



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** SNC Development, LLC

**Proposal Address:** 10304 NE 28<sup>th</sup> Place

**Proposal Description:** The applicant requests a Critical Areas Land Use Permit for modification of the required fifteen foot (15') wetland critical area structure setback to allow for the construction of a new single-family dwelling. The modification includes a 271 square foot expansion/encroachment of the building footprint into the required structure setback.

**File Number:** 13-119890-LO

**Applicant:** SNC Development, LLC – Sal Cohen

**Decisions Included:** Critical Areas Land Use Permit  
(Process II. LUC 20.30P)

**Planner:** Laurie Tyler, Land Use Planner

**State Environmental Policy Act  
Threshold Determination:** **SEPA Exempt per WAC 197-11-800**

**Director's Decision:** **Approval with Conditions**  
Michael A. Brennan, Director  
Development Services Department

By:   
Carol V. Helland, Land Use Director  
Development Services Department

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Application Date: July 10, 2013  
Notice of Application Publication Date: August 1, 2013  
Decision Publication Date: November 14, 2013  
Project Appeal Deadline: December 2, 2013

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For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

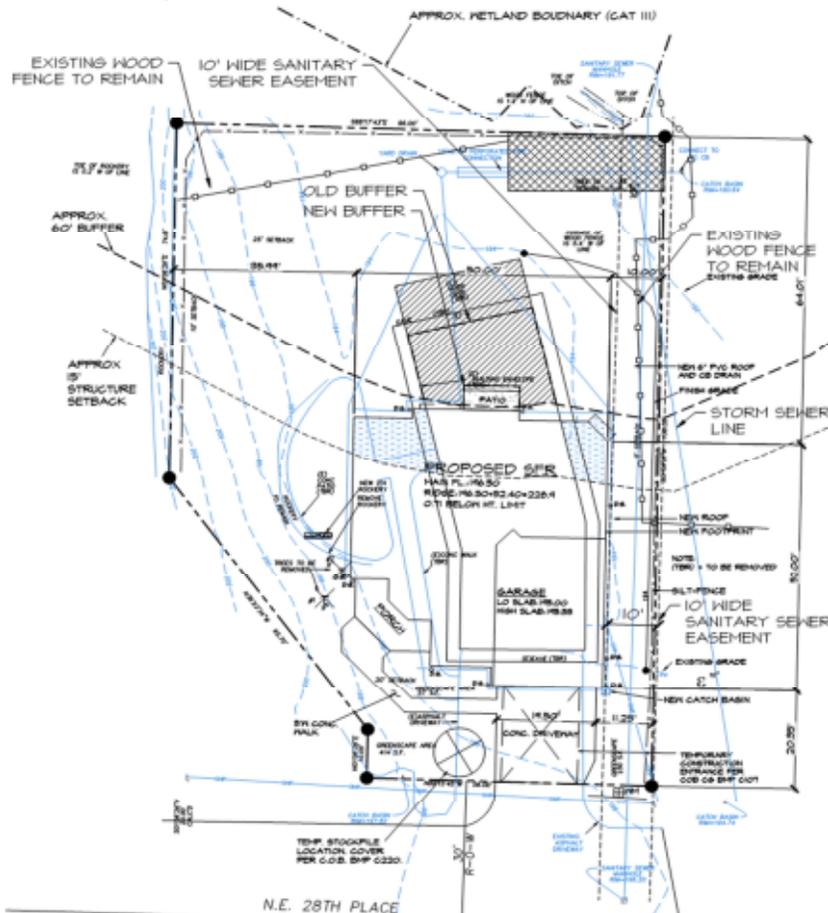
### I. Proposal Description

The applicant is requesting approval of a Critical Areas Land Use Permit in order to construct a new single-family dwelling that would encroach into a required 15-foot wetland critical area structure setback. Currently the property is improved with a single-family dwelling which is proposed to be demolished.

A Category III wetland is located on the Spring Hills City Park property, directly north of the subject site. Land Use Code (LUC) 20.25H.095.C.1 prescribes a 60-foot critical area buffer measured from the edge of Category III wetland that has a habitat score of less than 20 points. In addition, LUC 20.25H.095.D.2 prescribes a 15-foot wetland critical area structure setback from the edge of a wetland buffer.

The existing single-family dwelling currently encroaches into both the required wetland buffer and wetland structure setback. The proposal would indicate that the replacement dwelling will no longer encroach into the wetland buffer, but would remain within the required 15-foot wetland structure setback. This encroachment would expand the existing building footprint by approximately 271 square feet within the required structure setback.

**Figure 1 - Proposed Site Plan with Critical Areas**



LUC 20.25H.095.D.4 allows for the modification of a critical area structure setback through a critical areas report. The critical areas report is a mechanism by which certain LUC requirements may be modified for a specific proposal. The critical areas report is intended to provide flexibility for sites where the expected critical areas functions and values are not present due to degraded conditions.

On July 5, 2013, Altmann Oliver Associates, LLC, completed an analysis of the subject site, which included a review of the project proposal and potential impacts to the wetland as a result of the proposal. Altmann Oliver Associates, LLC concluded that the existing buffer and structure setback currently have a very low functional value, and do not provide any significant habitat or protective functions to the wetland. Therefore, no significant impacts to the wetland or wetland buffer would occur as a result of the proposal. However, the report recommended mitigation in the form of an approximately 300 square foot restoration area at the northeastern portion of the site, that would include native trees and plants. The installation of this restoration area would increase the habitat and protective functions of the buffer adjacent to the portion of the wetland located closest to the residence. See the discussion in Section VIII of this report for analysis of critical areas decision criteria. See Attachment 3 for the Critical Areas Report and more detail on existing site conditions.

## **II. Site Description, Zoning, Land Use and Critical Areas**

### **A. Site Description**

The subject site is located within an existing single-family neighborhood south of Interstate 520. Primary access to the site is from NE 28<sup>th</sup> Place, which is provided via Bellevue Way NE. The site is bordered by single-family dwellings to the east, south and west, and the Spring Hills city park to the north. The topography of the site is relatively level, as it is currently developed with a single-family dwelling and associated landscape improvements. A majority of the property is landscaped with lawn, along with a few trees and shrubs adjacent to the dwelling. An existing wood fence provides a barrier between the subject site and park property to the north. It should be noted that this existing fence is not located along the rear property line, but is actually constructed at an angle, several feet south of the rear property line.

**Figure 2 – Aerial Map of Subject Site**



**B. Zoning**

The property is zoned R-3.5, and is located in the North Bellevue subarea.

**Figure 3 – Zoning Map**



**C. Land Use Context**

The property is designated single-family medium density within the Comprehensive Plan, and is surrounded by similar single-family residential properties, with the exception of the city park property to the north.

**D. Critical Areas Functions and Values**

Wetlands provide important functions and values for both the human and biological environment. These functions include flood control, water quality improvement, and nutrient production. These “functions and values” to both the environment and the citizens of Bellevue depend on their size and location within a basin, as well as their diversity and quality. While Bellevue’s wetlands provide various beneficial functions, not all wetlands perform all functions, nor do they perform all functions equally well (Novitski et al., 1995). However, the combined effect of functional processes of wetlands within basins provides benefits to both natural and human environments. For example, wetlands provide significant stormwater control, even if they are degraded and comprise only a small percentage of area within a basin.

The wetland north of the subject site has been classified as a Category III wetland, which are wetlands that have been generally disturbed in some ways, and are often less diverse or more isolated from other natural resources in the landscape. This particular wetland was rated with a habitat score of less than 20 points, which according to the Land Use Code, requires a 60-foot buffer and 15-foot structure setback. The applicant has proposed to construct a new single-family dwelling that would be located outside of the wetland buffer, but within the 15-foot structure setback. The expansion of the existing building footprint further east and west into this structure setback for the proposed dwelling, has been proposed by the applicant through this critical areas land use permit and critical areas report.

**III. Consistency with Land Use Code Requirements:**

**A. Zoning District Dimensional Requirements**

The site is located in the R-3.5 zoning district. The following dimensional requirements from LUC 20.20 for development in this district are as follows:

Front Yard Setback:	20 feet
Rear Yard Setback:	25 feet
Side Yard Setback:	5 feet
Two Side Yards Combined:	15 feet
Maximum Lot Coverage by Structures:	35%
Maximum Impervious Surface:	50%
Minimum Greenscape of Front Yard Setback:	50%
Significant Tree Retention:	30% of diameter inches

**B. Critical Areas Requirements LUC 20.25H**

**1. Consideration of administrative approval of structure and/or buffer setbacks LUC 20.25H.040.**

As discussed above, the minimum critical area buffer from the Category III wetland on the adjacent property to the north is 60-feet. The minimum critical area structure setback is 15-feet. The proposal was assessed to determine if allowed modifications to the general dimensional chart (LUC 20.20.010) to the minimum distance allowed would be feasible and result in greater protection of

the wetland functions. Due to the shape of the lot and short distance to the wetland, a majority of the site is actually wetland buffer and structure setback, leaving minimal buildable area, which is why the applicant intends to maintain a portion of the building footprint within the structure setback. In addition, if the proposed dwelling were shifted further south into the required 20 foot front yard setback, the structure may impede the sightline distance for vehicles maneuvering in and out of the driveway of the adjacent dwelling to the east. This could result in un-safe conditions for the neighbor.

**2. Consistency with Land Use Code Critical Areas Performance Standards LUC 20.25H.100.**

The following performance standards, when applicable, shall be incorporated in the design of the development on sites with wetlands and wetland critical area buffers. Their incorporation is required to be documented prior to building permit approval for the subsequent single-family residence. **See Section X for related conditions of approval.**

**a. *Lights shall be directed away from the wetland.***

*The front entry of the proposed dwelling will face south, away from the wetland. Therefore, any exterior lighting fixtures associated with the front entry, garage, and driveway will be directed away from the wetland. Lighting located at the rear of the dwelling will be limited to that necessary to provide adequate accessibility and safety. Any proposed lighting fixtures located at the rear of the dwelling will be shielded downward to prevent light intrusion into the adjacent wetland.*

**b. *Activity that generates noise such as parking lots, generators, and residential uses, shall be located away from the wetland, or any noise shall be minimized through use of design and insulation techniques.***

*The proposed dwelling will be sited in the southern portion of the lot, approximately 60-feet from the edge of the wetland. The front entry, garage and driveway will also face south, away from the wetland. The majority of noise generating activities will occur on the southern side of the dwelling.*

**c. *Toxic runoff from new impervious area shall be routed away from the wetlands.***

*No changes to the existing runoff system are proposed. New impervious surface runoff will be channeled into existing catch basins, which recharge the category III wetland.*

**d. *Treated water may be allowed to enter the wetland critical area buffer.***

*See answer for “c”, above.*

- e. ***The outer edge of the wetland critical area buffer shall be planted with dense vegetation to limit pet or human use.***

*A wetland buffer restoration plan has been prepared which details a 356 square foot area, located closest to the edge of the wetland, which is proposed for vegetative enhancement. The existing rear yard wood fence will be removed behind the restoration area, and dense, native vegetation will be installed. Plantings include vine maple and western red cedar trees. Shrubs include mock orange, red currant and evergreen huckleberry. See Attachment 2 for the restoration plan required as part of this project approval.*

- f. ***Use of pesticides, insecticides and fertilizers within 150 feet of the edge of the wetland buffer shall be in accordance with the City of Bellevue’s “Environmental Best Management Practices,” now or as hereafter amended.***

*The proposed maintenance of the wetland buffer enhancement area will be consistent with the practices in the City of Bellevue’s “Environmental Best Management Practices.”*

**3. Consistency with Critical Areas Report LUC 20.25H.230.**

The applicant supplied a complete critical areas report prepared by Altmann Oliver Associates, LLC, a qualified professional. The report met the minimum requirements in LUC 20.25H.250.

**4. Consistency with Critical Areas Report – Additional provisions LUC 20.25H.110.**

In addition to the general requirements of LUC 20.25H.230, a critical areas report for wetlands shall include a written assessment and accompanying maps of the wetlands and buffers within 300 feet of the project area, including the following information at a minimum:

1. A discussion of measures, including avoidance, minimization, and mitigation, proposed to preserve existing wetlands and restore any wetlands that were degraded prior to the current proposed land use activity.
2. A habitat and native vegetation conservation strategy that addresses methods to protect and enhance on-site habitat and wetland functions.
3. Functional evaluation for the wetland and adjacent buffer using a local or state agency staff-recognized method and including the reference of the method and all data sheets.

The report prepared by Altmann Oliver Associates, LLC includes a summary of these additional provisions. See Attachment 3 for more detail.

#### **IV. Public Notice and Comment**

Application Date:	July 10, 2013
Public Notice (500 feet):	August 1, 2013
Minimum Comment Period:	August 15, 2013

The Notice of Application for this project was published in the City of Bellevue Weekly Permit Bulletin on August 1, 2013. It was mailed to property owners within 500 feet of the project site. No comments have been received from the public as of the publication of this decision.

#### **V. Summary of Technical Reviews**

##### **Clearing and Grading:**

The Clearing and Grading Division of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development.

##### **Utilities:**

The Utilities Department Development Review Division has reviewed the proposed development for compliance with Bellevue Utilities' codes and standards. The Utilities Development Review staff found no issues with the proposed development. However, it was recommended that the site plan clearly indicate the location of the existing sanitary sewer lines in order to determine whether future construction could affect critical areas. It was also determined that there is a possibility of temporary disturbance within the wetland buffer to the north west of the site for sewer connection to the existing sewer line located on the west side of the dwelling. A temporary disturbance condition of approval has been added in the event that this is required.

**See Section X for a related condition of approval.**

#### **VI. State Environmental Policy Act (SEPA)**

The proposal is for the modification of a wetland structure setback for the purposes of constructing a new single-family dwelling on the property. The proposed work is entirely outside of the areas defined as "Critical Areas" by BCC 22.02.045. In addition, pursuant to BCC 22.02.032 and WAC 197-11-800, the construction or location of one single-family primary structure is "categorically exempt" from SEPA environmental review.

#### **VII. Changes to proposal as a result of City review**

The initial proposal submitted by the applicant included an approximately 300 square foot buffer enhancement area, located at the northeastern corner of the site. This restoration area included native trees and plants to increase the habitat and protective functions of the wetland buffer, adjacent to the portion of the wetland located closest to the residence. Following Staff review, the applicant has modified the plans to increase the size of this restoration area to 356 square feet, and has removed the existing rear yard fence along the back portion of this proposed restoration area, to result in no

physical separation between the edge of the wetland and buffer enhancement area.

## **VIII. Decision Criteria**

### **A. Critical Areas Report – Decision Criteria LUC 20.25H.255.A**

The Director may approve, or approve with modifications, the proposed modification where the applicant demonstrates:

**1. The modifications and performance standards included in the proposal lead to levels of protection of critical area functions and values at least as protective as application of the regulations and standards of this code, and;**

***Finding:** Although the existing buffer and structure setback located on the subject site have very low functional value and do not provide any significant habitat or protective functions to the wetland, the proposed 356 square foot wetland buffer restoration area will aide in establishing new habitat and protective functions for a portion of the existing wetland buffer through increased native plant growth. In addition, removal of the wood fence behind the proposed restoration area will provide new connectivity between the edge of the wetland and buffer area.*

**2. Adequate resources to ensure completion of any required mitigation and monitoring efforts, and;**

***Finding:** A wetland buffer restoration plan has been prepared which details a 356 square foot area proposed for enhancement between the wetland and previously disturbed rear yard areas. With the installation of new native plantings, the restoration area will aide in improving wetland critical area functions. Land Use Staff will perform a landscape inspection upon installation of the native plantings for the restoration area to ensure that the plants installed are both healthy and in a growing condition. No further monitoring efforts are necessary, as the area of proposed restoration is minimal, and growing patterns should succeed within the existing buffer environment without the need of additional mitigation.*

**3. The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers offsite, and;**

***Finding:** The Category III wetland is located off-site on City Park property to the north. The 356 square foot restoration area within the wetland buffer will provide an opportunity for improved habitat functions and values, as the plantings included in the restoration plan will provide a variety of vegetation, thereby*

*increasing the overall habitat function of the area. As the existing buffer and structure setback currently have a very low functional value, the proposed restoration area should help to increase the diversity and functional values over time.*

**4. The resulting development is compatible with other uses and development in the same land use district.**

**Finding:** *The proposed residential development will be compatible with the other residential uses in this land use district.*

**B. Critical Areas Land Use Permit Decision Criteria 20.30P**

The proposal, as conditioned below, meets the applicable regulations and decision criteria for a Critical Areas Land Use Permit pursuant to LUC 20.30P:

**1. The proposal obtains all other permits required by the Land Use Code, and;**

**Finding:** *The project applicant has applied for a Critical Areas Land Use Permit to modify the required 15-foot wetland structure setback for the expansion of a new single-family dwelling. No other City of Bellevue permits will be required of the project at this time. A combination Clear and Grade and Building Permit will be required to construct the building reviewed under this proposed critical area structure setback modification. See Section X for a related condition of approval.*

**2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer, and;**

**Finding:** *The proposed project involves the demolition of an existing single-family dwelling which currently encroaches into both the required 60-foot wetland buffer and 15-foot wetland structure setback. The proposed replacement single-family dwelling would no longer encroach into the wetland buffer; however, the proposal would include expansion of the previous dwelling footprint within the structure setback by 271 square feet. Overall, the proposal will be consistent with required performance standards for projects located adjacent to wetland critical areas, and will be an improvement over the existing condition which encroaches into the wetland buffer.*

**3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and;**

**Finding:** *The proposal incorporates the applicable performance standards of Part 20.25H. See discussion in Section III, above.*

**4. The proposal will be served by adequate public facilities including streets, fire protection, and utilities, and;**

***Finding:** The proposed project will be served by adequate public facilities. No new sewer lines or public streets will be needed to serve the site. In addition, fire and police protection are currently available at this site.*

**5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210, and;**

***Finding:** A restoration plan has been prepared in accordance with the requirements of LUC 20.25H.210.*

**6. The proposal complies with other applicable requirements of this code.**

***Finding:** As discussed in Section III and V of this report, the proposal complies with all other applicable requirements of the Land Use Code.*

**IX. Conclusion and Decision**

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the proposal to modify the required 15-foot wetland critical area structure setback, to allow for the encroachment of a 271 square foot building footprint expansion of a proposed single-family dwelling on the property.

**Note- Expiration of Approval:** In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a Clearing and Grading Permit or other necessary development permits within one year of the effective date of the approval.

**X. Conditions of Approval**

**The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:**

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC 20.25H	Laurie Tyler, 425-452-2728
Noise Control- BCC 9.18	Laurie Tyler, 425-452-2728
Utilities Code	Sean Wells, 425-452-4855

**The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:**

**1. Building Permit Required:** Approval of this Critical Areas Land Use Permit does not constitute an approval of a development permit. Plans submitted as part of the permit application shall be consistent with the plans reviewed for this approval.

Authority: Land Use Code 20.30P.140  
Reviewer: Laurie Tyler, Development Services Department

**2. Restoration for Areas of Temporary Disturbance:** A restoration plan for all areas of temporary disturbance within the wetland buffer for sewer connection purposes or any other purpose is required to be submitted for review and approval by the City of Bellevue prior to the issuance of any constructions permits. The plan shall include documentation of existing site conditions and shall identify the restoration measures to return the site to its existing conditions per LUC 20.25H.220.H.

Authority: Land Use Code 20.25H.220.H  
Reviewer: Laurie Tyler, Development Services Department

**3. Pesticides, Insecticides, and Fertilizers:** The applicant must submit as part of the required construction permit, information regarding the use of pesticides, insecticides, and fertilizers in accordance with the City of Bellevue’s “Environmental Best Management Practices”.

Authority: Land Use Code 20.25H.220.H  
Reviewer: Laurie Tyler, Development Services Department

**4. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18  
Reviewer: Laurie Tyler, Development Services Department

**5. Land Use Inspection:** Following installation of the restoration planting, the applicant shall contact Land Use Staff to inspect the restoration enhancement area. Staff shall verify the quantity and quality of the proposed plants to be installed, and that the restoration area is in a healthy and growing condition.

Authority: Land Use Code 20.30P.140  
Reviewer: Laurie Tyler, Development Services Department

**6. Wetland Critical Area Performance Standards:** The following performance standards will be reviewed for compliance at the subsequent single-family primary structure development phase. These performance standards must be met prior to approval of the subsequent building permit.

- A. Lights shall be directed away from the wetland.
- B. Activity that generates noise such as parking lots, generators, and residential uses, shall be located away from the wetland, or any noise shall be minimized through use of design and insulation techniques.
- C. Toxic runoff from new impervious area shall be routed away from the wetlands.
- D. Treated water may be allowed to enter the wetland critical area buffer.
- E. The outer edge of the wetland critical area buffer shall be planted with dense vegetation to limit pet or human use.
- F. Use of pesticides, insecticides and fertilizers within 150 feet of the edge of the wetland buffer shall be in accordance with the City of Bellevue's "Environmental Best Management Practices," now or as hereafter amended.

Authority: Land Use Code 20.25H.100  
Reviewer: Laurie Tyler, Development Services Department

**7. Rainy Season Restrictions:** Due to the proximity to a wetland and its buffer, no clearing and grading activity may occur during the rainy season, which is defined as October 1 through April 30 without written authorization of the Development Services Department. Should approval be granted for work during the rainy season, increased erosion and sedimentation measures, representing the best available technology must be implemented prior to beginning or resuming site work.

Authority: Bellevue City Code 23.76.093.A,  
Reviewer: Savina Uzunow, Clearing and Grading

## **Attachments**

1. Environmental Checklist
2. Site Plan and Restoration Plan
3. Critical Areas Report prepared by Altmann Oliver Associates, LLC (see file)

ENVIRONMENTAL CHECKLIST

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

BACKGROUND INFORMATION

Property Owner:

SAM Geguicang

Proponent:

Contact Person:

SAL COHEN

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address:

806 W BOTHWELL ST SEA WA 98119

Phone:

206 226 7252

Proposal Title:

Proposal Location:

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description:

BUILD HOUSE

2. Acreage of site:

8396 sq ft

3. Number of dwelling units/buildings to be demolished:

1

4. Number of dwelling units/buildings to be constructed:

1

5. Square footage of buildings to be demolished:

2000 ONE STORY

6. Square footage of buildings to be constructed:

4000 2 STORY

7. Quantity of earth movement (in cubic yards):

500 yards

8. Proposed land use:

SINGLE FAMILY

9. Design features, including building height, number of stories and proposed exterior materials:

2 story 35 FT

10. Other

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Estimated date of completion of the proposal or timing of phasing:

June 2014 completion

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

NO

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

see attached wetlands report

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

NO

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development  
Preliminary plat map
- Clearing & Grading Permit  
Plan of existing and proposed grading  
Development plans
- Building Permit (or Design Review)  
Site plan  
Clearing & grading plan
- Shoreline Management Permit  
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:  Flat  Rolling  Hilly  Steep slopes  Mountains  Other

b. What is the steepest slope on the site (approximate percent slope)? 10%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? the classification of agricultural soils, specify them and note any prime farmland.

see report

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d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

NO

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

N/A

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

NO UNLESS EROSION MEASURES ARE NOT PUT IN PLACE

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

31%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

typical erosion control - silt fencing - curbs exposed  
EARTH

## 2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

NONE

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

NONE

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

N/A

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3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

yes - wetlands off this site but to the north  
see report

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

yes

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

NONE

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

NO

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

NO

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

NO

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

NO

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the systems are expected to serve.

NONE

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c. Water Runoff (Including storm water)

(1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Should not be any

(2) Could waste materials enter ground or surface waters? If so, generally describe.

no

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

silt fence & covering of exposed earth

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

NONE

c. List threatened or endangered species known to be on or near the site.

NONE

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

see plan/report

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**5. ANIMALS**

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

*see report*

b. List any threatened or endangered species known to be on or near the site.

c. Is the site part of a migration route? If so, explain.

d. Proposed measures to preserve or enhance wildlife, if any:

**6. Energy and Natural Resources**

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

*same as already existing*

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

*no*

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

**7. Environmental Health**

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

*NONE*

(1) Describe special emergency services that might be required.

*NONE*

(2) Proposed measures to reduce or control environmental health hazards, if any.

*N/A*

b. Noise

(1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

*NONE*

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- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

NONE

- (3) Proposed measures to reduce or control noise impacts, if any:

N/A

## 8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

single family

- b. Has the site been used for agriculture? If so, describe.

NO

- c. Describe any structures on the site.

House

- d. Will any structures be demolished? If so, what?

yes

- e. What is the current zoning classification of the site?

single family

- f. What is the current comprehensive plan designation of the site?

- g. If applicable, what is the current shoreline master program designation of the site?

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

not sure

- i. Approximately how many people would reside or work in the completed project?

3-4

- j. Approximately how many people would the completed project displace?

same owner that owns now will live in new house

- k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

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**9. Housing**

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

1 middle

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

none

- c. Proposed measures to reduce or control housing impacts, if any:

**10. Aesthetics**

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

35' max

- b. What views in the immediate vicinity would be altered or obstructed?

none

- c. Proposed measures to reduce or control aesthetic impacts, if any:

N/A

**11. Light and Glare**

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

same as exists

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

no

- c. What existing off-site sources of light or glare may affect your proposal?

N/A

- d. Proposed measures to reduce or control light or glare impacts, if any:

N/A

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12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?  
NO
- b. Would the proposed project displace any existing recreational uses? If so, describe.  
NO
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:  
NO

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.  
NO
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.  
NO
- c. Proposed measures to reduce or control impacts, if any:  
N/A

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.  
see site plan
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?  
yes - 200ft
- c. How many parking spaces would be completed project have? How many would the project eliminate?  
3 interior 2 cur lot
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).  
NO
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.  
NO
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.  
3-4
- g. Proposed measures to reduce or control transportation impacts, if any:  
N/A

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**15. Public Services**

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

NO

- b. Proposed measures to reduce or control direct impacts on public services, if any.

NA

**16. Utilities**

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

SAME

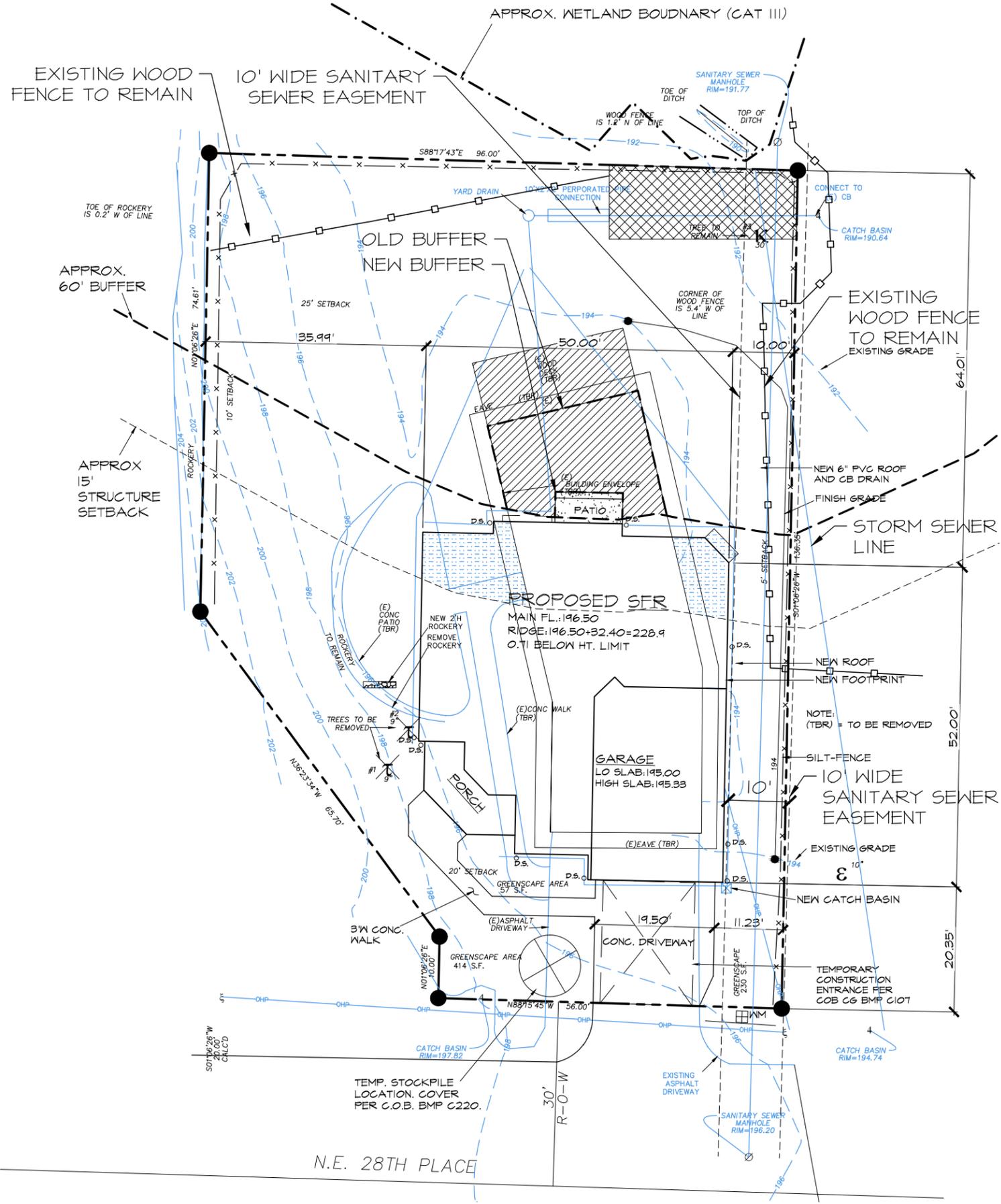
**Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....

Date Submitted.....

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**PLAN LEGEND**

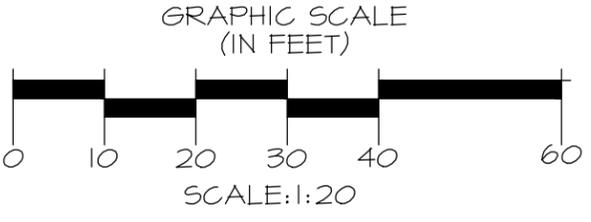
- PROPERTY LINE
- WETLAND BOUNDARY
- 60' WETLAND BUFFER
- 15' STRUCTURE SETBACK

**IMPACTS LEGEND**

- [Cross-hatched box] IMPACTS TO 15' STRUCTURE SETBACK 271 SF

**MITIGATION LEGEND**

- [Diagonal hatched box] EXISTING RESIDENCE AND DECK IN BUFFER TO BE REMOVED AND CONVERTED TO LAWN 670 SF
- [Cross-hatched box] PROPOSED BUFFER ENHANCEMENT 356 SF



**NOTES**

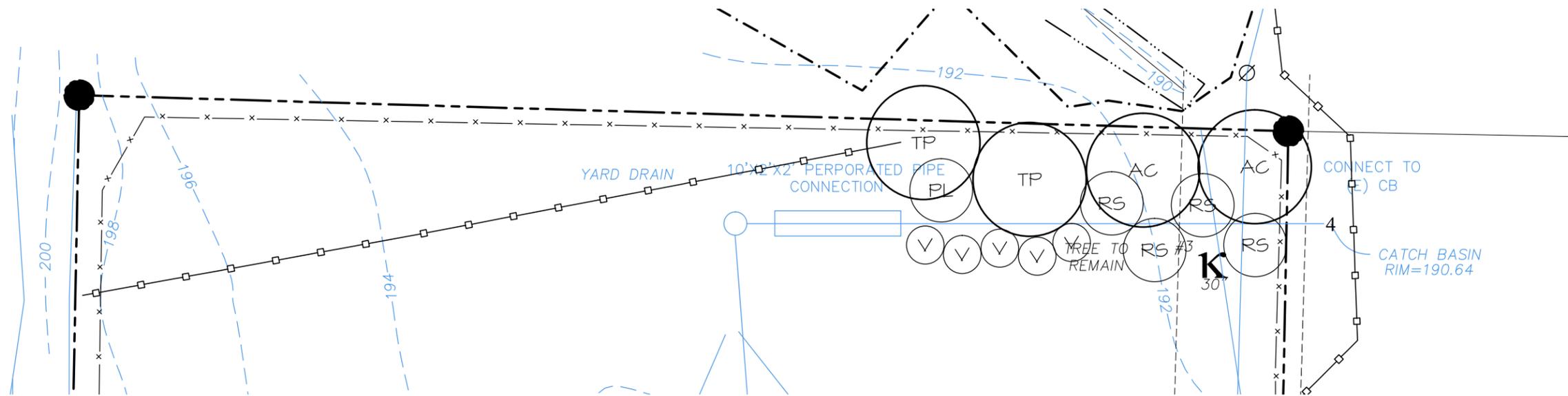
1. BASE INFORMATION PROVIDED BY ARCHITECTS NORTHWEST, 18915-142ND AVE. NE, SUITE 100, WOODINVILLE, WA 98072, (425) 485-4900.
2. EXISTING WOOD FENCE TO BE REMOVED WITHIN PLANTING AREA.

PROJECT 4378  
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SCALE AS NOTED  
DATE 10-04-13  
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FIGURE 1: WETLAND BUFFER ENHANCEMENT PLAN  
COHEN PROPERTY  
10304 NE 28TH PL.  
BELLEVUE, WA 98004



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Environmental Planning & Landscape Architecture  
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## PLANT SCHEDULE

### TREES

KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY	SIZE (MIN.)	NOTES
AC	ACER CIRCINATUM	VINE MAPLE	9' O.C.	2	2 GAL.	MULTI-CANE (3 MIN.)
TP	THUJA PLICATA	WESTERN RED CEDAR	9' O.C.	2	2 GAL.	FULL & BUSHY

### SHRUBS

KEY	SCIENTIFIC NAME	COMMON NAME	SPACING	QTY	SIZE (MIN.)	NOTES
PL	PHILADELPHUS LEWISII	MOCK ORANGE	5' O.C.	1	1 GAL.	MULTI-CANE (3 MIN.)
RS	RIBES SANGUINEUM	RED CURRANT	5' O.C.	4	1 GAL.	MULTI-CANE (3 MIN.)
V	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3' O.C.	5	1 GAL.	FULL & BUSHY

NOTE: ALL PLANTS TO BE FIELD LOCATED.

GRAPHIC SCALE  
(IN FEET)

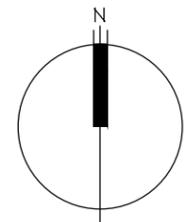
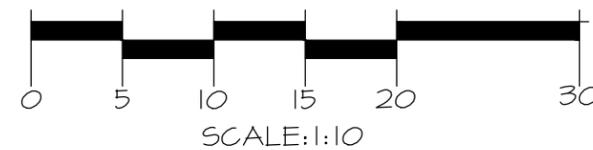


FIGURE 2: PLANTING PLAN  
COHEN PROPERTY  
10304 NE 28TH PL.  
BELLEVUE, WA 98004

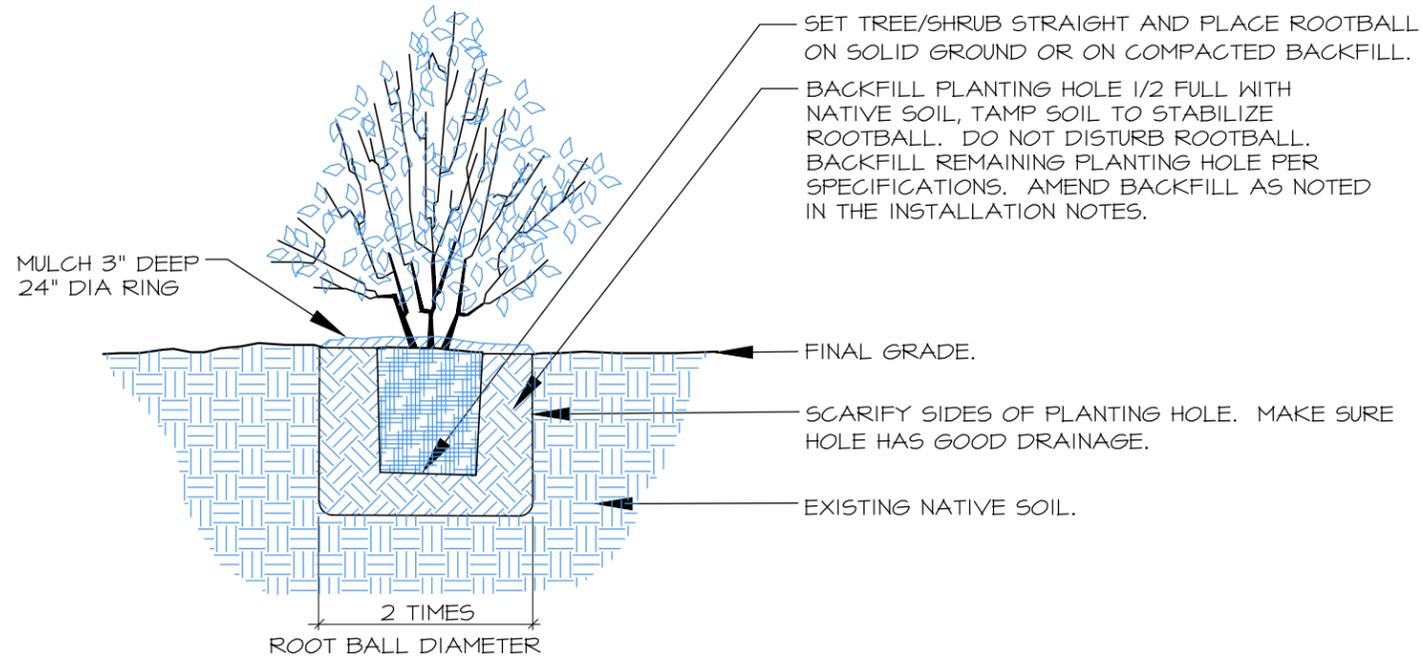
## NOTES

1. BASE INFORMATION PROVIDED BY ARCHITECTS NORTHWEST, 18915-142ND AVE. NE, SUITE 100, WOODINVILLE, WA 98072, (425) 485-4900.
2. EXISTING WOOD FENCE TO BE REMOVED WITHIN PLANTING AREA.



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SET TREE/SHRUB STRAIGHT AND PLACE ROOTBALL ON SOLID GROUND OR ON COMPACTED BACKFILL.

BACKFILL PLANTING HOLE 1/2 FULL WITH NATIVE SOIL, TAMP SOIL TO STABILIZE ROOTBALL. DO NOT DISTURB ROOTBALL. BACKFILL REMAINING PLANTING HOLE PER SPECIFICATIONS. AMEND BACKFILL AS NOTED IN THE INSTALLATION NOTES.

FINAL GRADE.

SCARIFY SIDES OF PLANTING HOLE. MAKE SURE HOLE HAS GOOD DRAINAGE.

EXISTING NATIVE SOIL.

2 TIMES  
ROOT BALL DIAMETER

**1** CONTAINER TREE/SHRUB PLANTING DETAIL (TYP.)  
SCALE: NTS

### SPECIFICATIONS

1. ALL INVASIVE PLANTS SHALL BE GRUBBED FROM MITIGATION AREA PRIOR TO INSTALLATION OF PLANT MATERIAL AND SHALL BE EXPORTED FROM THE SITE PRIOR TO PLANTING.
2. IF POSSIBLE, ALL PLANTS SHOULD BE INSTALLED BETWEEN DECEMBER 1ST AND APRIL 30TH.
3. ALL CONTAINER PLANTS SHALL BE PIT-PLANTED IN PLANTING PITS EXCAVATED 2X THE DIAMETER OF THE PLANT. PITS SHALL BE BACKFILLED WITH A 30/70 MIX OF PGM (PACIFIC GARDEN MULCH FROM PACIFIC TOPSOILS) TO NATIVE SOIL. PITS SHALL BE AMENDED WITH A HYDRATED SOIL POLYMER (INSTALLED AT RATES PER MANUFACTURER'S SPECIFICATION). PLANTS SHALL BE INSTALLED 3" HIGH AND SURFACED MULCHED TO A DEPTH OF 3" WITH ARBORIST CHIPS PLACED IN A 12" RADIUS FROM PLANT CENTER.
4. ALL PLANTS SHALL BE NURSERY GROWN (IN W. WA OR OR.) FOR AT LEAST 1 YEAR FROM PURCHASE DATE, FREE FROM DISEASE OR PESTS, WELL-ROOTED, BUT NOT ROOT-BOUND AND TRUE TO SPECIES.
5. PLANT LAYOUT SHALL BE APPROVED BY AOA PRIOR TO INSTALLATION AND APPROVED UPON COMPLETION OF PLANTING.
6. ALL PLANTINGS SHALL BE IRRIGATED AT A RATE OF 1/2" OF FLOW 2-3 TIMES WEEKLY, FROM JUNE 15-OCT 31 THE FIRST YEAR AFTER PLANTING. THE SECOND YEAR, FLOW SHOULD BE REDUCED TO PROVIDE 1/2" OF FLOW 1-2 TIMES WEEKLY FROM JULY 1-OCT 15.
7. UPON APPROVAL OF PLANTING INSTALLATION, THE CITY OF BELLEVUE WILL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL APPROVAL OF CONSTRUCTION.
8. MAINTENANCE SHALL BE IMPLEMENTED ON A REGULAR BASIS.

PROJECT	4378
DRAWN	SO
SCALE	AS NOTED
DATE	10-04-13
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FIGURE 3: PLANTING DETAIL & SPECIFICATIONS  
COHEN PROPERTY  
10304 NE 28TH PL.  
BELLEVUE, WA 98004



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