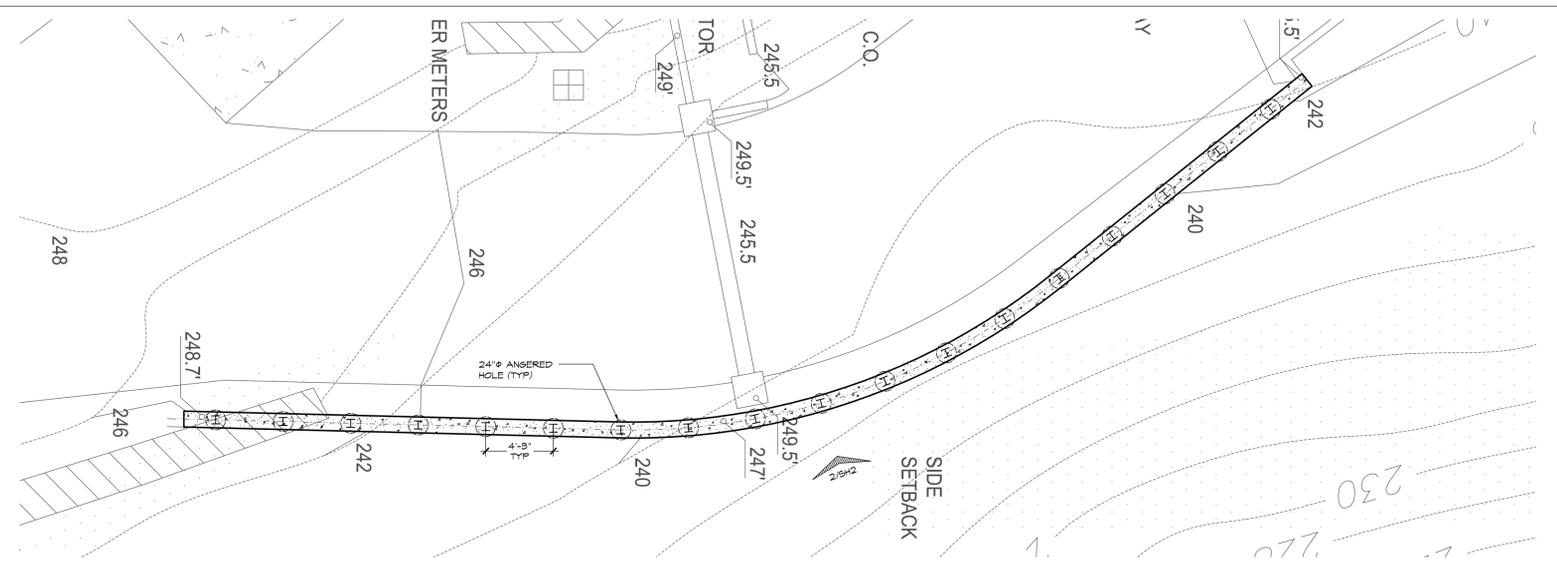
DATE: 10/23/2013

REVISIONS:

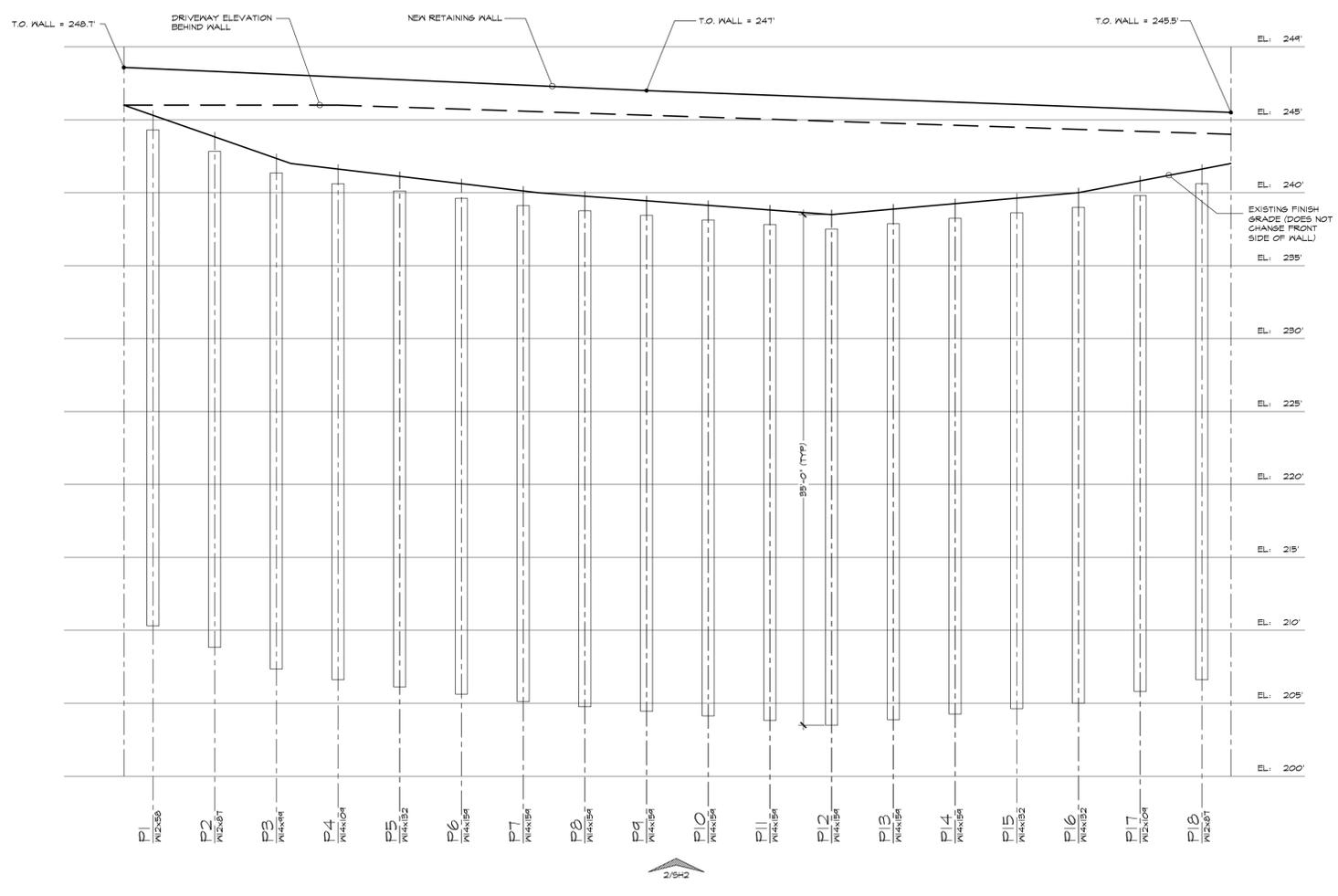


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 1904 Third Avenue, #330 | Seattle, WA 98101
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SH2



SITE STABILIZATION
 SCALE: 3/16" = 1'-0"



SITE STABILIZATION
 SCALE: 3/16" = 1'-0"

0

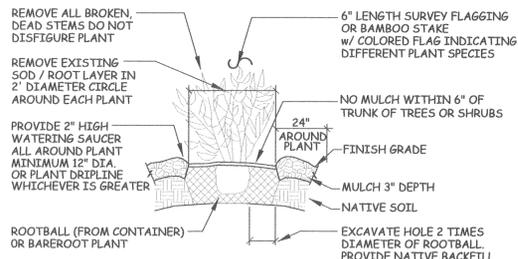
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2

MITIGATION PLANTING NOTES

1. IN THE SPRING OF 2014, CUT ALL BLACKBERRIES TO WITHIN 12" OF GRADE AND REMOVE CUT MATERIAL AND ANY OTHER LOOSE WOODY DEBRIS. IN THE FALL (LATE SEPTEMBER AND EARLY OCTOBER, SPRAY THE NEW GROWTH ON THE BLACKBERRIES AND OTHER GROUNDPLANE VEGETATION WITH ROUND-UP. WAIT ONE WEEK, AND NOT MORE THAN 10 DAYS, SPRAY ANOTHER APPLICATION OF ROUNDUP ON THE BLACKBERRIES. IN ONE MONTH REMOVE THE DEAD BLACKBERRIES. IN NOVEMBER EARLY DECEMBER CULTIVATE THE MITIGATION BUFFER ZONE WITH THE RIPPER TEETH ON A BACKHOE. REMOVE WOODY DEBRIS. OVER THE MITIGATION AREA, PROVIDE 3" DEPTH OF FINE COMPOSTED ORGANIC MATERIAL SUCH AS CEDAR GROVE "BOOSTER BLEND". ROTOTILL TO A DEPTH OF 6", RAKE AND PREPARE FOR PLANTING
2. INSTALL IRRIGATION SYSTEM AS PART OF THE OVERALL SITE DEVELOPMENT. IRRIGATION IN THE NATIVE PLANTING AREA WILL BE TEMPORARY. WATER ALL PLANTINGS THOROUGHLY AFTER COMPLETION OF PLANTING. PROVIDE REGULAR WATERINGS UNTIL PLANTS HAVE ESTABLISHED.
3. BARE ROOT AND CONTAINERIZED PLANTING OF NATIVE PLANTS SHALL OCCUR ONLY DURING FROST FREE DORMANT SEASON.
4. PRIOR TO PLANTING, LAYOUT OF PLANT MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR PER THE LANDSCAPE PLAN. LANDSCAPE ARCHITECT WILL MAKE ADJUSTMENTS AS HE DEEMS FIT.
5. PROVIDE 3" DEPTH OF COURSE WOOD CHIP MULCH (ARBOR CHIPS) THROUGHOUT THE MITIGATION PLANTING ZONE. DO NOT PLANT 4" POTS IN THE MULCH. DO NOT COVER PLANT MATERIAL WITH MULCH, SEE DETAILS.
6. PROVIDE ONE 2-3' BAMBOO STAKE AT EACH PLANT WITH DIFFERENT COLORED FLAGS FOR EACH KIND OF PLANT.
7. ONE YEAR AFTER PLANT INSTALLATION PROVIDE ORGANIC SLOW RELEASE EQUAL BALANCED FERTILIZER.
8. PROVIDE WARRANTY REPLACEMENTS PER THE MAINTENANCE AND MONITORING CHART. REPLACEMENT SIZE SHALL BE AS INITIALLY INSTALLED. CONTRACTOR SHALL CONDUCT REGULAR VISITS TO ENSURE PROPER MAINTENANCE.

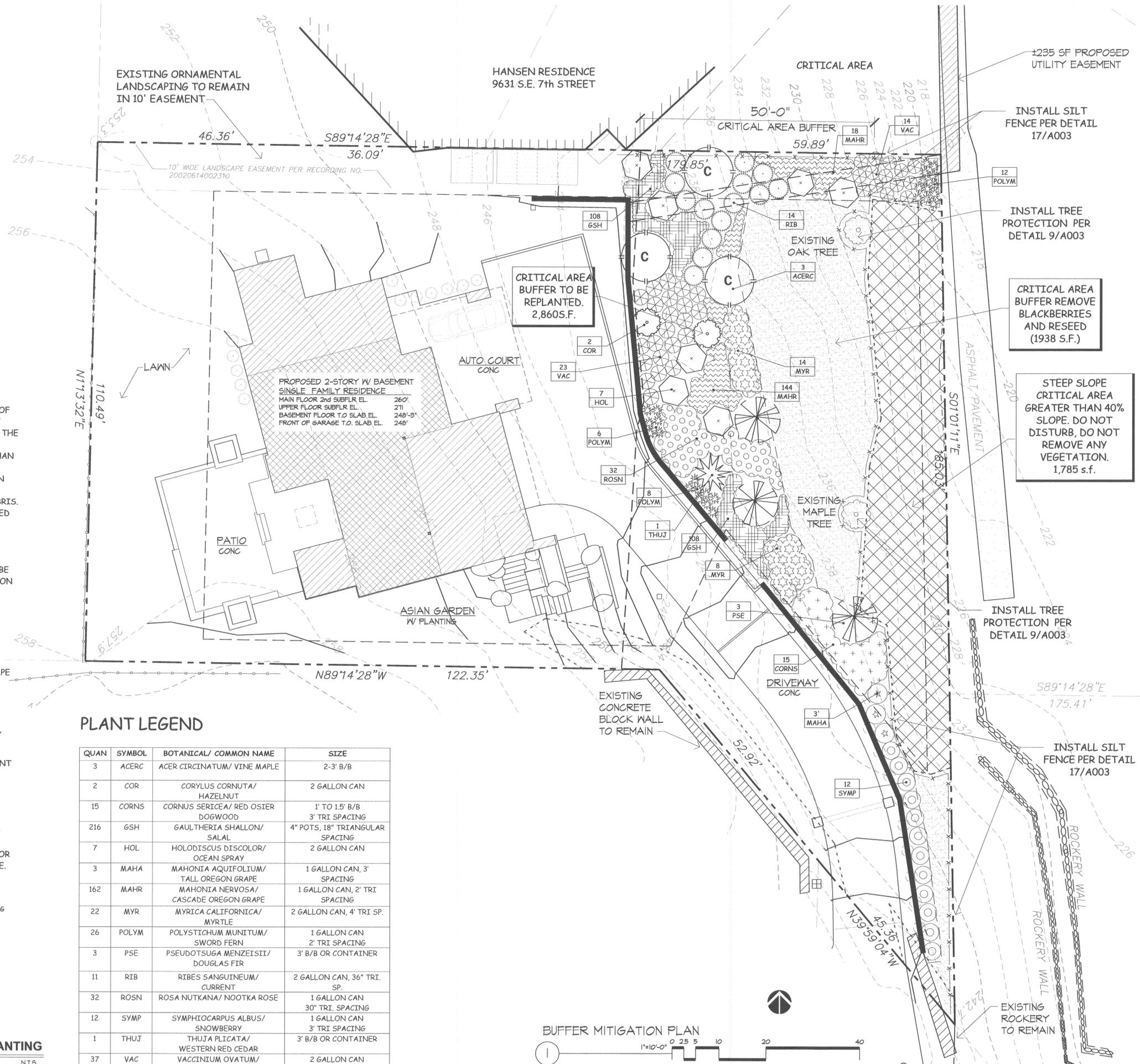
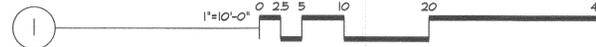


BUFFER GROUNDCOVER, SHRUB & TREE PLANTING

PLANT LEGEND

QUAN	SYMBOL	BOTANICAL/ COMMON NAME	SIZE
3	ACERC	ACER CIRCINATUM/ VINE MAPLE	2-3' B/B
2	COR	CORYLUS CORNUTA/ HAZELNUT	2 GALLON CAN
15	CORNS	CORNUS SERICEA/ RED OSIER DOGWOOD	1' TO 1.5' B/B 3' TRI SPACING
216	GSH	GAULTHERIA SHALLON/ SALAL	4" POTS, 18" TRIANGULAR SPACING
7	HOL	HOLODISCUS DISCOLOR/ OCEAN SPRAY	2 GALLON CAN
3	MAHA	MAHONIA AQUIFOLIUM/ TALL OREGON GRAPE	1 GALLON CAN, 3' SPACING
162	MAHR	MAHONIA NERVOSA/ CASCADE OREGON GRAPE	1 GALLON CAN, 2' TRI SPACING
22	MYR	MYRICA CALIFORNICA/ MYRTLE	2 GALLON CAN, 4' TRI SP.
26	POLYM	POLYSTICHUM MUNITUM/ SWORD FERN	1 GALLON CAN 2' TRI SPACING
3	PSE	PSEUDOTSUGA MENZEISII/ DOUGLAS FIR	3' B/B OR CONTAINER
11	RIB	RIBES SANGUINEUM/ CURRENT	2 GALLON CAN, 36" TRI. SP.
32	ROSN	ROSA NUTKANA/ NOOTKA ROSE	1 GALLON CAN 30" TRI. SPACING
12	SYMP	SYMPHIOCARPUS ALBUS/ SNOWBERRY	1 GALLON CAN 3' TRI SPACING
1	THUJ	THUJA PLICATA/ WESTERN RED CEDAR	3' B/B OR CONTAINER
37	VAC	VACCINIUM OVATUM/ EVERGREEN HUCKLEBERRY	2 GALLON CAN 3' TRI SPACING

BUFFER MITIGATION PLAN



CRITICAL AREA BUFFER REMOVE BLACKBERRIES AND RESEED (1938 S.F.)

STEEP SLOPE CRITICAL AREA GREATER THAN 40% SLOPE. DO NOT DISTURB, DO NOT REMOVE ANY VEGETATION. 1,785 s.f.

KEN LARGE
Landscape Architect
21803 NE 17th Court
Sammamish, Wa. 98074
Office: 425-836-4578, Cell: 206-396-7617
E-mail: klarge@comcast.net
FAX: 425-898-8923



SETO RESIDENCE
729 97th Avenue Southeast
Bellevue, Washington 98004

JOB NUMBER: _____
DRAWN: _____ KEL
CHECKED: _____
DATE: JANUARY 23, 2014
REVISIONS:
1 _____

SHEET TITLE:
BUFFER MITIGATION PLANTING PLAN
PERMIT SET
SHEET NUMBER:

L-001



Drawing Name: P:\001\13-0757 Seto Residence\03 Drawings\02 Design Drawings\03 DD\A005 Slope categories.dwg



PROJECT DATA

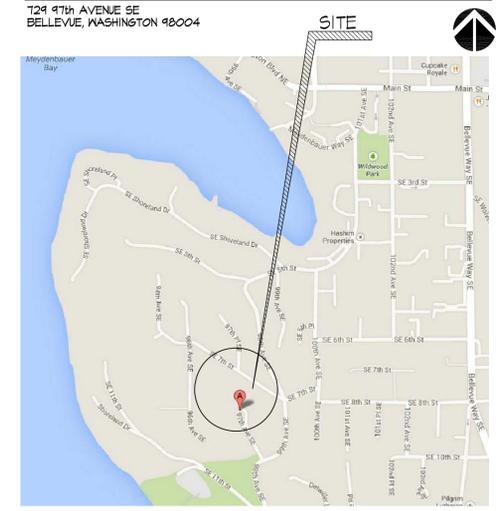
PROJECT NAME: SETO RESIDENCE
SINGLE FAMILY RESIDENCE

PROJECT ADDRESS: 129 9TH AVENUE SE
 BELLEVUE, WASHINGTON 98004

PROJECT LEGAL DESCRIPTION
 LOT 16, BLOCK 1, MEYDENBAUER HEIGHTS, ACCORDING TO THE PLAT THEREOF
 RECORDED IN VOLUME 64 OF PLATS, PAGE 11, RECORDS OF KING COUNTY, WA.

TAX PARCEL # 5491700160

VICINITY MAP



PROJECT TEAM

<p>OWNER</p> <p>RON CHYANG & MAY SETO 12800 CAMINO MEDIO LANE LOS ALTOS HILLS, CA 94022 PHONE: (425) 454-0566 CONTACT: MAY SETO EMAIL: merc@pacbell.net</p>	<p>ARCHITECT</p> <p>BAYLIS ARCHITECTS 10801 MAIN STREET, SUITE 110 BELLEVUE, WA 98004 PHONE: (425) 454-0566 FAX: (425) 455-8013 CONTACT: LISA LU EMAIL: lu@baylisarchitects.com</p>
<p>STRUCTURAL</p> <p>BTL ENGINEERING 17924 140th AVE NE, STE 220 WOODINVILLE, WA 98072 PHONE: (425) 814-8448 FAX: (425) 821-2120 CONTACT: BRIAN LAMPE EMAIL: Lampe@bteng.net</p>	<p>CONTRACTOR</p> <p>Design Guild Homes of WA, Inc. 10001 NE 8th Street, Suite 201 Bellevue, WA 98004 PHONE: (425) 455-3133 EXT 22 CELL: 425-940-2869 CONTACT: JOEL GLASS EMAIL: joel@designguildhomes.com</p>
<p>GEOTECHNICAL</p> <p>GEOTECH CONSULTANTS INC 3256 NE 20TH SUITE 16 BELLEVUE, WA 98005 PHONE: (425) 747-5616 FAX: (425) 747-8561 CONTACT: Marc R. McGinnis EMAIL: MarcM@geotechn.com</p>	<p>SURVEYOR</p> <p>CRONES LAND SURVEYING 23806 190TH AVE SE COVINGTON, WA 98042 PHONE: (425) 432-5930 FAX: (877) 471-8175 CONTACT: JOHN BENTLER EMAIL: john@crones.com</p>

#3369 REGISTERED ARCHITECT
 STATE OF WASHINGTON

BRIAN BRAND

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SETO RESIDENCE

BELLEVUE WASHINGTON

PROJECT NUMBER: 13-0757
 PROJECT MANAGER: F.F.F.
 DRAWN BY: F.F.F.
 PLOT DATE: Oct 28, 2013 - 11:59am

DATE: 10-28-2013

**CRITICAL AREAS
 LAND USE PERMIT**

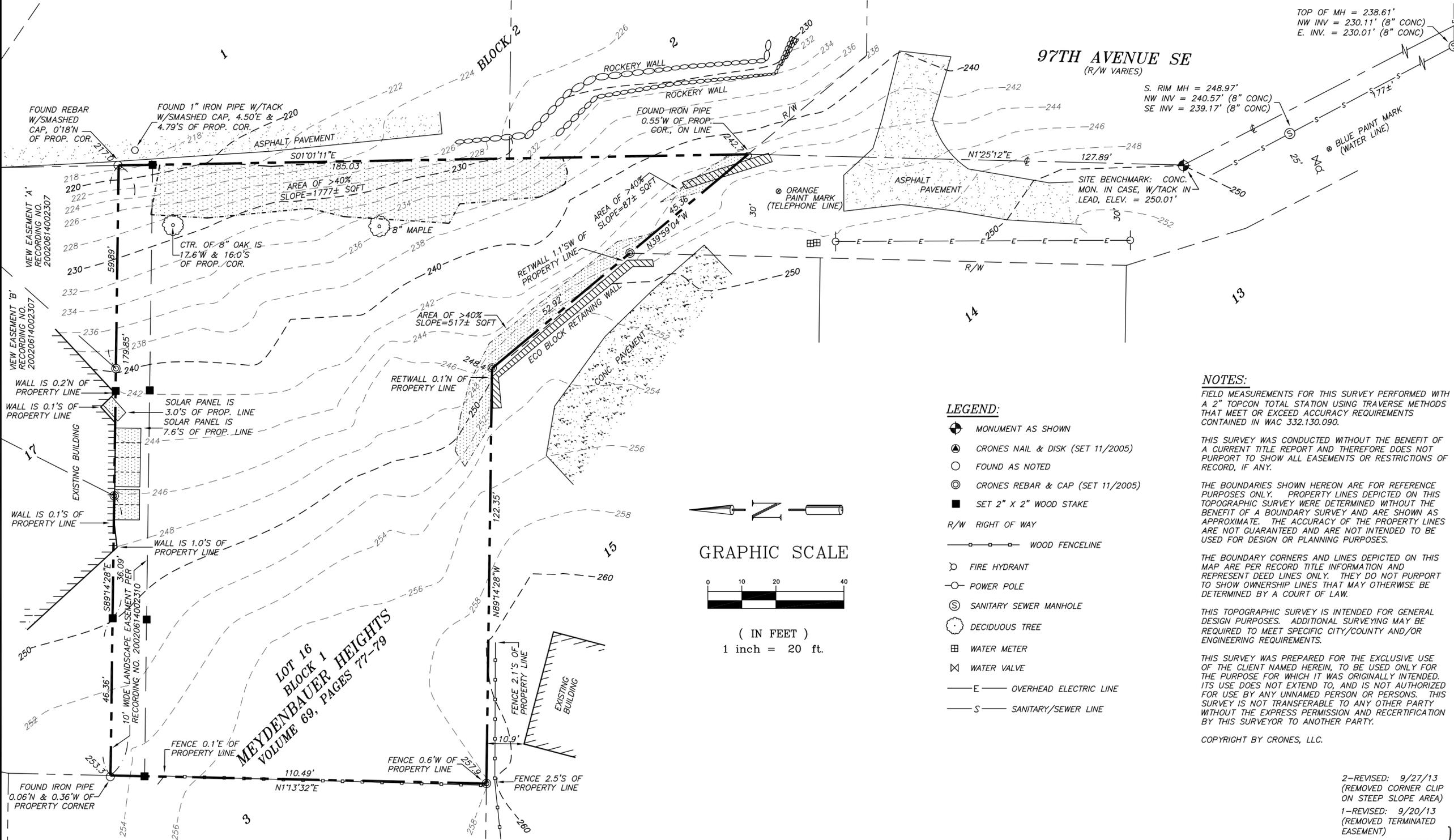
ARCHITECTS
baylis

10801 Main Street, #110 | Bellevue, WA 98004
 1904 Third Avenue, #330 | Seattle, WA 98101
 BaylisArchitects.com | (425) 454 0566

**SITE SLOPE
 CATEGORIES PLAN**

A005

THAT PORTION OF THE SE 1/4, SE 1/4, SECTION 31 TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M.



TOP OF MH = 238.61'
 NW INV = 230.11' (8" CONC)
 E. INV. = 230.01' (8" CONC)

S. RIM MH = 248.97'
 NW INV = 240.57' (8" CONC)
 SE INV = 239.17' (8" CONC)

97TH AVENUE SE
 (R/W VARIES)

FOUND REBAR W/SMASHED CAP, 0'18"N OF PROP. COR.
 FOUND 1" IRON PIPE W/TACK W/SMASHED CAP, 4.50'E & 4.79'S OF PROP. COR.

FOUND IRON PIPE 0.55'W OF PROP. COR., ON LINE

SITE BENCHMARK: CONC. MON. IN CASE, W/TACK IN LEAD, ELEV. = 250.01'

VIEW EASEMENT 'A' RECORDING NO. 20020614002307

VIEW EASEMENT 'B' RECORDING NO. 20020614002307

CTR. OF 8" OAK IS 17.6'W & 16.0'S OF PROP. COR.

SOLAR PANEL IS 3.0'S OF PROP. LINE
 SOLAR PANEL IS 7.6'S OF PROP. LINE

LOT 16
 BLOCK 1
 MEYDENBAUER HEIGHTS
 VOLUME 69, PAGES 77-79

LEGAL DESCRIPTION:
 LOT 16, BLOCK 1, MEYDENBAUER HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 69 OF PLATS, PAGE 77, RECORDS OF KING COUNTY, WASHINGTON.

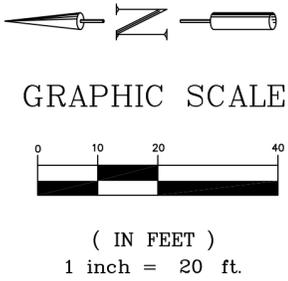
UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITIES PER UTILITY LOCATOR'S PAINT MARKS, NO OTHER UNDERGROUND UTILITIES WERE LOCATED.

VERTICAL DATUM:
 THE ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED UPON CITY OF BELLEVUE DATUM USING BENCH MARK 264, ELEVATION = 169.57 FEET NAVD88.

SET AN ONSITE TEMPORARY BENCHMARK: TBM 1 PK NAIL IN MONUMENT CASE IN SE 7TH STREET IN FRONT OF LOT 17, ELEVATION = 212.56 FEET NAVD88 AND TBM 2 NAIL IN PAVEMENT IN ACCESS EASEMENT SHOWN ON SOUTH LINE OF LOT 16, ELEVATION = 256.72 FEET NAVD88.

CONTOUR INTERVAL: 2 FEET.

- LEGEND:**
- ⊕ MONUMENT AS SHOWN
 - ⊙ CRONES NAIL & DISK (SET 11/2005)
 - FOUND AS NOTED
 - ⊙ CRONES REBAR & CAP (SET 11/2005)
 - SET 2" X 2" WOOD STAKE
 - R/W RIGHT OF WAY
 - WOOD FENCELINE
 - ⊕ FIRE HYDRANT
 - POWER POLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ DECIDUOUS TREE
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - E— OVERHEAD ELECTRIC LINE
 - S— SANITARY/SEWER LINE



NOTES:
 FIELD MEASUREMENTS FOR THIS SURVEY PERFORMED WITH A 2" TOPCON TOTAL STATION USING TRAVERSE METHODS THAT MEET OR EXCEED ACCURACY REQUIREMENTS CONTAINED IN WAC 332.130.090.

THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE DOES NOT PURPORT TO SHOW ALL EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

THE BOUNDARIES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY. PROPERTY LINES DEPICTED ON THIS TOPOGRAPHIC SURVEY WERE DETERMINED WITHOUT THE BENEFIT OF A BOUNDARY SURVEY AND ARE SHOWN AS APPROXIMATE. THE ACCURACY OF THE PROPERTY LINES ARE NOT GUARANTEED AND ARE NOT INTENDED TO BE USED FOR DESIGN OR PLANNING PURPOSES.

THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.

THIS TOPOGRAPHIC SURVEY IS INTENDED FOR GENERAL DESIGN PURPOSES. ADDITIONAL SURVEYING MAY BE REQUIRED TO MEET SPECIFIC CITY/COUNTY AND/OR ENGINEERING REQUIREMENTS.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT NAMED HEREIN, TO BE USED ONLY FOR THE PURPOSE FOR WHICH IT WAS ORIGINALLY INTENDED. ITS USE DOES NOT EXTEND TO, AND IS NOT AUTHORIZED FOR USE BY ANY UNNAMED PERSON OR PERSONS. THIS SURVEY IS NOT TRANSFERABLE TO ANY OTHER PARTY WITHOUT THE EXPRESS PERMISSION AND RECERTIFICATION BY THIS SURVEYOR TO ANOTHER PARTY.

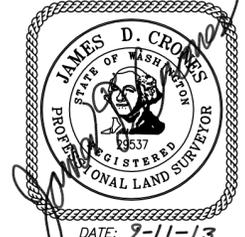
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STEEP SLOPE CALCULATIONS:
 TOTAL LAND AREA: 22,412± SQFT
 AREA OF >40% SLOPE: 2370± SQFT
 REMAINING AREA: 20,042± SQFT

ENVIRONMENTALLY CRITICAL AREAS ARE DETERMINED BY THE MUNICIPALITY OF JURISDICTION.

SITE ADDRESS:
 729 97TH STREET, SE,
 BELLEVUE, WA 98004

2-REVISED: 9/27/13
 (REMOVED CORNER CLIP ON STEEP SLOPE AREA)
 1-REVISED: 9/20/13
 (REMOVED TERMINATED EASEMENT)



THAT PORTION OF THE SE 1/4, SE 1/4, SECTION 31 TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M.

SHEET 1 of 1

Drawing Date SEPTEMBER 6, 2013
 Scale 1" = 20'
 Surveyed TH/JMC
 Drawn GRA
 Checked JB
 Filename SETOM-01A-TOPO.DWG

MAY SETO
 LOT SURVEY
TOPOGRAPHIC & STEEP SLOPE SURVEY
 KING COUNTY STATE OF WASHINGTON

SURVEYOR'S CERTIFICATE
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, AT THE REQUEST OF MAY SETO, IN SEPTEMBER, 2013.
James D. Cronos
 JAMES D. CRONES L.S. 29537

CRONES LLC
LAND SURVEYORS
 FAX: (877) 471-8175
 23806 190TH AVE. S.E. KENT, WA 98042 (425) 432-5930