



DEVELOPMENT SERVICES DEPARTMENT  
ENVIRONMENTAL COORDINATOR  
450 110<sup>th</sup> Ave NE., P.O. BOX 90012  
BELLEVUE, WA 98009-9012

**OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS**

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 13-119915-LD

Project Name/Address: Crossroads Salvation Army

Planner: Sally Nichols

Phone Number: (425) 452-2727

**Minimum Comment Period:** 14 days

Materials included in this Notice:

- Blue Bulletin
- Checklist
- Vicinity Map
- Plans
- Other:

**OTHERS TO RECEIVE THIS DOCUMENT:**

- State Department of Fish and Wildlife / [Stewart.Reinbold@dfw.gov](mailto:Stewart.Reinbold@dfw.gov); [Christa.Heller@dfw.wa.gov](mailto:Christa.Heller@dfw.wa.gov);
- State Department of Ecology, Shoreline Planner N.W. Region / [Jobu461@ecy.wa.gov](mailto:Jobu461@ecy.wa.gov); [sepaunit@ecy.wa.gov](mailto:sepaunit@ecy.wa.gov)
- Army Corps of Engineers [Susan.M.Powell@nws02.usace.army.mil](mailto:Susan.M.Powell@nws02.usace.army.mil)
- Attorney General [ecyolyef@atg.wa.gov](mailto:ecyolyef@atg.wa.gov)
- Muckleshoot Indian Tribe [Karen.Walter@muckleshoot.nsn.us](mailto:Karen.Walter@muckleshoot.nsn.us); [Fisheries.fileroom@muckleshoot.nsn.us](mailto:Fisheries.fileroom@muckleshoot.nsn.us)

Received

City of Bellevue Submittal Requirements

JUL 11 2013

27

**ENVIRONMENTAL CHECKLIST**

Permit Processing  
City of Bellevue

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

**INTRODUCTION**

**Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

**Instructions for Applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

**Use of a Checklist for Nonproject Proposals:** *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

**Attach an 8 ½" x 11 vicinity map which accurately locates the proposed site.**

**ENVIRONMENTAL CHECKLIST**

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

**BACKGROUND INFORMATION**

Property Owner: The Salvation Army - Northwest Divisional Headquarters

Proponent: The Salvation Army

Contact Person: David Ellison

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 111 Queen Anne Ave., N Suite 300, Seattle, WA 98109

Phone: 206-217-1216

Proposal Title: TSA - Eastside Community Center - Bellevue

Proposal Location: 911 164th Ave., NE, Bellevue WA 98008

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 ½" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: A 2-story non-profit Community Center with offices, dining, chapel, classrooms and gym
2. Acreage of site: 1.31 acres (57,278 SF)
3. Number of dwelling units/buildings to be demolished: 1
4. Number of dwelling units/buildings to be constructed: 1
5. Square footage of buildings to be demolished: 5,200 SF
6. Square footage of buildings to be constructed: 16,700 SF
7. Quantity of earth movement (in cubic yards): 200
8. Proposed land use:  OFFICE (within single-family transition area design district)
9. Design features, including building height, number of stories and proposed exterior materials:  
 Building height is 30' high for gym (double height space,) 21' high for 2 story office/classrooms.  
 Exterior materials consist of cementitious siding and panels, CMU, Glazing, metal roof, metal and decorative wood.
10. Other  
 none

Estimated date of completion of the proposal or timing of phasing:

Design Review Approval - January 2014

Building Permit Submittal - March 2014

Start of Construction - April 2015 Dependent on the capital campaign that the TSA will be securing prior to the start.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

A shared "parking agreement" between the Salvation Army and the adjacent Crossroads Park is currently in process.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

a Geotechnical Report dated 2002 has been prepared. Civil Engineer is currently working with Geotech to obtain an updated evaluation letter confirming that the Report is still valid.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None known.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Design Review, Clearing and Grading, ROW permit, Demo permit, Electrical, Mechanical, Plumbing permits

Please provide one or more of the following exhibits, if applicable to your proposal.  
(Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Preliminary Plat or Planned Unit Development  
Preliminary plat map

Clearing & Grading Permit  
Plan of existing and proposed grading  
Development plans

Building Permit (or Design Review)  
Site plan  
Clearing & grading plan

Shoreline Management Permit  
Site plan

#### A. ENVIRONMENTAL ELEMENTS

##### 1. Earth

a. General description of the site:  Flat  Rolling  Hilly  Steep slopes  Mountains  Other

b. What is the steepest slope on the site (approximate percent slope)?

5% at west side. Average of 2-3% everywhere else.

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Approx .3 ft of surficial topsoil. 1.3 to 3.5 ft of variable fill underneath. Native soils medium dense silty sand.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.  
None identified in the Geotechnical Report.
- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.  
Structural Fill consists of a clean, well graded sand and gravel, clean sand, crushed rock, crushed recycled concrete, and various soil mixtures of silt, sand and gravel free of organics, debris and other deleterious materials.  
Quantities are estimated to be approximately 200 SF.
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.  
No. The site is fairly flat. Minimal runoff is anticipated.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?  
66%
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:  
Silt fencing if required along the perimeter. A construction storm water pollution prevention plan will be submitted if required.

## 2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.  
Dust and construction equipment emissions could occur.  
After construction - normal office emissions would occur.
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.  
None known.
- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:  
Watering of the site as necessary for dust control.  
Use of low VOC emitting compositions to reduce emissions will be considered.

### 3. WATER

#### a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

none

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

no.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

none

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

no.

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

no.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

no.

#### b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

Per the Geotechnical Report - a recommendation to provide an under-slab drainage system should be included in the design. Amount of anticipated water was not indicated in the report until further design criteria is provided.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

No waste material will be discharged into the ground.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Storm water runoff will be limited to rainfall directly on the site. Runoff will be storm water only and will be collected in roof and discharged into the existing storm system to the west portion of the site.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.  
no.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Storm water runoff will be limited to rainfall directly on the site. Runoff will be storm water only and will be collected in roof and discharged into the existing storm system to the west of the site.

#### 4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other  
 evergreen tree: fir, cedar, pine, other  
 shrubs  
 grass  
 pasture  
 crop or grain  
 wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other  
 water plants: water lily, eelgrass, milfoil, other  
 other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

some trees will be relocated. berms will be installed at the east side. Additional shrubbery will be added to the north.

c. List threatened or endangered species known to be on or near the site.

none known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Landscaping will be designed in accordance with the City of Bellevue Design Guidelines, regulations and codes.

## 5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:
- Birds: hawk, heron, eagle, songbirds, other:
  - Mammals: deer, bear, elk, beaver, other:
  - Fish: bass, salmon, trout, herring, shellfish, other:
- b. List any threatened or endangered species known to be on or near the site.  
none known
- c. Is the site part of a migration route? If so, explain.  
no.
- d. Proposed measures to preserve or enhance wildlife, if any:  
none.

## 6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.  
electricity will be provided by the electrical company for heating, lighting, cooking, office functions.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.  
no.
- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:  
Energy star appliances, programmable thermostats, occupancy sensors, LED lighting, Insulation, etc.

## 7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.  
Some building materials may emit off gassing such as formaldehyde or other similar chemicals commonly found in building and construction products. No concentrations are anticipated higher than normal for construction activity of this kind.
- (1) Describe special emergency services that might be required.  
No special services are anticipated
  - (2) Proposed measures to reduce or control environmental health hazards, if any.  
None
- b. Noise
- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?  
none known.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Traffic noise may impact the project along 164th Ave., NE and NE 11th Street.

- (3) Proposed measures to reduce or control noise impacts, if any:

Short-term noise would include construction conducted in accordance with Washington State Department of Ecology and City of Bellevue noise regulations. Long-term noise would include the anticipated noise levels from an office facility of this type.

## 8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

Office

- b. Has the site been used for agriculture? If so, describe.

no.

- c. Describe any structures on the site.

Existing temporary wood framed building raised foundation approximately 5200 SF in size located roughly in the center of the site. An asphalt parking lot accommodating 20 cars is on the south side of the structure.

- d. Will any structures be demolished? If so, what?

existing structure on site currently. The parking lot will be removed and replaced in its entirety.

- e. What is the current zoning classification of the site?

O - OFFICE (within single-family transition area design district)

- f. What is the current comprehensive plan designation of the site?

2 story building at 16, 700 SF with 65 stalls of parking.

- g. If applicable, what is the current shoreline master program designation of the site?

unknown

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

no.

- i. Approximately how many people would reside or work in the completed project?

it varies from 3 to 15 depending on the time or day and which activity is currently active.

- j. Approximately how many people would the completed project displace?

none.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposed project matches existing and proposed land use patterns. The proposed use is permitted by right in the O zone and complies with the within single-family transition area design district for this area.

## 9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.  
none
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.  
none
- c. Proposed measures to reduce or control housing impacts, if any:  
none

## 10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?  
30 ft. Exterior is of a cementitious cement lap, glazing, TPO roofing.
- b. What views in the immediate vicinity would be altered or obstructed?  
none
- c. Proposed measures to reduce or control aesthetic impacts, if any:  
Locating the large gym portion to the west away from the main street. Setbacks, Glazing. Sloped roof.

## 11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?  
The lighting design will minimize the glare. evenings - however - the facility closes at 8pm.
- b. Could light or glare from the finished project be a safety hazard or interfere with views?  
none anticipated.
- c. What existing off-site sources of light or glare may affect your proposal?  
none
- d. Proposed measures to reduce or control light or glare impacts, if any:  
Exterior lighting associated with the project will be shielded to limit glare affecting adjacent properties.

## 12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?  
Crossroads Park is immediately south of the project site. This facility will have a gymnasium component. A small golf course is located west about 1/2 mile from the site.
- b. Would the proposed project displace any existing recreational uses? If so, describe.  
no.
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:  
none

## 13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.  
none known.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.  
none known
- c. Proposed measures to reduce or control impacts, if any:  
none

## 14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.  
164th Ave NE to the East. NE 11th street to the North. See Site plan for layout.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?  
not directly. 1/4 mile to the nearest transit stop.
- c. How many parking spaces would be completed project have? How many would the project eliminate?  
Approximately 65 spaces are proposed.
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).  
no.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.  
no.
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.  
Unknown at this time. Peak volumes are at 2pm and 5:30pm daily.
- g. Proposed measures to reduce or control transportation impacts, if any:  
Shuttle busses will transport children directly from school to the facility once daily.

**15. Public Services**

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

There will be increased demand for police and fire protection, typical of a office development. Any impact on local schools should be the same as before.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

Adequate lighting will be provided for safety, the building will be fully sprinklered, and a building security system will be used.

**16. Utilities**

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

all of the above.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

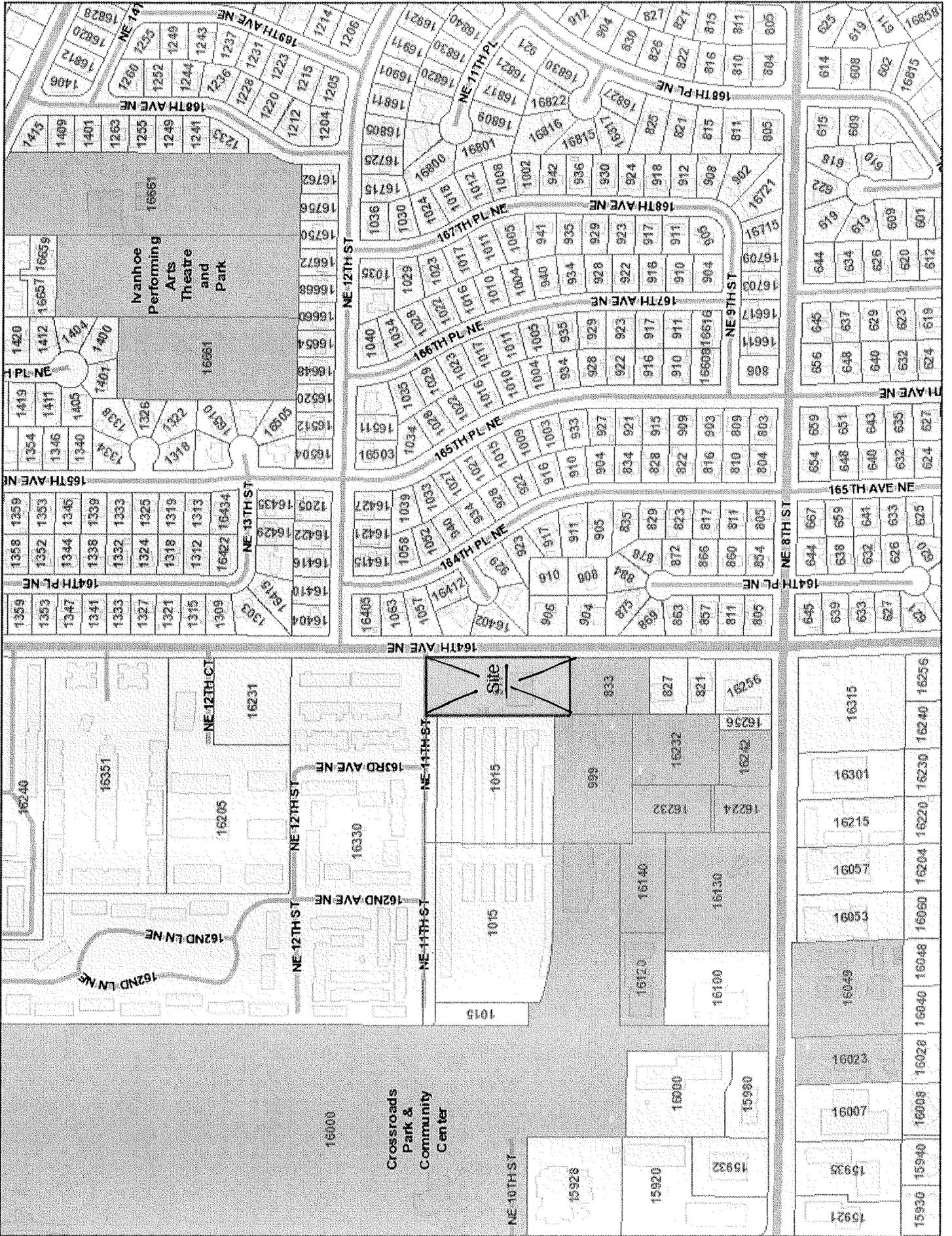
Anticipated to be: Electricity and natural gas (PSE), water and sanitary sewer (City of Bellevue), telephone (Century Link), cable (Comcast) and refuse service (City of Bellevue). New water, storm drainage, sanitary sewer, electric, natural gas, telephone, and cable connections for the utilities in the right-of-way will be required.

**Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature..... Al Gabay, Ankrom Moisan Architects

Date Submitted..... 7-8-2013



Ivanhoe  
Performing  
Arts  
Theatre  
and  
Park

Crossroads  
Park &  
Community  
Center

Site

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