



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Ave NE., P.O. BOX 90012
BELLEVUE, WA 98009-9012

OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 13-115778-LD

Project Name/Address: 103rd Avenue Apartments
1019 103rd Avenue NE

Planner: Sally Nichols

Phone Number: (425) 452-2727

Minimum Comment Period: 14 days

Materials included in this Notice:

- Blue Bulletin
- Checklist
- Vicinity Map
- Plans
- Other:

BACKGROUND INFORMATION

Property Owner: HSL Properties, LLC and Jerry & Beverly Sheller

Proponent: Newport Equities, LLC

Contact Person: Tim Ramm

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 26 Corporate Plaza Drive, Suite 260
Newport Beach, California 92660

Phone: (949) 553-4800 ext. 8206

Proposal Title: 103rd Avenue Apartments

Proposal Location:

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 ½ x 11' vicinity map that accurately locates the proposal site.

1019 and 1035 103rd Avenue NE, Bellevue, Washington

The site is located on the west side of 103rd Avenue NE just north of NE 10th Street

See attached Vicinity Map & Legal Description

Received
MAY 29 2013
Permit Processing

Give an accurate, brief description of the proposal's scope and nature:

1. General description: The proposed project is a multi-family development with 175 units, and a multiple level, semi, and sub-grade parking structure.
2. Acreage of site: .786 acres
3. Number of dwelling units/buildings to be demolished: no units / two buildings
4. Number of dwelling units/buildings to be constructed: 175 units / one building
5. Square footage of buildings to be demolished: Approx. 20,000 s.f.
6. Square footage of building to be constructed: Approx. 201,700 s.f. (including parking)
7. Quantity of earth movement (in cubic yards): Approx. 30,000 cubic yards
8. Proposed land use: Multi-family residential
9. Design features, including building height, number of stories and proposed exterior materials:

The proposed project is a 6-story building over a subterranean and semi-subterranean parking structure. 70 ft is the height to the main roof surface from the average grade plane with the stair and elevator penthouses extending 20' above the roof surface.

The layout of the building is a "C" configuration with a western facing courtyard. The building has living units on both sides of a common corridor. This layout allows all of the units to have a direct connection to the exterior for natural light and ventilation.

Building exterior materials will include metal, cementitious panels and wood composite panel, exposed cast in-place concrete, metal railing, vinyl windows and aluminum storefront windows in selected locations.

10. Other:

Estimated date of completion of the proposal or timing of phasing:

Design Review Approved: November 2013
Building permit submittal: October 2013
Start construction: March 2014

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

Not at this time.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

A geotechnical report by PanGeo Inc. dated March 2013 including soil borings is included with the design review submittal. The report is available for review at the City of Bellevue.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None known.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Design Review (LD Permit)
Clearing & Grading Permit
ROW Permit
Demo Permit
UDEA Permit

Boundary Line Adjustment
Parking Garage and podium building permit
Residential Building Permit (BB Permit)
Electrical/Fire Alarm, Mechanical and Plumbing Permits

Please provide one or more of the following exhibits, if applicable to your proposal.
(Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development
Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

- a. General description of the site: Flat Rolling Steep slopes Mountains
 Other

The majority of the site is flat but slopes downward to the north, so there is about ± 10 feet in elevation change

- b. What is the steepest slope on the site (approximate percent slope)?

Approximately 33%

- c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

According to Geotechnical Report performed by PanGeo Inc., the site is underlain by Vashon Glacial Till soils consisting of dense to very dense silty sand with some gravel (glacial till) deposits. On the surface ranging down to about seven

feet deep, there is existing fill (likely associated with the previous development). There is no prime farm land.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No.

- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Approximately 30,000 cubic yards of excavation will be generated for the purpose of constructing underground parking for the proposed development.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Soil erosion could occur from site during clearing and grading activity, but would be mitigated through standard construction practices.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

About 99%.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Silt fencing will be installed along the perimeter. Erosion will be likely limited to construction entrances. To reduce possible erosion, construction entrances will be provided with the necessary erosion control measures as required by the city of Bellevue.

A construction storm water pollution prevention plan has been submitted with the design review application materials.

2. Air

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

During construction, dust and construction equipment emissions could occur. Post construction, only normal residential emissions would occur.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None known.

- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

The site will be watered down as necessary to control dust. A number of building and construction products that utilize low- or non-VOC emitting compositions to reduce emissions will be considered.

3. Water

- a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source fill material.

None.

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No.

- (5) Does that proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

According to the PanGeo Inc. geotechnical report some perched ground water was inferred, so some temporary dewatering may be necessary (if required, it is expected to be less than 10 gpm).

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

No waste material will be discharged into the ground.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, of any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Storm water runoff source will be limited to rain that falls directly on the site. Runoff from the site will be storm water only. This storm water runoff will be collected in roof and courtyard drains and discharged into the existing storm system to the west of the site.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

No.

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

See answer to c.(1) above.

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

All vegetation will be removed.

c. List threatened or endangered species known to be on or near the site.

None known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Landscaping will be provided in accordance with the city of Bellevue regulations and codes.

5. Animals

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- Birds: hawk, heron, eagle, songbirds, other:
- Mammals: deer, bear, elk, beaver, other:
- Fish: bass, salmon, trout, herring, shellfish, other:

- b. List any threatened or endangered species known to be on or near the site.

None known.

- c. Is the site part of a migration route? If so, explain.

None known.

- d. Proposed measures to preserve or enhance wildlife, if any:

None.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Electricity to the project will be provided from Puget Sound Energy. The project will consist of electrical cooking, heating, lighting, air-conditioning, and other residential uses throughout the building. Natural gas will provide centralized hot water.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

Adjacent properties currently do not utilize solar energy strategies. The proposed project will partially shade some adjacent buildings towards the east and west although all adjacent properties as well as the proposed project have excellent southern exposure.

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

The residential units in the building will include high-efficiency appliances, programmable thermostats and light fixtures. Occupancy sensors on common area lights, LED exit signs, and VFDs for garage exhaust fans will be included in the design. Roof, wall, floor, and slab edge insulation, and quality windows and exterior doors will be utilized as energy conservation features. "Low Flow" water fixtures will be proposed.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.

Some new building materials may emit off gassing such as formaldehyde or other similar chemicals commonly found in building and construction products. No concentrations are anticipated higher than normal for construction activity of this kind.

- (1) Describe special emergency services that might be required.

No special services are anticipated.

- (2) Proposed measures to reduce or control environmental health hazards, if any.

None

- b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

Minor traffic noise may impact the project along 103rd Ave NE and NE 10th Street.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short-term noise would include construction conducted in accordance with Washington State Department of Ecology and City of Bellevue noise regulations. Long-term noise would include the normal anticipated noise levels from a multi-family development.

- (3) Proposed measures to reduce or control noise impacts, if any:

The project will comply with Washington State Department of Ecology and City of Bellevue noise regulations.

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

Light Industrial and warehouse.

b. Has the site been used for agriculture? If so, describe.

No

c. Describe any structures on the site.

Two one-story commercial buildings.

d. Will any structures be demolished? If so, what?

The existing buildings will be demolished and the entire site is to be cleared for the new construction.

e. What is the current zoning classification of the site?

DNTN-MU Perimeter sub-district 'B'

f. What is the current comprehensive plan designation of the site?

Northwest Village District.
Downtown Subarea.

g. If applicable, what is the current shoreline master program designation of the site?

Not applicable.

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify?

No

i. Approximately how many people would reside or work in the completed project?

Approximately 250 people

j. Approximately how many people would the completed project displace?

None, since there are no residences on site.

k. Proposed measures to avoid or reduce displacement impacts, if any:

None at this time.

1. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposed project matches existing and proposed land use patterns. The proposed use is permitted by right in the DNTN-MU zone and complies with the Perimeter district development standards.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

175 market rate apartment units will be provided. There are no low income units provided.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None. No units are available on current site.

- c. Proposed measures to reduce or control housing impacts, if any:

None, because there is no existing housing on site.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

70 ft is the height to the main roof surface from the average grade plane with the stair and elevator penthouses extending 20' above the roof surface. Principal exterior materials to include: metal panels, integral color cementitious panel siding and wood composite panel siding.

- b. What views in the immediate vicinity would be altered or obstructed?

None.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

Modulated massing will mitigate the bulk of the building on pedestrians and adjacent buildings. High quality cladding materials and landscaping will further provide an aesthetically pleasing project.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

The residential units, ground level entry areas, and upper roof deck area will produce light at night. There will also be some exterior lighting to enhance the exterior landscaping and pathways. This will result in minimal glare. It is not anticipated that the light or glare created by the project will be inconsistent with similar apartment buildings or other projects of this scale.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

The level of light or glare created by the project is not anticipated to create a safety hazard or to interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal?

City of Bellevue street lights and light from nearby buildings will produce some levels of light or glare that may affect the project.

- d. Proposed measures to reduce or control light or glare impacts, if any:

Exterior lighting associated with the project will be shielded to limit glare affecting adjacent properties.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Bellevue Library and Robert E. McCormick Park are approximately $\frac{1}{4}$ mile away.

Downtown Park is approximately $\frac{1}{2}$ a mile from the site and is the largest nearby recreational space.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

The project will include landscaped exterior courtyards, a roof deck/amenity area, and BBQ's which will provide residents and their guests with views and space for leisurely outdoor activities as well as views towards downtown Bellevue and the Cascade Mountains. A fitness room and club room are included as a part of the proposed project.

13. Historic and Cultural Preservation

- a. Are there any places or object listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

None known.

- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

None known.

- c. Proposed measures to reduce or control impacts, if any:

Not applicable.

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

The project is adjacent to 103rd Ave NE. Access to the project will be from NE 103rd Street and 103rd Ave NE to a parking structure.

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

Yes, a bus stop is available at the south east corner of NE 103rd Street and 102nd Ave NE, about one block away.

- c. How many parking spaces would the completed project have? How many would the project eliminate?

175 spaces will be provided. All existing private parking spaces currently on site (approximately 15) will be eliminated. No public parking spaces are being eliminated.

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

No new roads are required but improvements will be performed on 103rd Ave NE if required.

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

Vehicular trips are estimated to be approximately 922 daily trips. Peak volumes would occur during the weekday PM peak hour. A traffic study by Transpo Group will be submitted.

- g. Proposed measures to reduce or control transportation impacts, if any:

The project is within walk-able distance to many shops, restaurants and services including Quality Food Centers, Bartell Drugs, Starbucks, and the Bellevue Mall about 1 block away. Several bus lines serve the vicinity of the site also. The site ranks as a "Walker's Paradise" on Walkscore.com.

Available transit use combined with available means of alternate transportation should help to reduce vehicular transportation impacts as well as the proximity to nearby jobs and office space.

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

There will be increased demand for police and fire protection, typical of a multi-family development. Any impact on local schools should be very minimal.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

Adequate lighting will be provided for safety, the building will be fully sprinkled, and a building security system will be used.

16. Utilities

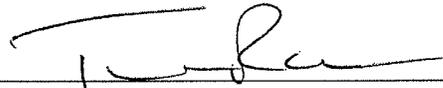
- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Electricity and natural gas (PSE), water and sanitary sewer (City of Bellevue), telephone (Century Link), cable (Comcast) and refuse service (City of Bellevue). New water, storm drainage, sanitary sewer, electric, natural gas, telephone, and cable connections for the utilities in the right-of-way will be required.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

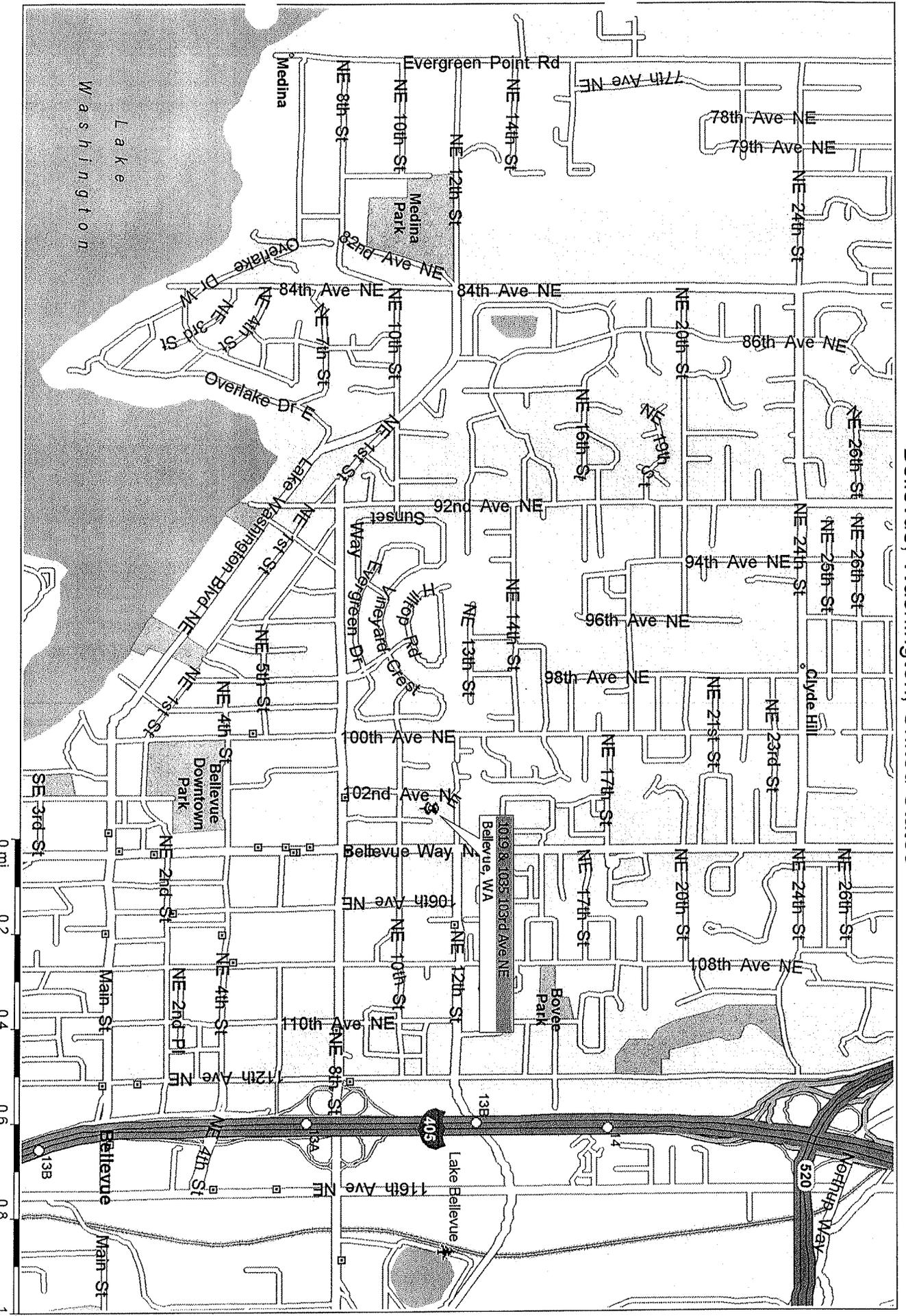
Signature _____



Date Submitted _____

5/28/2013

Bellevue, Washington, United States



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LEGAL DESCRIPTION

THE NORTH 100 FEET OF THE SOUTH 389.50 FEET OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON; EXCEPT THE EAST 25 FEET THEREOF.

(BEING KNOWN AS LOT 3, BLOCK 3, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF, EXCEPT THE SOUTH 21.50 FEET THEREOF).

AND

THE NORTH 143.00 FEET OF THE SOUTH 289.50 FEET OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON; EXCEPT THE EAST 25.00 FEET THEREOF;

(ALSO KNOWN AS TRACT 2 AND THE SOUTH 21.50 FEET OF TRACT 3 IN BLOCK 3, MOUNTAIN VIEW TRACTS, AN UNRECORDED PLAT).