



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 11511 MAIN ST., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Salvation Army Eastside Corps Community Center

LOCATION OF PROPOSAL: 933 164th Avenue NE

DESCRIPTION OF PROPOSAL:

Proposal to construct a 17,280 square foot community center building for the Salvation Army Eastside Corps, which includes an office, chapel, gym, dining and classroom to provide social services. There will be surface parking with 61 stalls.

FILE NUMBERS: 13-119915-LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on February 12, 2015.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Care Utellend
 Environmental Coordinator

1/29/15
 Date

OTHERS TO RECEIVE THIS DOCUMENT:
 State Department of Ecology,
 Attorney General
 Muckleshoot Indian Tribe



City of Bellevue
Department of Planning and Community Development
Land Use Division Staff Report

Proposal Name: **Salvation Army Eastside Corps Community Center**

Proposal Address: 933 164th Avenue NE, Bellevue, WA

Proposal Description: Construct a 17,280 square foot community center building for the Salvation Army Eastside Corps, which includes an office, chapel, gym, dining and classroom to provide social services. There will be surface parking with 61 stalls.

File Numbers: **13-119915-LD**

Applicant:

Decisions Included: Design Review (Process II)

Planner: Sally Nichols

State Environmental Policy Act
Threshold Determination: **Determination of Non-Significance (DNS)**

Carol V. Helland

Carol V. Helland, Environmental Coordinator
Development Services Department

Directors Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: *Carol V. Helland*

Carol V. Helland, Land Use Director

Notice of Application: September 19, 2013
Notice of Decision: January 29, 2015
Appeal Deadline for
Design Review & SEPA: February 12, 2015
Expiration Date: February 12, 2017 (if no complete Building Permit application is filed
prior to this date - Refer to LUC 20.40.500)

For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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ATTACHMENTS:

Project Drawings
SEPA Checklist

I. REQUEST/PROPOSAL DESCRIPTION

A. Request

The applicant requests Design Review approval and State Environmental Policy Act (SEPA) Threshold Determination to construct a new community facility for the Salvation Army Eastside Corps. The proposal will also include 61 parking stalls in a surface lot and associated site improvements within a Transition Area Design District.

B. Review Process

Design Review is required by Land Use Code (LUC) 20.25B and 20.30F because the site lies within both single-family and multi-family transition area overlay districts. The Design Review and SEPA Determination are both Process II decisions. Process II is an administrative process. The Environmental Coordinator issues the SEPA Threshold Determination and the Director of the Development Services Department issues the Design Review decision. An appeal of any Process II decision is heard and decided upon by the City of Bellevue Hearing Examiner.

C. Proposal Description

Currently, on the proposal site, the Salvation Army has a temporary building that went through Design Review in 2003 (File # 03-116121-LD). The existing facility houses functions that will continue in the new building. The major programs in the new facility will be worship and Christian teaching, along with social service programs for those in need in the community.

The proposed building will be approximately two stories tall with approximately 17,280 square feet (SF) of space. Services provided in the building range from providing food for the hungry, disaster relief, assistance for the disabled, outreach to the elderly and ill, services for the homeless, and assistance for underprivileged children, including after-school programs and recreational activities.



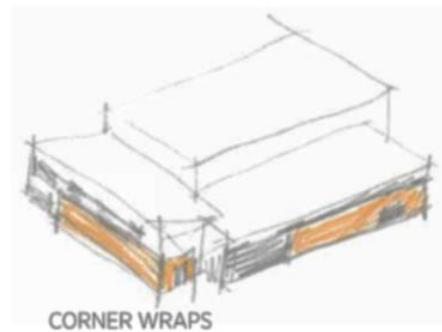
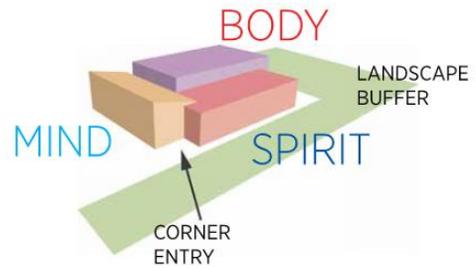
D. Building Design:

The design concept for the building is to have the external form relate to the internal spaces. The internal program is conceived in three main parts, which will correspond to

the building's function and the Salvation Army's philosophical aspirations. The gymnasium is the body, the classrooms along the southern side of the building the mind, and the chapel facing the street along the eastern side of the building will be the spirit.

The double-height gymnasium will be the tallest of the three elements. Thus it is placed to the west, away from the main street frontage and residential neighborhoods that lie to the east. The classroom and chapel wings will step down in height from the gym and converge at the main entry in the southeast corner of the structure.

The building exterior materials will include painted lap siding accented with smooth fiber cement infill panels, overhanging eaves with painted metal fascia and wood decking visible on the underside of the exterior entry soffit, and concrete masonry unit 'wrapper walls' to wrap the corners of the three main building volumes. These materials will be non-reflective and all lighting will be required to have cut-off shields. **Refer to Condition of Approval regarding lighting in Section X of this report.**



The gymnasium portion of the building will have a flat roof and the office/classroom spaces will have a sloped roof to better harmonize with the surrounding residential neighborhoods to the north and east. Mechanical equipment will be integrated into the mass of the building and placed in the middle of the roof to screen the rooftop mechanical units and provide a clean, uncluttered appearance from the street. The eastern roof structure is comprised of exposed glu-lam wood beams and wood decking that will be visible from below. The edge fascia will be painted metal flashing and the beams will be resting on painted steel columns.



164th Avenue NE (east) façade

The main building entry will be in the southeast corner of the structure. This glazed corner entry will be enhanced via a double-height glazed wall. The roof over the entry door will extend to provide weather protection.

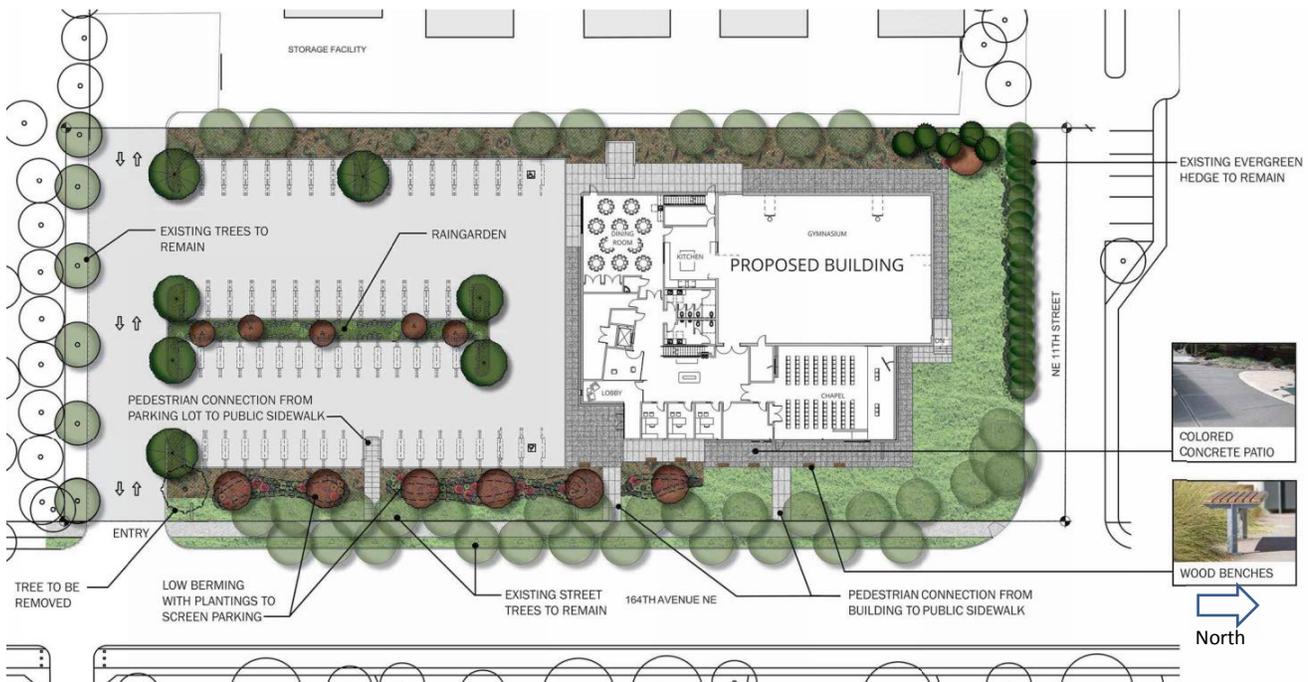


E. Site Design

The building will be placed on what is currently the open lawn area on the northern half of the site. The expanded parking lot will be placed on the southern half of the site. Vehicles entering the site will use the existing driveway and there will be a drop off zone along the southern side of the building near the pedestrian entry.

There is an existing easement that runs along the southern property line to allow access to the Safeguard Storage property to the west. The existing easement will remain and there will be no changes to the existing driveway and landscaping within the easement as a result of this proposal. Any curb cuts, paving, and/or landscaping within this easement that is affected by construction required for this proposal must be restored in the original locations. In addition, access to the storage facility site must be kept open at all times during construction. **Refer to Condition of Approval regarding the access easement in Section X of this report.**

Illustrative Site Plan



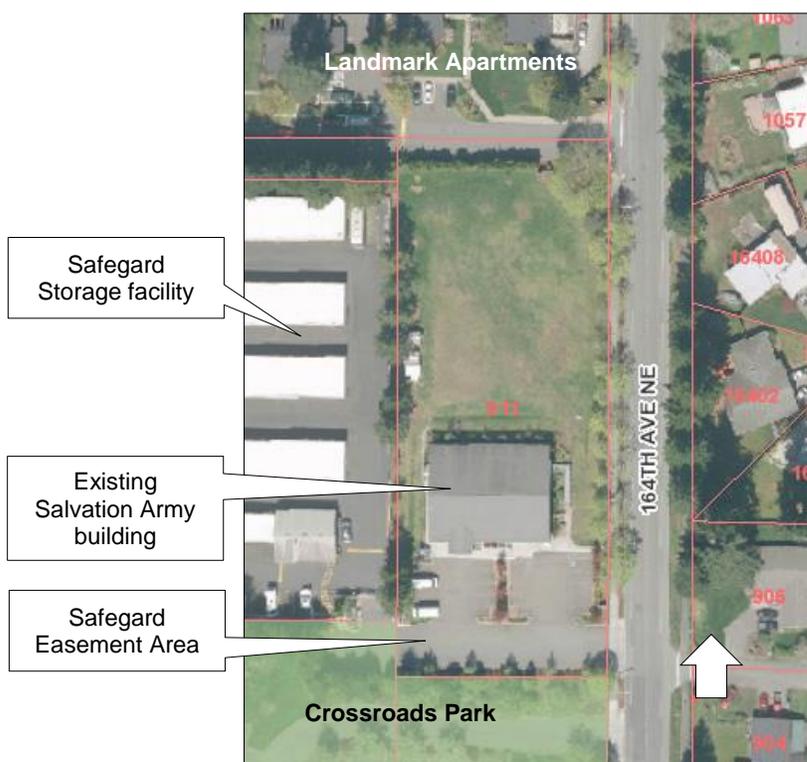
The landscape concept will keep the existing two rows of trees along 164th Avenue NE and the strong evergreen hedge along the northern property line between the proposal site and the adjacent multi-family housing complex. There will also be enhanced landscaping throughout the site, including parking lot landscaping, a low planted berm along 164th Avenue NE to screen the parking lot, a rain garden within the parking lot, and lawn around the northeast corner of the building to provide some outdoor recreation space. Three strong pedestrian connections will be provided from the existing public sidewalk to the parking lot and the building. This will help facilitate pedestrian use between this facility and the surrounding neighborhoods and Crossroad Parks. There will be benches along the eastern side of the building near the entry which will face the street and provide informal gathering spaces.

II. LAND USE CONTEXT AND ZONING

A. Context:

The 1.31-acre site is made up of a relatively level, single lot. The temporary Salvation Army community facility and associated small parking lot currently occupy the southern half of the site. The northern portion of the site is an open lawn. The site is surrounded by multi-family housing to the north, single family housing to the east across 164th Avenue NE, Crossroads Park to the south and the Safeguard Self Storage facility to the west.

The site has a large number of existing trees around the perimeter that will remain. There are eight fir trees along the western property line, a solid line of cedar trees spaced at 3 feet on center along the northern property line, three maples and two pines at the northeast corner, and twenty-four maple street trees in a staggered double row (13 on this property and 11 on City property) along 164th Avenue NE.



164th Avenue NE is a collector arterial street that runs north-south through Bellevue. The homes in the single family neighborhood to the east of the proposal site (across 164th Avenue NE) face away from this street. Fenced back yards are directly adjacent to the street right-of-way and none of the homes have direct vehicular access onto 164th Avenue NE, nor do the homes face the proposal site.

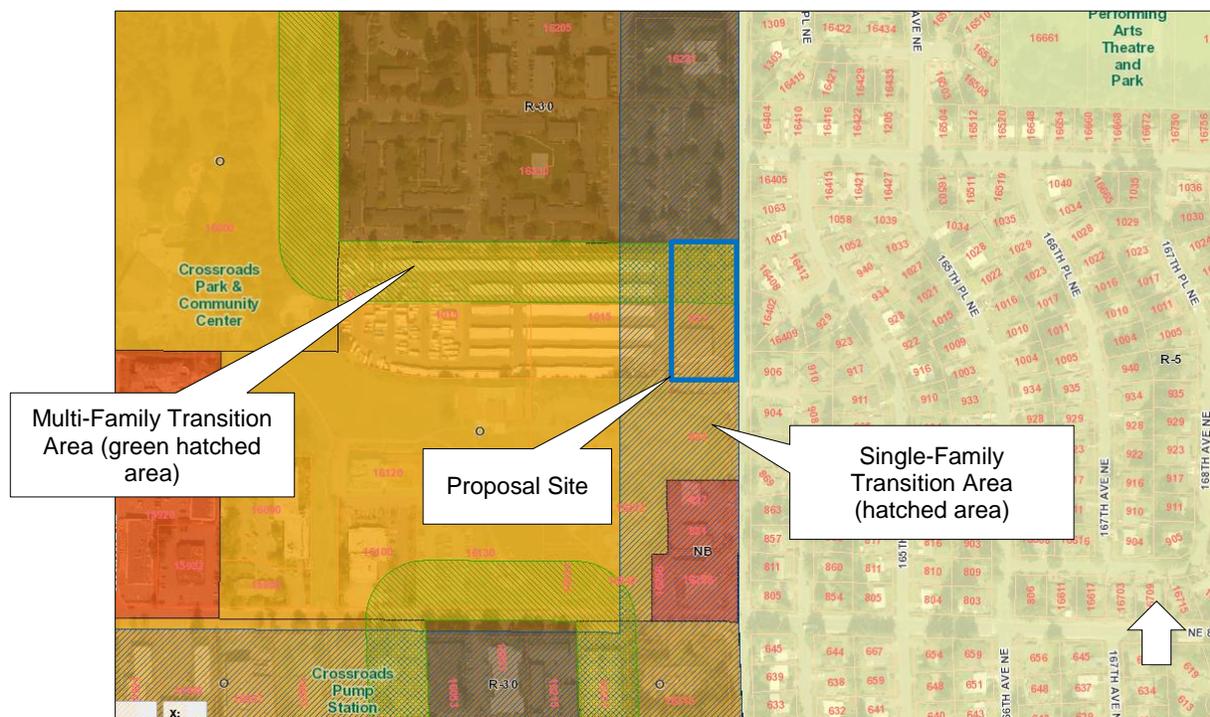
B. Zoning:

The site lies within the Office (O) land use district (see Location & Zoning Maps in Attachment 1). It also happens to be within both the Single Family and Multi-Family the Transition Area Design Districts, which provide transition to the adjacent residential land use districts to the east and north, thus triggering the design review requirement.

Adjacent Land Use Districts and Uses:

- North: R-30 (Multi-Family Residential) - Landmark Apartments
- South: O (Office) – City of Bellevue Crossroads Park
- East: R-5 (Single-Family Residential) – across 164th Avenue NE, single family neighborhood within the Northeast Bellevue Subarea
- West: O (Office) – Safegard Self Storage Facility

Zoning Map



III. CONSISTENCY WITH LAND USE CODE/ZONING

A. Use

Uses are regulated by Sec. 20.10.400 (Land Use Charts), 20.25B (Transition Area Design District) and 20.30F (Design Review) of the Land Use Code. The proposed uses (religious facility and associated community center) are permitted in the Office Land Use District. The proposal is subject to Design Review approval because the site is located within a Transition Area Design District.

B. Dimensional Requirements/Statistical Information

All applicable dimensional requirements of the Land Use Code will be met. Refer to the following chart for specific information, as well as Conditions of Approval and the

attached Project Plans - Attachment A.

	Permitted/Required	Proposed
Site Area/Zone	57,279 SF total O (Office) Land Use district in the Single-Family and Multi-Family Transition Area Design Districts	
Building Height	30 FT is allowed* 40 FT is allowed with bonuses* *measured from average existing grade LUC 20.25B.040.A LUC 20.20.010	Proposed Ht. = 29 FT. as measured from average existing grade of 432'-7" to the highest roof surface. Meets LUC requirement.
Lot Coverage by Structure	Site area: 57,279 SF Max. 35% = 20,012 SF LUC 20.20.010	12,084 SF = 21% Meets LUC requirement.
Maximum Impervious Surface	Site Area: 57,279 SF Max. 80% = 41,823 SF LUC 20.20.010 LUC 20.20.470.G	38,070 SF = 66% Meets LUC requirement.
Setbacks	<u>Front</u> <ul style="list-style-type: none"> 164th Avenue NE: 30 FT from the property line <u>Rear</u> <ul style="list-style-type: none"> Western property line: 25 FT <u>Sides:</u> <ul style="list-style-type: none"> Southern property line: 20 FT Northern property line: 20 FT No additional requirements for the Transition area.	<u>Front:</u> 30 FT <u>Rear:</u> 25 FT <u>Sides:</u> <ul style="list-style-type: none"> Southern: 20 FT Northern: Approximately 195 FT LUC 20.20.010 & 20.25.040.B Meets LUC requirement.
Parking	To calculate parking, a church/community facility is an unspecified use. Max. 50% compact. LUC 20.20.590	The applicant has provided parking information demonstrating how it has met the parking requirements for an unspecified use. <u>Provided:</u> 32 standard spaces 27 compact spaces = 44% 2 ADA spaces TOTAL: 61 SPACES Meets LUC requirement. See Parking discussion in Section III.C

		below.
	Permitted/Required	Proposed
Solid Waste/ Recycling	<p>All solid waste and recycling containers must be contained in structures enclosed on all four sides. Lids to containers shall be of a sound buffering material.</p> <p>LUC 20.20.725 and 20.25B.040.F</p>	<p>Republic Services has reviewed this proposal and has verified that pick up from the location shown is adequate.</p> <p>As conditioned, meets LUC requirement.</p> <p><u>Refer to Condition of Approval regarding solid waste/recycling in Section X of this report.</u></p>
Tree Retention	<p>All significant trees within 15 FT of the property line shall be retained.</p> <p>LUC 20.25B.040.C</p>	<p>All existing trees, including the trees along the southern and western property lines and the existing street trees on 164th Avenue NE will be retained and enhanced with supplemental plantings.</p> <p>Meets LUC requirement.</p>
Landscape	<p>Perimeter Landscape Requirements in Transition: <u>Street Frontages:</u> 20 FT perimeter landscaping, with planting requirements per LUC 20.25B.040.C.2.c</p> <p><u>Interior Property Lines in areas not abutting districts receiving transition:</u> 10 FT</p>	<p>Retention of an existing double row of mature maple street trees and planter strip and the addition of plantings between the public sidewalk and the building will satisfy the requirement for a 20-foot wide landscaped buffer along the street frontage abutting the single-family zone receiving transition.</p> <p>The existing row of mature cedar and pine trees along the north property line will remain to adequately buffer the multi-family zone to the north.</p> <p>The existing landscaping, including trees, within the access easement along the southern property line will remain as is. A rain garden will be placed in the parking lot as an Alternative Landscape Option to offset any potential impact if the property to the west needs to</p>

		enlarge their access easement along the southern property line in the future.
	Permitted/Required	Proposed
Landscape (Cont'd)	<p><u>Parking Lots</u>: Screened from street level view.</p> <p>Compliance with LUC 20.20.520, 20.20.900 and 20.25B.040.C & D</p>	<p>A low berm with plantings will screen the parking lot from the street.</p> <p><u>Refer to Conditions of Approval regarding landscape installation and maintenance assurance devices in Section X of this report.</u></p> <p>As conditioned, meets LUC requirements.</p>
Mechanical Equipment	<p>Located on the roof & visually screened, within the bldg. or below grade.</p> <p>LUC 20.20.525</p>	<p>The rooftop mechanical equipment will be concentrated in the middle of the building and pulled back from the public street. It will be screened with a parapet wall. <u>Refer to Condition of Approval regarding mechanical screening – building in Section X of this report.</u></p> <p>Meet LUC requirements.</p>

C. Parking:

The church/community service use for this proposal is defined in the LUC as an “Unspecified Use” (LUC 20.20.590.F.2). As an Unspecified Use, determination of the parking required for this project is based on actual demand. The applicant provided a Parking Usage Summary, based largely on the usage of the existing building, which contains all of the functions in the new building except for the gym. This summary also includes a distinction between people arriving to the facility by bus and by car. A large percentage of the people using this facility will either walk or come by bus (particularly the after-school program, which has the heaviest usage in the building). The gymnasium will be used exclusively by the participants in Salvation Army programs. If at some point in time the Salvation Army would like to allow gym use by outside groups, City of Bellevue Land Use staff will need to review a revised parking study to ensure that there will still be adequate parking on site. **Refer to Condition of Approval regarding gymnasium use by outside groups in Section X of this report.**

Peak parking demand will occur while the Gymnasium and Meal Programs occur simultaneously on Tuesday and Thursday from 6:00-7:00 pm. The maximum anticipated parking need during this time is 58 stalls. The Salvation Army has also modified their space-use schedule to avoid overloading the parking during evening hours. The facility will be closing their Social Services office by 5:30 pm in order to avoid a peak parking load overlap. Therefore, it has been determined that the provision of 59 parking spaces will be adequate to support this facility.

Accommodation will also have to be made for construction-period parking and the existing easement that allows access to the Safeguard Storage site to the west must be kept open at all times during construction. **Refer to Condition of Approval regarding the access easement and the right-of-way use permit in Section X of this report.**

IV. STATE ENVIRONMENTAL POLICY ACT

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see Environmental Checklist in the project file at City Hall Records Office). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2013-2024 Transportation Facilities Plan Final Environmental Impact Statement (TFPEIS), adopted August, 2013 (available in the Records Office at City Hall). This document analyzes the transportation and air quality impacts of the City's Traffic Task Force recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Code or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below together with specific conditions of approval. These impacts will be mitigated through exercise of Code authority as well as through project-specific conditions of approval, contained in Section X of this report.

A. Noise

The Bellevue Noise Control Ordinance, BCC 9.18, regulates hours of construction to control noise emanating from the site during construction. Construction noise and increased vehicle trips are expected during the construction period. While no specific measures to reduce noise during this period are proposed, note that due to the proximity of single family residential development, variance to the standard construction hours will not be considered.

Refer to Condition of Approval regarding noise and construction hours in Section X of this report.

B. Air

Insignificant construction-related emissions (diesel exhaust from construction equipment) are expected for the short term. Such impacts are only expected for the

initial grading period expected to last less than one month. No mitigation is recommended.

C. Water

Landscape areas could adversely affect the quality of surface water on the site; pollutants such as sediment, herbicides, pesticides and fertilizers could be expected to enter the storm water system from the landscaping areas and driving surfaces.

To minimize adverse impacts to the quality of the runoff leaving the site, control, treatment and source control Best Management Practices (BMP's) will be required to comply with Utilities Code and Utilities Engineering Standards. **Refer to discussion in Section V.B – Utilities below.**

D. Transportation

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2024 have been addressed in the City's 2013-2024 Transportation Facilities Plan Environmental Impact Statement (2024 TFPEIS). The impacts of growth which are projected to occur within the City by 2024 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The 2024 TFPEIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. Within these areas the 2024 TFP EIS assigns growth projections for Office, Retail and Residential uses. All other uses are categorized as "Other". The Crossroads Salvation Army project does not accurately fall under the categories of Office, Retail or Residential and therefore will be placed in the category of "Other". Per the 2024 TFPEIS, MMA #5 has a growth projection of 84,492 square feet slated for "Other" uses. The Crossroads Salvation Army project proposes 17,280 gross square feet (gsf) via a complete demolition and rebuild of the existing building located at the project site. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts.

However, per BCC 22.16.070.B.5 this project is not subject to the traffic impact fee requirements as described above. Exemptions are granted for privately operated not-for-profit social service facilities recognized by the Internal Revenue Service under IRS Code Section 501(c)(3). Salvation Army facilities are recognized by the IRS as such.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

Using the ITE use category of Community Recreation Center this development will generate approximately 31 net new p.m. peak hour trips; however, this project is exempt from concurrency requirements per BCC 14.10.020.I.4. This code section waives concurrency requirements for privately operated not-for-profit social service facilities recognized by the Internal Revenue Service under IRS Code Section 501(c)(3). Salvation Army facilities are recognized by the IRS as such.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Issues that were analyzed included vehicular and pedestrian sight distance at the access connection to 164th Avenue NE, correct design of transportation related improvements (driveway approach, existing frontage improvements adjacent to the site) and adequate onsite vehicular flow (to verify that all activities related to service vehicles will be contained within private property).

This analysis resulted in the determination that the existing driveway approach will be upgraded per Transportation Design Manual Drawing DEV-7A. Also, any vegetation/street trees within the sight distance lines will be either trimmed or removed and replaced in a more appropriate location to comply with sight distance requirements. Any removal of trees shall be identified on the Final Landscape Plan. The applicant has located garbage receptacles and delivery/drop off and pick up areas at a sufficient distance from 164th Avenue NE so that onsite circulation will not impact public traffic flow adjacent to the site. **Refer to Condition of Approval regarding the final landscape and irrigation plans in Section X of this report.**

V. SUMMARY OF TECHNICAL REVIEWS

A. Clearing & Grading

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this Design Review application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76). In addition, the Final Landscape and Irrigation Plans must be submitted and approved under this Clearing and Grading Permit application. **Refer to Condition of Approval regarding the final landscape and irrigation plans in Section X of this report.**

B. Utilities Department

Storm Drainage

The Salvation Army project will trigger minimum requirements 1-9 from the Department of Ecology Storm water Management Manual for Western Washington. The project is considered to be a redevelopment and will need to detain and treat all new and replaced impervious surfaces. Bioretention swales, Filterra units and underground detention have been preliminarily sized for water quality and runoff control. This project drains to Lake Washington through the Kelsey Creek Basin.

Water

The water supply for the Salvation Army project will connect to a City of Bellevue owned 8" ductile iron water main located in an easement located on the site. Connections to the main onsite will include fire service, domestic, irrigation water meters, and fire hydrants. There is sufficient capacity in the water main for this development.

Sewer

Sewer service for the Salvation Army project will connect to an existing 8" concrete sewer main in a public sewer main easement on the west side of the property on the neighboring parcel. The current building is connected to this sewer main in the easement. There is sufficient capacity in the sewer main to serve the site.

Refer to Condition of Approval regarding utilities in Section X of this report.

C. Fire Department

The Fire Department has reviewed and approved this proposal. Formal Fire review will occur under subsequent building and fire permits for this proposal. **Refer to Conditions of Approval regarding Fire in Section X of this report.**

D. Transportation Department

Site Access

Access to the proposed project will be provided at the existing access location serving the project property on 164th Avenue NE. The driveway approach will be upgraded to meet current ADA standards. Loading/unloading from city right of way is not permitted at any time. **Refer to Condition of Approval regarding provisions for loading in Section X of this report.**

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

The existing street frontage adjacent to the project site consists of curb and gutter, a four foot wide planter strip (with low growth, low maintenance landscaping and street trees) and a six foot wide sidewalk. In addition, the full paved width of 164th Avenue NE adjacent to the project site includes five foot wide bike lanes (on both sides). All of these transportation related improvements are in very good condition with no repair or replacement needed at this time. Some minor improvements will be required and are listed below:

1. Any non-standard features or vegetation shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements.
2. The driveway approach on 164th Avenue NE shall be replaced per Transportation Design Manual Drawing DEV-7A. Approach width may range from 24 to 30 feet.

3. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing Transportation Design Manual Drawing DEV-7A. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post.
4. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.
5. If, during construction permit review, any power, telephone, or other equipment is needed for the project, this equipment may not be located in above ground cabinets in sidewalk areas. Rather, it must be located in underground vaults, in the building, or substantially screened with landscaping.

Refer to Condition of Approval regarding civil engineering plans for transportation, mechanical screening – site, and street frontage improvements in Section X of this report.

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit. (Use this condition only for projects located in Downtown, Factoria, Overlake, and Crossroads.

Refer to Condition of Approval regarding holiday construction and traffic restrictions in Section X of this report.

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right-of-Way Use Permit. **Refer to Condition of Approval regarding the right-of-way use permit in Section X of this report.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching. Adjacent to the project site, 164th Avenue NE is classified as a "Standard Trench Restoration" street. Exact pavement restoration requirements will be specified within the

approval conditions of the commercial right of way permit to be issued with the clear and grade permit for this project. **Refer to Condition of Approval regarding right-of-way restoration in Section X of this report.**

VI. PUBLIC COMMENTS AND STAFF RESPONSE

Application Date: July 11, 2013
Application Completeness Date: August 15, 2013
Notice of Application published: August 22, 2013
Double-sided Public Notice Sign installed: August 22, 2013
Minimum Comment Period ended: September 5, 2013
Public Meeting: September 10, 2013 at 6:30 pm, City Hall

There were nine attendees at the Public Meeting. Land Use also received one written public comment letter on behalf of the Lake Hills Business Associates, LP. Lake Hills owns the property west of the proposal site at 1015 164th Avenue NE. Safeguard Self Storage is the business operating on this site. There was concern regarding plans to relocate and/or reconfigure the existing access easement to this property that runs along 39 feet of the southern property line of the proposal site. As a result of discussions between the applicant and the adjacent property owner, it has been decided that the existing easement and driveway, which also includes a landscaped buffer, will remain as is. Any construction required for infrastructure improvements required in this easement will be restored to as-is condition. Additionally, as conditioned in this approval, the Salvation Army will not be allowed to block the access to the Safeguard property during construction. **Refer to Condition of Approval regarding the access easement in Section X of this report.**

Public comments are available in the project file at City Hall.

VII. CHANGES TO PROPOSAL AS A RESULT OF STAFF REVIEW

A. Site Design

The parking lot was reconfigured to remove parking stalls from the 39-foot wide access easement with the Safeguard Self Storage property to the west. The overall number of parking stalls to be provided was reduced slightly to 61 and the existing easement and driveway configuration will remain unchanged.

The applicant has submitted a Parking summary that shows the highest parking demand will occur when the Gymnasium and Meal Programs occur simultaneously on Tuesday and Thursday evenings from 6:00 to 7:00 pm. To resolve any overloading of parking during evening dining services, the Salvation Army has modified their space-use schedule. The facility will be closing their Social Services office by 5:30 pm in order to avoid a peak parking load.

B. Building Design

The building was slightly reconfigured to pull the bulk of the gymnasium further away from 164th Avenue NE and to enhance the main entry and its connection to the street, especially for pedestrians.

VIII. DECISION CRITERIA FOR DESIGN REVIEW

The Director may approve or approve with modifications an application for Design Review if:

A. The proposal is consistent with the Comprehensive Plan.

This site is identified in the Comprehensive Plan as lying within District E of the Crossroads Subarea. This project, a church with a community center function, does not relate to the policies specific to District E, which speak to retail, office and multi-family land uses. However, this project does respond to general policies applicable to the greater Crossroads Subarea, as summarized below:

Policy S-CR-2: Protect existing single family neighborhoods from encroachment by more intense uses.

Finding: The applicant has provided parking information and has adjusted programs to ensure that necessary parking can be accommodated by the 61 parking spaces on site.

The building mass will be held back 30 feet from the back of the public sidewalk and the property will be adequately buffered from neighboring homes by a wide collector arterial roadway and existing and new vegetation - including a double row of mature street trees.

Policy S-CR-4: Ensure that any development of remaining vacant land is compatible with surrounding uses.

Finding: As described in Section I of this report, the building design consists of a low-profile building with a custom pitched roof and exterior building elements intended to break up the façade, define the entrance, and create a scaled-down appearance compatible with the adjacent single family neighborhood.

Policy S-CR-36: Assure the use of existing vegetation as a screen between differing uses and which provide landscaping on new development.

Finding: As described in Section I of this report, all existing trees on the property will remain. Additional flowering deciduous trees shrubs and groundcover will be planted to enhance the existing trees and provide a suitable, residential-scale landscape treatment for the site. Per LUC 20.25B.040.D, the surface parking lot will be pulled back from the public sidewalk approximately 20 feet and screened from street level with a planted berm.

B. The proposal complies with the applicable requirements of this Code.

Finding: As conditioned, the proposal complies with the applicable requirements of the Land Use Code. Refer to discussion in Section III of this report.

C. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

Transition Area Design District, Site Design Guidelines (LUC 20.25B.050.A)

- **These guidelines encourage vehicular access designed so that traffic is not directed through an abutting residential district of lower intensity.**

Finding: Access to the project site will not change from the current location at the southeast corner of the property. Access will continue to be directly off 164th Avenue NE, a collector arterial street. The existing driveway also falls within an access easement that will continue to provide direct access to the Safeguard Self Storage property to the west. The driveway is located at the point farthest away from the multi-family development to the north and access will not require traffic to go through residential district of lower intensity.

- **These guidelines state that loading and refuse collection areas should not be in a front yard setback.**

Finding: The garbage collection area will be located at the back of the site along the western property line, away from all residential uses. Garbage and recycling containers will be stored in a gated, CMU block trash enclosure and the waste management operator will pull the containers out to the parking lot during pick up, which occurs once a week. Additional medium to large shrubs shall be placed in an informal manner around the enclosure to further screen it from surrounding properties. Lastly, all lids on waste containers must be made of molded plastic or other sound buffering material. **Refer to Condition of Approval regarding solid waste/recycling in Section X of this report.**

- **These guidelines state that site development should maximize the retention of existing vegetation in order to soften the visual impact on adjacent residential uses.**

Finding: There are eight 6"-12" diameter fir trees along the west property line, a solid line of cedar trees spaced at 3 feet on center along the north property line, three 10" maples and two 8" pines at the northeast corner, and twenty-four 6" maples in a staggered double row (13 on this property and 11 on City property along 164th Avenue NE). All of these existing trees will remain. Additional flowering deciduous trees, along with shrubs and groundcover, will enhance the existing trees and provide a suitable landscape treatment around the building and parking area.

- **Finally, these guidelines support consideration of surrounding vegetation, topography, street patterns, parking configuration and building massing in order to result in a compatible fit between the proposed project and existing residential development.**

Finding: The 164th Avenue NE roadway and the double row of maple trees separate this development from the single family homes across the street to the east. In addition, these homes do not orient toward 164th but instead face east onto interior cul-de-sacs. Only the rear or side yards are along 164th Avenue NE. Additionally, the dense row of cedars at the north edge of the property will remain. These cedars completely screen this site from the multi-family neighborhood to the north. The most open sides of the site face onto properties with non-residential uses - the self-storage facility to the west and Crossroads Park to the south.

Transition Area Design District, Building Design Guidelines (LUC 20.25B.050.B)

- **These guidelines speak to compatibility of buildings facing abutting residential districts. The guidelines state that the building should be clad with materials which are compatible with surrounding uses and which minimize reflected lighting.**

Finding: The proposed building will be clad with a combination of horizontal lap siding, concrete masonry units for accent, glazing, and flat fiber cement infill panels. These materials will have neutral, earth-tone colors and will be compatible with the surrounding neighborhoods. These materials will be non-reflective and all lighting will be required to have cut-off shields. **Refer to Condition of Approval regarding lighting in Section X of this report.**

- **These guidelines state that building facades should incorporate elements such as step-backs, offsets, angled facets, deep roof overhangs recesses and other architectural features, which serve to break down the scale. The guidelines also indicate a preference for pitched roof forms.**

Finding: The building will have a relatively low profile and will incorporate interesting architectural elements such as a pitched roof along the southern side of the building and masonry walls that 'wrap' the corners. A large window wall facing the street will allow transparency and further break down the scale. The bulkiest part of the building, the gymnasium, was placed in the back of the site to be further away from the street and adjacent neighborhoods.

Although the design will still have a rectangular footprint, the custom pitched roof and exterior building elements will break up the façade, define the entrance, and create a scaled-down appearance that will be compatible with the adjacent single family and multi-family neighborhoods.

- **These guidelines also state that materials and colors used on the building facades should be compatible with nearby residential buildings and the surrounding natural environment, but that colors and materials for accent could also be used.**

Finding: Natural, neutral colors will be used to complement the colors used in the adjacent residential neighborhoods. Materials that also will be consistent with materials found in the surrounding neighborhoods include painted lap siding, fiber cement infill panels, wood decking visible on the underside of the soffits near the building entry, and tan concrete masonry units (CMU).

- D. The proposal is compatible with, and responds to, the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.**

Finding: The building design will complement the character of the immediate vicinity. The building design consists of a low-profile, two story building enhanced with exterior building elements intended to break up the façade, define the entrance, and create a scaled-down appearance compatible with the adjacent single family neighborhood.

Where possible, the roof has been pitched and the building materials and colors will be residential in character. The building will also have additional landscaping placed around the building to further complement the surrounding neighborhoods.

Any power, telephone, traffic control, or other equipment that may be needed for the project may not be located in above ground cabinets in sidewalk areas, but rather must be located in underground vaults, in the building, or substantially screened with landscaping. **Refer to Condition of Approval regarding mechanical equipment screening – site in Section X of this report.**

E. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

Finding: As conditioned, all public facilities will be designed per the current City of Bellevue Codes and Standards. Additional design review, plan approval, and field inspection for utilities will be performed under the Utility Developer Extension Agreement (UE Permit). **Refer to Conditions of Approval regarding utilities in Section X of this report.**

IX. DECISION OF THE DIRECTOR

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, City Code & Standard compliance reviews and SEPA review, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal, which includes Design Review and SEPA threshold determination.

X. CONDITIONS OF APPROVAL

Compliance with City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including, but not limited to the following:

Applicable Codes, Standards and Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Kevin Carolan, 425-452-7832
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Tim Stever, 425-452-4294
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Ray Godinez, 425-452-7915
Utility Code – BCC Title 24	Mark Dewey, 425-452-6179

The following conditions are imposed under authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Noise & Construction Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. No deliveries shall be scheduled prior to 7:00 a.m. or after 6:00 p.m. Exceptions for construction-related noise limitations contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. No blanket exemption exists. Allowances for short term work outside of normal hours for construction-related noise shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses, properties and neighborhoods. If expanded hours are necessary to accommodate a specific component of the construction, the applicant must apply for a separate noise permit for review and approval by Land Use staff. In this time period, the site shall be posted on all street frontages prior to the start of the specific construction activity.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Sally Nichols, Land Use

2. Holiday Construction & Traffic Restrictions

Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this restriction accordingly.

REVIEWER: Tim Stever, Transportation/Right-of-Way
AUTHORITY: BCC 14.30.060

3. Access Easement

Access to the adjacent property to the west (Suregard Storage) shall be maintained at all times during construction.

AUTHORITY: LUC 20.20.590
REVIEWER: Sally Nichols, Land Use

4. Solid Waste/Recycling

All pick-up functions will be handled on-site and no rights of way and public and private easements shall be occupied by trash receptacles, dumpsters, recycling bins or other such items.

All trash receptacles shall be screened from view by adjacent properties. A detail of the enclosure for the trash receptacles shall be included with any future building

permit(s). All lids for any solid waste and/or recycling receptacles must be made of molded plastic or other sound buffering material.

Any trash receptacles (dumpsters) must be returned to the enclosure immediately after pick-up and may not be left on the sidewalk or in the parking lot.

Medium to tall shrubs shall be placed around the enclosure in an informal manner to further screen it from adjacent properties.

AUTHORITY: LUC 20.20.725, 20.25B.040.F
REVIEWER: Sally Nichols, Land Use

5. Provisions for Loading

The property owner shall provide an off-street loading space which can access a public street. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4
REVIEWER: Ray Godinez, Transportation

6. Final Landscape and Irrigation Plans

Final Landscape and Irrigation plans shall be submitted and approved under the Clearing and Grading permit application to ensure compliance with all Land Use Code requirements.

If any trees are required to be removed due to sight distance requirements at the driveway, they must be identified on this plan and replacement trees at a 3:1 ratio shall be identified and located on this plan.

AUTHORITY: LUC 20.20.520 and 20.25B.040.C
REVIEWER: Sally Nichols, Land Use

7. Gymnasium Use by Outside Groups

Use of the gymnasium shall be for Salvation Army programs only. If the Salvation Army would like to lease the gym to outside programs, the Salvation Army shall first receive Land Use approval by submitting a parking study to ensure that there is enough parking to support all building uses and to avoid impacts to surrounding neighborhoods.

AUTHORITY: LUC 20.20.590
REVIEWER: Sally Nichols, Land Use

B. PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

8. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.
- i) Pavement restoration requirements.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit. No construction parking will be permitted on adjacent streets.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever, Transportation/Right-of-Way

9. Civil Engineering Plans – Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) Sight distance. (Show the required sight triangles and include any sight obstructions, including those off-site.)
- d) Location of fixed objects in the sidewalk or near the driveway approach.
- e) Trench restoration within any right of way or access easement.

Specific requirements are detailed below:

- a) Replacement of the existing driveway approach on 164th Avenue NE per DEV-7A.
- b) Street tree/vegetation removal for sight distance requirements (vehicular and pedestrian) per Design Standards 21 and 22.

AUTHORITY: BCC 14.60 & Transportation Design Manual
REVIEWER: Ray Godinez, Transportation

C. PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:

10. Mechanical Equipment Screening - Building

Plans submitted for building permit application shall indicate locations of all mechanical equipment and demonstrate that screening is provided so that these items are not visible from adjacent streets, public sidewalks and park/open space areas.

AUTHORITY: LUC 20.20.525
REVIEWER: Sally Nichols, Land Use

11. Mechanical Equipment Screening - Site

Power, telephone, traffic control, and/or other equipment shall not be located in above ground cabinets in sidewalk areas. Such equipment shall be located in underground vaults, in the building, or substantially screened per the approval of Land Use.

AUTHORITY: LUC 20.20.650 and 525
REVIEWER: Sally Nichols, Land Use

12. Fire Conditions

- a) Decomposition and construction shall conform to the requirements of International Fire Code (IFC) Chapter 33.
- b) Provide automatic fire sprinklers throughout the building designed per NFPA 13. (IFC 903)
- c) Move FDC more toward street. Use hydrant across street and delete hydrant on property.
- d) Provide a fire alarm notification system throughout the building designed per NFPA 72. (IFC 907)
- e) Provide a Kitchen hood suppression system over the range and other cooking equipment. (IFC 609)
- f) Areas along the access drive in the parking lot will be required to be noted as "Fire Lane-No Parking" posted and marked per Bellevue Standards.(Bellevue Amended IFC 503.3)
- g) Detention pipe network in the parking lot shall be capable of supporting fire apparatus with a gross weight of 64,000 lbs. (rear axle=48,000 lbs and front axle=19,000 lbs) and shall support the weight of the ladder truck outrigger which is 45,000 lbs over an 18 inch square.

AUTHORITY: International Fire Code (IFC) Chapter 33, IFC 609, 903, 907,
Bellevue Amended IFC 503.3
REVIEWER: Adrian Jones, Fire

13. Lighting

Applicant shall submit manufacturers' cut-sheets/information for all exterior lighting fixtures to demonstrate that cutoff shield or other appropriate measures are being used to conceal the light source from adjacent properties.

AUTHORITY: LUC 20.20.522
REVIEWER: Sally Nichols, Land Use

14. Utilities Conditions

Utility review has been completed based on the preliminary information submitted at the time of this application. The review has no implied engineering approvals for water, sewer and storm drainage components of the project. A Utility Extension Agreement (UE) will be required for review and approval of the utility design for storm and water. The side sewer connection can be reviewed under the UE but will be permitted under separate commercial side sewer permits. Submittal of the Utility extension will coincide with future clearing and grading permit review. Final civil engineering may require minor changes to the site layout to accommodate the utilities. Preliminary storm drainage review was completed under the codes and standards in place at the time of this application.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Mark Dewey, Utilities

D. PRIOR TO TCO/CO: The following conditions of approval shall be satisfied prior to issuance of ANY Temporary Certificate of Occupancy (TCO) or Certificate of Occupancy (CO):

15. Street Frontage Improvements

All transportation related improvements, including potential street light upgrades, must be constructed by the applicant and accepted by the City Inspector. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction. Specific requirements include, but are not limited to, the following:

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Department Design Manual.
REVIEWER: Ray Godinez, Transportation

16. Right-of-Way Restoration

The applicant is responsible for all damages to transportation infrastructure (pavement, sidewalk, landscaping, utility vaults, lids, street lights, etc.) caused by construction activity related to this project.

AUTHORITY: BCC 14.30
REVIEWER: Tim Stever, Transportation/Right-of-Way

17. Landscape Installation Assurance Device

If a Temporary Certificate of Occupancy is requested prior to completion of the

landscaping installation, the applicant shall file with Land Use a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed. The assurance device will be released upon complete installation and inspection approval.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

18. Landscape Maintenance Assurance Device

The applicant shall file with the PCD a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all landscaping on the site.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

Attachments:

1. Project Plans
2. Environmental Checklist



SALVATION ARMY - EASTSIDE COMMUNITY CENTER

DESIGN REVIEW UPDATES

THE SALVATION ARMY / ANKROM MOISAN

10.31.2014

VIEW OF ENTRY AT SOUTHEAST CORNER

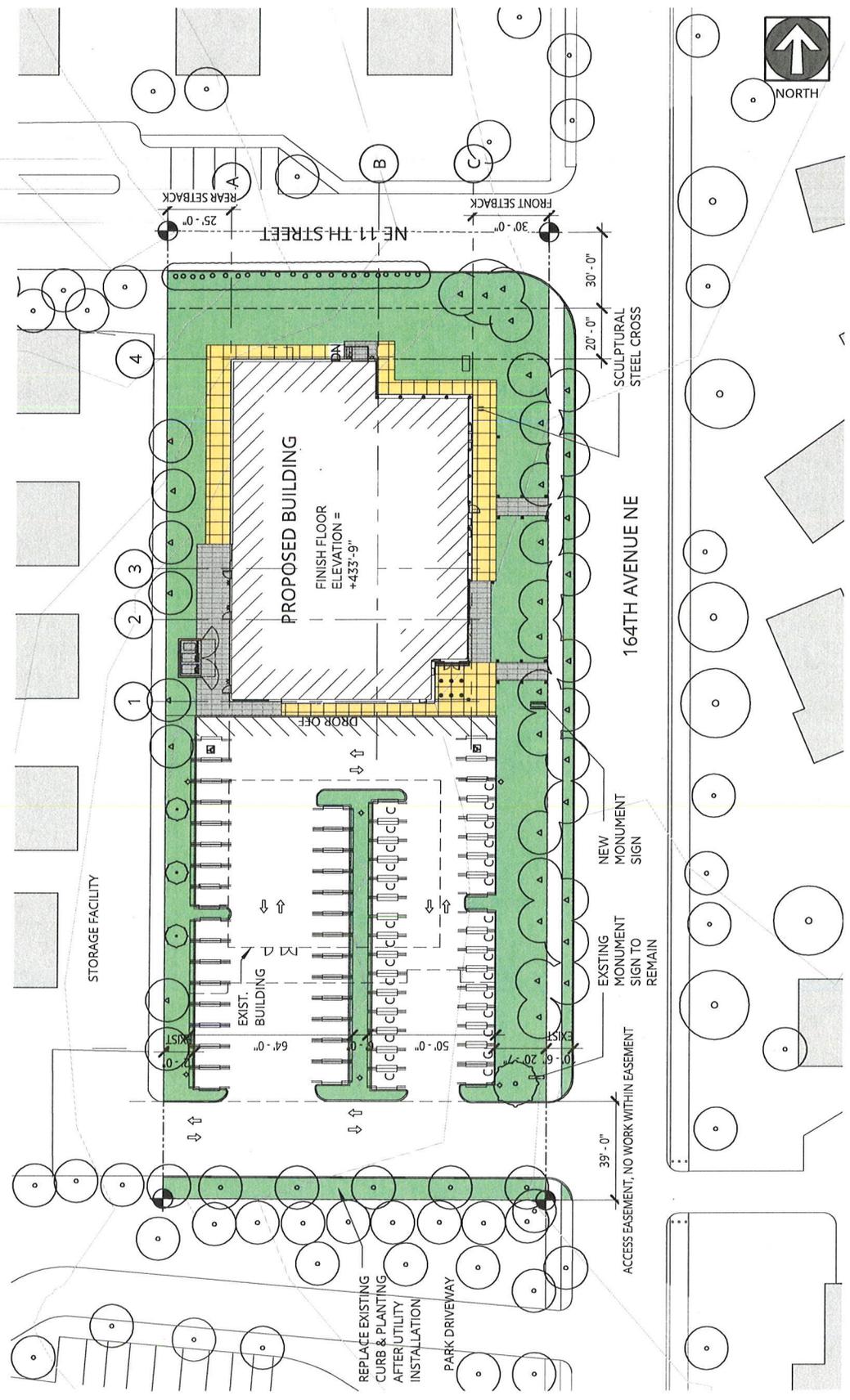


Ankrom Moisan Architects, Inc.
ARCHITECTURE INTERIORS URBAN DESIGN BRANDING
ankrommoisan.com

117 S Main St / Suite 400
Seattle, WA 98104
206.576.1600

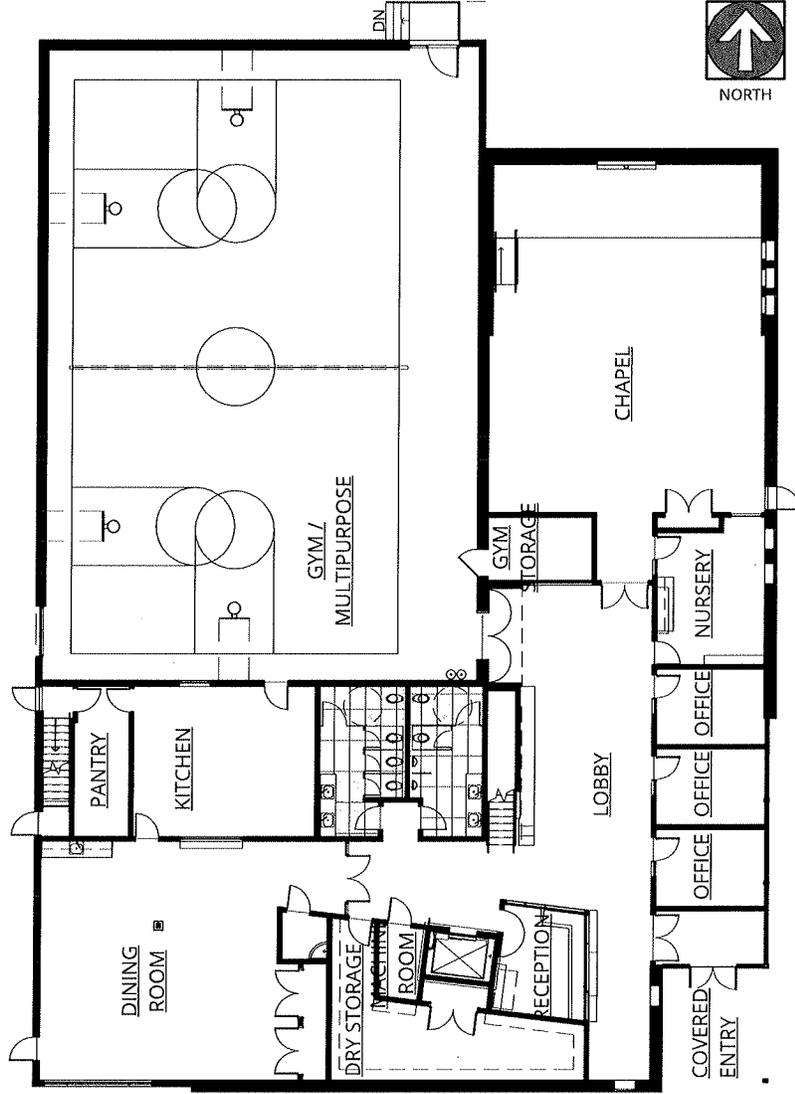


Ankrom Moisan



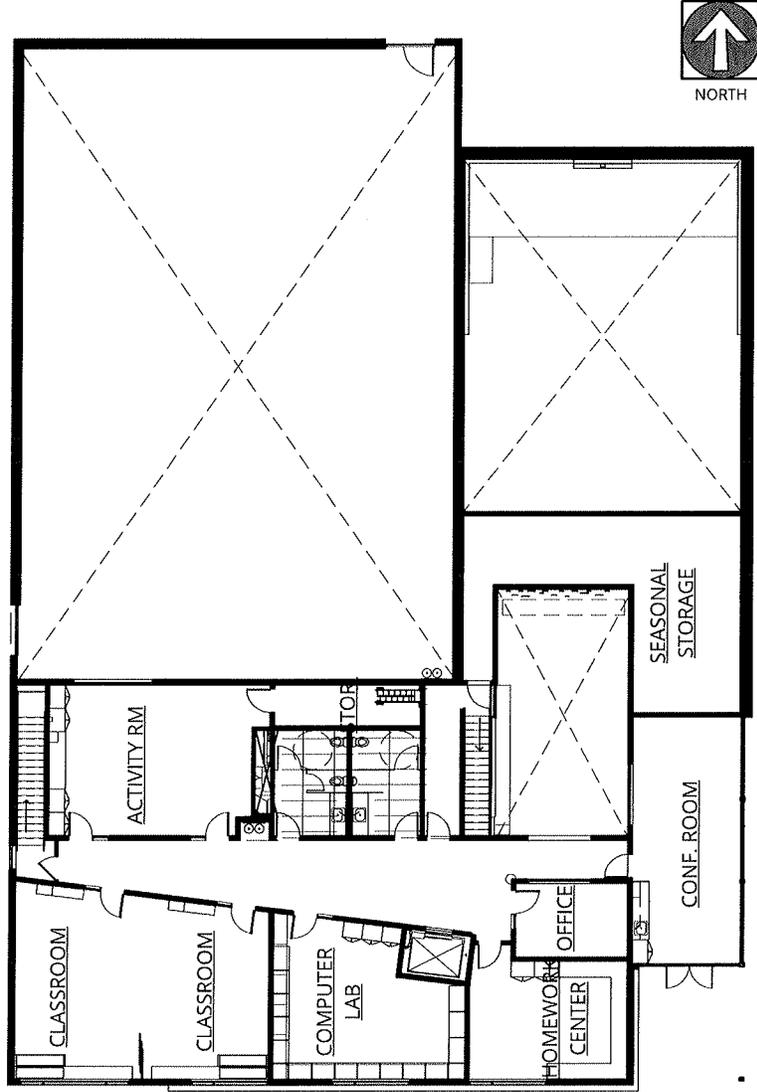
1" = 40'





1/16" = 1'-0"



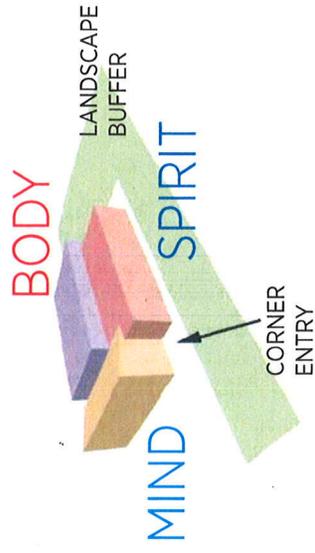


1/16" = 1'-0"

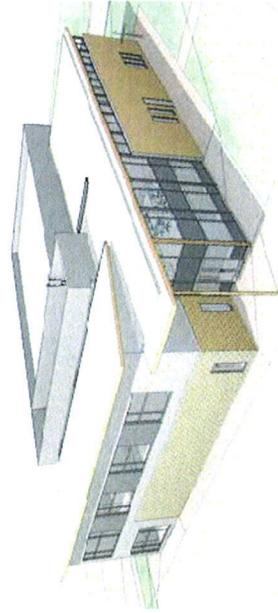




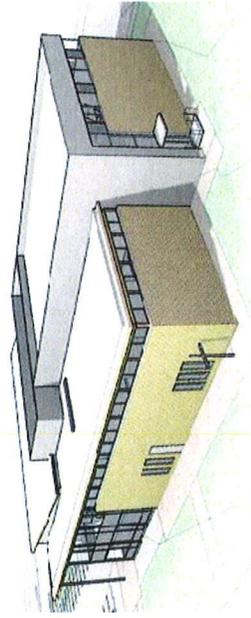
VIEW OF EAST FACADE



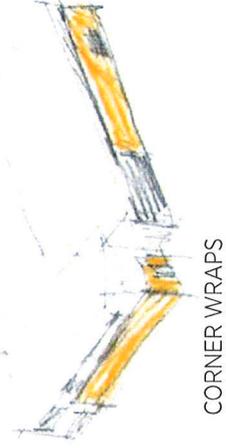
DAYLIGHTING



VIEW OF SOUTHEAST CORNER



VIEW OF NORTHEAST CORNER



CORNER WRAPS

SALVATION ARMY - EASTSIDE COMMUNITY CENTER

EXTERIOR MATERIALS 6

VIEW OF ENTRY AT SOUTHEAST CORNER



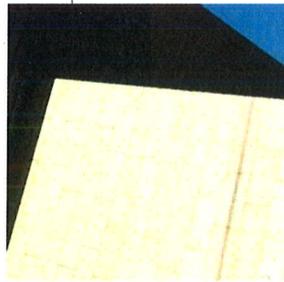
LAP SIDING:
PAINTED SMOOTH FACE
SIDING WITH 5-1/2"
EXPOSURE



MONUMENT
SIGN



ALUMINIUM WINDOW SYSTEM



CONCRETE MASORY UNIT:
GROUND FACE EXPOSED
AGGREGATE



EXPRESSED STRUCTURE:

EXPOSED GLULAM BEAMS, WOOD
DECKING AND PAINTED STEEL FASCIAS
AND COLUMNS

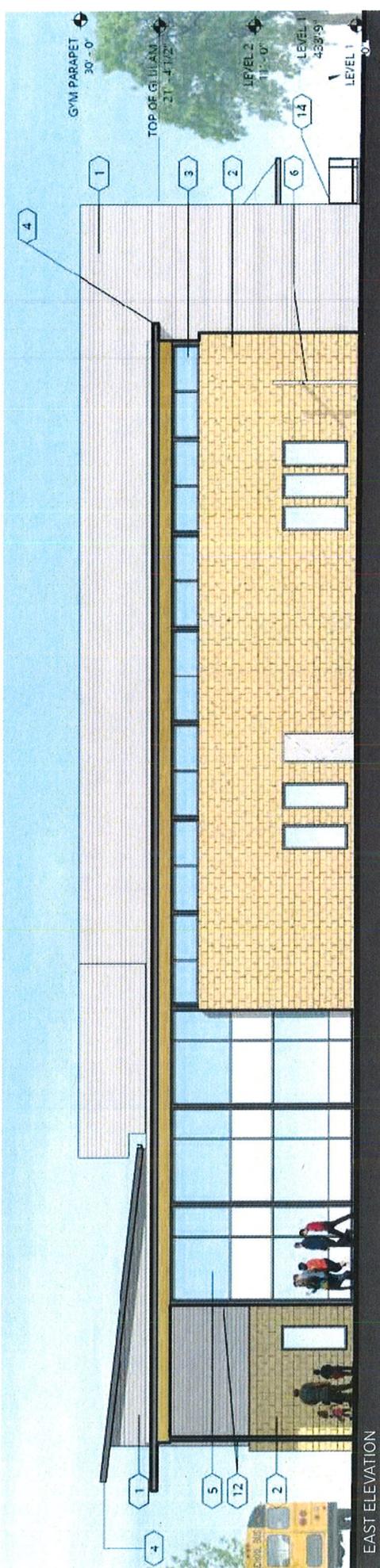


SCULPTURAL STEEL CROSS



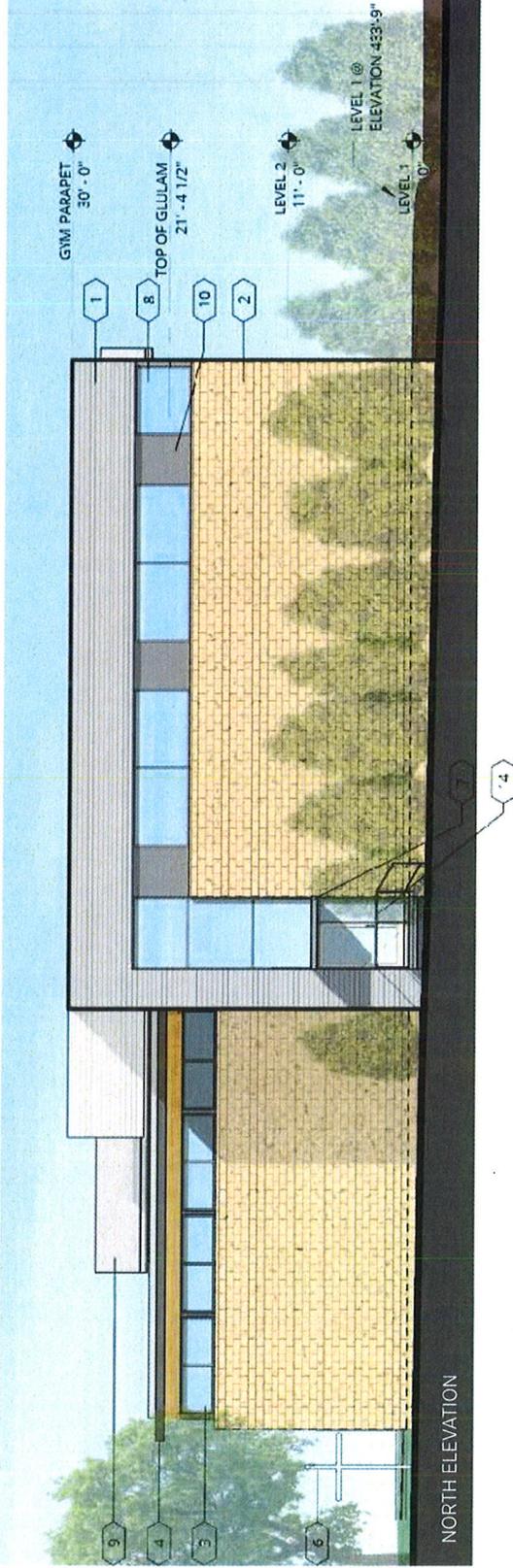
SOUTH ELEVATION

- ELEVATION KEYNOTES**
- 1 FIBRECEMENT LAP SIDING, PAINTED
 - 2 CONCRETE MASONRY UNITS, 8"X16" - SEE ASSEMBLY FOR THICKNESS
 - 3 ALUMINUM CLERESTORY WINDOWS
 - 4 CONCRETE MASONRY UNITS, 8"X16" - SEE ASSEMBLY FOR THICKNESS
 - 5 CONCRETE MASONRY UNITS, 8"X16" - SEE ASSEMBLY FOR THICKNESS
 - 6 CONCRETE MASONRY UNITS, 8"X16" - SEE ASSEMBLY FOR THICKNESS
 - 7 GANTRY STEEL CHANNEL W/ CORRUGATED METAL DECKING - GALVANIZED & PAINTED
 - 8 ALUMINUM WINDOW
 - 9 SLOPED ROOF BEYOND
 - 10 FIBRECEMENT WALL
 - 11 6'-0" HIGH CMU TRASH ENCLOSURE
 - 12 CONCRETE MASONRY UNITS, 8"X16" - SEE ASSEMBLY FOR THICKNESS
 - 13 ALUMINUM PIPE RAILING



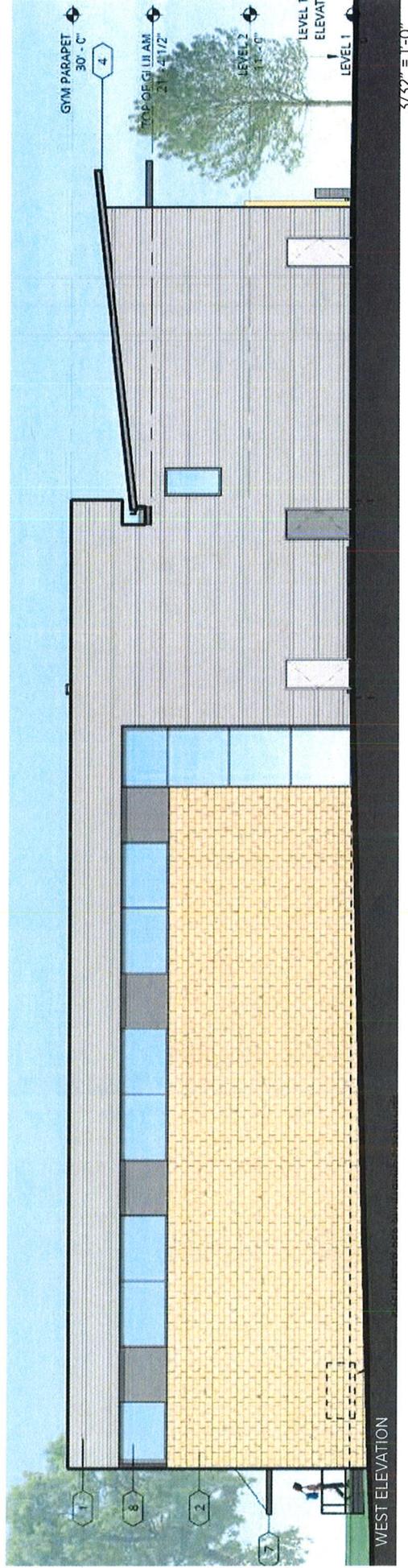
EAST ELEVATION

3/32" = 1'-0"



ELEVATION KEYNOTES

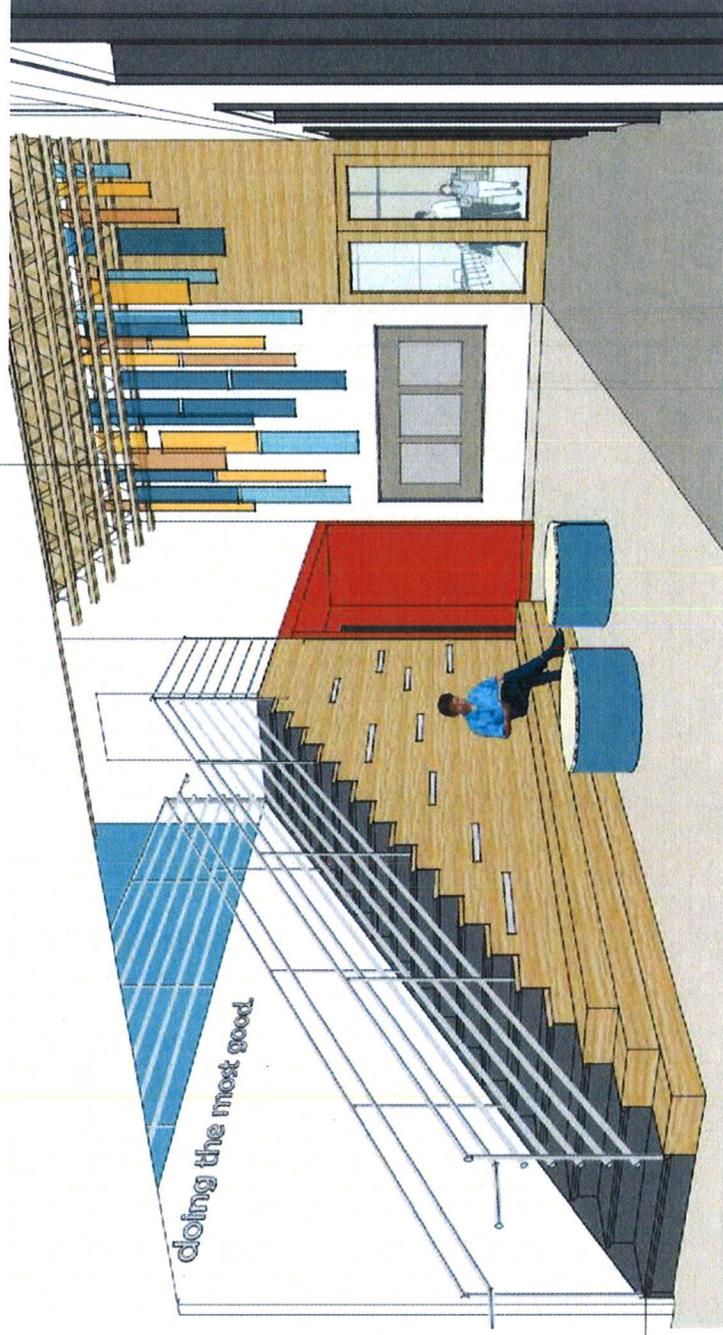
- 1 FIBER CEMENT LAP SIDING, PAINTED
BASIS OF DESIGN: HARDEE 1/2" LAP SIDING, TRIM, FASCIA,
SMOOTH FINISH WITH 1/2" EXPOSURE
- 2 CONCRETE MASONRY UNITS, 8"x16", SEE ASSEMBLY FOR
THICKNESS
- 3 ALUMINUM CLERESTORY WINDOWS
- 4 OVERHANGING EAVES WITH PAINTED METAL FASCIA & WOOD
BECKING, POSSIBLE AT UNDERSIDE OF SOUTH EXTERIORLY
CLERESTORY
- 5 CURTAINWALL GLAZING SYSTEM WITH SPANDREL GLAZING
- 6 SCRIPTURAL STEEL CROSS
- 7 CANTOPY, STEEL CHANNEL W/ CORRUGATED METAL BECKING
& GALVANIZED & PAINTED
- 8 ALUMINUM WINDOW
- 9 SLOPED ROOF BEYOND
- 10 FIBER CEMENT FINISH
- 11 6" HIGH CHUB TRIM ON INTERIOR
- 12 CONCRETE MASONRY UNITS, 8"x16", SEE ASSEMBLY FOR
THICKNESS
- 14 ALUMINUM PIPE RAILING



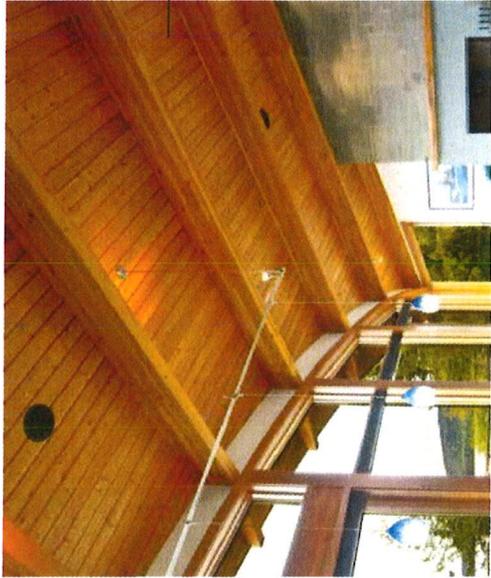


WOOD AND RUBBER STAIR CONCEPT

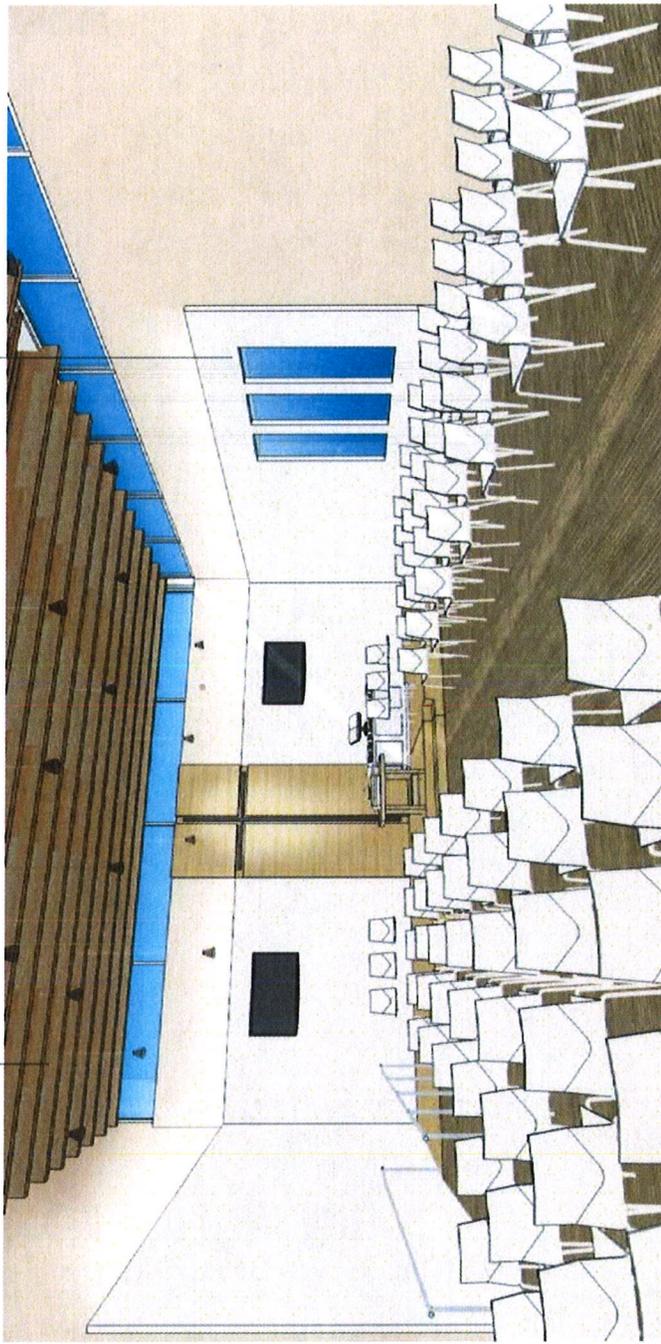
MIND
BODY
SPIRIT



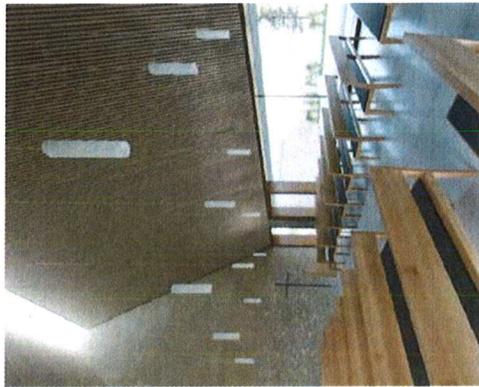
LOBBY CONCEPT SKETCH



OPEN WOOD CEILING



CUSTOM ART GLASS



FILTERED LIGHT HIGH AND LOW

	A	B	C	D	E	F	G	H
1	The Salvation Army Eastside Community Center - Parking Requirements and Projections							
2	Ankrom Moisan Architects							
3	Date: 10-31-2014							
4								
	Program	Hours for each Activity	People using Bus	Parking Provided	Current Parking Required for Existing Facility	Projected Parking Requirements for proposed New Facility	Anticipated Additional Future Parking Requirements	
5								
6								
7	Social Services Office	10am-5:30pm, M-F	0	20	3 Staff	6 Staff	7 Staff	
8								
9	After School Program	3pm-5pm, M-F	30	20	7 Staff	9 Staff	12 Staff	
10								
11	Community/Meal Program	6pm-7pm, M-F	0	20	7 staff, 15 public	8 staff, 19 Public	8 Staff, 25 Public	
12								
13	Sunday Worship	9:30am-1pm, Sun	25	20	5 staff, 20 public	6 Staff, 26 Public	6 Staff, 33 public	
14								
15	(Future) Gymnasium Use / Program	5:30pm-7:30pm, Tue and Th; 10am-1pm Sat (projected times)	20 (projected)	N/A	N/A	3 Staff, 16 Public	3 Staff, 22 public	
16								

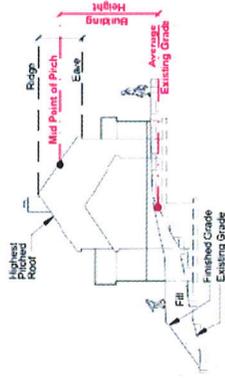
City of Bellevue
 Development Services
 Handout L-10

Calculating Building Height
 in the Transition Area Design District
 October 2010

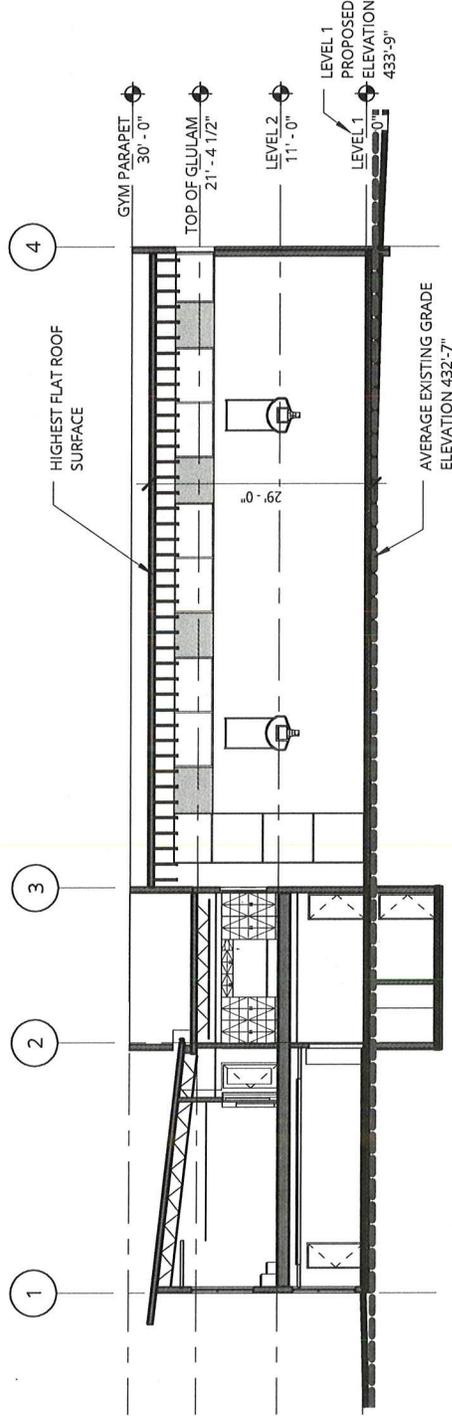
Note: This handout applies only to structures located in the Transition Area Design District. For calculating building height in single-family zones or the Shoreline Overlay District, see Handout L-11.

How is building height measured in the Transition Area Design District?

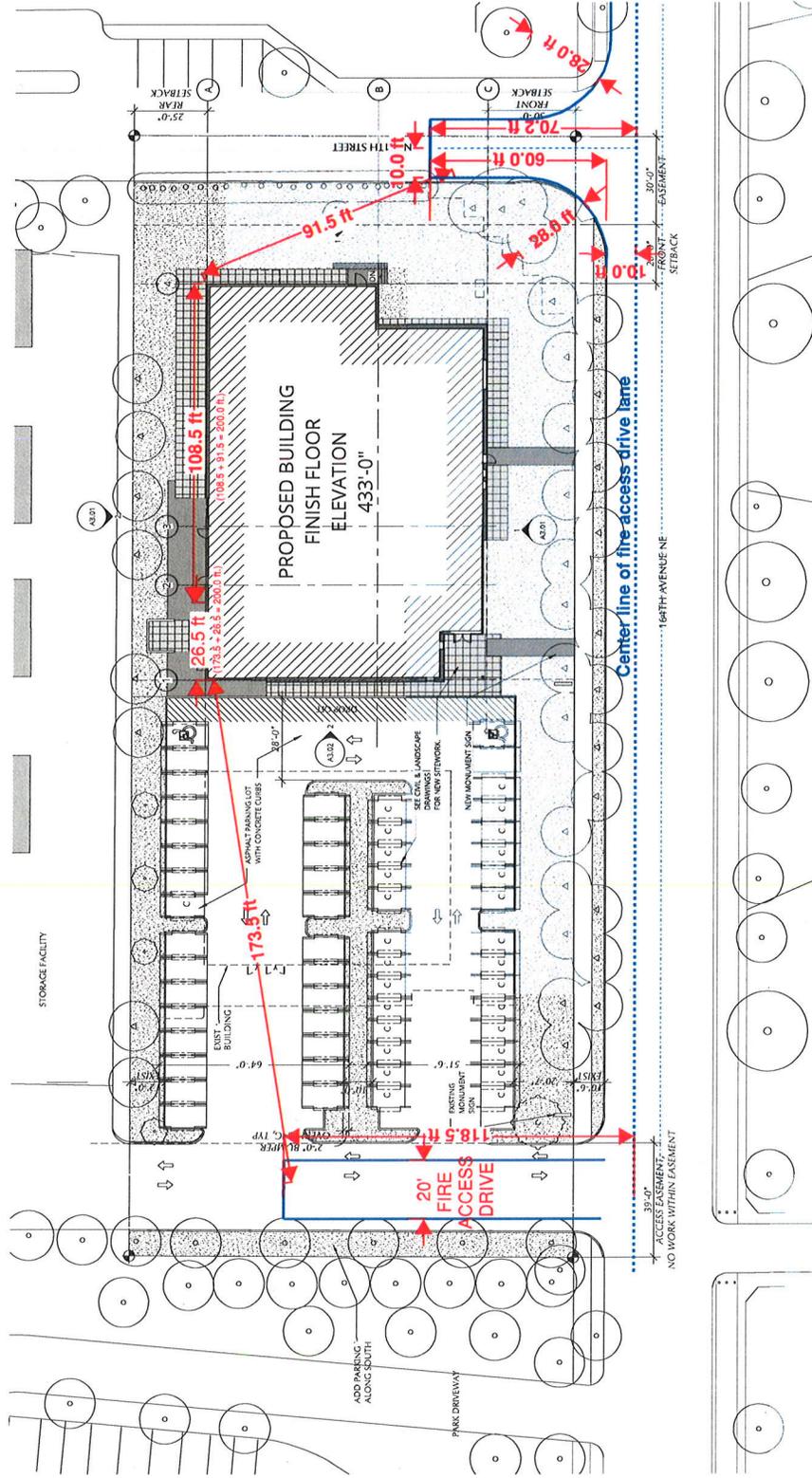
For structures in the Transition Area Design District, building height is measured from the average existing grade around the building, or in some cases around a building segment, to the highest point of a flat roof, excluding parapet, or to the mid point between the eaves and ridge of a pitched roof (figure 1).

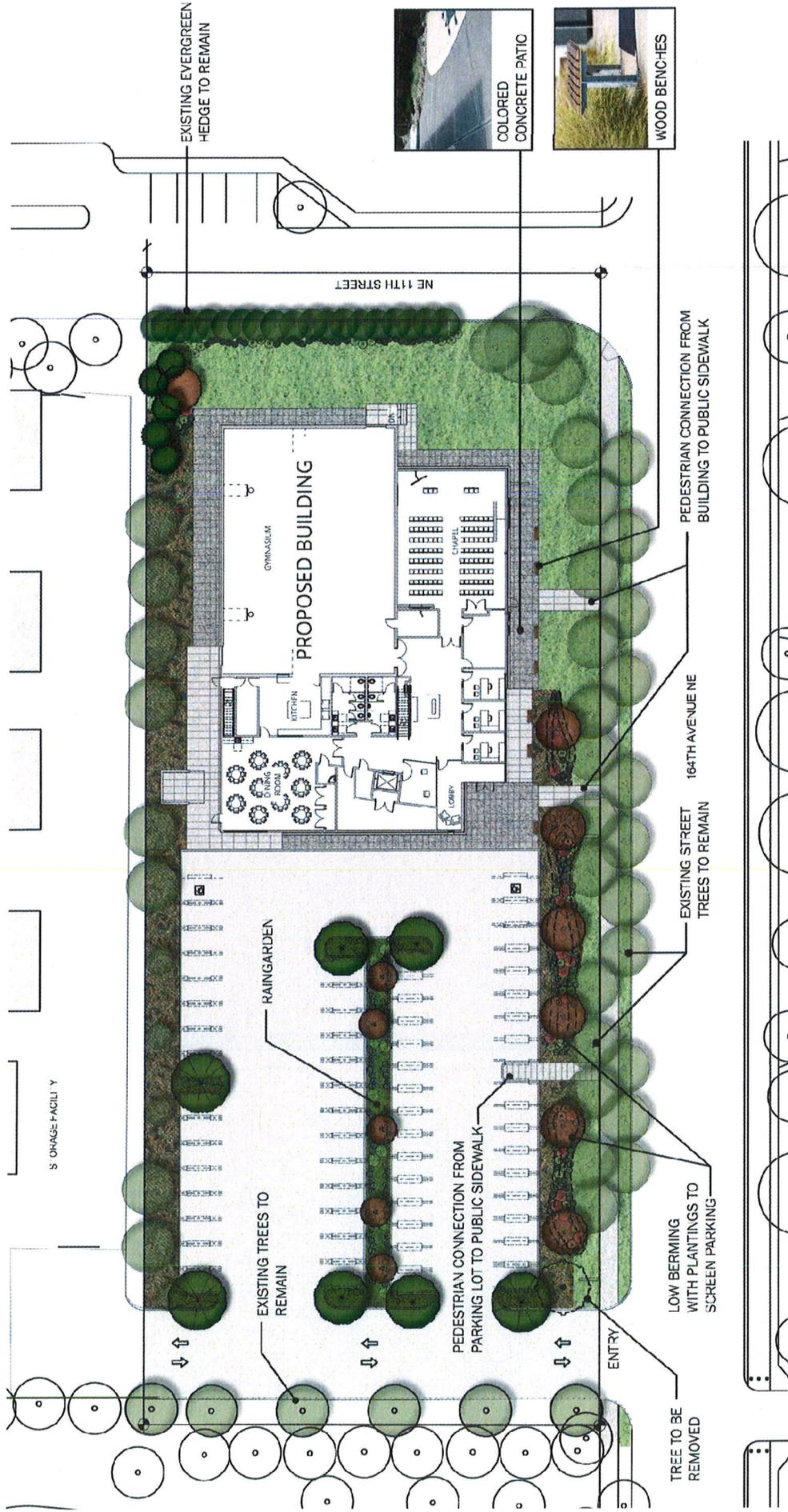


Measuring Building Height
 (figure 1)



1" = 16'





NOT TO SCALE



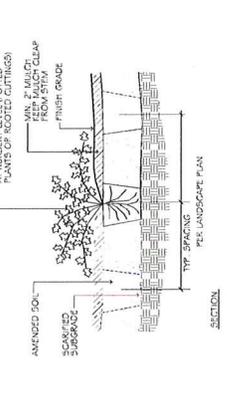
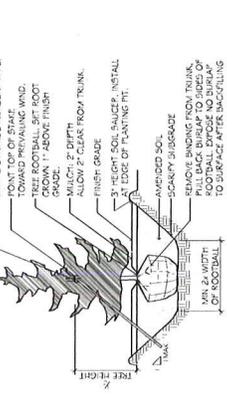
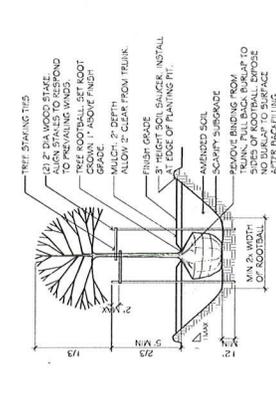
DESIGN REVIEW UPDATES
10.31.2014

Planting Schedule with Amenities

Symbol	Type	Size / Notes
	Existing Trees to Remain	
	Existing Trees to be Removed	
	Medium Trees	2' cal., B & B 1' cal., B & B
	Small Trees	1' cal., B & B 1' cal., B & B
	Large Shrubs	30" min. ht. 30" min. ht.
	Medium Shrubs	24" min. ht. 24" min. ht.
	Small Shrubs	18" min. ht. 18" min. ht.
	Groundcovers	1 gal. @ 18" O.C. 1 gal. @ 18" O.C. 1 gal. @ 12" O.C.
	Lawn	

Site Elements
Bench, Apex by Forms and Surfaces

- NOTES:
- ALL PLANTING AREAS ON THE GROUND-PLANE SHALL HAVE A TRADITIONAL IRRIGATION SYSTEM TO BE INTEGRATED WITH A CONTROLLER, RAIN SENSORS AND OTHER EQUIPMENT WILL BE INCORPORATED INTO DESIGN TO MAXIMIZE EFFICIENCY AND LOWER OVERALL MAINTENANCE.
 - ALL SHRUBS AND GROUNDCOVERS TO BE LAYED OUT IN FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - SEE CIVIL SHEETS FOR PROPOSED GRADING, STREET PROFILES AND UTILITY LOCATIONS.



RUSHING
 ENGINEERS ARCHITECTS
 1725 WEST AVE NE L SUITE 200
 SEATTLE, WA 98109
 P. (206) 285-7100 F. (206) 285-2111

Ankrom Moisan

6729 MAGNAN AVENUE, SUITE 100
 SEATTLE, WA 98148
 T. 206.465.7100
 117 SOUTH MAIN STREET, SUITE 406
 SEATTLE, WA 98104
 T. 206.376.1500
 ANKROM MOISAN ARCHITECTS, INC.

Eastside Corps Community Center
 911 16th Ave NE Bellevue, WA 98008

The Salvation Army

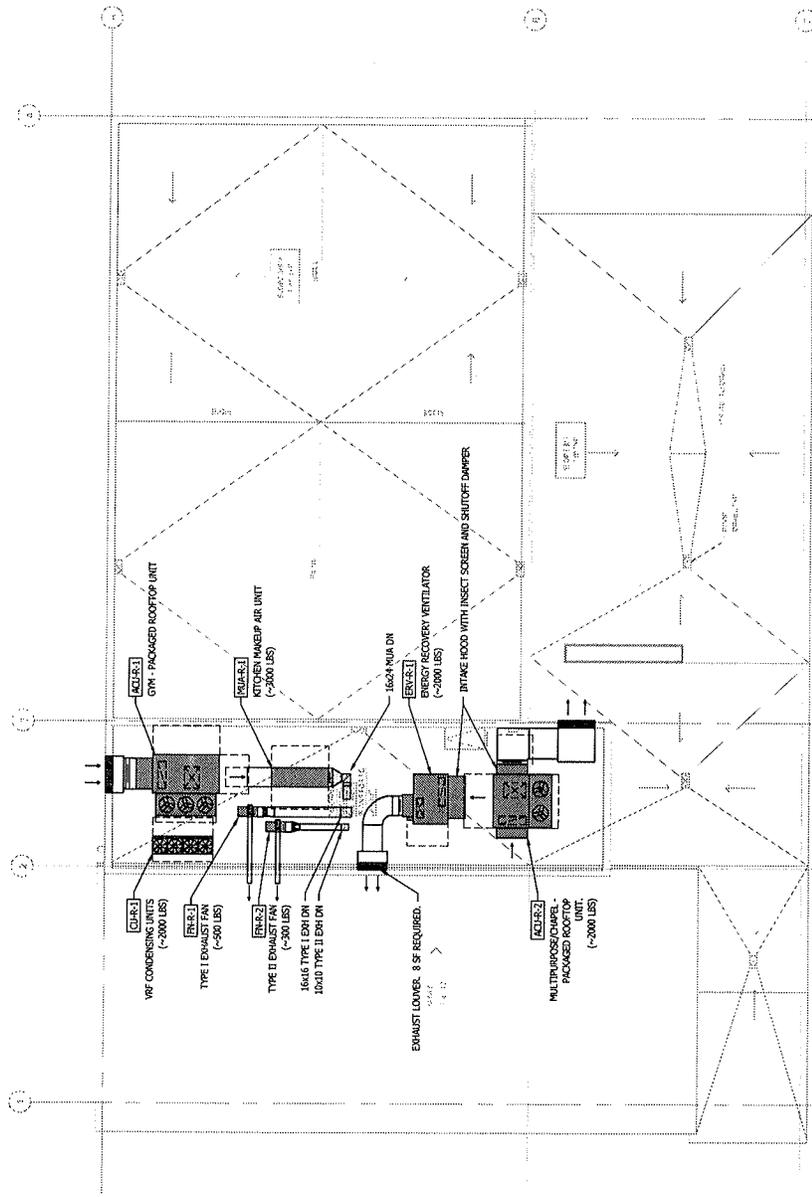
REVISION	DATE	REVISION CODE / ISSUE

GENERAL NOTE:
 MECHANICAL AND PLUMBING DRAWINGS IN COMBINATION WITH THE DIV 21, 22, 23 NARRATIVES ARE INTENDED TO PROVIDE DESIGN BUILD CONTRACTORS WITH THE INFORMATION NECESSARY TO CONSTRUCT THE DESIGN BUILD SUB CONTRACTS. RUSHING IS NOT THE ENGINEER OF RECORD.

ROOF TOP HVAC PLAN

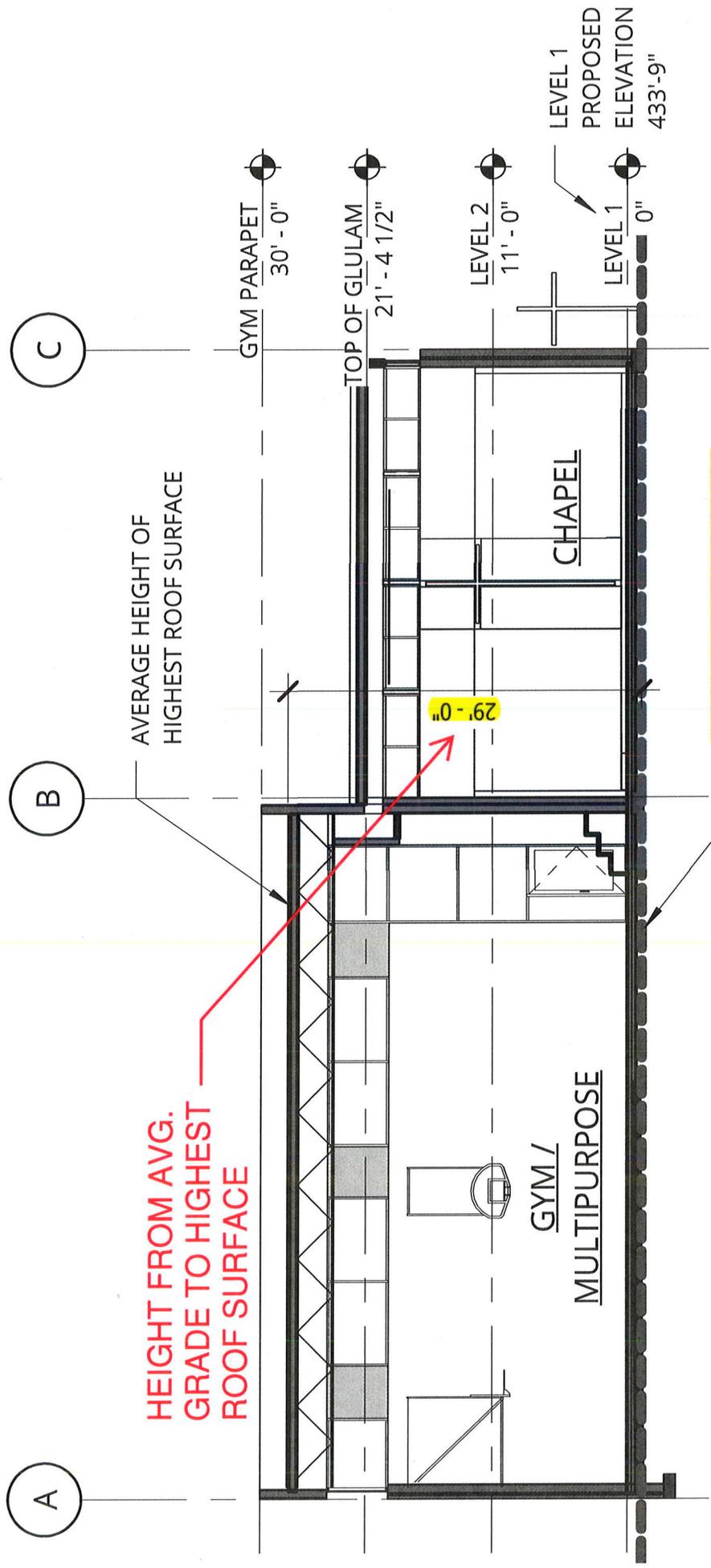
100% DESIGN DEVELOPMENT

DATE	REVISION
10.28.2014	
PROJECT NUMBER	150925
DATE	AS INDICATED
	M2.03



ROOF TOP HVAC PLAN
 W2021108-11P





HEIGHT FROM AVG.
GRADE TO HIGHEST
ROOF SURFACE

AVERAGE EXISTING GRADE
ELEVATION 432'-7"

1 BUILDING HEIGHT DIAGRAM

A0.11 | 1/16" = 1'-0"

Reviewed by
Sally Nichols
1/7/2015

City of Bellevue Submittal Requirements

27a

ENVIRONMENTAL CHECKLIST

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

BACKGROUND INFORMATION

Property Owner: The Salvation Army - Northwest Divisional Headquarters ✓

Proponent: The Salvation Army ✓

Contact Person: David Ellison ✓

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 111 Queen Anne Ave., N Suite 300, Seattle, WA 98109 ✓

Phone: 206-217-1216 ✓

Proposal Title: TSA - Eastside Community Center - Bellevue ✓

Proposal Location: 911 164th Ave., NE, Bellevue WA 98008 ✓

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: A 2-story non-profit Community Center with offices, dining, chapel, classrooms and gym ✓

2. Acreage of site: 1.31 acres (57,278 SF) ✓

3. Number of dwelling units/buildings to be demolished: 1 ✓

4. Number of dwelling units/buildings to be constructed: 1 ✓

5. Square footage of buildings to be demolished: 5,200 SF

6. Square footage of buildings to be constructed: 16,700 SF ± may increase to 16,800 SF

7. Quantity of earth movement (in cubic yards): 200 ✓

8. Proposed land use: O - OFFICE (within single-family transition area design district) ✓

n/in O land use, but "use" will be religious facility/community center

9. Design features, including building height, number of stories and proposed exterior materials: ✓

Building height is 30' high for gym (double height space,) 21' high for 2 story office/classrooms.

Exterior materials consist of cementitious siding and panels, CMU, Glazing, metal roof, metal and decorative wood.

10. Other ✓
none

Estimated date of completion of the proposal or timing of phasing:

Design Review Approval - January 2014 ✓

Building Permit Submittal - March 2014 ✓

Start of Construction - April 2015 Dependent on the capital campaign that the TSA will be securing prior to the start. ✓

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

A shared "parking agreement" between the Salvation Army and the adjacent Crossroads Park is currently in process. ✓

not required for Design Review approval

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

a Geotechnical Report dated 2002 has been prepared. Civil Engineer is currently working with Geotech to obtain an updated evaluation letter confirming that the Report is still valid. ✓

no changes to site since 2002, flat site

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known. ✓

None known.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known. ✓

Design Review, Clearing and Grading, ROW permit, Demo permit, Electrical, Mechanical, Plumbing permits

Please provide one or more of the following exhibits, if applicable to your proposal. ✓
(Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Preliminary Plat or Planned Unit Development
Preliminary plat map

Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

Building Permit (or Design Review) *13-119915-LD*
Site plan
Clearing & grading plan

Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other ✓

low

b. What is the steepest slope on the site (approximate percent slope)? ✓

5% at west side. Average of 2-3% everywhere else.

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland. ✓

Approx .3 ft of surficial topsoil. 1.3 to 3.5 ft of variable fill underneath. Native soils medium dense silty sand.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. ✓
None identified in the Geotechnical Report.

Prepared by Zipper / Zeman Assoc. 10/16/2002 and reviewed by Terracon consultants 12/18/14

- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Structural Fill consists of a clean, well graded sand and gravel, clean sand, crushed rock, crushed recycled concrete, and various soil mixtures of silt, sand and gravel free of organics, debris and other deleterious materials.

Quantities are estimated to be approximately 200 SF.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No. The site is fairly flat. Minimal runoff is anticipated.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

66% = 37,700 sq ft

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Silt fencing if required along the perimeter. A construction storm water pollution prevention plan will be submitted if required.

Apply sedimentation control erosion regulated by cleaning & grading code BCL 23.76 - mitigation per C&G inspector

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Dust and construction equipment emissions could occur.
After construction - normal office emissions would occur.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.
None known.

- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

Watering of the site as necessary for dust control.
Use of low VOC emitting compositions to reduce emissions will be considered.

Construction Dust suppression measures per BCL 23.76 - C&G code

3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. ✓

none

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans. ✓

no.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. ✓

none

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. ✓

no.

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. ✓

no.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. ✓

no.

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description. ✓

Per the Geotechnical Report - a recommendation to provide an underslab drainage system should be included in the design. Amount of anticipated water was not indicated in the report until further design criteria is provided.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. ✓

No waste material will be discharged into the ground.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Storm water runoff will be limited to rainfall directly on the site. Runoff will be storm water only and will be collected in roof and discharged into the existing storm system to the west portion of the site.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.
no.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Storm water runoff will be limited to rainfall directly on the site. Runoff will be storm water only and will be collected in roof and discharged into the existing storm system to the west of the site.

Reviewed by Utilities Dept. - new and imperv. surface needs to be detained & treated. Proposed - bioretention swales, Filtra units & underground detention.

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

*Trees to remain
Add'l landscaping proposed*

b. What kind and amount of vegetation will be removed or altered?

~~some trees will be~~ relocated. berms will be installed at the east side. Additional shrubbery will be added to the north.

c. List threatened or endangered species known to be on or near the site.

none known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Landscaping will be designed in accordance with the City of Bellevue Design Guidelines, regulations and codes.

EN

5. ANIMALS

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other: ✓

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site.
none known

c. Is the site part of a migration route? If so, explain. ✓
no.

d. Proposed measures to preserve or enhance wildlife, if any: ✓
none.

*Pacific Flyway -
entire Puget Sound region*
*add'l
landscape
incl. trees*

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc. ✓

electricity will be provided by the electrical company for heating, lighting, cooking, office functions. ✓

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.
no.

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any: ✓

Energy star appliances, programmable thermostats, occupancy sensors, LED lighting, Insulation, etc.

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. ✓

Some building materials may emit off gassing such as formaldehyde or other similar chemicals commonly found in building and construction products. No concentrations are anticipated higher than normal for construction activity of this kind.

(1) Describe special emergency services that might be required.

No special services are anticipated

(2) Proposed measures to reduce or control environmental health hazards, if any. ✓

None

b. Noise

(1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

none known.

*Traffic
noise, crossroads
Park ...*

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site. ✓

Traffic noise may impact the project along 164th Ave., NE and NE 11th Street.

- (3) Proposed measures to reduce or control noise impacts, if any: ✓

Short-term noise would include construction conducted in accordance with Washington State Department of Ecology and City of Bellevue noise regulations. Long-term noise would include the anticipated noise levels from an office facility of this type.

Construction noise -
Noise impacts regulated per BCC 9.18 - noise control ✓

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties? ✓

Office

Religious facility / community ctr. ✓

- b. Has the site been used for agriculture? If so, describe. ✓

no.

- c. Describe any structures on the site. ✓

Existing temporary wood framed building raised foundation approximately 5200 SF in size located roughly in the center of the site. An asphalt parking lot accommodating 20 cars is on the south side of the structure.

- d. Will any structures be demolished? If so, what? ✓

existing structure on site currently. The parking lot will be removed and replaced in its entirety.

- e. What is the current zoning classification of the site? ✓

O - OFFICE (within single-family transition area design district)

- f. What is the current comprehensive plan designation of the site? O-OFFICE ✓

2 story building at 16, 700 SF with 65 stalls of parking. ✓

- g. If applicable, what is the current shoreline master program designation of the site? ✓

unknown

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. ✓

no.

- i. Approximately how many people would reside or work in the completed project? ✓

it varies from 3 to 15 depending on the time or day and which activity is currently active.

- j. Approximately how many people would the completed project displace? ✓

none.

- k. Proposed measures to avoid or reduce displacement impacts, if any: ✓

N/A

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposed project matches existing and proposed land use patterns. The proposed use is permitted by right in the O zone and complies with the within single-family transition area design district for this area.

Design Review - LUG 20.30F
LUG 20.25 B Trans. Area

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. ✓
none
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. ✓
none
- c. Proposed measures to reduce or control housing impacts, if any: ✓
none

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?
30 ft. Exterior is of a cementitious cement lap, glazing, TPO roofing. *CMU "wraps"*
- b. What views in the immediate vicinity would be altered or obstructed? ✓
none
- c. Proposed measures to reduce or control aesthetic impacts, if any: ✓
Locating the large gym portion to the west away from the main street. Setbacks, Glazing. Sloped roof.

landscaping

*per Transition Area
Design Guideline
LIC 20.25B*

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?
The lighting design will minimize the glare. evenings - however - the facility closes at 8pm. ✓
- b. Could light or glare from the finished project be a safety hazard or interfere with views?
none anticipated.
- c. What existing off-site sources of light or glare may affect your proposal? ✓
none
- d. Proposed measures to reduce or control light or glare impacts, if any: ✓
Exterior lighting associated with the project will be shielded to limit glare affecting adjacent properties.

*Condition of
Approval requires
cut-off shields on
exterior lighting
LIC 20.20.522/20.25B*

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? ✓
Crossroads Park is immediately south of the project site. This facility will have a gymnasium component. A small golf course is located west about 1/2 mile from the site.
- b. Would the proposed project displace any existing recreational uses? If so, describe. ✓
no. *enhance w/ new gym*
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: ✓
none *new gym, expanded after school programs*

for Salvation Army program use only

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. ✓
none known.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site. ✓
none known
- c. Proposed measures to reduce or control impacts, if any: ✓
none

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. ✓
164th Ave NE to the East. NE 11th street to the North. See Site plan for layout.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? ✓
not directly. 1/4 mile to the nearest transit stop. *Crossroads well-served by Transit.*
- c. How many parking spaces would be completed project have? How many would the project eliminate? ✓
Approximately ⁶¹65 spaces are proposed. *reduction due to exist. access easement w/ Suregard storage*
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓
no.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. ✓
no.
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓
Unknown at this time. Peak volumes are at 2pm and 5:30pm daily.
- g. Proposed measures to reduce or control transportation impacts, if any: ✓
Shuttle busses will transport children directly from school to the facility once daily.

see parking assessment in project file

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. ✓

There will be increased demand for police and fire protection, typical of a office development. Any impact on local schools should be the same as before. *(Larger bldg)*

- b. Proposed measures to reduce or control direct impacts on public services, if any. ✓

Adequate lighting will be provided for safety, the building will be fully sprinklered, and a building security system will be used.

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other. ✓

all of the above.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓

Anticipated to be: Electricity and natural gas (PSE), water and sanitary sewer (City of Bellevue), telephone (Century Link), cable (Comcast) and refuse service (City of Bellevue). New water, storm drainage, sanitary sewer, electric, natural gas, telephone, and cable connections for the utilities in the right-of-way will be required.

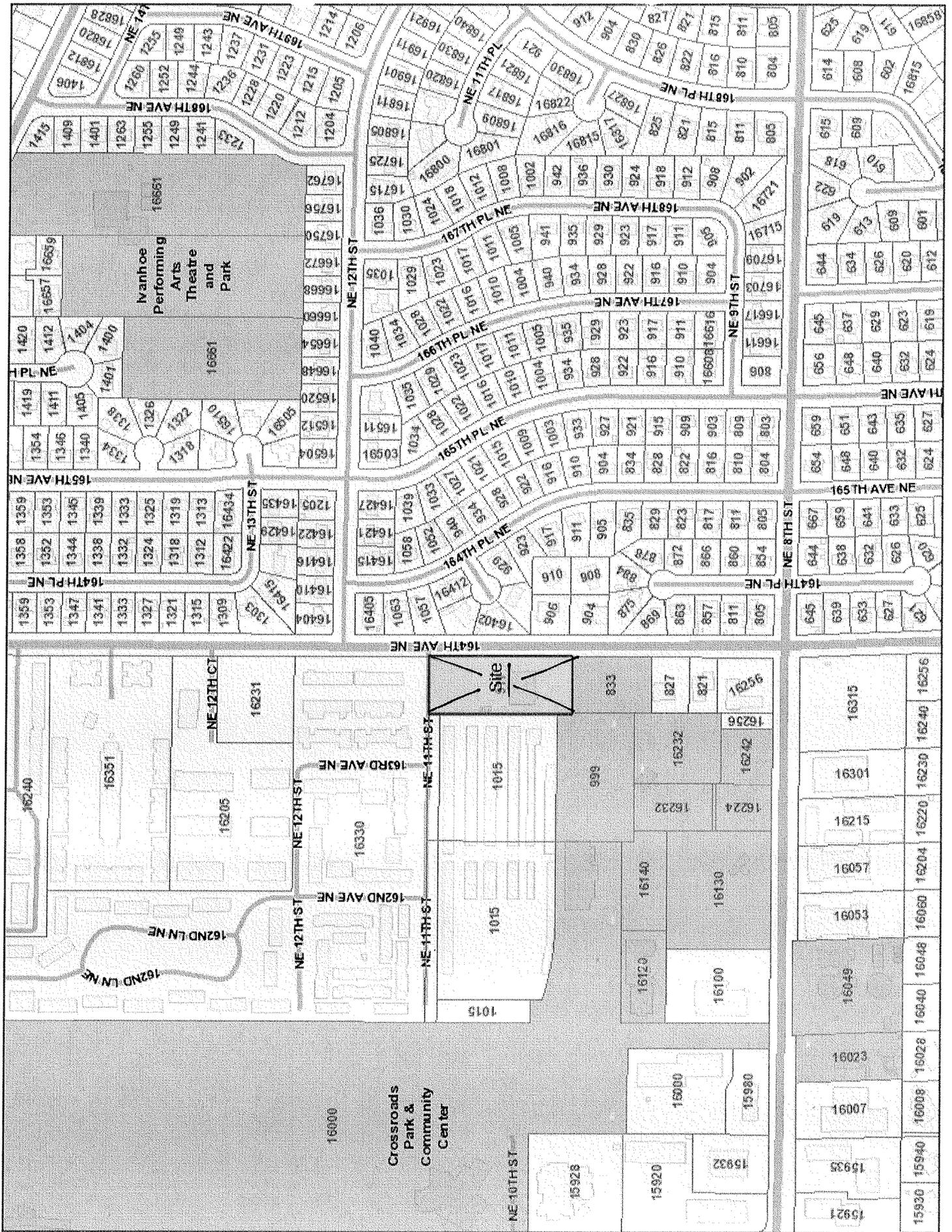
Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature..... AI Gabay, Ankrom Moisan Architects

Date Submitted..... 7-8-2013

SN



Ivanhoe Performing Arts Theatre and Park

Crossroads Park & Community Center

Site

Site

Site

Site

Site

Site

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