



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 11511 MAIN ST., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: New Bellevue Nissan

LOCATION OF PROPOSAL: 3235 148th Avenue SE

DESCRIPTION OF PROPOSAL:

Proposal to convert a former athletic club building and parking garage into a new car dealership and service facility, to demolish one existing retail building to construct a new auto display lot, and to amend an existing Binding Site Plan.

FILE NUMBERS: 13-122633-LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on May 8, 2014.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Care V. Helland
 Environmental Coordinator

4/24/14
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

State Department of Fish and Wildlife
 State Department of Ecology,
 Army Corps of Engineers
 Attorney General
 Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: New Bellevue Nissan

Proposal Address: 3235 148th Avenue SE

Proposal Description: Design Review approval request to convert a former athletic club building and parking garage into a new car dealership and service facility, to demolish one existing retail building to construct a new auto display lot, and to amend an existing Binding Site Plan.

File Number: 13-122633-LD

Applicant: Dennis Boone, DBA Architects

Decisions Included: Design Review and SEPA Threshold Determination (Process II)

Planner: Sally Nichols

State Environmental Policy Act Threshold Determination: Determination of Non-Significance

Carol V. Helland
Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Recommendation: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland
Carol V. Helland, Land Use Director

Notice of Application: September 19, 2013
Notice of Decision: April 24, 2014
Appeal Deadline for
Design Review & SEPA: May 8, 2014
Expiration Date: May 8, 2016 (if no complete Building Permit application is filed prior to this date - Refer to LUC 20.40.500)

For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

CONTENTS

I.	Request/Proposal Description.....	Pg. 2
II.	Site Description, Zoning & Land Use Context.....	Pg. 5
III.	Consistency with Land Use Code/Zoning Requirements.....	Pg. 9
IV.	Public Notice & Comment.....	Pg. 15
V.	Technical Review.....	Pg. 16
VI.	State Environmental Policy Act (SEPA).....	Pg. 19
VII.	Changes as a Result of Design Review.....	Pg. 21
VIII.	Decision Criteria.....	Pg. 21
IX.	Decision.....	Pg. 22
X.	Conditions of Approval.....	Pg. 22

ATTACHED:

Project Drawings
SEPA Checklist
1994 Recorded Binding Site Plan

I. REQUEST/PROPOSAL DESCRIPTION

A. Request

The applicant requests Design Review approval, SEPA Threshold Determination, and approval of an amended Binding Site Plan to convert two existing buildings into a new car dealership and service facility and to demolish one existing retail building to construct a new auto display lot and site entry. All work will be done within the OLB (Office and Limited Business) land use district. Per Ordinance 6108, passed in April of 2013, automotive sales and service is an allowed use on this OLB site. Per the Ordinance, any application for auto sales must receive Design Review approval and provide Transition Area landscape buffers consistent with LUC 20.25B.040.C along interior property lines abutting properties located within the OLB land use district.

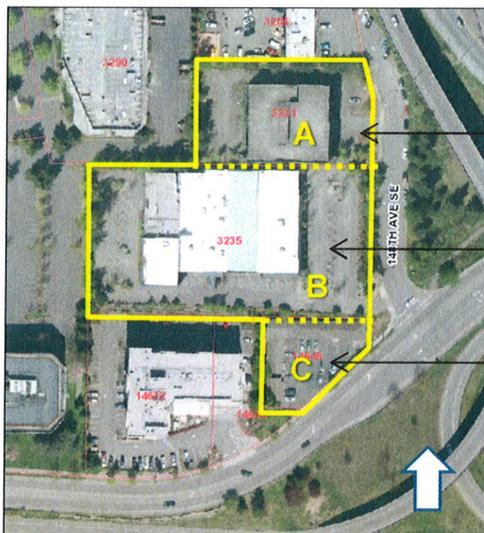
B. Review Process

Design Review is governed by Land Use Code (LUC) 20.30F. The Design Review and SEPA Determination are all Process II decisions. Process II is an administrative process. The Environmental Coordinator issues the SEPA Threshold Determination and the Director of the Development Services Department issues the Design Review and Binding Site Plan decisions. An appeal of any Process II decision is heard and decided upon by the City of Bellevue Hearing Examiner.

A Binding Site Plan (BSP) is a recorded document that allows the applicant to develop the subject property in conformance with the BSP and without regard to lot lines internal to the subject property. Parcels may be sold or leased subject to the BSP. The BSP is reviewed pursuant to Chapter 58.17 RCW and LUC 20.30F.165. BSP's may also be amended and approved as part of a Design Review. Refer to Section II.B below for discussion of this site and the existing BSP.

C. Site Design

The site consists of three existing parcels (A, B, and C below). This project will turn the former Bally's athletic club building on Parcel B into the dealership sales and service building, use the existing garage on Parcel A for Vehicle storage and employee parking, and will demolish the existing retail building on Parcel C to turn this area into the display lot for the dealership and provide a new access driveway to the site.

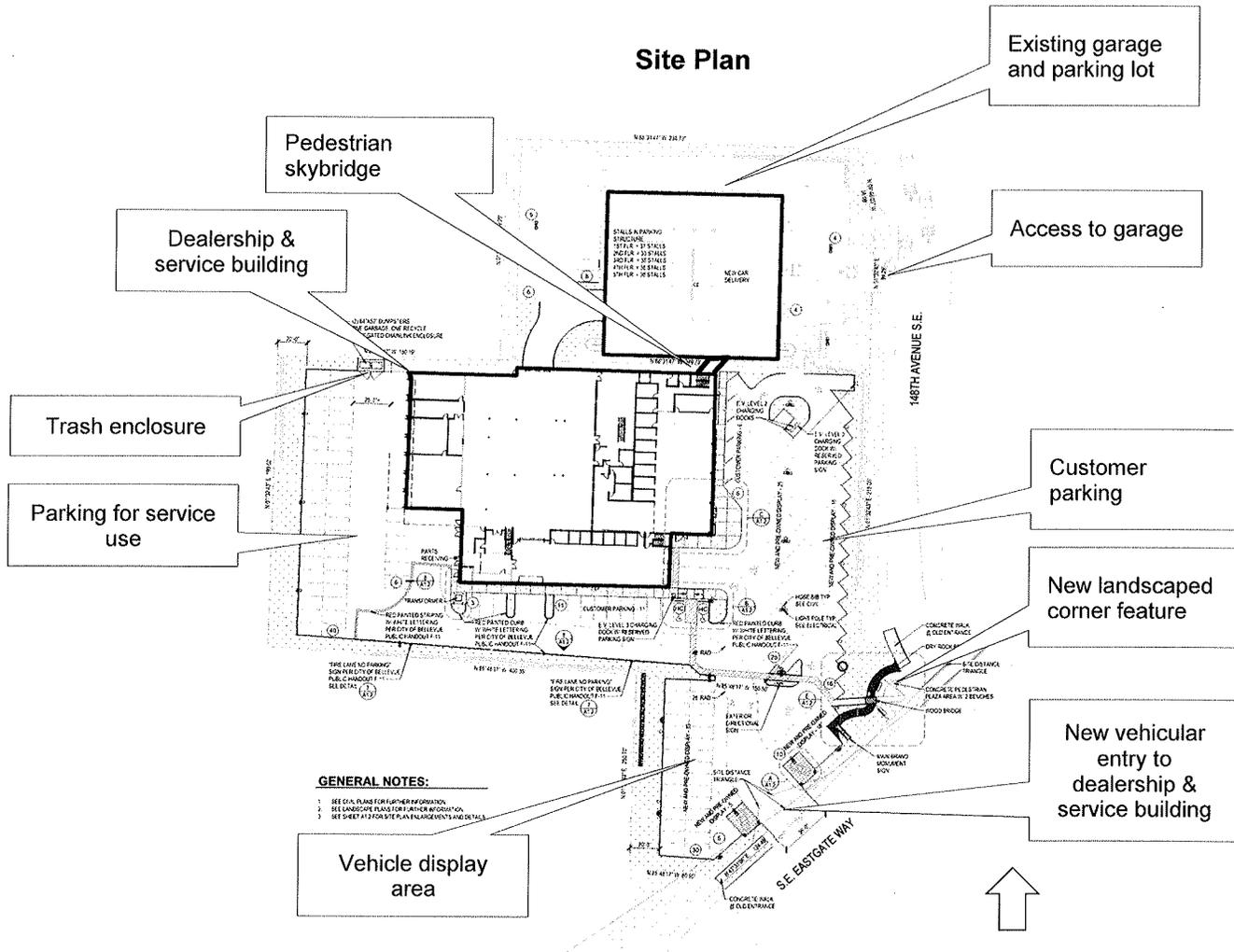


Existing Garage – building and use to remain

New Dealership & Service Building – Formerly Bally's Athletic Club

Retail Center – formerly a Hotel – to be demolished to accommodate new display lot and site entry

The major change to the existing site layout will be moving the existing vehicular entry at the corner of SE Eastgate Way and 148th Avenue SE to SE Eastgate Way. The dealership and service building will now be accessed off SE Eastgate Way through Parcel C. Parcel C will also be the display lot for the dealership. This new access point will safer than the current location off 148th Avenue SE, where there is a dangerous conflict between traffic on 148th Avenue SE and cars trying to enter the site from SE Eastgate Way. Access to the existing garage will remain in its current location off 148th Avenue SE. The existing internal parking lots have been restriped and/or slightly reconfigured to better handle circulation through the site.



The existing landscape buffers along the interior property lines will either be increased and/or enhanced to meet the Transition Area buffer requirements. Where providing the required 20-foot wide buffers is not possible, the applicant has requested an Alternative Landscape Option (ALO). To fulfill the ALO requirements, the applicant will provide additional trees, shrubs and groundcover and will provide a landscaped feature at the corner of SE Eastgate Way and 148th Avenue SE. **Refer to Section III.B of this report for discussion of the Alternative Landscaping Option proposal and to Condition of Approval regarding the final landscape and irrigation plans in Section X of this report.**

The applicant has also proposed to remove two existing street trees in the City right-of-way on SE Eastgate Way to construct the new entry driveway and 12 trees (predominantly pines) in the right-of-way along 148th Avenue SE to allow increased visual access to the dealership building and display vehicles. The applicant has proposed to replace the trees on 148th Avenue SE with eight deciduous street trees that will have crowns high enough to allow views into the site. One additional street tree (and possibly two) will be planted on SE Eastgate Way west of the new driveway in the existing planting strip. **Refer to Section III.C of this report for discussion of the Alternative Tree Retention Option proposal and to Condition of Approval regarding the final landscape and irrigation plans in Section X of this report.**

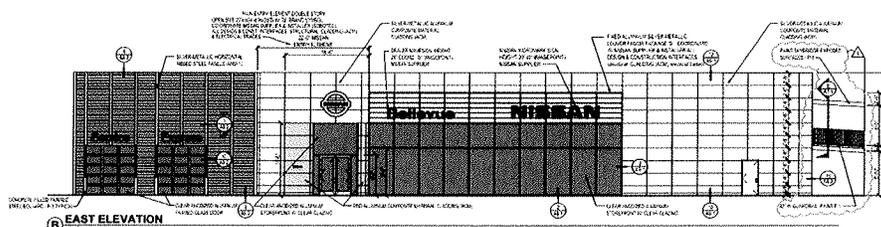
The trash receptacles will be contained within a trash enclosure at the end of the parking lot near the northwest corner of the dealership/service building. All trash collection will occur on site and the receptacles will be screened from adjacent properties by the enclosure. **Refer to Condition of Approval regarding solid waste/recycling in Section X of this report.**

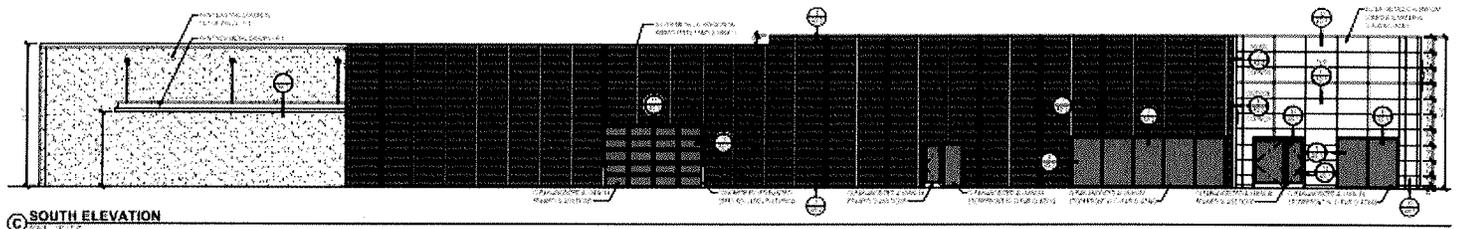
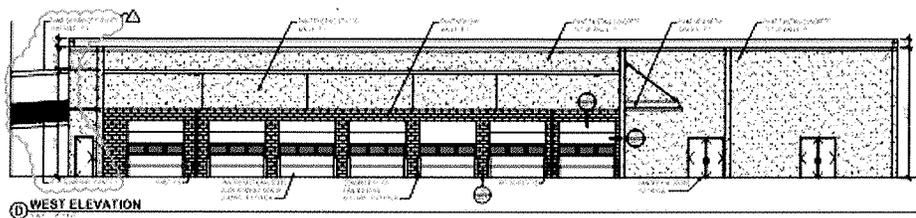
D. Building Design

Dealership/Service Building (Parcel B): The dealership building will be a remodel the former Bally's athletic club building. The interior of the structure will be extensively renovated and the western end of the building will be demolished to reduce the overall square footage to 34,830 square feet. The building will include the salesroom in the eastern third of the building and the remaining square footage will be used for service and parts functions.

The new design for the sales and service is strongly based on the "Nissan Retail Environment Design Initiative" (NREDI), which establishes guidelines for Nissan dealerships. Therefore, this facility will have a design, materials, and colors that are very similar to other Nissan dealerships, including the recently remodeled Nissan dealership at 11807 NE 8th Street.

Attention was paid to views toward the dealership from adjacent neighbors – particularly those to the west - and from heavily-travelled SE Eastgate Way. In response, the eastern and southern facades of the dealership building (illustrated below) will receive a higher level of architectural treatment, including enhanced architectural detailing, upgraded urban materials and exterior finishes including metal panels, and storefront windows with clear glazing. New garage doors will be provided along the western façade for the service use and any walls not receiving upgraded urban materials (concrete, CMU and stucco walls) will be painted to create a consistent look to the entire building exterior.





The new exterior finishes will be comprised of the following:

- Aluminum composite material (ACM) in Nissan Silver and Nissan Red colors
- Silver metallic Corrugated metal siding
- Clear anodized aluminum storefronts with clear glazing
- Painted exterior concrete and stucco walls, with a light gray body and a medium gray accent on the steel door frames, canopies, and security grills

Parking Garage: The existing garage building will remain as is except for the addition of a security gate. The materials on the concrete garage will not change and the exterior walls will be painted light gray to match the dealership/service building, with the medium gray accent color on the steel door frames and security grills.

A new pedestrian skybridge will be constructed between the garage and the service building for the use of employees, who will park in the garage.

A color and materials board has been submitted to the City and is available for public viewing as part of the project file.

Signage: The applicant has indicated on the architectural drawing the locations for both building and monument signage. This Design Review approval does not include approval of any signage because application materials sufficient for sign code review have not been submitted by the applicant. Design review of the signage and conformance with the Bellevue Sign Code will occur under individual sign permit applications. **Refer to Condition of Approval regarding individual sign permits in Section X of this report.**

II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT

A. Background

As a result of a public Land Use Code Amendment process, the City Council passed Ordinance 6108 in April, 2013. This Ordinance amended the Land Use Code to allow retail auto sales in the OLB in the location of this proposal – “West of 148th Avenue

SE between SE Eastgate Way and Bellevue College, on properties fronting wholly or partially on 148th Avenue SE.” Conditions of this amendment that have been addressed in this approval are the following:

1. Retail auto sales in this location shall be subject to Design Review;
2. Spillover lighting shall be addressed during Design Review;
3. Associated vehicle inventory storage shall predominantly occur within a building or buildings; and
4. Transition Area landscape buffers shall be provided along interior property lines that abut properties located within OLB land use districts.

Refer to Section III of this report for how items 2-4 have been addressed by this proposal.

B. Existing Site/Context

Site and Existing Parcels:

The site consists of three separate parcels totaling 3.16 acres, which will be referred to in this report as the ‘site’. Parcels A and B have an underlying Binding Site Plan (BSP) that was approved under the previous Conditional Use and Design Review for the parking garage and Ordinance 4384. A BSP was subsequently recorded with King County, recording number 9403109002. The effect of the BSP was to allow development of Parcels A and B without regard to the internal lot line between them. Parcel C, which previously was under separate ownership, will need to be included in the recorded BSP via an amended BSP. Therefore, after Design Review approval and prior to any building permit issuance, the applicant must amend the current BSP to include Parcel C. **Refer to Condition of Approval regarding the amended binding site plan in Section X of this report.**

For the purposes of this report, the site’s three existing parcels shall be identified as the following:

Parcel A: Parcel A is the northernmost parcel with the site. Parcel A also falls within the Single-Family Transition Area design district.

Aerial Photograph



The existing 65,570 square foot parking structure and surface parking on this parcel will remain and be used for employee parking and vehicle inventory storage. This structure was approved via a Conditional Use and Design Review in 1991 (91-006073-CUDN and 91-006074-DRMA). Through the BSP, which was approved as part of the Design Review, the building met all of the applicable dimensional requirements for OLB.

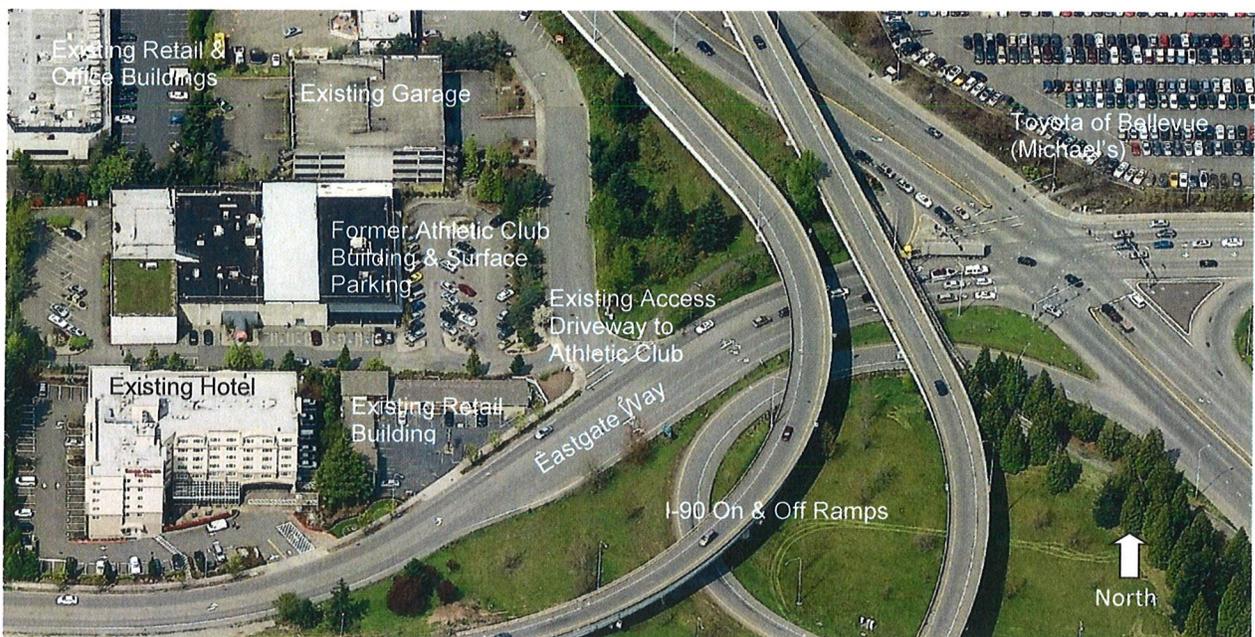
Parcel B: Parcel B is the middle parcel on the site. The existing concrete, tilt-up building on this parcel was formerly the 41,270 square foot Bally's athletic club building. The existing structure was formally approved under a Design Review in 1986 (86-002004-LD). The existing parking lots will remain, but will be either restriped or reconfigured to better serve the sales and service functions.

Parcel C: Parcel C is the southernmost parcel, fronting on Eastgate Way. It is currently a 6,200 square foot retail center and associated surface parking lot with a building that was formerly a small motel. The building and parking lot sit below the elevation of SE Eastgate Way. All structures on this parcel will be demolished and fill will be required to raise the elevation of the entire site to allow for a new site access and vehicle display. The existing driveway entry to Parcel C will be moved to the east to provide the new access point to the New Bellevue Nissan dealership.

Street Frontages:

The proposal will have two public street frontages – one along the southern edge of the site on SE Eastgate Way and one along the eastern side of the site on a dead-end section of 148th Avenue SE. Both street frontages have existing sidewalks which will remain.

Aerial Photo



There are four (4) existing street trees on SE Eastgate Way and two of these trees will be removed to accommodate the new dealership driveway. The existing planting strip will be enhanced with at least one additional tree, new shrub plantings and irrigation. The 148th Avenue SE street frontage consists of the existing entry drive into the site and existing street trees; most of which are evergreen/coniferous. These coniferous trees will be removed and replanted with deciduous trees to allow better visibility into the site. There is virtually no understory planting along much of this street frontage and this will be enhanced as part of this proposal.

A. Zoning

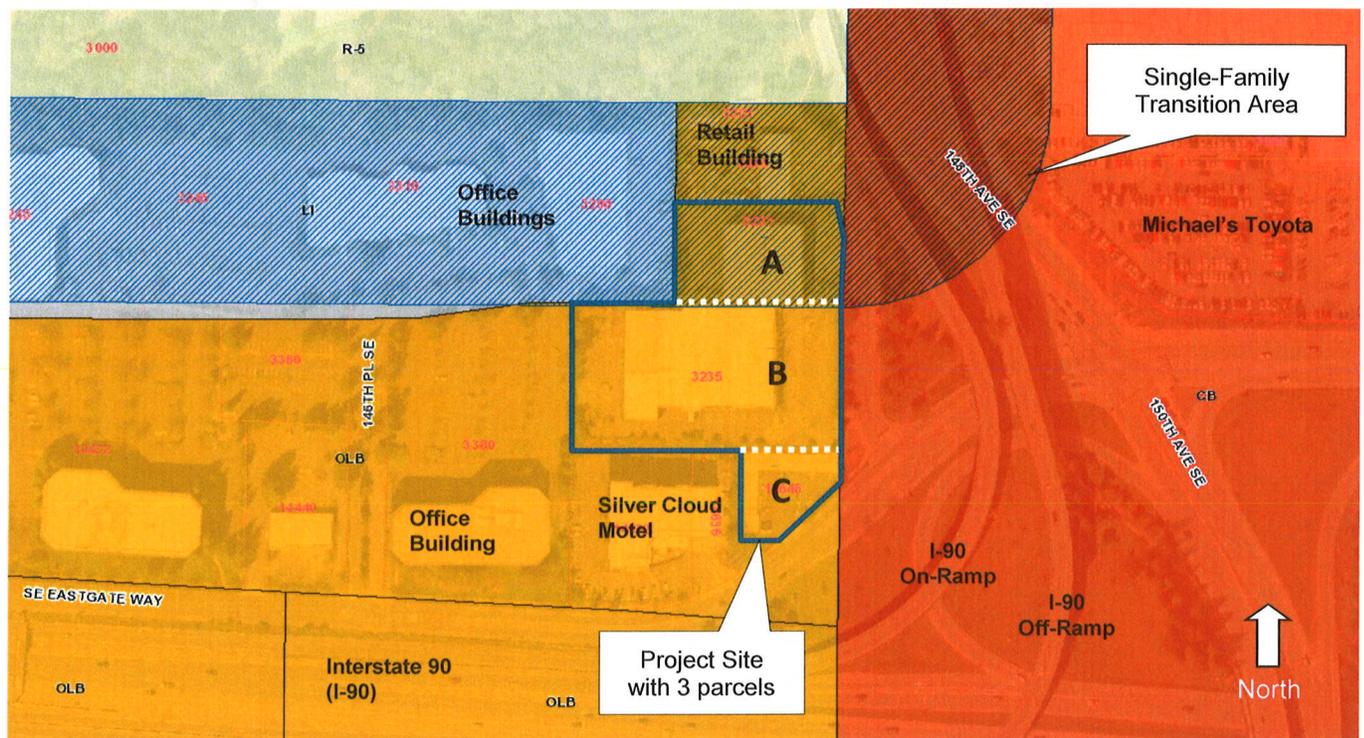
The site is zoned OLB (Office and Limited Business and all three existing parcels fall within this land use district:

Parcel A: The northernmost parcel with the existing parking garage. Parcel A also falls within the Single-Family Transition Area design district.

Parcel B: The middle parcel with the existing athletic building.

Parcel C: The southernmost parcel with the small retail building.

Zoning Map



The uses of the surrounding properties are as follows:

North: OLB: North of the parking garage is an older retail building that includes a restaurant, driving school and day care. Just north of this parcel is the wooded perimeter of the Bellevue College campus, which is within the R-5 (single-family residential) land use district. Parcel A is within the Single Family Transition area associated with this R-5 land use district.

West: OLB and LI (Light Industrial): To the west of Parcel A is an office building and surface parking lots within the LI land use district. To the south and west of Parcels B and C is the Silver Cloud hotel, an office building, and surface parking lots associated with both of these uses.

South: OLB: The uses south of the property consist of I-90 and the I-90 frontage road -SE Eastgate Way.

East: CB (Community Business): A dead end section of 148th Avenue SE, the elevated on-ramps from I-90 to 148th Avenue SE, the elevated off-ramp from 148th Avenue SE to I-90, and the WSDOT property below are directly adjacent to the proposal site. East of the I-90 ramps is 148th Avenue SE, a major north-south arterial and the Toyota of Bellevue (Michael's) car dealership.

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Use

Uses are regulated by LUC 20.10.400 (Use Charts) and LUC 20.25B (Transition Area Overlay District). As a result of City of Bellevue Ordinance 6108, auto sales are an allowed use in the OLB in this location subject to Design Review approval.

2. Dimensional Requirements

All applicable dimensional requirements of the Land Use Code will be met. Refer to the following chart for specific information, as well as Conditions of Approval and the attached Project Plans - Attachment A.

	Permitted/Required	Proposed
Site Area/Zone	135,890 SF total* Parcel A: 36,980 SF* Parcel B: 83,400 SF* Parcel C: 15,510 SF* *based on provided survey by ESM Consulting Engineers OLB land use district Parcel A is in the Single-Family Transition Area Design District & Southwest Bellevue Subarea	
Building Height	45 FT is allowed with bonuses measured from average finish grade 45 FT outside of Transition Area LUC 20.25B.040.A LUC 20.20.010	No height will be added to the existing buildings. The existing buildings meet the OLB height limits and were approved under previous Design Reviews. Meets LUC requirement.
Lot Coverage by Structure	Site area: 135,890 SF Max. 35% = 48,169 SF LUC 20.20.010	Garage/Parcel A: 13,134 SF Sales/Service Bldg./Parcel B: 28,317 SF <u>Total:</u> 41,451 SF = 31% Meets LUC requirement.

	Permitted/Required	Proposed
Maximum Impervious Surface	<p>Site Area: 135,890 SF Max. 80% = 108,712 SF</p> <p>LUC 20.20.010</p> <p>LUC 20.20.470.G</p>	<p>41,451 SF buildings + 59,559 SF paving = 101,009 SF impervious surface (74%) Meets LUC requirement.</p> <p>* Note: Applicant also proposes 10,676 SF pervious paving. <u>Refer to Condition of Approval regarding pervious paving and pervious paving performance assurance device in Section X of this report.</u> Meets LUC requirement.</p>
Setbacks	<p><u>Front</u> (148th Avenue SE and SE Eastgate Way): 50 FT from the property line</p> <p><u>Rear</u>: 50 FT</p> <p><u>Sides</u>: 30 FT (2 sides together a min. of 60 FT)</p> <p>No additional requirements for the Transition area.</p> <p>LUC 20.20.010 & 20.25.040.B</p>	<p>Through previous reviews and approvals, including a BSP, both the garage and dealership building on Parcels A and B respectively meet the setback standards for OLB and Transition. Neither building will be expanded to affect setbacks. The western façade of the dealership building will be pulled back to be even further from the western property line.</p> <p>The retail building on Parcel C does not meet the setback requirements and it will be demolished as part of this proposal. No new buildings will be placed on this Parcel.</p> <p>Meets LUC requirement.</p>
Parking	<p>Parking for an auto dealership is an unspecified use. See Parking discussion in Section III.C below.</p>	<p>The applicant has provided parking information demonstrating how it has met the parking requirements for an unspecified use – auto dealership. See Parking discussion in Section III.C below.</p> <p>Meets LUC requirement.</p>
Loading	<p>Minimum one 10' x 55' area accessible to a public right of way.</p> <p>LUC 20.20.590.K.4</p>	<p>Proposed loading will occur on Parcel A. <u>Refer to Condition of Approval regarding access design in Section X of this report.</u> As conditioned, meets LUC requirement.</p>

	Permitted/Required	Proposed
<p>Tree Retention</p>	<p>Site Perimeter: 100% of trees 8-inch diameter or greater retained within 15 feet of the property line</p> <p>Site Interior: 15% of 171 diameter inches retained = 26 inches</p> <p>Street ROW: 100% retained</p> <p>LUC 20.20.900</p>	<p>Site Perimeter: 98 diameter inches of 416 total diameter inches (24%) within the perimeter will be removed. Requires Alternative Tree Retention Option</p> <p>Site Interior: 14% of 171 interior diameter inches = 24 inches *</p> <p>*A Condition of Approval will require the applicant to plant three (3) additional conifer trees – one to the east and two to the west of the proposed garbage enclosure to further soften views of this structure.</p> <p>Street ROW: 148th Avenue SE: 118 diameter inches = 100% of existing street trees removed Requires Alternative Tree Retention Option</p> <p>SE Eastgate Way: 100% of street trees retained (the 2 trees to be removed for the new driveway are exempt from the retention requirement per LUC 20.20.900.D.1)</p> <p>As conditioned, meets LUC requirements.</p> <p><u>Refer to discussion in Section III.XX below regarding the Alternative Tree Retention Option and Conditions of Approval regarding the final landscape and irrigation plans and landscape installation and maintenance assurance devices in Section X of this report.</u></p>

	Permitted/Required	Proposed
Landscape	<p>Perimeter Landscape Requirements: <u>Street Frontages and Interior Property Lines</u>: 20 FT perimeter landscaping, with planting requirements per LUC 20.25B.040.C.2.c</p> <p>Compliance with LUC 20.20.520, 20.20.900 and 20.25B.040.C</p>	<p><u>107th Ave. SE & 108th Ave. SE</u> <u>Frontages</u>: Min. 10 FT <u>Interior Property Lines</u>: Min. 8 FT</p> <p>Applicant has requested an Alternative Landscaping Options (ALO) to address existing landscape buffers that are less than 20-feet wide.</p> <p><u>Refer to discussion in Section III.A.3 below regarding the Alternative Landscaping Option (ALO) and Conditions of Approval regarding the final landscape plan and landscape installation and maintenance assurance devices in Section X of this report.</u></p> <p>As conditioned, meets LUC requirements.</p>
Mechanical Equipment	<p>Located on the roof & visually screened, within the bldg. or below grade.</p> <p>LUC 20.20.525</p>	<p>There will be no mechanical equipment on the roofs. All mechanical equipment will be located inside the buildings. Meets LUC requirements.</p>

B. Alternative Landscaping Option (ALO) and Alternative Tree Retention Option

The applicant has provided documentation in the project drawings for how the requirements of the ALO and Alternative Tree Retention Option have been met. A synopsis of the landscape development and how it addressed the requirements for the options is the following:

Parcel A:

Landscaping: Existing landscape buffers bordering the existing parking lot and access driveways required for the garage are 10 feet wide. Increasing the buffers to 20-feet is not practical in these locations. As an alternative, the applicant has proposed to clean up and enhance the existing buffer with shrubs and groundcovers that will cover existing gaps within three years. Landscaping around the garage building and within the parking lot will also be enhanced. Four (4) additional vine

maples will be added to the 15 existing trees in the perimeter. Over 60% of the trees will be evergreen per the buffer requirements for the Transition area, with 13 evergreen trees and seven (7) deciduous trees, most of which are existing. Existing trees around the garage building will remain, but will be limbed up as high as possible to prevent an intruder from climbing and gaining access to the upper floors of the garage.

Tree Retention: 100% of the trees within 15 feet of the property line will be retained.

Parcel B:

Landscaping: As on Parcel A, the north and south landscape buffers cannot be increased due to the existing building and associated vehicular circulation. However, the landscape buffer along the western property line will be the full 20 feet in width. In addition, all trees within the interior property line buffers will remain and the buffers will be enhanced with additional trees, shrubs and groundcovers to provide additional screening for adjacent properties. Bare areas under the trees in the right-of-way and within the 10-foot front perimeter will be enhanced with Type III landscaping, including shrubs and groundcover that will cover existing gaps within three years. Enhanced landscaping will also be placed along the building facades, including irrigated planters along the south and east building faces.

Tree Retention: 48 diameter inches (four trees) of perimeter trees on Parcel B will be removed. These trees will be removed to provide increased visibility for the display cars from the street and to accommodate the trash enclosure. As conditioned, the applicant will supplement the existing, largely evergreen tree planting in the buffer by filling in gaps with nine additional evergreen trees and four additional deciduous trees. In addition, 12 trees within the right-of-way, most of which are coniferous, will be removed and replaced with deciduous trees that will provide greater visibility into the site. **Refer to Condition of Approval regarding the final landscape and irrigation plans in Section X of this report.**

Parcel C:

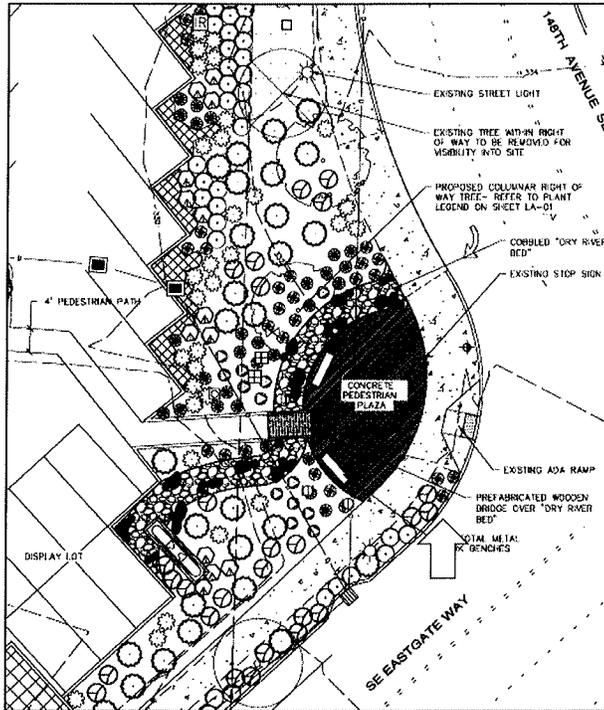
Landscaping: With the removal of the existing retail building and redevelopment of this parcel as the site entry and a vehicle display lot, the applicant will provide the required 20-foot wide interior landscape buffer along the applicable western property line. A very small portion of buffer along the southern property line will be only 10 feet wide. However, this area will be adjacent to a large landscaped open space associated with the adjacent hotel and will be landscaped with additional shrubs to compliment the landscape treatment already in place on the hotel site.

The applicant has proposed 10 feet of landscaping along the relatively small property frontage on SE Eastgate Way. There will be no trees in this area to allow increased visibility for the display cars and dealership building from the street. This area will, however, also be planted with additional shrubs and groundcover that will be required to cover the ground in three years. In addition, two of the existing street trees on SE Eastgate Way will remain and one additional tree will be added to the south of the new entry driveway. The applicant will also provide landscaping and irrigation in the planting strip, where there currently is none.

Tree Retention: Six (6) existing trees along the western property line will be removed. Currently, these trees are squeezed between the existing building and the property next door and as a result, they are in poor condition. In lieu of retaining these trees,

the applicant has proposed to plant eight (8) new evergreen trees and five (5) new deciduous trees, which will result in a more robust and visually interesting vegetated screen.

Corner Treatment:



The applicant will also provide a pedestrian plaza at the corner of SE Eastgate Way and 148th Avenue SE. This area, within the right-of-way will include a paved pedestrian plaza with benches and landscape treatment consisting of a cobbled dry river bed, shrubs and groundcovers.

Finding: The Alternative Tree Retention Option and the Alternative Tree Retention Option can be approved under this Design Review application if the criteria in LUC 20.20.520.J and LUC 20.20.900.G are met.

The overall landscape will be superior to what currently exists and will provide screening for adjacent properties. The existing buffers are all wide enough to provide adequate vegetated screening once the existing trees are supplemented with additional coniferous trees and shrub plantings. Poor-performing trees will be replaced with new trees that will provide better screening. Replacement trees within the right-of-way will provide a unified street frontage while still allowing visual access into the site. In addition, the applicant will construct a landscaped pedestrian plaza in the right-of-way at the corner of SE Eastgate Way and 148th Avenue SE. This plaza is not a requirement of the Land Use Code and will enhance the overall streetscape and pedestrian experience along SE Eastgate Way.

All replacement trees will be either native or well adapted to the Pacific Northwest to re-establish the existing vegetated character of the streetscape and adjacent properties. Within the street right-of-way, the replacement street trees will be installed with a minimum 2-inch caliper or 10-foot height at time of planting. Therefore, these plantings will present a more mature landscape immediately and will achieve a better canopy condition relatively quickly.

All new plantings will be watered by an automatic irrigation system to ensure survival. The applicant will also be required to provide a landscape maintenance device in

order to further ensure proper planting establishment. If any of the trees shown to be retained need to be removed as a result of construction, the applicant will be required to receive written permission from Land Use and provide additional landscape mitigation. Lastly, the applicant will be required to enter into an agreement with the Parks Department regarding the future maintenance of the right-of-way trees and understory landscaping. **Refer to Condition of Approval regarding the agreement with the Parks Department, final landscape and irrigation plans, and landscape installation and maintenance devices in Section X of this report.**

C. Parking

Because parking for auto sales and service is unspecified in the Land Use Code, the applicant has provided the following parking analysis based on specific uses on site. This allocation of parking is based on and is consistent with the approved parking provided by the Toyota of Bellevue (Michaels) dealership to the east across 148th Avenue SE:

Use	Requirement	Stalls Req'd
Office – 907 net sq. ft.	4.5/1000 nsf	4
Sales Employees – 16 employees	1.0/Employee	16
Service Employees/Bays – 23 service bays	1.0/Bay	23
Parts – 3,536 net sq. ft.	1.4/1000 nsf	5
Customer Parking		17
Total Required (not including display vehicles)		65
Provided (includes service vehicles)		100 stalls
New and Used Vehicle inventory and display		265
TOTAL STALLS ON SITE		365 stalls

All employee parking will be within the existing parking structure, which has a total of 184 stalls. In addition, there will be three customer stalls outfitted for Electrical Vehicle Charging (EVC).

D. Lighting

To protect adjacent properties and vehicular traffic in the right-of-way, all exterior lighting fixtures shall utilize cutoff shield or other appropriate measures to conceal the light source. There shall be no light spillover glare beyond the site boundaries. The lighting in the parking garage shall utilize appropriate shielding to prevent light spillover. **Refer to Condition of Approval regarding lighting in Section X of this report.**

IV. PUBLIC NOTICE AND COMMENT

Application Date: August 14, 2013
 Application Completeness Date: September 5, 2013
 Notice of Application published: September 19, 2013
 Public Notice Sign installed: September 19, 2013
 Minimum Comment Period ended: September 26, 2013
 Public Meeting: October 3, 2013

Although the minimum required public comment period ended on June 6, 2013, comments were accepted up to the date of this decision. Land Use received two emails regarding the scope and timing of construction for project. The owner of the property north of the site contacted the City regarding the use of 148th Avenue SE but did not submit any comments in writing. He and one other gentleman attended the public meeting. All correspondence is available for public viewing in the project file at City Hall.

V. TECHNICAL REVIEW

A. Clearing & Grading

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this Design Review application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

B. Utilities

The City has specific capacities for water, sewer and storm drainage in which the developer's and civil engineer shall design to meet the minimum requirements outlined in Bellevue City Code and the Utilities Engineering Standards.

The water, sewer and storm drainage systems have been reviewed on a conceptual basis only. There are no implied approvals of the engineering specifications for the water, sanitary sewer and storm drainage systems for this proposal. Engineering review will be performed through the Utility Developer Extension Agreement (UE Application). Final civil engineering may require changes to the site layout to accommodate the utilities. The Utility Code and Utility Engineering Standards contain adequate design requirements.

The water, sewer and storm drainage systems shall be designed per the Utility codes BCC 24.02, 24.04 and 24.06, and the Utility Engineering Standards. The water, sewer and storm drainage system engineering review, approvals, and inspection shall occur through the Utility Developer Extension application process. **Refer to Condition of Approval regarding utilities in Section X of this report.**

C. Transportation

Site Access

Access to the proposed project will be provided via a relocated driveway from SE Eastgate Way and an existing driveway to the parking garage from 148th Avenue SE. The existing driveway onto 148th Avenue SE just north of SE Eastgate Way will be removed and replaced with curb, gutter, and sidewalk to match the existing improvements.

The new driveway onto SE Eastgate Way will be 36 feet wide, allowing for separate exiting left and right turn lanes and one entering lane. The entering lane will be 14 feet wide and the exiting lanes will each be 11 feet wide, with appropriate delineation provided. The driveway apron design shall be consistent with Standard Drawing DEV-7F. Replacement or provision and installation of a speed limit sign along this street frontage will be required.

The proposed new driveway location on SE Eastgate Way is approximately 40 feet to the east of the current driveway, allowing for better separation from the existing driveway to the west. Two existing street trees at the location of the proposed driveway will be removed; the two remaining to the east will be limbed up as necessary to achieve required sight distance as described in Development Standard 21 and Standard Drawing TE-1. Existing sight distance to the west is acceptable provided that no obstructions to sight distance are added.

Dealership vehicles will be delivered to the parking garage driveway on 148th Avenue SE on a vehicle transport rig. All loading and unloading must be accommodated on site. Use of the street for loading and unloading will not be permitted. Due to the limitations of the site with existing structure location, and given the dead-end nature of 148th Avenue SE, backing of the transport rig to deliver vehicles to the site will be permitted. A spotter must provide guidance to the transport rig driver at all times at this location when backing of the transport rig will occur.

In order to enable vehicle delivery without use of the state's limited access area, the applicant has provided a diagram depicting modification to the north edge of the existing driveway to the parking garage. Modification of the driveway to a larger than usual width and curb radius is necessary to enable acceptable access. Provision of a spotter to facilitate safe backing movement is required. Blocking of through traffic on 148th Avenue SE for longer than a reasonable time to accomplish the backing maneuver will not be allowed. Modification of the driveway would require the relocation of one existing street light (at the developer's expense). A street lighting plan detailing this work must be submitted and approved prior to issuance of the clearing and grading permit. Street trees and street lights must be 25 feet apart, both at this location and along the remaining site frontage. Also, street trees and any other fixed object must be located a minimum of ten feet from the driveway's Point A as shown in Standard Drawing DEV-7F. Design information proving that the driveway modification will enable access to the driveway in a manner acceptable to the City will be required.

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act (ADA) and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual. At this site, the existing curb and sidewalk are acceptable. Matching improvements must be installed at the locations on SE Eastgate Way and 148th Avenue SE where existing driveways are being closed.

1. The applicant has requested the relocation of existing on-street parking along the east side of 148th Avenue SE to the west side of that street, in order to facilitate the vehicle transport rig access to the site. This relocation will be permitted with modification of street channelization and provision and installation of appropriate street signs as determined by the review engineer. The modified center line of this roadway will be located at 20 feet east of the west curb, allowing for an eight foot parking width, a 12 foot southbound lane, and a 16 foot northbound lane.

2. In general, the ADA requires that sidewalk cross slopes not exceed two percent. Sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. At this site, existing street frontage improvements are acceptable. The design and appearance of the sidewalk to be replaced along SE Eastgate Way and 148th Avenue SE shall match the adjacent improvements, as directed by the Transportation Department inspector and consistent with the Transportation Department Design Manual, including Standard Drawings TE-10 and TE-11. Any improvements damaged during construction at the site, as determined by the review engineer, shall be replaced by the applicant.

3. The ADA also requires provision of a consistent travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk. ADA-compliant curb ramps will be installed on both sides of 148th Avenue SE at the intersection with SE Eastgate Way, consistent with Standard Drawings TE-12A and TE-12D. The developer shall also install a crosswalk at that location, consistent with Standard Drawing TE-7A.

4. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in Standard Drawing DEV-7F. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post.

5. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement.

Refer to Condition of Approval regarding civil engineering plans for transportation, building and site plans for transportation, and street frontage improvements in Section X of this report.

Easements

The applicant shall provide easements to the City for location of any street light facilities consisting of above-grade boxes and/or below-grade vaults between the building and sidewalk within the landscape area on the street frontage. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.

Use of the Right-of-Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right-of-Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right-of-Way Use Permit.

Refer to Condition of Approval regarding the Right-of-Way Use Permit in Section X of this report.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has

been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Near this project, both SE Eastgate Way and 148th Avenue SE have been classified as "Standard Trench Restoration." The applicant will need to obtain a right of way use permit; the Right of Way Manager will specify restoration requirements needed as a result of any utility work or damage occurring during construction activities. **Refer to Condition of Approval regarding pavement restoration in Section X of this report.**

D. Fire

The Fire Reviewer reviewed the plans and materials submitted for this project and determined that the fire-related portion of this Design Review application can be approved. **Refer to Conditions of Approval regarding fire in Section X of this report.**

VI. STATE ENVIRONMENTAL POLICY ACT (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see Environmental Checklist in the project file at City Hall Records Office). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2013-2024 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS), adopted August, 2013 (available in the Records Office at City Hall). This document analyzes the transportation and air quality impacts of the City's Traffic Task Force recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Code or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below together with specific conditions of approval. These impacts will be mitigated through exercise of Code authority as well as through project-specific conditions of approval, contained in Section X of this report.

A. NOISE

Construction Noise: The Bellevue Noise Control Ordinance BCC 9.18 limits noise levels at the property line to 55 dBA (A-weighted sound level), except from 7:00 a.m. to 6:00 p.m. on weekdays and 9:00 a.m. to 6:00 p.m. on Saturdays that are not legal holidays. Expanded hours may be approved by the Land Use Director per BCC

9.18.020.B and approval via an LY permit. Restricting the construction hours will reduce noise impacts to neighboring properties. Expanded construction hours during evening or early morning hours should be avoided to minimize noise impacts to the adjacent hotel. In addition, the contractor must use the best available noise abatement technology consistent with feasibility during construction. **Refer to Condition of Approval regarding construction hours and use of best available noise abatement technology in Section X of this report.**

B. TRANSPORTATION

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2024 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2024 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. New Bellevue Nissan lies within MMA #10; the Transportation Facilities Plan assumes that MMA 10 increases in retail space by 43,244 sf from 2012 to 2024.

The existing development on the subject parcels comprises the old Bally's Fitness building, a parking structure to the north, and retail and office uses in the southern parcel. This proposal will reduce the Bally's Fitness building in size by approximately 6400 square feet, and demolishes the existing building in the southern lot. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts.

The current City of Bellevue impact fee schedule does not include Health Club as a specified use. Therefore, a pm peak hour trip rate of 3.53 trips per thousand gross square feet, as reported in the Institute of Transportation Engineers Trip Generation Manual, was used to calculate trips for the previous Bally's Fitness building. Using a conservative new trip generation rate of 90% and a reasonable trip length of 3/4 mile, the impact fee credit for the health club is equivalent to the impact fee amount for the proposed auto sales use. Demolition of the retail/office building to the south provides additional impact fee credit; therefore, no impact fee payment is required.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

This development will generate approximately 72 p.m. peak hour trips; however, a credit of 131 trips is provided by the removal of the previous health club use on the site. The Bally fitness operation was closed on April 17, 2012. Therefore, no concurrency analysis is required.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Removal of the poorly located existing driveway on 148th Avenue SE just north of SE Eastgate Way improves traffic operations at this location and reduces the number of driveways for this site from three to two. A review of the accident history indicates that there was one documented accident in the vicinity of the property frontage on SE Eastgate Way within the last five years, which is a low accident rate.

VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Site Design

- The plantings in the landscape buffers were increased to meet the Transition Area landscape buffer requirements.
- Circulation through the dealership portion of the site was modified to make movement safer and easier.
- Driveway into the parking garage was modified to allow for car delivery and turning motions of car hauler.

VIII. DECISION CRITERIA

Below is a discussion of how the proposal has met the decision criteria for the Design Review request.

A. Design Review: The Director may approve, or approve with modifications, an application for Design Review under LUC 20.30F.145.A–E if:

1. The proposal is consistent with the Comprehensive Plan.

This project is consistent with the Comprehensive Plan and it is in alignment with the City's commitment to maintain, strengthen, protect and enhance its existing properties and neighborhoods.

Policy LU-9: *Maintain compatible use and design with surrounding built environment when considering new development or redevelopment within an already developed area.*

Finding: The existing buildings have design features that are compatible with the surrounding land uses. However, new paint, exterior materials and revised landscaping will help to further integrate them into the existing neighborhood fabric.

Policy UD-3: *Encourage a variety of site and building designs which are compatible and consistent with surrounding development and that implement the policies of this plan.*

Finding: By introducing new materials and updated colors, the proposal project will provide a fresh, urban appearance to the buildings.

2. **The proposal complies with the applicable requirements of this Code.**
Finding: The proposal complies with all applicable requirements of the Land Use Code. **Refer to Section III of this report for specific information on Land Use Code consistency.**

3. **The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.**
Finding: As conditioned, the proposal complies with all applicable Design Guidelines. In addition, the proposal has addressed the conditions of Ordinance 6108 and the associated Land Use Code Amendment in the following manner:
 - a) Transition Area Landscape Buffers: Refer to Section III.B of this report for how the proposal has provided landscape buffers and used the Alternative Landscape Option.
 - b) Light Spillage: As conditioned, all exterior lighting will be required to have cut-off shields. **Refer to Condition of Approval regarding lighting in Section X of this report.**
 - c) Car Inventory Storage: With the exception of display vehicles and vehicles being worked on in the service area, the cars on site, including the employees' vehicles, will be stored/parked within the existing garage. The garage holds approximately 184 vehicles.

4. **The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**
Finding: The proposed site development, enhanced landscape buffers, and exterior building upgrades are compatible with surrounding neighborhood, which is a mix of office and retail buildings, surface parking lots, and a hotel. This proposal allows for the appropriate adaptive reuse of currently unutilized existing structures.

5. **The proposal will be served by adequate public facilities including streets, fire protection, and utilities.**
Finding: All required public services and facilities are available to the site.

IX. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, City Code & Standard compliance reviews and SEPA review, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal, which includes Design Review and SEPA threshold determination.

X. CONDITIONS OF APPROVAL:

Compliance with City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including, but not limited to the following:

Applicable Codes, Standards and Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Kevin Carolan, 425-452-7832
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Tim Stever, 425-452-4294
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Chris Dreaney, 425-452-5264
Utility Code – BCC Title 24	Art Chi, 425-452-4119

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Noise & Construction Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Proximity to existing residential (hotel) uses will be given special consideration. Upon written request to DSD, work hours may be extended to 10:00 p.m. if the criteria for extension of work hours as stated in BCC 9.18 can be met and the appropriate mitigation employed.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Sally Nichols, Land Use

2. Use of Noise Abatement Technology

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020F
REVIEWER: Sally Nichols, Land Use

3. Provisions for Loading

The property owner shall provide an off-street loading space which can access a public street. On-street loading and unloading will not be permitted. A spotter must provide guidance to the transport vehicle driver whenever backing maneuvers will occur.

AUTHORITY: LUC 20.20.590.K.4, BCC 14.60.150
REVIEWER: Chris Dreaney, Transportation

4. Utilities

There are no implied approvals of the engineering specifications for the water, sanitary sewer and storm drainage systems for this proposal. Engineering

review will be performed through the Utility Developer Extension Agreement (UE Application). Final civil engineering may require changes to the site layout to accommodate the utilities. The Utility Code and Utility Engineering Standards contain adequate design requirements.

The water, sewer and storm drainage systems shall be designed per the Utility codes BCC 24.02, 24.04 and 24.06, and the Utility Engineering Standards. The water, sewer and storm drainage system engineering review, approvals, and inspection shall occur through the Utility Developer Extension application process.

AUTHORITY: BCC 24.02, 24.04, 24.06
REVIEWER: Art Chi, Utilities

5. Fire

Fire Lanes are to be marked in accordance with IFC 503.3 and Public Information Handout F-11 http://www.bellevuewa.gov/pdf/Fire/F-11_FireCurbSigns.pdf

AUTHORITY: IFC 503.3 Bellevue Amended
REVIEWER: Kevin Carolan, Fire

6. Solid Waste/Recycling

All pick-up functions will be handled on-site and all rights of way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

All trash receptacles shall be screened from view by adjacent properties. A detail of the enclosure for the trash receptacles shall be included with any future building permits.

All lids for any solid waste and/or recycling receptacles must be made of molded plastic or other sound buffering material.

AUTHORITY: LUC 20.20.725, 20.25B.040.F
REVIEWER: Sally Nichols, Land Use

B. **PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:**

1. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.

- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access. The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever, Transportation/Right-of-Way

2. Civil Engineering Plans - Transportation

Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the ADA, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; landscape plans must conform to the engineering plans as needed.)
- c) Handicapped ramps and crosswalk revisions.
- d) Installation or relocation of streetlights and related equipment.
- e) Sight distance. (Show the required sight triangles and include any sight obstructions, including those off-site.)
- f) Location of fixed objects in the sidewalk or near the driveway approach.
- g) Trench restoration within any right of way or access easement.
- h) Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.
- i) Driveway aprons must be constructed in accordance with Design Manual Standard Drawing 7F. No fixed object shall be allowed to remain within ten feet of the driveway edge.
- j) Landings on sloping approaches are not to exceed a 7% slope for a distance of 30 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- k) Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

AUTHORITY: BCC 14.60; Transportation Department Design Manual
REVIEWER: Chris Dreaney, Transportation

3. Access Design

The applicant must provide design information showing that the operation of the Nissan vehicle transport rig can be accommodated, either through use of a portion of the adjoining WSDOT limited access area, or through an acceptably modified driveway access onto 148th Avenue SE. If use of the state limited access area is necessary, written agreement by the appropriate state department is required. Use of the city right of way for loading and unloading is not allowed. A spotter must be provided during all backing maneuvers for loading or unloading of vehicles in order to provide safe operation of the delivery vehicle.

Unreasonable blocking of through traffic on 148th Avenue SE during deliveries will not be allowed.

AUTHORITY: LUC 20.20.590.K.4; BCC 14.60.150
REVIEWER: Chris Dreaney, Transportation

4. Final Landscape and Irrigation Plans

Final Landscape and Irrigation plans shall be submitted and approved under the Clearing and Grading permit application to ensure compliance with all Land Use Code requirements. The following items shall be reflected on the plans:

Plant Material:

- a) The new street tree on Eastgate Way shall be *Acer rubrum*. These trees shall be installed with a minimum 2 to 2 ½ –inch caliper at time of planting. Contact Parks Department prior to planting.
Parks Department Contacts:
Tom Kuykendall, tkuykendall@bellevuewa.gov or (425) 452-7925; or
Melissa Kerson, mkerson@bellevuewa.gov or (425) 45204100
- b) Mountain hemlocks, shown on the submitted plan under Design Review, shall be changed to *Thuja plicata* ‘Hogan’
- c) Replace *Bouteloua gracillis* with a more ornamental, less weedy and invasive grass.
- d) Any evergreen shrub in a required landscape buffer (within the property line) shall be a minimum of 36-42” tall at time of planting.
- e) A revised tree retention plan shall be submitted with the landscape plans to clearly identify street trees, perimeter trees, and interior trees and to provide revised table of diameter inches of trees to be retained and trees to be removed. (For example, trees T-1 through T-6 are to be removed, but on the submitted tree retention plan they are proposed to be retained and T-32 will need to be removed due to conflicts with the garbage enclosure).
- f) To compensate the loss of these additional trees and non-compliance with the perimeter tree retention requirements, the applicant shall plant three (3) additional *Thuja plicata* ‘Hogan’– one to the east and two to the west of the garbage enclosure in the landscape buffer.
- g) **Street trees on SE Eastgate Way and on 148th Avenue SE shall be pruned and maintained ONLY by the Parks Department .**

Irrigation:

- a) No drip irrigation will be allowed within any City right-of-way.

- b) There shall be a minimum 4-inch diameter sleeves under all new sidewalks and driveways.
- c) Class 200 irrigation pipe will not be allowed in the right-of-way, and ideally should be eliminated throughout the site for consistency. Schedule 40 is required.
- d) Any irrigation system for all landscaping within the City right-of-way will be on a separate meter and controller which can be accessed 24 hours a day by the City of Bellevue Parks Department. Coordinate the exact location and design with the Parks Department prior to irrigation installation. Parks Department Contacts are the following:
 - Tom Kuykendall, tkuykendall@bellevuewa.gov or (425) 452-7925; or
 - Melissa Kerson, mkerson@bellevuewa.gov or (425) 45204100

AUTHORITY: LUC 20.20.520 and 20.25B.040.C
REVIEWER: Sally Nichols, Land Use

4. Pervious Paving

As part of the Clearing and Grading application, the applicant shall submit the following:

- a. Construction plans designed by a professional engineer licensed by the State of Washington.
- b. A maintenance plan for the pervious paving.
- c. A long-term performance assurance device will be required to ensure the continued function of the pervious pavement. Refer to Condition of Approval in Section E. below.

AUTHORITY: LUC 20.20.460
REVIEWER: Sally Nichols, Land Use

C. **PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:**

1. Building and Site Plans – Transportation

Elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Landscaping plans and architectural site plans must (a) accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans and (b) comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241
REVIEWER: Chris Dreaney, Transportation

2. Lighting

Applicant shall submit manufacturers' cut-sheets/information for all exterior lighting fixtures and for the interior garage fixtures to demonstrate that cutoff shields or other appropriate measures are being used to conceal the light source from adjacent properties and rights-of-way.

AUTHORITY: LUC 20.20.522
REVIEWER: Sally Nichols, Land Use

3. Amended Binding Site Plan

The applicant shall amend the existing Binding Site for Parcels A and B to also include Parcel C. This site plan has been approved with this Design Review approval and it shall be recorded with King County as an amended Binding Site Plan.

AUTHORITY: LUC 20.30F.165, 58.17 RCW
REVIEWER: Sally Nichols, Land Use

D. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. Street Frontage Improvements

All street frontage improvements and other required transportation elements including street signs and street light modifications and installation must be constructed by the applicant and accepted by the City Inspector. All existing street lights affected by this development, including power sources, must be relocated as necessary. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction.

AUTHORITY: BCC 14.60; Transportation Department Design Manual
REVIEWER: Chris Dreaney, Transportation

2. Pavement Restoration

Pavement restoration associated with street frontage improvements, utility connections, or to repair damaged street surfaces shall be provided as directed by the Right of Way Manager and the Transportation Department Inspector.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #23
REVIEWER: Tim Stever, Right-of-Way/Transportation

3. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the applicant shall submit the following: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation and inspection approval by Land Use and Clearing and Grading.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

4. Landscape Maintenance Assurance Device

A landscape maintenance assurance device must be filed with the Development Services Department for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

5. Maintenance Agreement with Parks Department/City of Bellevue

After one-year, the landscape in public rights-of-way shall be inspected by Land Use and the Parks Department. Prior to the release of the Landscape Maintenance Assurance Device, the applicant and the City of Bellevue shall enter into an agreement to determine future maintenance responsibilities for the streetscape and streetscape plantings.

AUTHORITY: LUC 20.25A.060
REVIEWER: Sally Nichols, Land Use

6. Pervious Paving - Performance Assurance Device

Prior to CO, the applicant will be required to enter into a pervious surface maintenance agreement with the City and record this agreement to ensure the continued function of the pervious pavement.

AUTHORITY: LUC 20.20.470.G
REVIEWER: Sally Nichols, Land Use

E. PRIOR TO ISSUANCE OF SIGN PERMITS

1. Individual Sign Permits

This Design Review approval does not include approval of any signage. Design review of each sign and compliance with the sign Code will occur through review of each sign permit application. The sign permit submittal package plans, elevations, and/or sketches shall include but are not limited to:

- a) Location
- b) Illumination
- c) Color and Materials
- d) Design (no cabinet or freestanding signs are permitted)

AUTHORITY: LUC 20.25A.110, LUC 20.30F, BCC 22B.10.025.B.4
REVIEWER: Sally Nichols, Land Use

Attachments

- A. Project Plans
- B. SEPA Checklist
- C. 1994 Binding Site Plan

ATTACHMENT A

PROJECT PLANS



THREE DEALERSHIP PROJECT NEW BELLEVUE NISSAN (PROJECT 1 OF 3)

DATE: 02.07.2014
REVISIONS:
APPENDIX #1

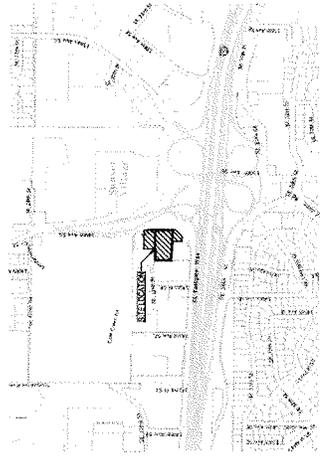
BID SET
PROJECT NO.: 12007
DATE: 01.30.2014
SHEET:
TITLE SHEET

TITLE



NEW BELLEVUE NISSAN BELLEVUE, WASHINGTON

MECHANICAL DOCUMENTS CONT.:		MECHANICAL DOCUMENTS CONT.:	
SHT.	DESCRIPTION	SHT.	DESCRIPTION
M03	MECHANICAL DETAILS	M03	MECHANICAL DETAILS
M04	PANING DETAILS	M04	PANING DETAILS
M05	VERTICAL CURTAIN/ELEVATOR	M05	VERTICAL CURTAIN/ELEVATOR
M06	VERTICAL CURTAIN/ELEVATOR	M06	VERTICAL CURTAIN/ELEVATOR
M07	1ST FLOOR HVAC PLAN	M07	1ST FLOOR HVAC PLAN
M08	2ND FLOOR HVAC PLAN	M08	2ND FLOOR HVAC PLAN
M09	ROOF HVAC PLAN	M09	ROOF HVAC PLAN
M10	HVAC DETAILS	M10	HVAC DETAILS
M11	HVAC DETAILS	M11	HVAC DETAILS
M12	HVAC DETAILS	M12	HVAC DETAILS
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M16	HVAC DETAILS	M16	HVAC DETAILS
M17	HVAC DETAILS	M17	HVAC DETAILS
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M19	HVAC DETAILS	M19	HVAC DETAILS
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M22	HVAC DETAILS	M22	HVAC DETAILS
M23	HVAC DETAILS	M23	HVAC DETAILS
M24	HVAC DETAILS	M24	HVAC DETAILS
M25	HVAC DETAILS	M25	HVAC DETAILS
M26	HVAC DETAILS	M26	HVAC DETAILS
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M28	HVAC DETAILS	M28	HVAC DETAILS
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M98	HVAC DETAILS	M98	HVAC DETAILS
M99	HVAC DETAILS	M99	HVAC DETAILS
M100	HVAC DETAILS	M100	HVAC DETAILS



VICINITY MAP
SCALE: N.T.S.

ABBREVIATIONS

AB	Architect	AD	Architectural Detail	AE	Architectural Elevation	AF	Architectural Finish	AG	Architectural Grounding	AH	Architectural Hardware	AI	Architectural Interior	AJ	Architectural Joinery	AK	Architectural Kitchen	AL	Architectural Landscape	AM	Architectural Mechanical	AN	Architectural Note	AO	Architectural Office	AP	Architectural Plan	AQ	Architectural Quantity	AR	Architectural Rendering	AS	Architectural Section	AT	Architectural Text	AV	Architectural View	AW	Architectural Window	AX	Architectural Woodwork	AY	Architectural Yard	AZ	Architectural Zone
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SYMBOLS

SYMBOL	DESCRIPTION
(Room Number)	ROOM NUMBER
(Door)	DOOR
(Window)	WINDOW
(Elevation)	ELEVATION
(Section)	SECTION
(Detail)	DETAIL
(Plan)	PLAN
(North Arrow)	NORTH

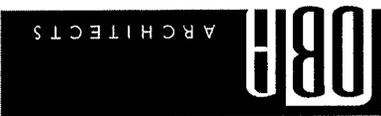
PROJECT TEAM

OWNER:	THREE DEALERSHIP PROJECT
PROJECT INFORMATION:	PROJECT SITE ADDRESS: 3235 148th Ave S.E. BELLEVUE, WA 98007
ARCHITECT/DESIGN PROFESSIONAL IN RESPONSIBLE:	LOBB ARCHITECTS
ENGINEER/LANDSCAPE:	SMITH ENGINEERING
MECHANICAL ENGINEER:	SMITH ENGINEERING
ELECTRICAL ENGINEER:	SMITH ENGINEERING

PROJECT DATA

LEGAL DESCRIPTION:	PARCEL A (7.04 PARCELS, NO. 10246-904)
PROJECT INFORMATION:	PROJECT SITE ADDRESS: 3235 148th Ave S.E. BELLEVUE, WA 98007
ARCHITECT/DESIGN PROFESSIONAL IN RESPONSIBLE:	LOBB ARCHITECTS
ENGINEER/LANDSCAPE:	SMITH ENGINEERING
MECHANICAL ENGINEER:	SMITH ENGINEERING
ELECTRICAL ENGINEER:	SMITH ENGINEERING

SET NO.



THREE DEALERSHIP PROJECT
NEW BELLEVUE NISSAN
(PROJECT 1 OF 3)

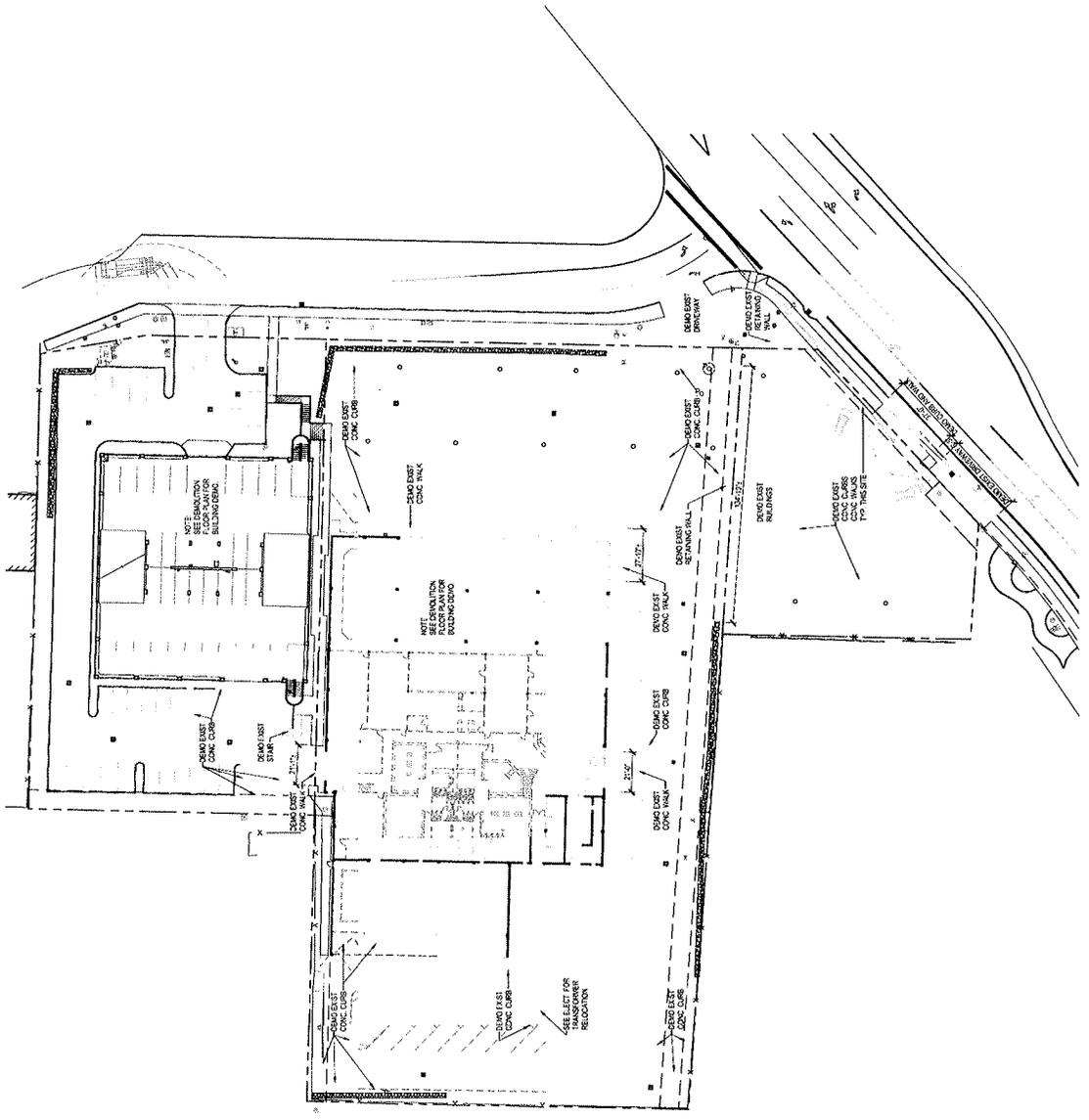
NOT FOR
CONSTRUCTION

REVISIONS:
ADDENDUM #1
02.07.2014

BID SET
PROJECT NO.:
12007
DATE:
01.30.2014

SHEET:
SITE
DEMOLITION
PLAN

AD1.1



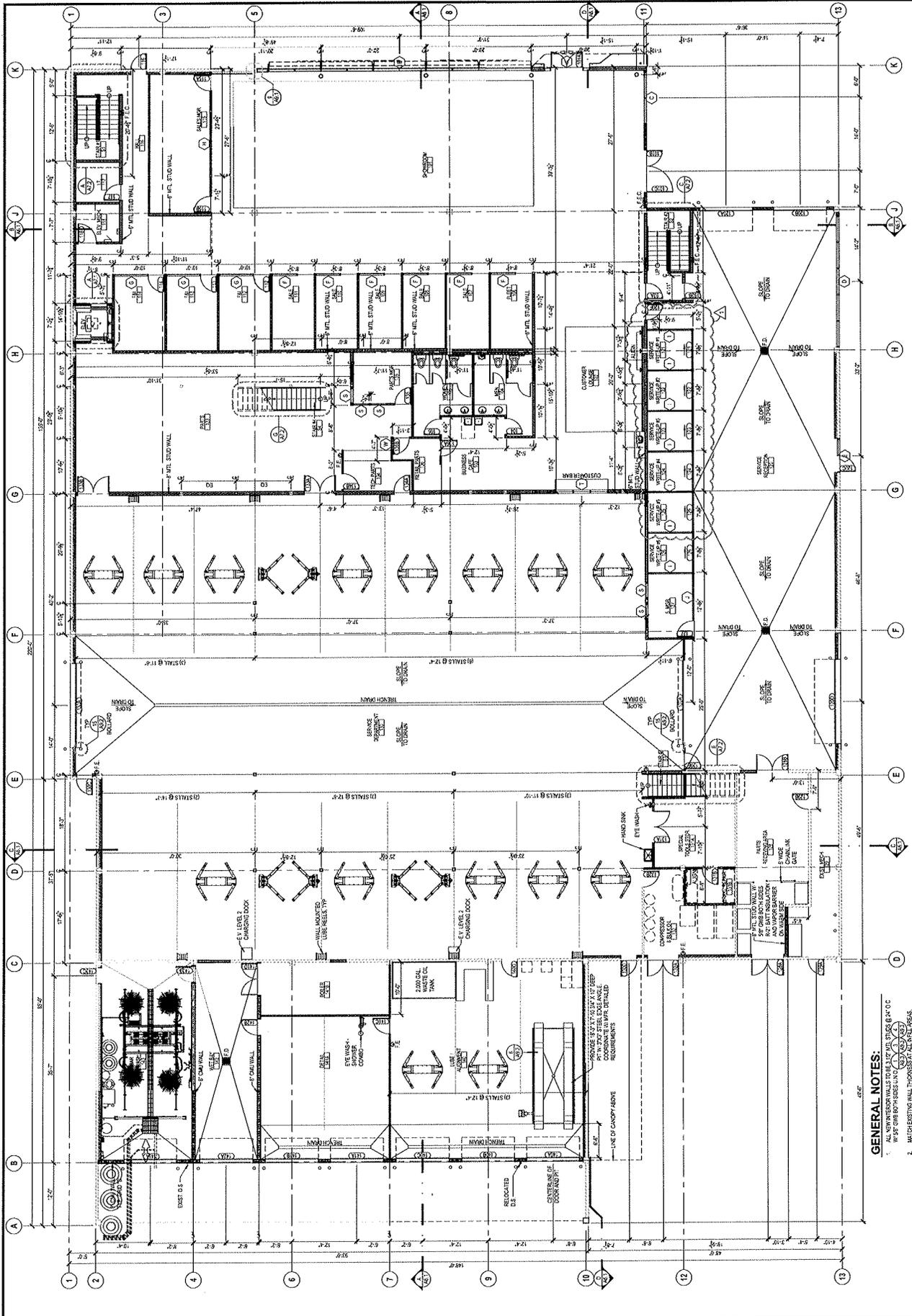
SITE DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



REVISIONS:
APPENDIX #1
02.07.2014

BID SET
PROJECT NO.: 12007
DATE: 01.30.2014
SHEET:
1ST FLOOR
PLAN

A2.1



- GENERAL NOTES:**
1. SEE OTHER SHEETS FOR FINISHES.
 2. ALL EXTERIOR WALLS TO BE CONCRETE WITH INSULATION.
 3. ALL INTERIOR WALLS TO BE GYP. BOARD WITH INSULATION.
 4. ALL DIMENSIONS ARE TO FACE OF STUD WALL.
 5. ACoustic BATT INSULATION.

NEW 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



THREE DEALERSHIP PROJECT NEW BELLEVUE NISSAN (PROJECT 1 OF 3)

3235 148th Ave S.E. | Bellevue, WA | 98007

REGISTERED ARCHITECT
DATE: 02.07.2014
PROJECT NO.: 12007

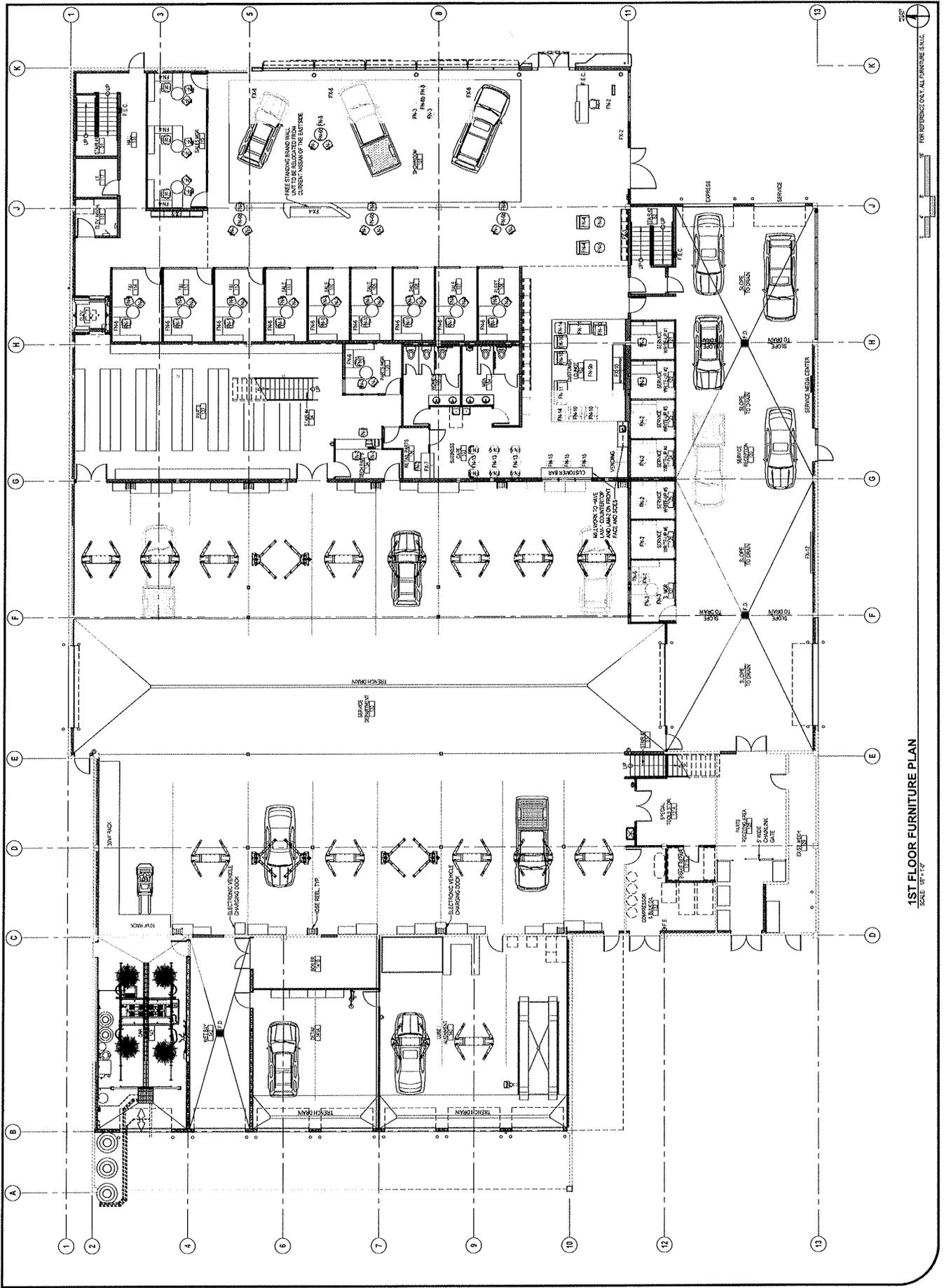
REVISIONS:
ADDENDUM #1
02.07.2014

BID SET
PROJECT NO.: 12007

DATE: 01.30.2014

SHEET:
1ST FLOOR
FURNITURE
PLAN

A2.1A



1ST FLOOR FURNITURE PLAN
SCALE: 1/8" = 1'-0"

FOR REFERENCE ONLY. FURNITURE IS NOT TO SCALE.

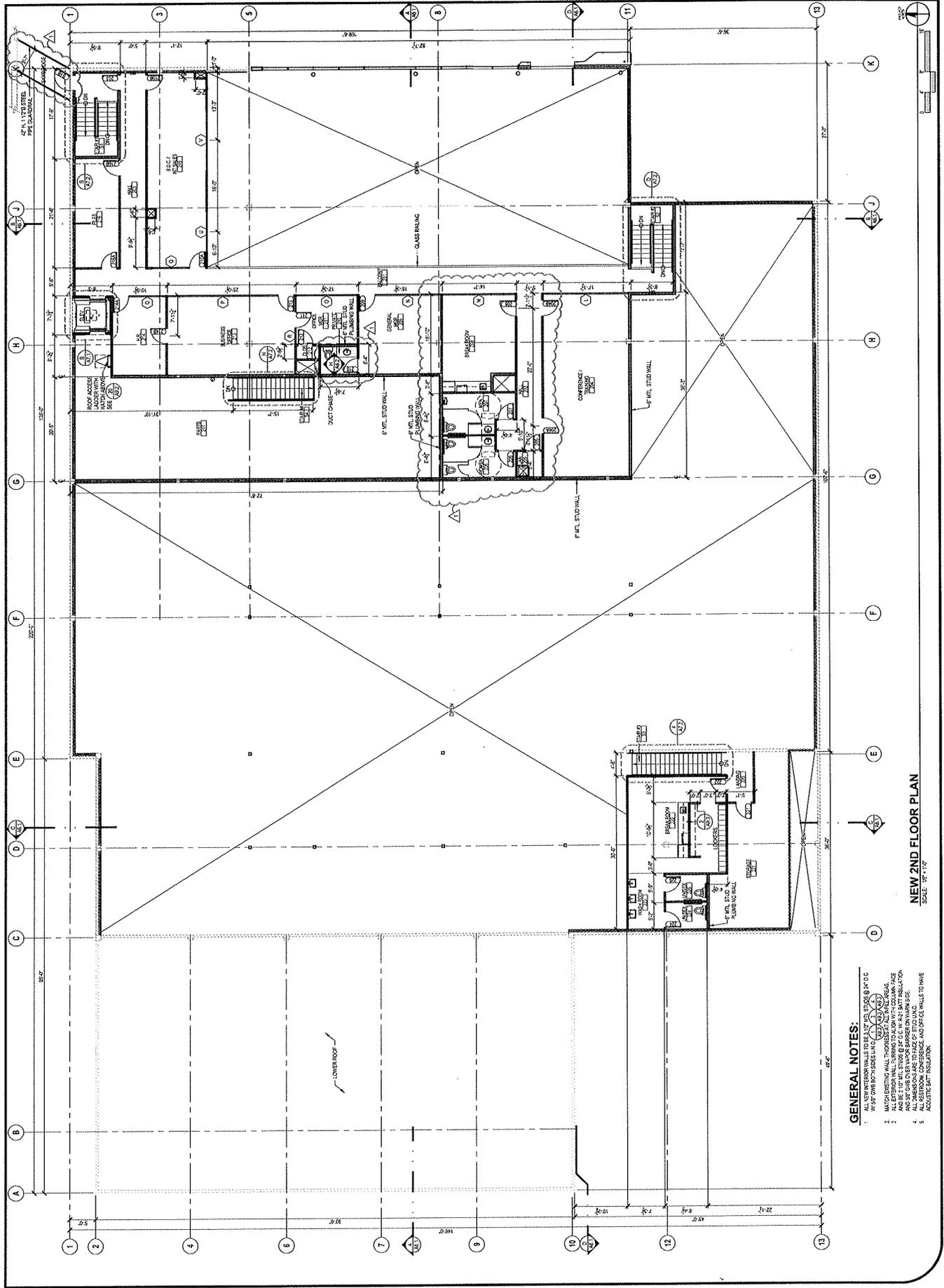


THREE DEALERSHIP PROJECT
 NEW BELLEVUE NISSAN
 (PROJECT 1 OF 3)
 2335 148th Ave S.E. | Bellevue, WA | 98007

REGISTERED ARCHITECT
 PROJECT NO. 12007
 DATE: 01.30.2014
 REVISIONS:
 APPENDIX #1
 02.07.2014

BID SET
 PROJECT NO.: 12007
 DATE: 01.30.2014
 SHEET:
 2ND FLOOR
 PLAN

A2.2



- GENERAL NOTES:**
1. ALL NEW INTERIOR WALLS TO BE 1/2" GYPSUM @ 24" O.C.
 2. ROOF PENETRATIONS TO BE 2" MIN. GYPSUM @ 24" O.C.
 3. ALL EXTERIOR WALLS TO BE 8" CMU WITH 2" AIR SPACE AND 1/2" GYPSUM @ 24" O.C. WITH BATT INSULATION.
 4. ALL DIMENSIONS ARE TO FACE OF STUD WALL.
 5. ALL HORIZONTAL CORNER AND OFFICE WALLS TO HAVE FACED GYP FINISHING.

NEW 2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

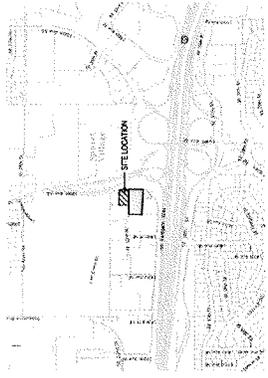
PROJECT DATA

PROJECT INFORMATION:
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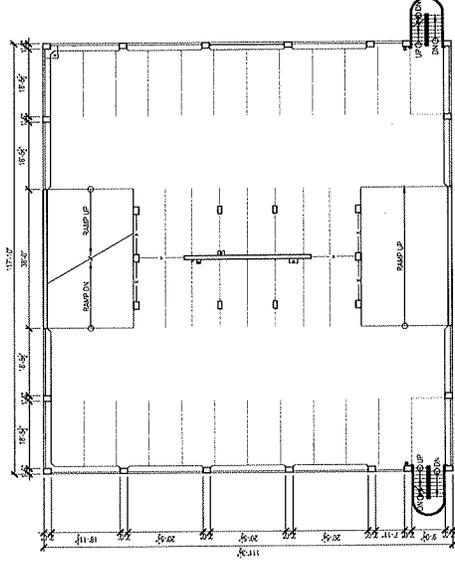
CITY OF BELLEVUE CODE INFO:
 ZONING: O3 - OFFICE AND LIMITED BUSINESS
SPECIAL INSPECTIONS REQUIRED:
 NONE REQUIRED

IBC CODE INFO:
 BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL BUILDING CODE
 CONSTRUCTION TYPE: 2B (1) SPRINKLERED (RATED)

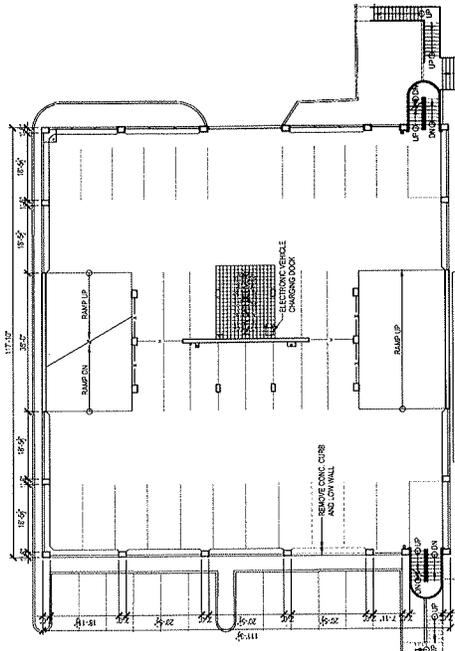
PROVIDED:
 11,145 SF
 5 STORIES
 50% BALCONY TOTAL
 30% STAIR
 13,145 SF TOTAL
 13,145 SF TOTAL
 13,145 SF TOTAL
 TOTAL BUILT PROGRAM: 2
 67,720 SQ FT TOTAL BUILT
 37,720 SQ FT TOTAL BUILT



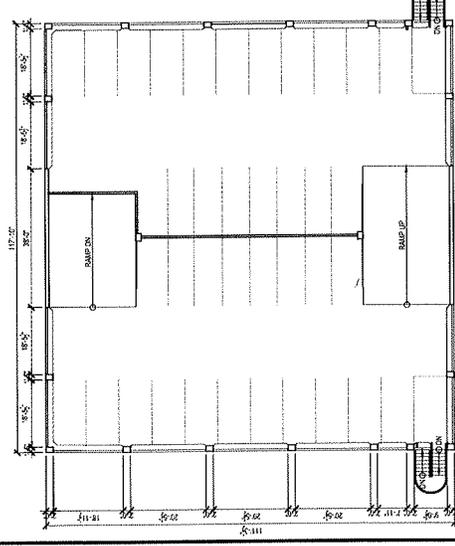
1 VICINITY MAP
 SCALE: 1/8" = 1'-0"



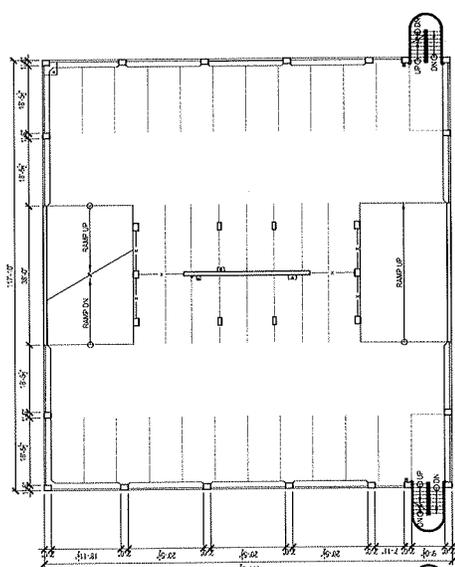
D 4TH LEVEL
 SCALE: 1/8" = 1'-0"



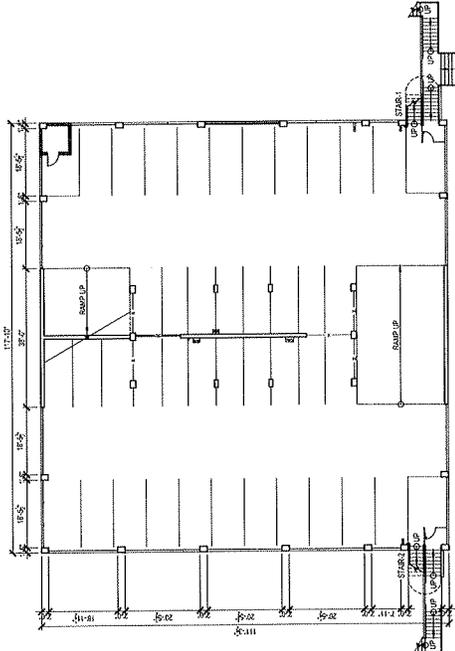
B 2ND LEVEL
 SCALE: 1/8" = 1'-0"



E 5TH LEVEL - ROOF PLAN
 SCALE: 1/8" = 1'-0"



C 3RD LEVEL
 SCALE: 1/8" = 1'-0"



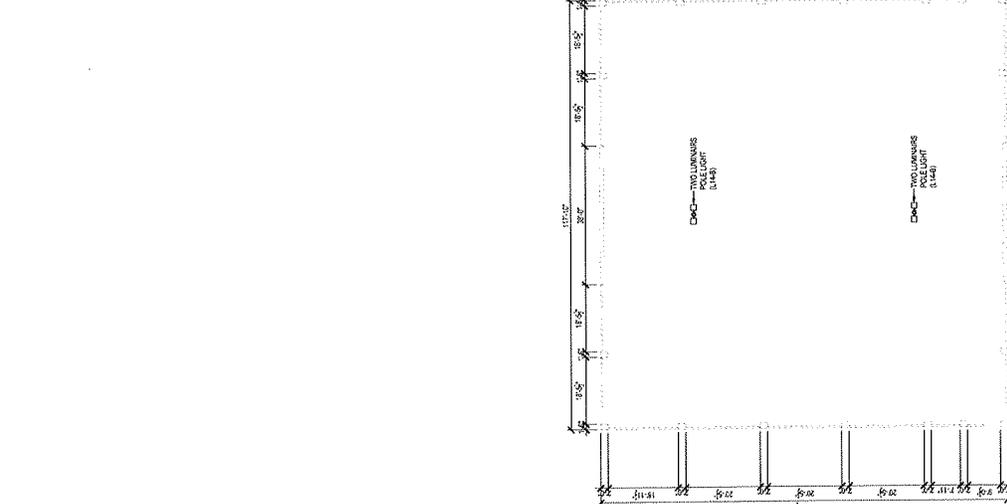
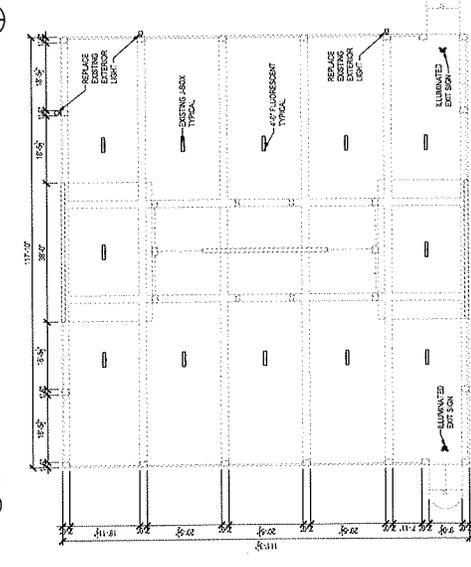
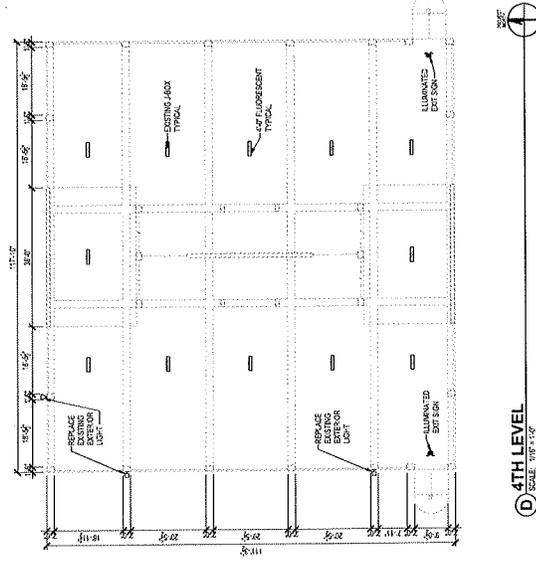
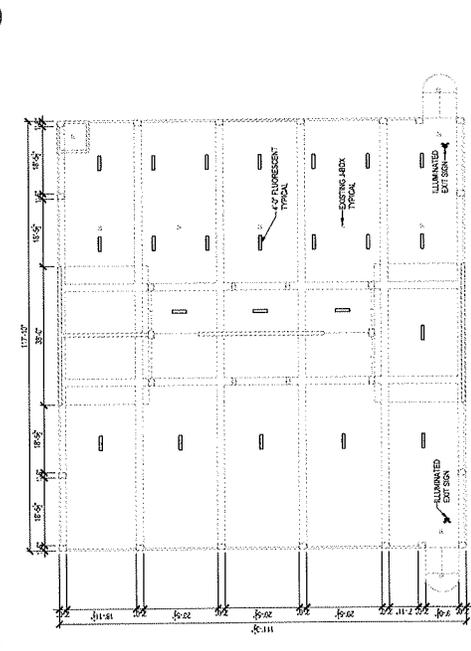
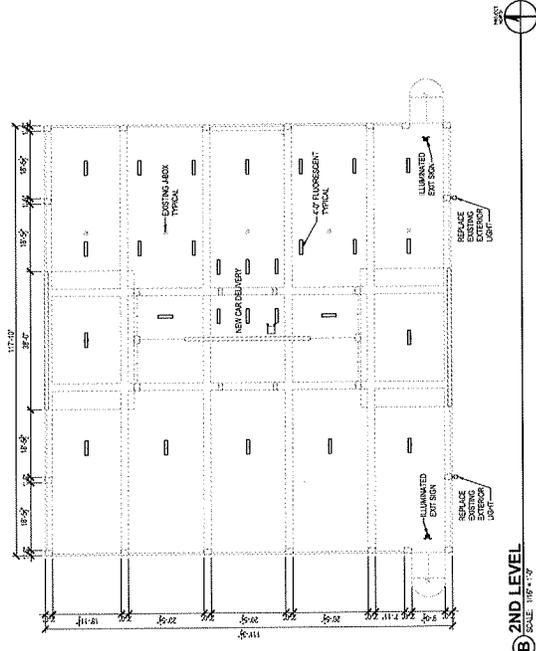
A 1ST LEVEL
 SCALE: 1/8" = 1'-0"



REVISIONS:
 ADDENDUM #1
 02.07.2014

BID SET
 PROJECT NO.: 13007
 DATE: 01.30.2014

SHEET:
 PARKING
 GARAGE REF
 CLG PLAN
AP3.1



2ND LEVEL
 SCALE: 1/8" = 1'-0"

1ST LEVEL REF. CLG. PLAN
 SCALE: 1/8" = 1'-0"

4TH LEVEL
 SCALE: 1/8" = 1'-0"

3RD LEVEL
 SCALE: 1/8" = 1'-0"

5TH LEVEL - ROOF PLAN
 SCALE: 1/8" = 1'-0"

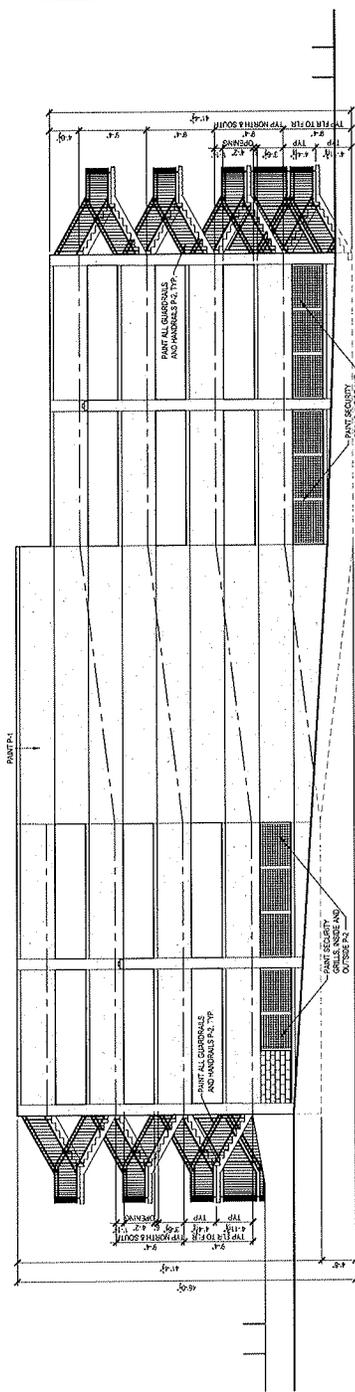


REVISIONS:
APPENDIX #1
02.07.2014

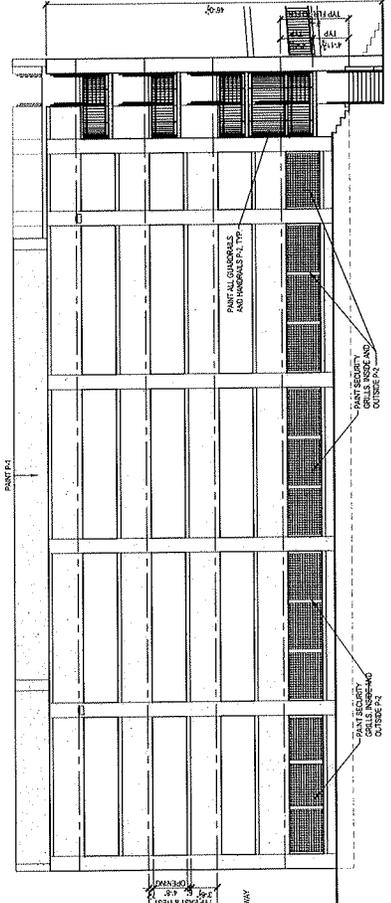
BID SET
PROJECT NO.:
DATE:
01-30-2014

SHEET
PARKING
GARAGE
ELEVATIONS

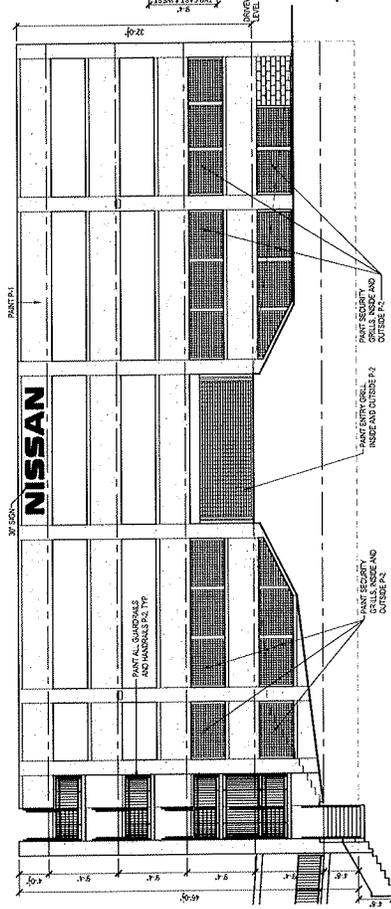
AP4.1



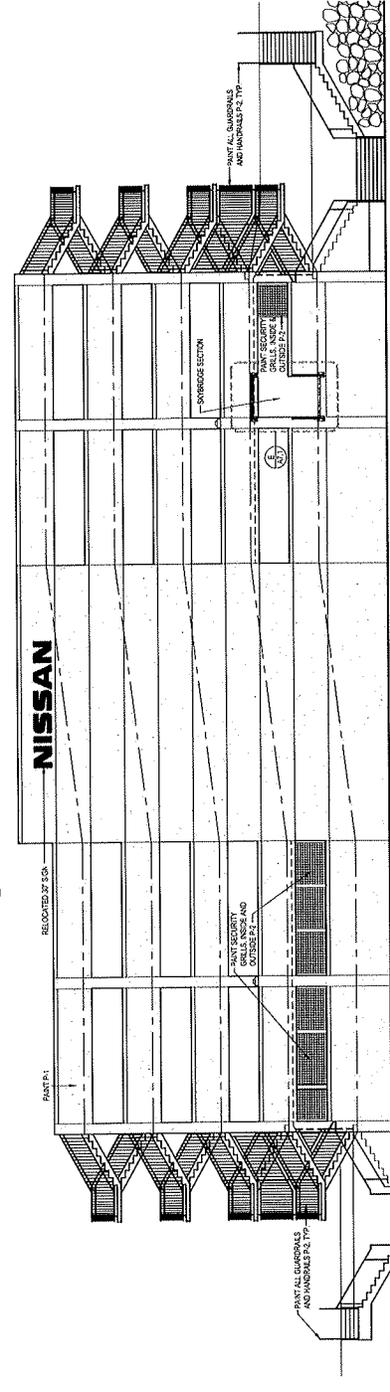
(A) NORTH ELEVATION
SCALE: 1/8" = 1'-0"



(C) WEST ELEVATION
SCALE: 1/8" = 1'-0"



(B) EAST ELEVATION
SCALE: 1/8" = 1'-0"



(D) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

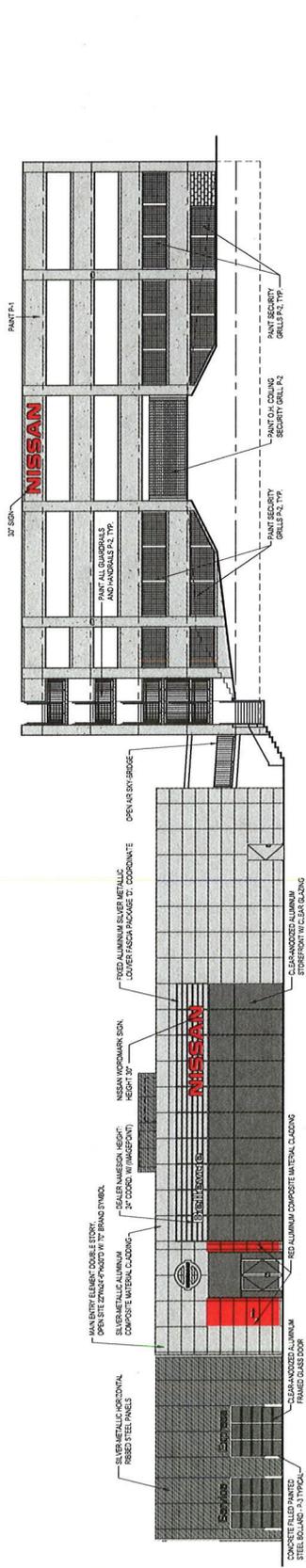
REVISIONS:

△	APPENDUM #1	07.15.2014
△	APPENDUM #2	02.17.2014
△	APPENDUM #4	03.03.2014
△	CODE REVIEW REV.	01.19.2014

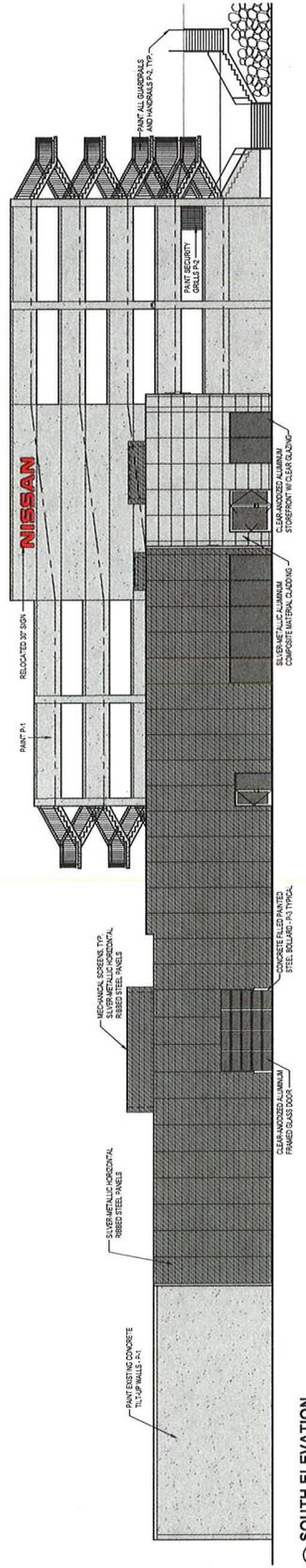
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PROJECT NO.:	12007
DATE:	01.30.2014

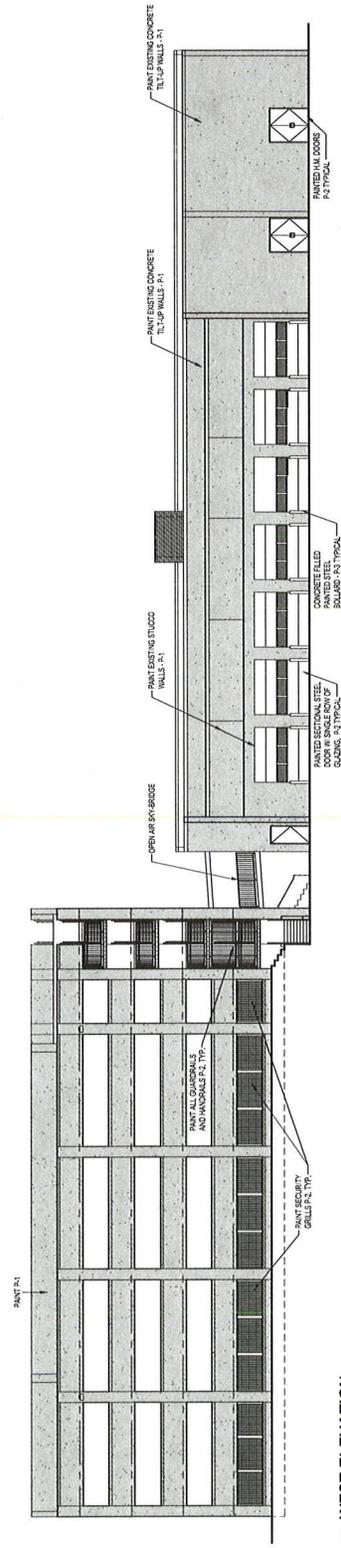
SHEET:
 PARKING -
 SALES
 ELEVATIONS
AP4.2



A EAST ELEVATION
 SCALE: 3/32" = 1'-0"



B SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

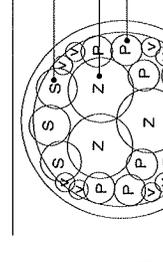


C WEST ELEVATION
 SCALE: 3/32" = 1'-0"

GENERAL LANDSCAPE NOTES

- DO NOT DIG BEFORE LOCATING UTILITIES.
- SUBGRADES, INCLUDING BERMS, TO WITHIN 1/8" TYP. PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- SUBGRADE SHALL BE SCARIFIED OR ROTOTILLED IF CONDITIONS REQUIRE.
- APPLY 6" DEPTH TYPICAL 3-WAY MIX TOPSOIL IN ALL PLANTING AREAS OR AS OTHERWISE NOTED.
- APPLY 3" DEPTH MEDIUM/GRADE GRADE BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED. SANDWICH, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT MAY ADJUST PLANT QUANTITIES OR VARIETIES BASED ON AVAILABILITY OR FIELD CONDITIONS.
- CONTRACTOR TO DETERMINE GROUNDCOVER QUANTITIES BASED ON EQUILATERAL TRIANGULAR PATTERN AT THE SPACING LISTED IN THE PLANT LEGEND.
- ALL PLANT MATERIAL SHALL BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- CONTRACTOR ADDRESSES TO WARRANTY AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON PAST INSTALLATION TO THE OWNER.
- CONTRACTOR SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD WITH NO DEDUCTION TO THE OWNER.
- NEW TREES SHALL HAVE DORMANT BRANCHING SCOUTS OF 5-1/2" MINIMUM ABOVE GRADE OR AS OTHERWISE NOTED.
- ALL TREES SHALL BE PROTECTED AS SHOWN ON THE DETAILS. STAKES TO BE REMOVED AFTER ONE FULL GROWING SEASON. TREES SHALL BE WITHIN ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-SET AS PER THE DETAIL.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER AND REVIEWING AGENCY.

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- LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER AND REVIEWING AGENCY.



FACE OF BUILDING

ANNUAL SALVAGE - VARYING COLORS RED TO ORANGE

THINKA 'TINKA' YELLOW FLAME OF HEMLOCK 'Slate D'art' / STILLA D'ORO DAVELY (H)

MULTIFLORA PETUNIA or Lichedusa diffuse 'Green Ward' / GRACE WARD LINDHOLM (*)

LOBLODIE VINE BACOPA or Vero 'Eter' / VIOLA (4)

3/8" DIAMETER CONCRETE PLANTER

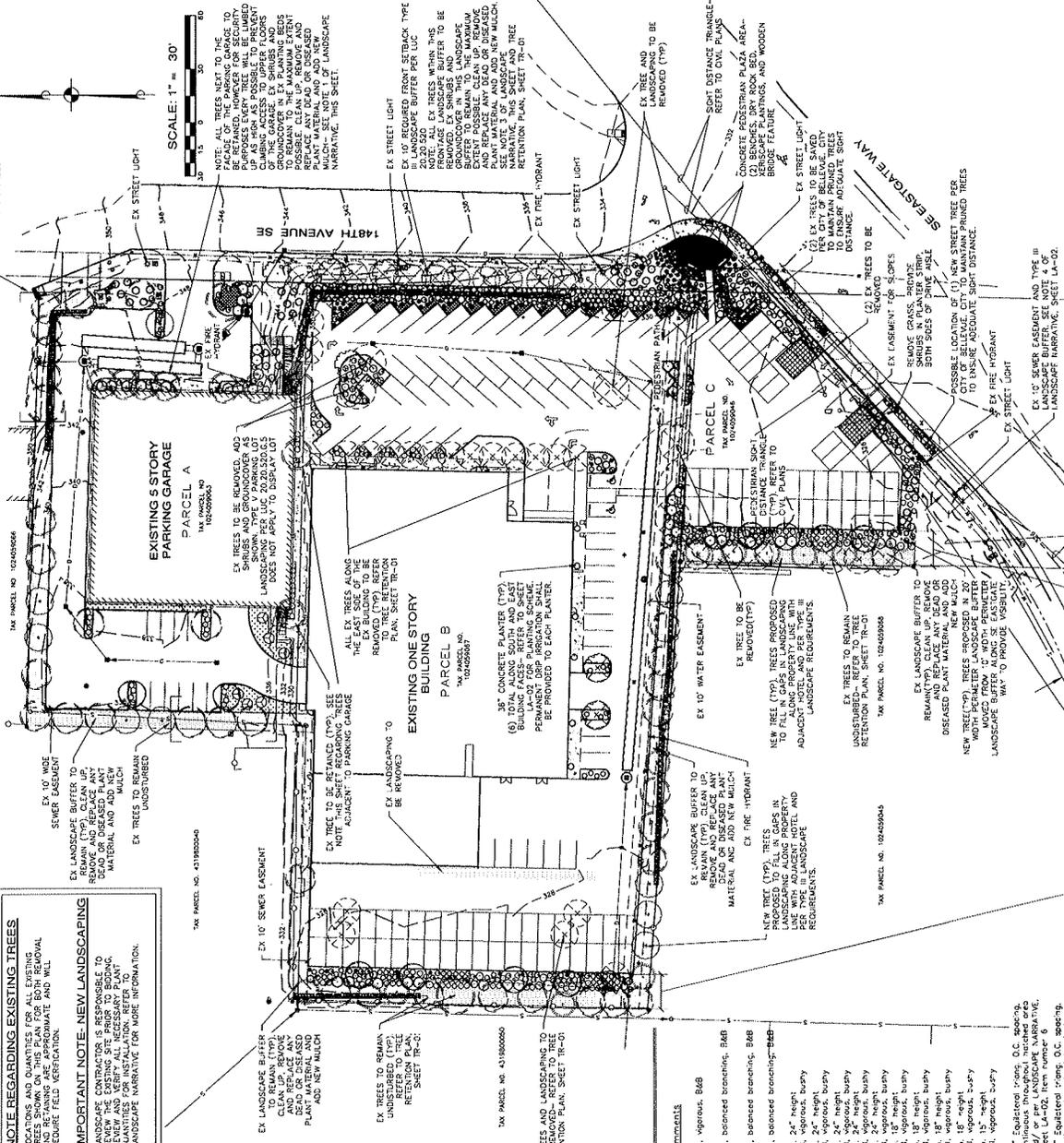
NOTE: ALL PLANTERS TO RECEIVE PERMANENT DRIP IRRIGATION

PLANT LEGEND (N) = NATIVE SPECIES, (B) = BUFFER SPECIES

Species	Quantity	Size	Comments
TR-07 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	6	6" Ht. min.	Full, vigorous, B&B
TR-08 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	14	1-1/2' col.	Full, balanced branching, B&B
TR-09 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	9	6" Ht. min., 3' height	Full, balanced branching, B&B
TR-10 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	11	4-1/2' height	Full, balanced branching, B&B
TR-11 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	109	Min. 24" height	Full, vigorous, bushy
TR-12 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	6	Full, vigorous, bushy	Full, vigorous, bushy
TR-13 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	41	Min. 24" height	Full, vigorous, bushy
TR-14 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	61	Full, vigorous, bushy	Full, vigorous, bushy
TR-15 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	217	Min. 18" height	Full, vigorous, bushy
TR-16 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	185	Min. 18" height	Full, vigorous, bushy
TR-17 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	107	Full, vigorous, bushy	Full, vigorous, bushy
TR-18 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	54	Min. 18" height	Full, vigorous, bushy
TR-19 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	13	Full, vigorous, bushy	Full, vigorous, bushy
TR-20 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	84	Min. 15" height	Full, vigorous, bushy
TR-21 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	1	Full, vigorous, bushy	Full, vigorous, bushy
TR-22 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	1	24" Equilateral Triang. O.C. spacing, continuous throughout, reached area	24" Equilateral Triang. O.C. spacing, continuous throughout, reached area
TR-23 <i>Thuja occidentalis</i> / MOUNTAIN HEMLOCK (N) (B)	1	24" Equilateral Triang. O.C. spacing, continuous throughout, reached area	24" Equilateral Triang. O.C. spacing, continuous throughout, reached area

PER LUG REQUIREMENTS, SOME OF ALL SPECIES WITHIN LANDSCAPE BUFFERS ARE TO BE NATIVE. THEREFORE, OF THE 14 SPECIES PROPOSED WITHIN BUFFERS, 8 MUST BE NATIVE. THERE ARE 6 NATIVE BUFFER SPECIES PROPOSED.

A PORTION OF THE NE 1/4 OF THE SE 1/4 OF SECTION 10, T. 24 N., R. 5 E., W.M.



NO.	REVISIONS
1	COMPLETION
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED
8	REVISED

ESM CONSULTING ENGINEERS, LLC
 1010 SE Harvard Hall Way
 Denver, VA 80204-2055
 (303) 733-7411
 www.esmva.com

RDG, LLC
 LANDSCAPE PLANNING
 CITY OF BELLEVUE
 1500 1st Avenue, Suite 100
 Bellevue, WA 98005
 (206) 451-1100

LA-01
 1 of 3 SHEETS

DATE: 07/20/2021
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]
 DESIGNED BY: [Signature]
 JOB NO.: 1704-0001-01

NO.	REVISIONS
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
6	ISSUED FOR PERMITS
7	ISSUED FOR PERMITS
8	ISSUED FOR PERMITS
9	ISSUED FOR PERMITS
10	ISSUED FOR PERMITS

ESM CONSULTING ENGINEERS LLC
 3900 BRAY AVENUE, SUITE 200
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 10000 BELLEVUE AVENUE, SUITE 100
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 (703) 851-1111

OVERALL LANDSCAPE NARRATIVE

THE PROPOSED PROJECT WILL CONVERT THREE PARCELS TO A CAR DEALERSHIP. THE NORTHWEST CORNER PARCEL WILL BE USED TO STORE INVENTORY VEHICLES. THE EAST PORTION OF THE PARCEL WILL BE USED TO CLAMP AND GAIN ENTRANCE TO THE UPPER FLOOR OF THE GARAGE. THE EXISTING PLANTING BEDS AROUND THE GARAGE ARE TO BE MAINTAINED AND REPLACED WITH SIMILAR PLANTING MATERIALS AS THE STREET FRONTAGE IS SPARSE. ADDITIONAL LANDSCAPING SHALL BE ADDED AS REQUIRED WITH SIMILAR PLANTING MATERIALS AS THE EXISTING.

THE PROPOSED PROJECT WILL BE DIVIDED INTO THE MAIN CORPUS, BECAUSE THE BUILDING FEATURES HIGH VISIBILITY. ALL TREES DIRECTLY IN FRONT OF THE WINDOWS ON THE EAST FACADE SHALL BE REPLACED WITH SMALL SHRUBS AND GROUNDCOVER TO MAINTAIN VISUAL INTEREST. THE BUILDING FACADE WILL HAVE (6) 3" CONCRETE PLANTERS PLACED NEXT TO THE BUILDING FOR VISUAL INTEREST. THE BEST FACADE LANDSCAPING WILL BE REMOVED AS A RESULT OF CHANGES TO THE PARKING AND BUILDING LAYOUT.

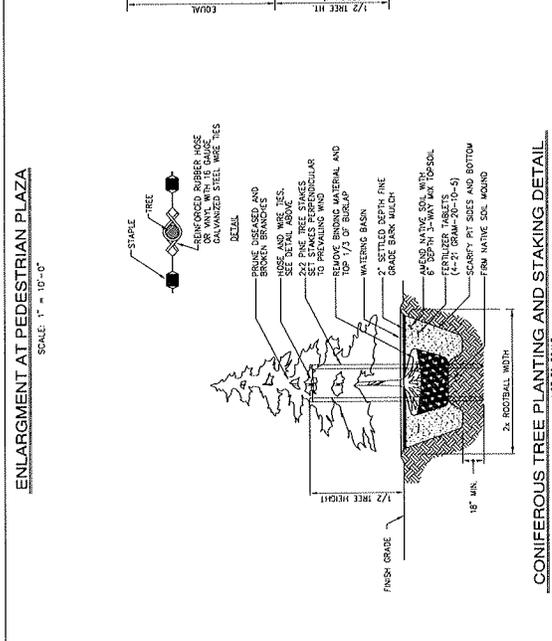
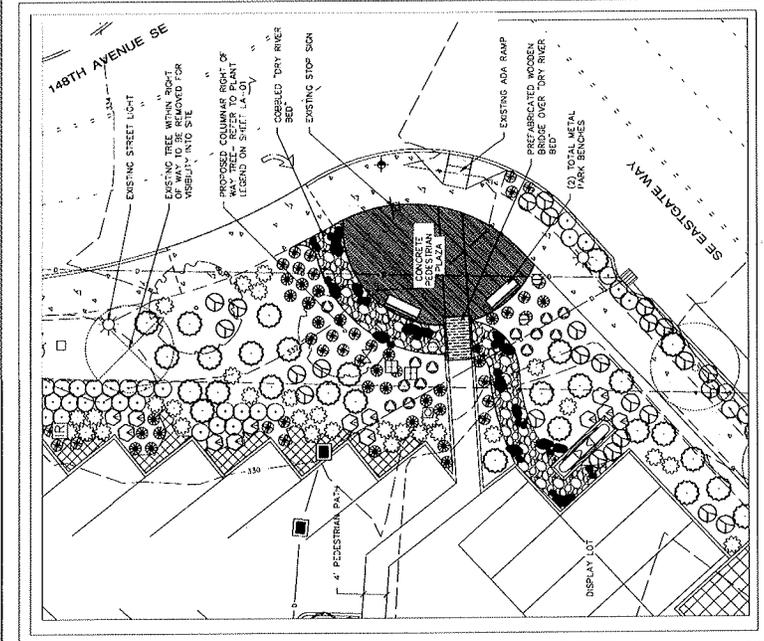
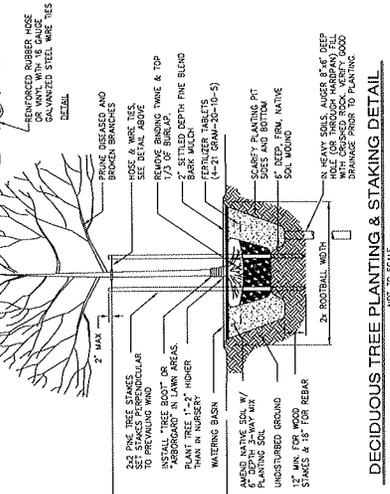
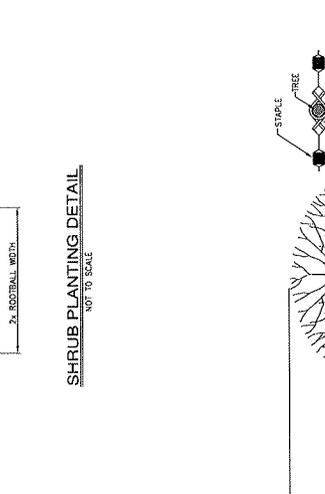
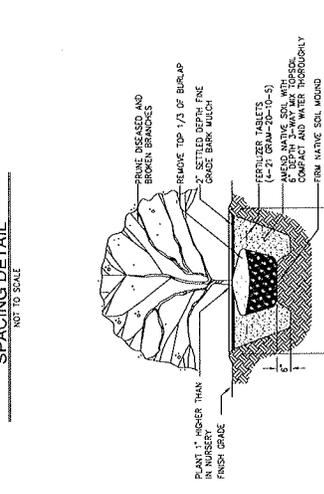
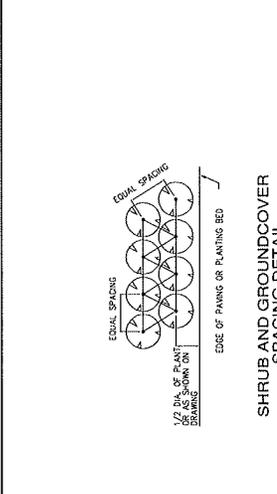
3. THERE ARE LARGE TREES IN THE FRONTAGE PLANTING AREA ALONG 148TH AVE SE WHICH HEAVILY SCREEN THE MAIN PLANTING AREA TO THE MAXIMUM EXTENT POSSIBLE. THESE ARE UNDESIRABLE SHRUBS AND GROUNDCOVER THAT SHOULD BE REMOVED FROM THE PLANTING AREA TO THE MAXIMUM EXTENT POSSIBLE. THESE ARE UNDESIRABLE SHRUBS AND GROUNDCOVER THAT SHOULD BE REMOVED FROM THE PLANTING AREA TO THE MAXIMUM EXTENT POSSIBLE. THESE ARE UNDESIRABLE SHRUBS AND GROUNDCOVER THAT SHOULD BE REMOVED FROM THE PLANTING AREA TO THE MAXIMUM EXTENT POSSIBLE. THESE ARE UNDESIRABLE SHRUBS AND GROUNDCOVER THAT SHOULD BE REMOVED FROM THE PLANTING AREA TO THE MAXIMUM EXTENT POSSIBLE.

- PARCEL A:**
- 1. 20' WESTERN BUFFER- 13 TOTAL TREES X 60% REQUIRED EVERGREEN- 8 REQUIRED EVERGREEN TREES, 5 SHOWN. EXISTING SHRUBS AND GROUNDCOVER WILL REMAIN AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
 - 2. 10' NORTH WESTERN BUFFER- 11 TOTAL TREES X 60% REQUIRED EVERGREEN- 7 REQUIRED EVERGREEN TREES, 8 SHOWN. EXISTING SHRUBS AND GROUNDCOVER WILL REMAIN AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
 - 3. 10' SOUTH WESTERN BUFFER- 15 TOTAL TREES X 60% REQUIRED EVERGREEN- 9 REQUIRED EVERGREEN TREES, 9 SHOWN. EXISTING SHRUBS AND GROUNDCOVER WILL REMAIN AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
 - 4. 10' WESTERN BUFFER- 14 TOTAL TREES X 60% REQUIRED EVERGREEN- 10 REQUIRED EVERGREEN TREES, 10 SHOWN. NEW SHRUBS AND GROUNDCOVER WILL REMAIN IN THE EXISTING PORTION OF THE BUFFER AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
 - 5. 10' WITH EXISTING WOODEN BUFFER- NO NEW TREES PROPOSED. EXISTING SKER LINE AND EXISTING EXISTING SHRUBS AND GROUNDCOVER WILL REMAIN AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY. (WITH THE EXCEPTION OF INSTALLING TREES)
 - 6. 10' WITH EXISTING SOUTHERN BUFFER- 15 TOTAL TREES X 60% REQUIRED EVERGREEN- 9 REQUIRED EVERGREEN TREES, 9 SHOWN. EXISTING SHRUBS AND GROUNDCOVER WILL REMAIN AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
- PARCEL B:**
- 1. 20' WESTERN BUFFER- 13 TOTAL TREES X 60% REQUIRED EVERGREEN- 8 REQUIRED EVERGREEN TREES, 5 SHOWN. NEW SHRUBS AND GROUNDCOVER WILL REMAIN IN THE EXISTING PORTION OF THE BUFFER AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
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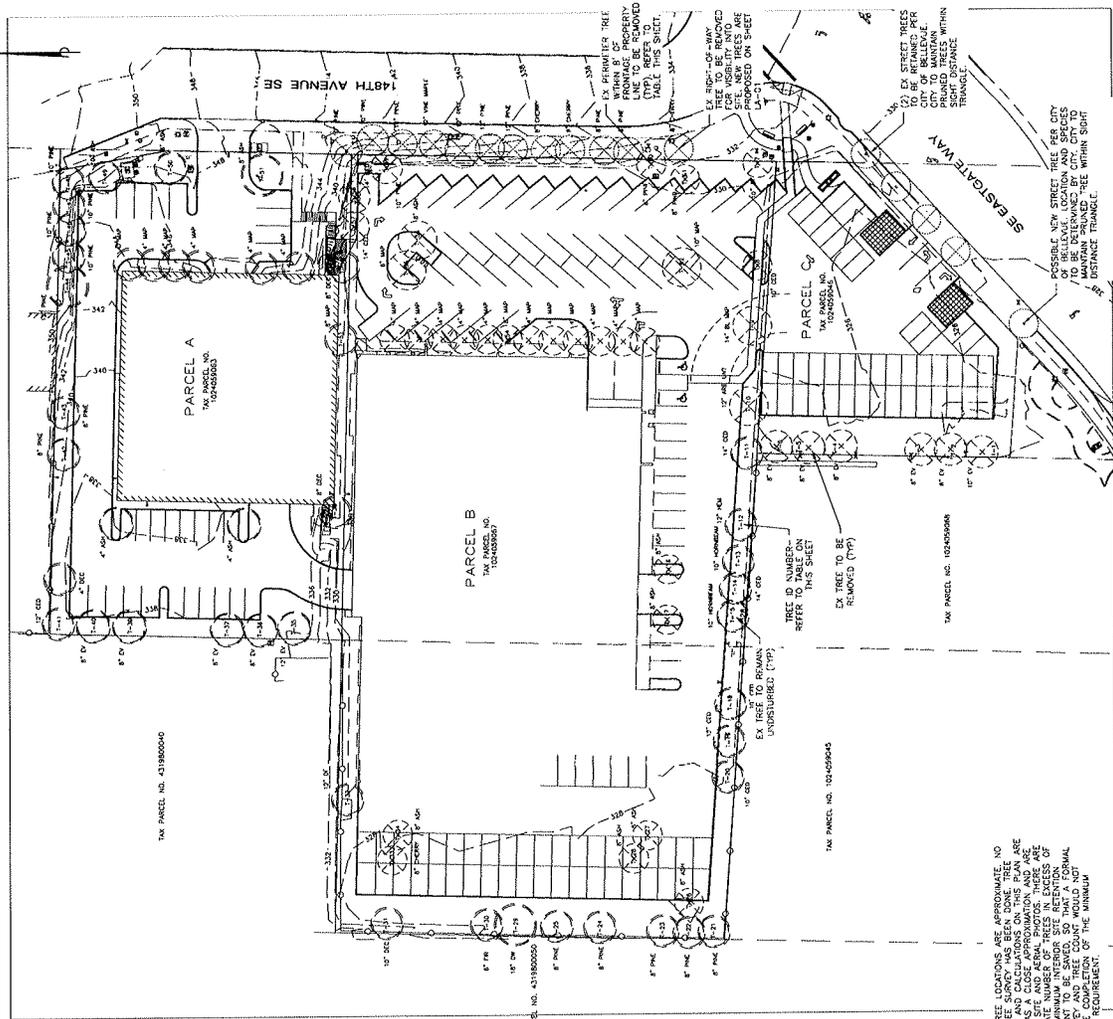
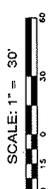
PARCEL C:

- 1. 20' WESTERN BUFFER- 13 TOTAL TREES X 60% REQUIRED EVERGREEN- 8 REQUIRED EVERGREEN TREES, 5 SHOWN. NEW SHRUBS AND GROUNDCOVER WILL REMAIN IN THE EXISTING PORTION OF THE BUFFER AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
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- PARCEL D:**
- 1. 20' WESTERN BUFFER- 13 TOTAL TREES X 60% REQUIRED EVERGREEN- 8 REQUIRED EVERGREEN TREES, 5 SHOWN. NEW SHRUBS AND GROUNDCOVER WILL REMAIN IN THE EXISTING PORTION OF THE BUFFER AND THE REQUIREMENTS OF NUMBER 8 BELOW APPLY.
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A PORTION OF THE NE 1/4 OF THE SE 1/4 OF SECTION 10, T. 24 N., R. 5 E., W.M.



NOTES:
 1. EXISTING TREE LOCATIONS ARE APPROXIMATE. NO QUANTITIES AND CALCULATIONS ON THIS PLAN ARE PROVIDED AS A CLOSE APPROXIMATION AND ARE AN APPROXIMATE NUMBER OF TREES IN EXCESS OF 100. THE NUMBER OF TREES IS BASED ON THE TREE SURVEY AND TREE COUNT WOULD NOT RETENTION REQUIREMENT.

SIGNIFICANT TREE	SPECIES	DIAMETER	TREES WITHIN PERMITTED	TREES WITHIN SITE INTERIOR	TREE SHED
			W/ADJACENT PARCELS	IN INCHES	IN INCHES
1-1	SP	12"	0	0	0
1-2	SP	12"	0	0	0
1-3	EV	8"	0	0	0
1-4	EV	8"	0	0	0
1-5	EV	8"	0	0	0
1-6	EV	8"	0	0	0
1-7	EV	8"	0	0	0
1-8	EV	8"	0	0	0
1-9	EV	8"	0	0	0
1-10	EV	8"	0	0	0
1-11	EV	8"	0	0	0
1-12	EV	8"	0	0	0
1-13	EV	8"	0	0	0
1-14	EV	8"	0	0	0
1-15	EV	8"	0	0	0
1-16	EV	8"	0	0	0
1-17	EV	8"	0	0	0
1-18	EV	8"	0	0	0
1-19	EV	8"	0	0	0
1-20	EV	8"	0	0	0
1-21	EV	8"	0	0	0
1-22	EV	8"	0	0	0
1-23	EV	8"	0	0	0
1-24	EV	8"	0	0	0
1-25	EV	8"	0	0	0
1-26	EV	8"	0	0	0
1-27	EV	8"	0	0	0
1-28	EV	8"	0	0	0
1-29	EV	8"	0	0	0
1-30	EV	8"	0	0	0
1-31	EV	8"	0	0	0
1-32	EV	8"	0	0	0
1-33	EV	8"	0	0	0
1-34	EV	8"	0	0	0
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1-36	EV	8"	0	0	0
1-37	EV	8"	0	0	0
1-38	EV	8"	0	0	0
1-39	EV	8"	0	0	0
1-40	EV	8"	0	0	0
1-41	EV	8"	0	0	0
1-42	EV	8"	0	0	0
1-43	EV	8"	0	0	0
1-44	EV	8"	0	0	0
1-45	EV	8"	0	0	0
1-46	EV	8"	0	0	0
1-47	EV	8"	0	0	0
1-48	EV	8"	0	0	0
1-49	EV	8"	0	0	0
1-50	EV	8"	0	0	0
1-51	EV	8"	0	0	0
1-52	EV	8"	0	0	0
1-53	EV	8"	0	0	0
1-54	EV	8"	0	0	0
1-55	EV	8"	0	0	0
1-56	EV	8"	0	0	0
1-57	EV	8"	0	0	0
1-58	EV	8"	0	0	0
1-59	EV	8"	0	0	0
1-60	EV	8"	0	0	0
1-61	EV	8"	0	0	0
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1-93	EV	8"	0	0	0
1-94	EV	8"	0	0	0
1-95	EV	8"	0	0	0
1-96	EV	8"	0	0	0
1-97	EV	8"	0	0	0
1-98	EV	8"	0	0	0
1-99	EV	8"	0	0	0
1-100	EV	8"	0	0	0

Refer to Landscape Area Tree Retention Requirement: 100% of existing trees.
 Site Interior Retention Requirement: 15% of Diameter Index = 587 ± 58%.

NO.	REVISIONS
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

ESM CONSULTING ENGINEERS, LLC
 3300 8th Ave S, Suite 200
 FARMERS VILLAGE, VA 22033
 PHONE: 703-241-4000
 FAX: 703-241-4001
 WWW.ESMCE.COM

City Engineering
 Public Works
 1000 S. Washington
 WASHINGTON, DC 20004

RDG, LLC
 NEW BELLEVUE NISSAN
 TRAFFIC RETENTION PLAN

JOB NO.	1704-000-01
DWG. NAME	TRAFFIC RETENTION PLAN
DESIGNED BY	LD
DRAWN BY	LD
CHECKED BY	LD
DATE OF PRINT	8/17/2017

ATTACHMENT B
SEPA CHECKLIST

*Sally Nichols
April 10, 2013*

ENVIRONMENTAL CHECKLIST

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

BACKGROUND INFORMATION

Property Owner: RDG Properties, LLC ✓

Proponent: RDG Properties, LLC ✓

Contact Person: Dennis Boone, AIA
(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 6836 Lakeside St SW, Olympia WA 98512 ✓

Phone: (360) 791-8926

Proposal Title: The New Bellevue Nissan

Proposal Location: 3235 148th Avenue SE - NW corner of SE Eastgate Way and 148th Ave SE.
(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: Redevelop the project site into a new automobile dealership.
2. Acreage of site: 3.12 Acres
3. Number of dwelling units/buildings to be demolished: 1 building will be demolished
4. Number of dwelling units/buildings to be constructed: No dwelling units or buildings will be constructed.
5. Square footage of buildings to be demolished: Approximately 6,262 sf
6. Square footage of buildings to be constructed: No new buildings will be constructed.
7. Quantity of earth movement (in cubic yards): Approximate quantities: Cut 500 CY, Fill 1,000 CY
8. Proposed land use: Automobile Dealership ✓
9. Design features, including building height, number of stories and proposed exterior materials:

*Reuse of parking garage & former athletic club bldg 6400 sq ft
Exist. small Retail*

overall sq. ft. reduced

*40' - 5 story garage & 24' - 2 story sales & service bldg
Existing bldgs.*

10. Other

Received
AUG 14 2013
Permit Processing

SN

Estimated date of completion of the proposal or timing of phasing:

The project is will be constructed in one phase and is estimated to be complete by the Spring of 2014. ✓

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. ✓

No

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

A geotechnical report, technical information report, and a traffic report will be prepared for this project.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known. ✓

A Pre-Application meeting was held with the City of Bellevue (File Number: 13-117509-DB) on June 26, 2013.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

The following permits are anticipated to be required: Design Review, Clear & Grade, Building, Fire Sprinklers and Alarms, Developer Extension Agreement (water and sewer), Right-of-Way, and Demolition. *13-135776-WD and Building 14-109231-UF 13-135049-BY*

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Preliminary Plat or Planned Unit Development
Preliminary plat map

Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

Building Permit (or Design Review)
Site plan
Clearing & grading plan

Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)?

A small area of approx. 60% slope exists adjacent to the parking structure stairway.

Does not qualify as steep slope per LUC 20.25H.

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

USDA NCRS classification: An - Arents, Everett material. Not considered prime farmland.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. ✓
None known.

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill. ✓

Minor filling will take place between the southern parking area and the central portion of the site to level the access and provide connectivity between the two properties. Some minor grading will be required in the northwest region of the site plan to allow access from the showroom floor to the parking garage.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Yes, however, erosion and sediment control measures will be implemented per Bellevue standards.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Approximately 85%

*max allowed
85% per
WCC 20.20.010*

*BCC 23.76 - Erosion &
Sedimentation
Control. C & B code*

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

During construction, the contractor will follow an approved temporary erosion and sedimentation control plan meeting City of Bellevue standards. Typical measures, which may be employed, include the use of silt fences, straw bales, and temporary storm drainage features. Hydroseeding exposed soils and cleared areas after construction will also reduce the potential for erosion.

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known. ✓

During demolition and construction, short term impacts will include dust and exhaust from vehicles and equipment. The completed project will result in vehicle emissions typical of an automobile dealership.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. ✓
None known.

c. Proposed measures to reduce or control emissions or other impacts to the air, if any: ✓

All construction equipment will be in proper working order and regulated for emissions by the manufacturer and local emission laws. Vehicles entering and leaving the site will also be regulated for emissions by state and local emission laws.

During construction the site will be watered as necessary to keep any dust from impacting surrounding air quality.

*Construction
Dust suppression
measures per BCC
23.76 - Clearing &
Grading code*

3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

None are known to exist within 400' of the site.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

N/A

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

N/A

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No.

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

No.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Not applicable.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

On-site storm water runoff will primarily be generated from building rooftops, parking areas and associated drive aisles. Storm water will be collected, routed through required storm water quality treatment facilities and discharged to existing existing City of Bellevue storm systems.

Existing development

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

No waste materials will enter ground or surface waters. The proposed site storm water drainage and sewer plans will ensure that all water that is generated from the site will be treated in water quality facilities prior to its release as required by City of Bellevue standards.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

The storm water runoff will be collected and conveyed to existing and proposed storm water vaults in conformance with the City of Bellevue standards. Please see the Preliminary Storm Drainage Report and Preliminary Grading and Utility Plans prepared by ESM Consulting Engineers.

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation Ornamental Landscaping

Developed site. Veg as a result of development

b. What kind and amount of vegetation will be removed or altered?

The proposal will include maintenance, removal, and replacement of ornamental landscaping throughout the site, consistent with a typical new automobile dealership. Please refer to the Landscaping Plan for specific details.

c. List threatened or endangered species known to be on or near the site.

None known.

Landscaping approval under Design Review 13-122633-LD per LUC 20.20.520 and 907

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Landscaping will be provided per City of Bellevue code, including maintenance and enhancement of the existing landscaping as well as installation of additional new landscaping.

SN

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- Birds: hawk, heron, eagle, songbirds, other:
 Mammals: deer, bear, elk, beaver, other: small rodents
 Fish: bass, salmon, trout, herring, shellfish, other:

Animals typ to lowland forest

- b. List any threatened or endangered species known to be on or near the site.

None known.

- c. Is the site part of a migration route? If so, explain.

The Pacific Flyway covers most of Western Washington; however, the site contains no specific routes.

- d. Proposed measures to preserve or enhance wildlife, if any:

None.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Electricity (power and lighting) and Natural Gas (heating) will be used.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

None.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

It is unlikely under normal working conditions that environmental health hazards would be encountered. All project-related construction will meet or exceed current local, state and federal laws.

- (1) Describe special emergency services that might be required.

None anticipated.

- (2) Proposed measures to reduce or control environmental health hazards, if any.

State regulations regarding safety and the handling of hazardous materials will be followed during the construction process. Equipment refueling areas would be located in areas where a spill could be quickly contained and where the risk of hazardous materials entering surface water is minimized

- b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

The primary noise source near the project site is from vehicular traffic on I-90 to the south. The traffic noise along this highway and surrounding roads is not project related or generated, and is not anticipated to greatly affect the proposed project.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site. ✓

Short term noises will include demolition and construction activities. Construction hours are limited to 7 am to 6 pm, Monday through Friday, and 9 am to 6 pm on Saturdays. No construction noise will occur on Sundays and holidays. Long term noises will be limited to vehicles and maintenance operations which will also follow City noise regulations.

- (3) Proposed measures to reduce or control noise impacts, if any: ✓
No additional measures are proposed.

Noise impacts regulated per BCC 9.18 - includes noise control construction noise regulations
Formerly athletic club & parking garage & retail center

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

The site contains vacant facilities and office uses. A hotel, restaurant and offices

- b. Has the site been used for agriculture? If so, describe. ✓

No.

- c. Describe any structures on the site. ✓

A 5-story parking garage, a 38,000 sf athletic club and a 6,200 sf office building.

- d. Will any structures be demolished? If so, what? ✓

The small office building will be completely demolished and the fitness facility will be partially demolished.

- e. What is the current zoning classification of the site? ✓

OLB (Office and Limited Business) Land Use District.

- f. What is the current comprehensive plan designation of the site? ✓

OLB (Office and Limited Business).

- g. If applicable, what is the current shoreline master program designation of the site? ✓

N/A

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. ✓

No.

- i. Approximately how many people would reside or work in the completed project? ✓

40-50 employees (sales, service, parts)

- j. Approximately how many people would the completed project displace? ✓

0 - retail bldg vacant

- k. Proposed measures to avoid or reduce displacement impacts, if any: ✓

None.

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: ✓

The project will be reviewed for compliance with the zoning and development standards of the City of Bellevue during the Design Review Process.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. ✓
None.
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. ✓
None.
- c. Proposed measures to reduce or control housing impacts, if any: ✓
None.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? ✓
The existing parking structure is approximately 41.5' tall. ✓
- b. What views in the immediate vicinity would be altered or obstructed? ✓
None.
- c. Proposed measures to reduce or control aesthetic impacts, if any: ✓
None.

*LUC 20.20.010
Dimensional
Requirements for
OLB*

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? ✓
The project will include parking lot and building lights as well as vehicle headlights occurring at night.
- b. Could light or glare from the finished project be a safety hazard or interfere with views? ✓
No.
- c. What existing off-site sources of light or glare may affect your proposal? ✓
None.
- d. Proposed measures to reduce or control light or glare impacts, if any: ✓
None proposed.

*light and glare
LUC 20.20.522*

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? ✓
Bellevue College is located approximately 1/4 mile north of the site and contains both formal and informal recreation activities.
- b. Would the proposed project displace any existing recreational uses? If so, describe. ✓
No.
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: ✓
None.

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. ✓
None known.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site. ✓
None known.
- c. Proposed measures to reduce or control impacts, if any: ✓
None.

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.
The site is on SE Eastgate Way which connects to both I-90 and 148th Ave SE, which are major corridors.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?
The nearest bus stop is located approx. 430' west of the site on SE Eastgate Way. ✓
- c. How many parking spaces would be completed project have? How many would the project eliminate? ✓
The finished project will have approximately 183 parking spaces outside of the parking garage. ✓
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓
No.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. ✓
No. ✓
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓
The PM Peak hour trips for the Nissan Dealership will be 72 trips.
- g. Proposed measures to reduce or control transportation impacts, if any: ✓
Transportation impacts will be offset by a Traffic Impact Fee that will be paid by the applicant.

to west
is Eastgate
Park & Ride
garage 185±
for employee
parking &
storage

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. ✓

No.

b. Proposed measures to reduce or control direct impacts on public services, if any. ✓

None.

16. Utilities

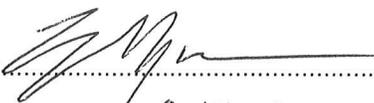
a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other. ✓

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓

Water and Sewer - City of Bellevue; Electricity and Natural Gas - PSE; Refuse - Waste Management; Telephone - Century Link.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature  EVAN MANN - ESM Consulting

Date Submitted 8-14-13

ATTACHMENT C

1994 BINDING SITE PLAN

9403109002

97 103

PORTION OF NE 1/4, SE 1/4, SEC. 10, T24N, R5E (TAX LOT NO'S 63 & 67)

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 24 NORTH, RANGE 5 EAST, BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHERLY LINE OF STATE HIGHWAY 19, THENCE WESTERLY ALONG SAID LINE 250 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SUBDIVISION TO A POINT 295 FEET SOUTH OF NORTH LINE OF SAID SUBDIVISION AND THE TRUE POINT OF BEGINNING;

THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID SUBDIVISION TO A POINT 295 FEET SOUTH OF THE NORTHEAST CORNER THEREOF;

THENCE NORTH 52° 15' 00" WEST ALONG A STRAIGHT LINE WHICH SHOULD INTERSECT THE NORTHERLY LINE OF SAID SUBDIVISION AT A POINT 40 FEET WEST OF THE NORTHEAST CORNER TO A LINE PARALLEL WITH THE NORTH LINE OF SAID SUBDIVISION AND THE EAST LINE OF SAID SUBDIVISION;

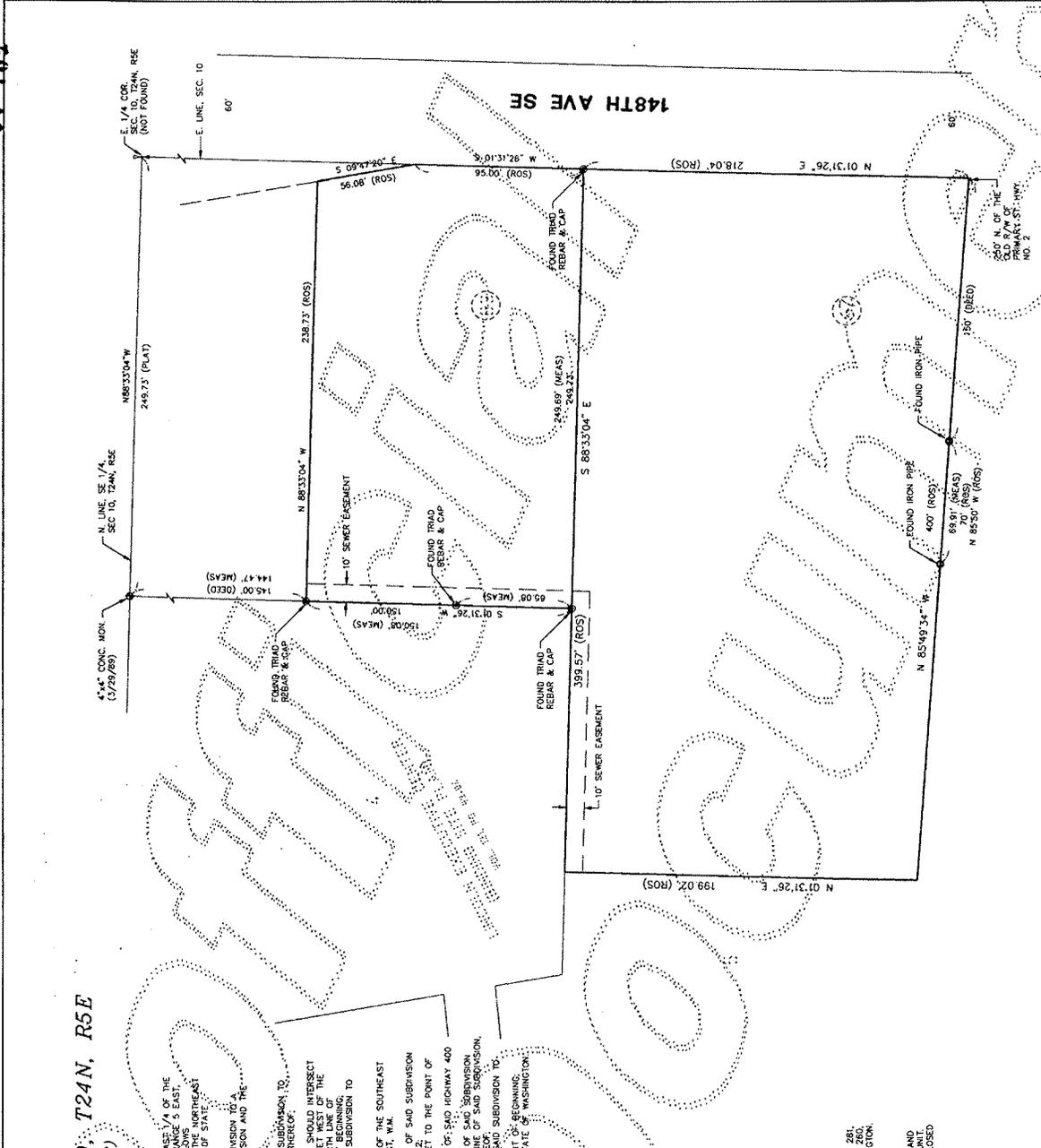
THENCE WEST PARALLEL WITH THE NORTH LINE OF SAID SUBDIVISION TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH THAT PORTION OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF SAID SUBDIVISION WITH THE NORTH LINE OF PRIMARY STATE HIGHWAY NO. 2; THENCE NORTHERLY ALONG SAID EASTERLY LINE 250 FEET TO THE POINT OF BEGINNING WESTERLY PARALLEL WITH THE NORTHERLY LINE OF SAID HIGHWAY 400 FEET;

THENCE NORTHERLY PARALLEL WITH THE EASTERLY LINE OF SAID SUBDIVISION TO A POINT 295 FEET SOUTHERLY OF THE NORTHERLY LINE OF SAID SUBDIVISION AS MEASURED PARALLEL WITH THE EASTERLY LINE THEREOF;

THENCE WESTERLY PARALLEL WITH THE NORTHERLY LINE OF SAID SUBDIVISION TO THE EASTERLY LINE THEREOF;

THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO A POINT OF BEGINNING SITUATE IN THE CITY OF BELLEVUE, COUNTY OF KING, STATE OF WASHINGTON.



BASIS OF BEARING
RECORDS OF SURVEY, VOL. 52, PG. 281,
VOL. 19, PG. 17, AND VOL. 14, PG. 260,
RECORDS OF KING COUNTY, WASHINGTON.

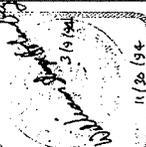
INSTRUMENT USED
ELECTRONIC TRANSIT AND
ELECTRONIC DISTANCE MEASURING UNIT.
FIELD SURVEY CONTROL WAS BY CLOSED
LOOPS.



RECORDER'S CERTIFICATE 9403109002
filed for record this 10th day of March, 1994, at the request of
William Shupe Holmberg.
John Charles
Mgr.

SURVEYOR'S CERTIFICATE
This map correctly represents a survey made by me
pursuant to the provisions of the Survey Recording Act of the
requirements of the Survey Recording Act of the
request of Pacific West Clubs, Inc. on March 19, 1994.
William Shupe Holmberg
Certificate No. 11332

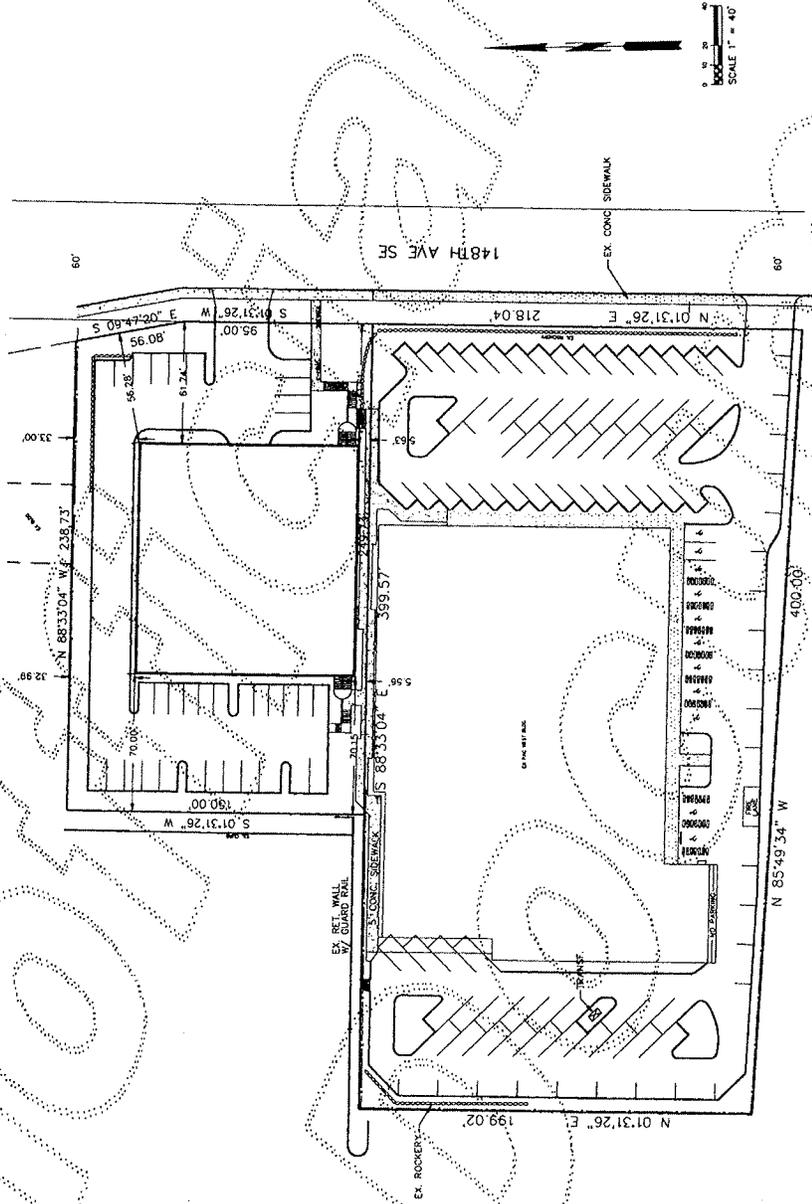
**RECORD OF SURVEY
AND SITE PLAN**
FOR
PACIFIC WEST CLUBS



BAIMA & HÖLMBERG, INC.
ENGINEERS & SURVEYORS
100 FRONT STREET SOUTH ISSAQUAH, WASHINGTON 98027
JOB NO. 458-003
DATE 3/94
DWN. BY MSH
CHGD. BY
SCALE 1" = 40'
SHEET 1 OF 2

97 102 A

9403109002



BALMA & HOLMBERG, INC.
 ENGINEERS & SURVEYORS
 100 FRONT STREET SOUTH ISSAQUAH, WASHINGTON 98027
 (206) 392 - 0230

DWN. BY: MSH DATE: 3/79
 JOB NO.: 458-003

CHKD. BY: SCALE: 1" = 40'
 SHEET: 2 OF 2



**RECORD OF SURVEY
 AND SITE PLAN**
 FOR
PACIFIC WEST CLUBS

SURVEYOR'S CERTIFICATE
 This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of **PACIFIC WEST CLUBS** in March, 1979.
William Shupe Holmberg
 Certificate No. 11332

RECORDER'S CERTIFICATE
 filed for record this day of 19..... at M
 in book of at page at the request of
 William Shupe Holmberg.
See Page One
 Supt. of Records