



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Star Rentals

Proposal Address: 12900 Northup Way

Proposal Description: Land Use review of a proposal to reduce the 75-foot toe-of-slope structure setback from a steep slope critical area for an addition to an existing structure.

File Number: 13-115731-LO

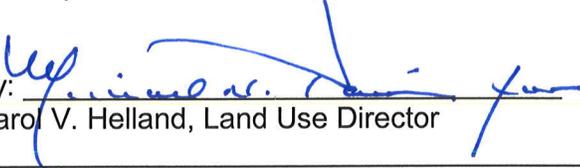
Applicant: David Heinen, Barking Dog Design

Decisions Included Critical Areas Land Use Permit
(Process II. 20.30P)

Planner: Reilly Pittman, Land Use Planner

**State Environmental Policy Act
Threshold Determination:** Exempt

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: 
Carol V. Helland, Land Use Director

Application Date: May 28, 2013
Notice of Application Date: June 13, 2013
Decision Publication Date: August 1, 2013
Project Appeal Deadline: August 15, 2013

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Appeal of the Critical Areas Land Use Permit decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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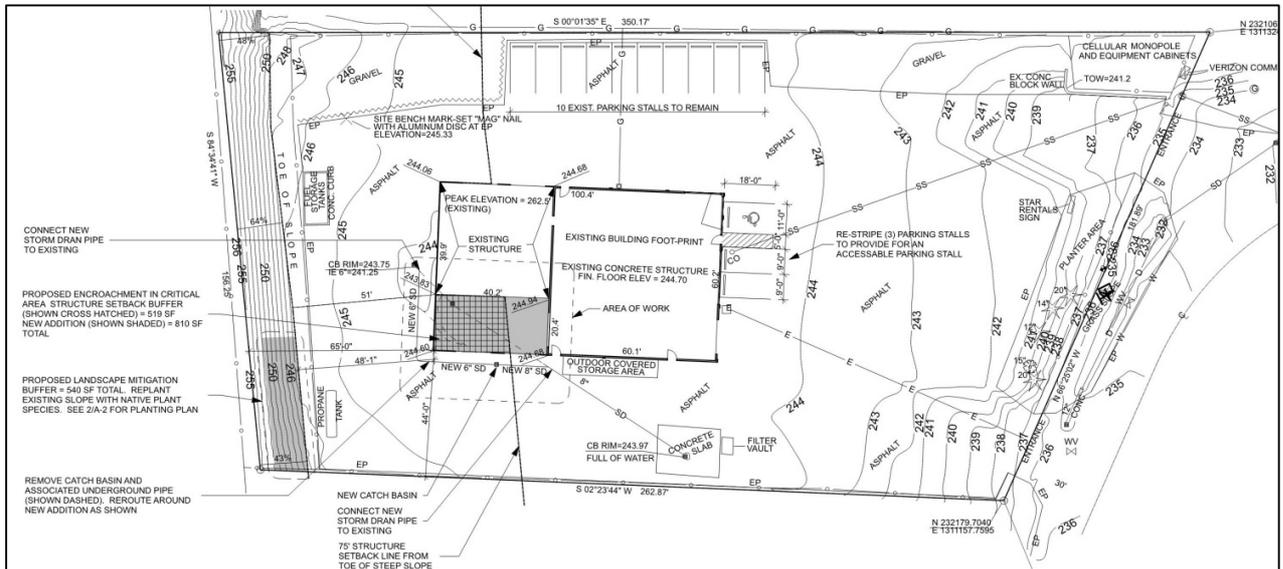
Attachments

1. Site Plans – Enclosed
2. Geotech Report, Forms, Application Materials – In File

I. Proposal Description

The applicant proposes to construct an addition onto the existing structure on this commercial site. The addition is located in a 75-foot toe of slope structure setback from a steep slope critical area which slopes down from SR-520 which is adjacent to the site to the north. The existing structure is already located in the slope setback and the proposed addition is not going any closer to the setback than the existing structure. 519 square feet of the 810 square foot addition is proposed in the structure setback. A geotechnical engineer has reviewed the proposed setback reduction and found the reduced setback adequate protection. A Critical Area Land Use Permit is required to approve modification of the toe-of-slope setback. See Figure 1 below for a site plan.

Figure 1



II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The project site is located at 12900 Northup Way in the Bel-Red subarea of the City. The site is adjacent to the State right-of-way associated with SR 520 to the north and has frontage on NE 21st Place to the south. The site and the surrounding properties are commercially zoned. The site is developed with a structure and is almost entirely paved with impervious surface that is used for storing the construction vehicles and equipment rented by this use. See figure 2 for existing site condition.

Figure 2



B. Zoning

The property is zoned BR-GC, Bel-Red General Commercial.

C. Land Use Context

The property has a Comprehensive plan Land Use Designation BR-GC, Bel-Red General Commercial.

D. Critical Areas On-Site and Regulations

i. Geologic Hazard Areas

Geologic hazards pose a threat to the health and safety of citizens when commercial, residential, or industrial development is inappropriately sited in areas of significant hazard. Some geologic hazards can be reduced or mitigated by engineering, design, or modified construction practices. When technology cannot reduce risks to acceptable levels, building in geologically hazardous areas is best avoided (WAC 365-190).

Steep slopes may serve several other functions and possess other values for the City and its residents. Several of Bellevue's remaining large blocks of forest are located in steep slope areas, providing habitat for a variety of wildlife species and important linkages between habitat areas in the City. These steep slope areas also act as

conduits for groundwater, which drains from hillsides to provide a water source for the City's wetlands and stream systems. Vegetated steep slopes also provide a visual amenity in the City, providing a "green" backdrop for urbanized areas enhancing property values and buffering urban development.

III. Consistency with Land Use Code Requirements:

A. Zoning District Dimensional Requirements:

The proposed addition complies with the zoning dimensional standards for the BR-GC zone found in LUC 20.25D.080. No setbacks are required for this structure and there is no change to the existing impervious surface coverage. The proposed lot coverage by structure is less than the maximum 75 percent allowed. The proposed FAR ratio will not exceed 1.0. The existing development requirements for proportional compliance in LUC 20.25D.060 are not triggered as the cost of the improvements is stated to not exceed \$150,000 which will be confirmed as part of the building permit review along with conformance with the other zoning requirements. **See Conditions of Approval in Section X of this report.**

B. Critical Areas Requirements LUC 20.25H:

The City of Bellevue Land Use Code Critical Areas Overlay District (LUC 20.25H) establishes performance standards and procedures that apply to development on any site which contains in whole or in part any portion designated as critical area, critical area buffer or structure setback from a critical area or buffer. The project area is within the 75-foot toe-of-slope setback from a steep slope critical area and is subject to the performance standards found below.

i. Consistency with LUC 20.25H.125

Development within a landslide hazard or steep slope critical area or the critical area buffers of such hazards shall incorporate the following additional performance standards in design of the development, as applicable. The requirement for long-term slope stability shall exclude designs that require regular and periodic maintenance to maintain their level of function.

- 1. Structures and improvements shall minimize alterations to the natural contour of the slope, and foundations shall be tiered where possible to conform to existing topography;**

No alteration of the slope contour is proposed.

- 2. Structures and improvements shall be located to preserve the most critical portion of the site and its natural landforms and vegetation;**

The structure is not located in a steep slope critical area.

- 3. The proposed development shall not result in greater risk or a need for increased buffers on neighboring properties;**

The submitted geotech report by Geotech Consultants finds that the proposal will not increase the geologic hazards on the site or neighboring properties.

- 4. The use of retaining walls that allow the maintenance of existing natural slope area is preferred over graded artificial slopes where graded slopes would result in increased disturbance as compared to use of retaining wall;**
No retaining walls are proposed.
- 5. Development shall be designed to minimize impervious surfaces within the critical area and critical area buffer;**
The structure is over existing impervious surface and is not increasing impervious coverage.
- 6. Where change in grade outside the building footprint is necessary, the site retention system should be stepped and regrading should be designed to minimize topographic modification. On slopes in excess of 40 percent, grading for yard area may be disallowed where inconsistent with this criteria;**
No change in grade is proposed.
- 7. Building foundation walls shall be utilized as retaining walls rather than rockeries or retaining structures built separately and away from the building wherever feasible. Freestanding retaining devices are only permitted when they cannot be designed as structural elements of the building foundation;**
No retention is proposed as there structure is proposed on flat surface and foundation retention is not needed.
- 8. On slopes in excess of 40 percent, use of pole-type construction which conforms to the existing topography is required where feasible. If pole-type construction is not technically feasible, the structure must be tiered to conform to the existing topography and to minimize topographic modification;**
No construction is proposed in slopes of 40 percent.
- 9. On slopes in excess of 40 percent, piled deck support structures are required where technically feasible for parking or garages over fill-based construction types; and**
No construction is proposed in slopes of 40 percent.
- 10. Areas of new permanent disturbance and all areas of temporary disturbance shall be mitigated and/or restored pursuant to a mitigation and restoration plan meeting the requirements of LUC 20.25H.210.**
Impacting the slope setback cannot be avoided by relocating the structure. No new permanent disturbance of a steep slope is created by the proposed addition. The setback reduction requires mitigation to show an improvement in the ecological function and values of the site. A planting area of 540 square feet is proposed as mitigation for the 519 square feet of the proposed addition that is

located within the structure setback. The proposed planting will install native plants and replace existing invasive blackberry. **See Conditions of Approval in Section X of this report.**

IV. Public Notice and Comment

Application Date: May 28, 2013
Public Notice (500 feet): June 13, 2013
Minimum Comment Period: June 27, 2013

The Notice of Application for this project was published the City of Bellevue weekly permit bulletin and Seattle Times on June 13, 2013. It was mailed to property owners within 500 feet of the project site. No comments were received.

V. Summary of Technical Reviews

A. Clearing and Grading

The Clearing and Grading Division of the Development Services Department has reviewed the proposed site development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff approved the application.

VI. State Environmental Policy Act (SEPA)

The proposed addition is exempt from SEPA in WAC 197-11-800 and no work is proposed within a critical area or exceeds a categorical exemption.

VII. Changes to Proposal Due to Staff Review

No changes were requested.

VIII. Decision Criteria

A. 20.25H.255 Critical Areas Report – Decision Criteria – General

The Director may approve, or approve with modifications, the proposed modification where the applicant demonstrates:

- 1. The modifications and performance standards included in the proposal lead to levels of protection of critical area functions and values at least as protective as application of the regulations and standards of this code;**

The performance standards related to steep slopes are being met by this proposal as no critical area or critical area buffer is proposed to be modified. As reviewed in Section III above, the project complies with all required performance standards.

- 2. Adequate resources to ensure completion of any required mitigation and monitoring efforts;**

The mitigation planting is sufficient as proposed. **See Conditions of Approval in Section X of this report.**

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the reduction of the 75-foot toe-of-slope structure setback to allow an addition to the existing Star Rentals structure. **Approval of this Critical Areas Land Use Permit does not constitute a permit for construction. A building permit, clear and grade permit, and/or utility permit is required and all plans are subject to review for compliance with applicable City of Bellevue codes and standards.**

Note- Expiration of Approval: In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a building permit or other necessary development permits within one year of the effective date of the approval.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Janney Gwo, 425-452-6190
Land Use Code- BCC Title 20	Reilly Pittman, 425-452-4350
Noise Control- BCC 9.18	Reilly Pittman, 425-452-2973

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

- 1. Building Permit:** Approval of this Critical Areas Land Use Permit does not constitute an approval of a development permit. Application for a building permit or other required permits must be submitted and approved. Plans submitted as part of either permit application shall be consistent with the activity permitted under this approval. Future work on the property may be subject to further critical areas permit requirements and/or geotech review.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

- 2. Slope Setback Modification:** The slope setback is modified to the north edge of the existing building and proposed addition. Future development on the site may still require geotechnical analysis.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

- 3. Mitigation Planting:** Plans submitted for the building permit must show the proposed 540 square feet of mitigation planting area.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

- 4. Land Use Inspection:** Following installation of mitigation planting, the applicant shall contact Land Use staff to inspect the planting area prior to final building inspection.

Authority: Land Use Code 20.30P.140
Reviewer: Reilly Pittman, Development Services Department

- 5. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18
Reviewer: Reilly Pittman, Development Services Department

- 3. The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site;**

The proposed project complies with the required performance standards. No work is proposed in the steep slope critical area or buffer. Relocating the structure to avoid impacting the slope setback is not possible. The proposed addition does not go any closer to the slope than the existing structure.

- 4. The resulting development is compatible with other uses and development in the same land use district.**

The construction of the addition on this commercial structure is allowed in this land use district.

B. 20.30P.140 Critical Area Land Use Permit Decision Criteria – Decision Criteria

The Director may approve, or approve with modifications an application for a Critical Area Land Use Permit if:

- 1. The proposal obtains all other permits required by the Land Use Code;**
The applicant must obtain a building permit and any associated permits. **See Conditions of Approval in Section X of this report.**

- 2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;**

The critical area is avoided and the proposed addition to the structure is over existing impervious surface. **See Conditions of Approval in Section X of this report.**

- 3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and ;**

As discussed in Section III of this report, the applicable performance standards of LUC Section 20.25H are being met.

- 4. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;**

The proposed activity will be served by adequate public facilities.

- 5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and**

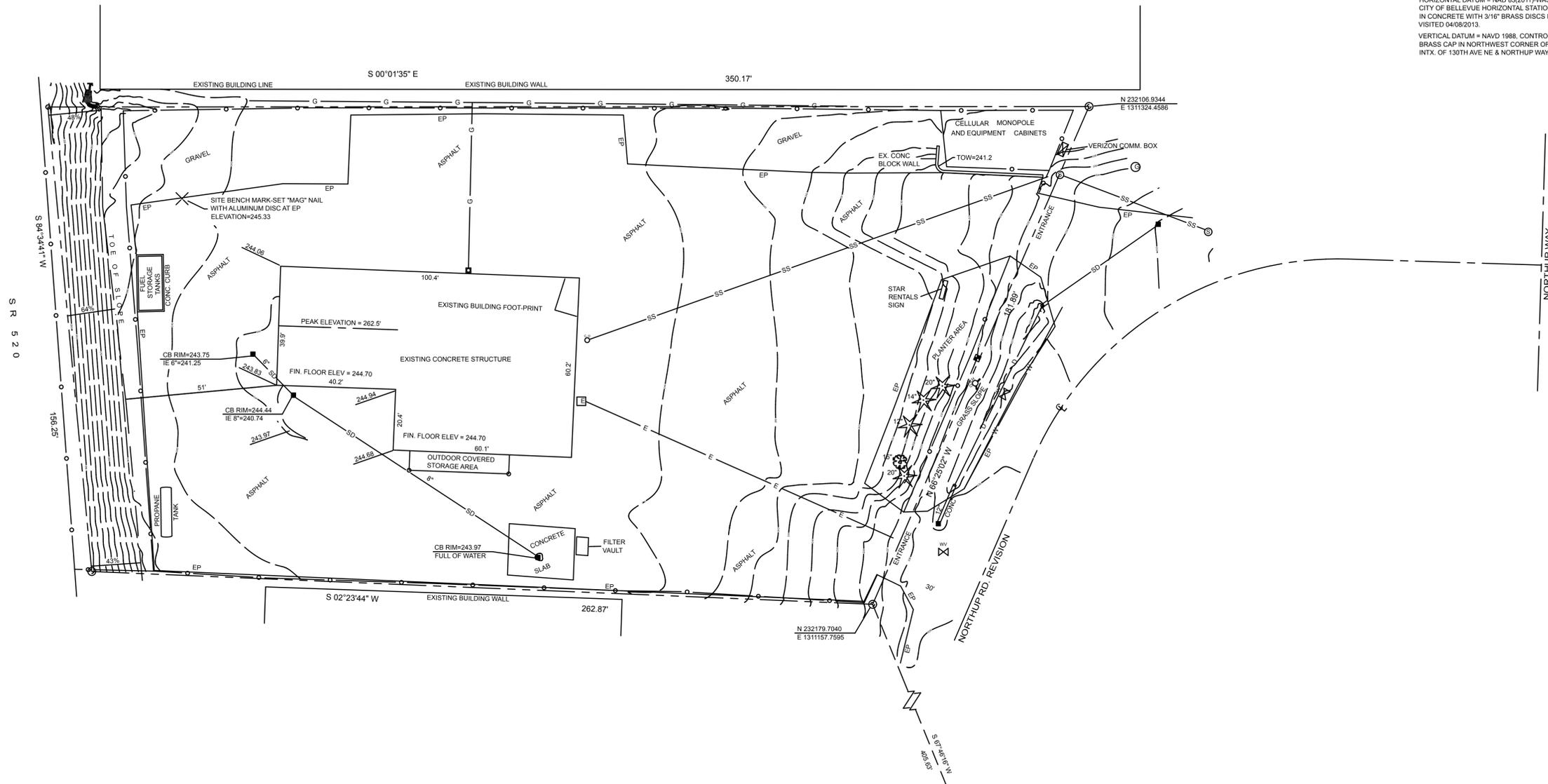
The mitigation planting is comparable with the City's planting templates for steep slopes.

- 6. The proposal complies with other applicable requirements of this code.**

As discussed in this report, the proposal complies with all other applicable requirements of the Land Use Code.



HORIZONTAL DATUM = NAD 83(2011)-WASHINGTON NORTH ZONE, CONTROLLING MONUMENTS = CITY OF BELLEVUE HORIZONTAL STATION #2677 & #2678, BOTH ARE 2-1/2" IRON PIPES IN CONCRETE WITH 3/16" BRASS DISCS IN CASED, CENTERLINE OF NORTHUP WAY, VISITED 04/08/2013.
 VERTICAL DATUM = NAVD 1988, CONTROLLING BENCH MARK = CITY OF BELLEVUE BM# 61: FOUND BRASS CAP IN NORTHWEST CORNER OF TRAFFIC CONTROLLER BASE AT SOUTHWEST CORNER OF INTX. OF 130TH AVE NE & NORTHUP WAY, VISITED 04/08/2013, BM ELEVATION = 228.36'

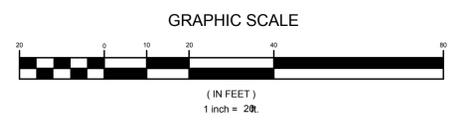


LEGEND

- ⊙ SET 1/2" DIA. REBAR W/SURVEY CAP L.S. No. 33135
- ✕ FOUND CONCRETE MONUMENT AS NOTED IN CASE.
- FOUND 5/8" REBAR W/PLASTIC ID CAP
- ⊠ EXISTING FIRE HYDRANT
- ⊡ EXISTING WATER METER BOX
- ⊗ EXISTING WATER VALVE
- W- LOCATOR'S PAINT MARKINGS FOR WATER LINE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEAN-OUT
- SS- SANITARY SEWER SERVICE PER PROPERTY MANAGER
- EXISTING STORM DRAIN CATCH BASIN
- SD- EXISTING STORM DRAIN PIPE
- E- ELECTRIC SERVICE PER PROPERTY MANAGER
- ⊡ EXISTING ELECTRIC VAULT
- ⊡ EXISTING GAS METER
- G- LOCATOR'S PAINT MARKINGS FOR GAS LINE
- ⊙ EXISTING GAS VALVE
- EP EXISTING EDGE OF ASPHALT PAVEMENT
- EXISTING CHAIN-LINK FENCE
- TOW TOP OF CONCRETE BLOCK WALL
- 244.68 EXISTING GROUND SPOT ELEVATION
- 10" EXISTING MADRONA TREE WITH DIAMETER NOTED IN INCHES
- 24" EXISTING EVERGREEN TREE WITH DIAMETER NOTED IN INCHES
TREE SYMBOLS DO NOT REPRESENT DRIP LINES.

STATION 2678
 N 232028.2520
 E 1310782.2780

STATION 2677
 N 232393.1380
 E 1310055.5940

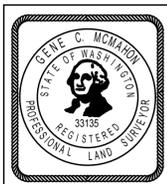


KING COUNTY PARCEL # 282505-9144

CLIENT
STAR INDUSTRIES INC
 12900 NORTHUP WAY
 BELLEVUE, WA 98005

PROJECT
TOPOGRAPHIC SURVEY

DRAWN BY GCM	SCALE 1"=20'	DRAWINGS star rentals	SHEET 1
APPROVED GCM	DATE 04/11/2013	JOB# N/A	OF 1



McMAHON LAND SURVEYING
 Land Surveying and Mapping
 730 Wynwood Dr.
 Kent, Washington 98030-6204
 (253) 850-9077

Index to Drawings

ARCHITECTURAL DRAWINGS

- A-1 PROJECT INFORMATION AND CSWPPP PLAN
- A-2 SITE PLAN / ENLARGED MITIGATION AREA PLAN
- A-3 ARCHITECTURAL FLOOR PLAN
- A-4 BUILDING ELEVATIONS
- A-5 BUILDING SECTION

CONSULTANTS

Project Information

PROJECT ADDRESS:
 12900 NORTHUP WAY 98005

TAX ACCESSORS PARCEL #:
 2825059144

LEGAL DESCRIPTION:
 POR OF NE 1/4 OF NE 1/4 BAAP ON W LN SD SUBD 670 FT S
 FR NW COR THOF TH S 88-23-54 E 415.88 FT TO TPOB TH N
 88-23-54 W 150 FT TH S 02-12-08 W 417.25 FT TO NLY MGN OF
 NORTHRUP RD TH E ALG SD NLY MGN TAP S 00-01-24 E FR
 POB TH N 00-01-24 W TAP 12 FT S OF SD PT TH E TO W LN OF
 130 AVE NE TH NLY ALG SD AVE TAP S 88-23-54 E FR POB TH
 88-23-54 W TO POB LESS ST RD # 520

SCOPE OF WORK:
 20'-0" X 40'-0" EXPANSION OF EXISTING STORAGE AND
 REPAIR PORTION OF THE BUILDING. INTERIOR RENOVATION
 OF EXISTING OFFICE AND RETAIL PORTION OF THE BUILDING

Project Team

BUILDING OWNER: STAR RENTALS
 2302 SOUTH TACOMA WAY
 TACOMA, WA 98409
 P: (360) 475-0081
 F: (360) 475-0187
CONTACT: RANDY SINGLETARY
 OPERATIONS MANAGER

ARCHITECT: BARKING DOG DESIGN
 DAVID HEINEN,
 3213 W. WHEELER ST. #283
 SEATTLE, WA 98199
 T: (206) 283-6014
CONTACT: DAVID HEINEN, AIA

STRUCTURAL ENGINEER: STABBERT ENGINEERING LLC
 227 BELLEVUE WAY NE #462
 BELLEVUE WASHINGTON 98004
 P: (425) 968-5432
CONTACT: MATT STABBERT

GENERAL CONTRACTOR: HST CONSTRUCTION
 410 BELLEVUE WAY SE, SUITE 205
 BELLEVUE WA 98004
 T: (425) 455-1212
 F: (425) 671-0856
CONTACT: CHRIS HOLMES

Star Rentals
 12900 Northup Way
 Bellevue, WA 98005

5-28-13 CRITICAL AREAS
 LAND USE PERMIT

MARK DATE DESCRIPTION

PROJECT NO:
 MODEL FILE:
 DRAWN BY:
 CHK'D BY:
 COPYRIGHT

SHEET TITLE

Project Information

Building

BUILDING CONSTRUCTION:
 TYPE V-B

ALLOWABLE HEIGHTS AND AREAS:
 EXISTING BUILDING: S-1 STORAGE/REPAIR, B OFFICE, M RETAIL
 PROPOSED EXPANSION: S-1 STORAGE/REPAIR

B-OFFICE = 9,000 SF / 2 STORIES
 S-1 STORAGE/REPAIR = 9,000 SF / 1 STORY
 M-RETAIL = 9,000 SF / 1 STORY

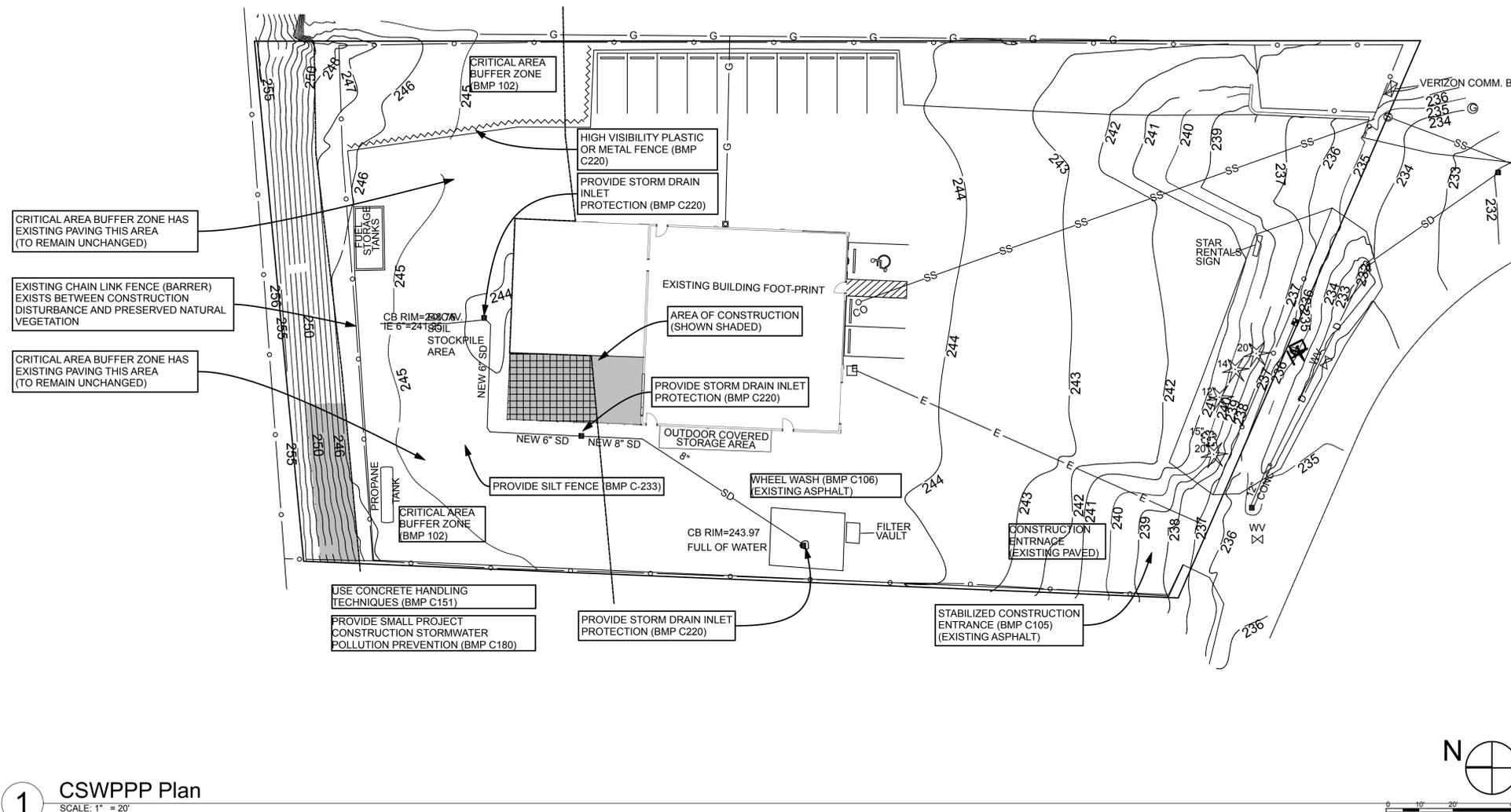
TABLE 508.4: NO SEPARATION IS REQUIRED BETWEEN B, M AND S-1 OCCUPANCIES

*BUILDING WILL BE CLASSIFIED AS S-1 (MOST RESTRICTIVE) NON-SEPARATED, NON-SPRINKLERED OCCUPANCY FOR THE TYPE V-B CONSTRUCTION TYPE.
 BASE ALLOWABLE AREA = 9,000 SF
 BASE ALLOWABLE HEIGHT = 1 STORY

EXISTING AND NEW BUILDING AREA TOTALS 6,240 SF < 9,000 ALLOWABLE SF

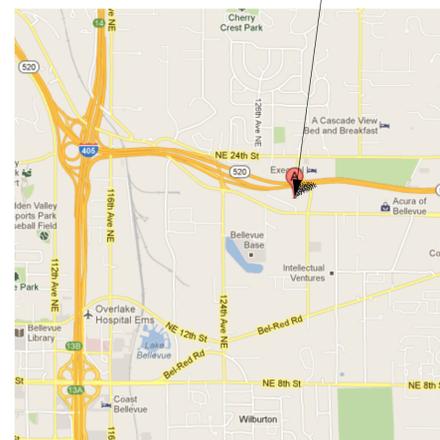
Applicable Codes

- 2009 International Building Code
- 2009 International Mechanical Code
- 2009 International Fuel Gas Code
- 2009 International Fire Code
- 2009 Uniform Plumbing Code
- 2008 National Electrical Code
- City of Bellevue Land Use Code



1 CSWPPP Plan
 SCALE: 1" = 20'

Project Location



Land Use

ZONING:
 BR-GC (BEL-RED GENERAL COMMERCIAL)

OCCUPANCY AND USE:
 EXISTING AND PROPOSED:
 B-OFFICE, S-1 STORAGE AND SERVICE, M-RETAIL (CUSTOMER SERVICE AREA)

GROSS BUILDING AREA:
 EXISTING: 5,220 SF
 NEW: 810 SF
 TOTAL ENCLOSED BUILDING AREA: 6,030 SF

COVERED OUTDOOR STORAGE:
 TOTAL BUILDING AREA: 6,250 SF

AREA BREAKDOWN BY USE:
 B-OFFICE: 845 SF
 M-RETAIL (CUSTOMER SERVICE AREA): 410 SF
 S-1 STORAGE AND SERVICE AREA: 4,775 SF

LOT AREA = 45,730 SF (13.6% LOT COVERAGE)

MAX. F.A.R. = 1.0 PROPOSED F.A.R. = .136

DESIGN REVIEW IS NOT REQUIRED 20.25D.030.C.2

20.25D.060 - EXISTING CONDITIONS WITHIN BR-CR ZONE:
 SCOPE OF THIS PROJECT FALLS BELOW \$150,000 DEVELOPMENT THRESHOLD

20.25H.120.C:
 75' STRUCTURE SETBACK REQUIRED FROM TOE OF EXISTING STEEP SLOPE AREA

REQUIRED SETBACK FROM PROPERTY LINE = 0' @ ALL YARDS

MAX. IMPERVIOUS AREA = 75%
 EXISTING/PROPOSED IMPERVIOUS AREA = 38,168/45,730 = 83.5%
 (NO CHANGE TO EXISTING IMPERVIOUS AREA UNDER THIS SCOPE)

MAX. BASE BUILDING HEIGHT = 45'
 PROPOSED BUILDING HEIGHT = 20'

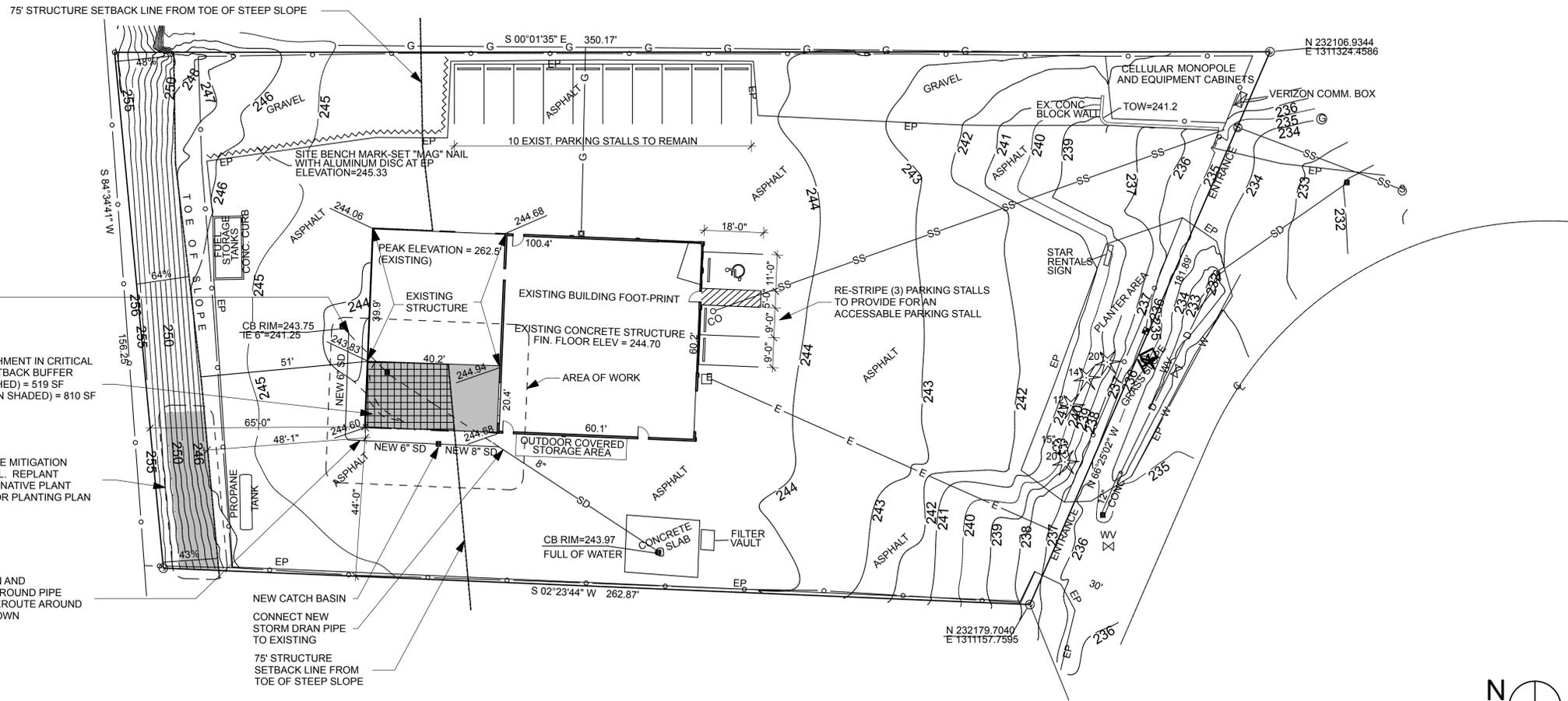
PARKING (20.25D.120):

GENERAL OFFICE: 3:1000 NSF MIN. AND 4:1000 NSF MAX.
 MFR/ASSEMBLY: 1.5:1000 NSF MIN. AND 2:1000 NSF MAX.
 RETAIL: 3:1000 NSF MIN. AND 4.5:1000 NSF MAX.

OFFICE AREA = 845 SF = 3 PARKING STALLS MIN.
 RETAIL AREA = 410 SF = 2 PARKING STALLS MIN.
 MFR/ASSEMBLY AREA = 4,775 SF = 8 PARKING STALLS MIN.
 13 PARKING STALLS REQUIRED / 13 PARKING STALLS PROVIDED

CONSULTANTS

Star Rentals
 12900 Northrup Way
 Bellevue, WA 98005



CONNECT NEW STORM DRAIN PIPE TO EXISTING

PROPOSED ENCROACHMENT IN CRITICAL AREA. STRUCTURE SETBACK BUFFER (SHOWN CROSS HATCHED) = 519 SF. NEW ADDITION (SHOWN SHADED) = 810 SF TOTAL

PROPOSED LANDSCAPE MITIGATION BUFFER = 540 SF TOTAL. REPLANT EXISTING SLOPE WITH NATIVE PLANT SPECIES. SEE 2/A-2 FOR PLANTING PLAN

REMOVE CATCH BASIN AND ASSOCIATED UNDERGROUND PIPE (SHOWN DASHED). REROUTE AROUND NEW ADDITION AS SHOWN

NEW CATCH BASIN

CONNECT NEW STORM DRAIN PIPE TO EXISTING

75' STRUCTURE SETBACK LINE FROM TOE OF STEEP SLOPE

1 Site Plan
 SCALE: 1" = 20'

Land Use

ZONING:
 BR-GC (BEL-RED GENERAL COMMERCIAL)

OCCUPANCY AND USE:

EXISTING AND PROPOSED:
 B-OFFICE, S-1 STORAGE AND SERVICE, M-RETAIL (CUSTOMER SERVICE AREA)

GROSS BUILDING AREA:
 EXISTING: 5,220 SF
 NEW: 810 SF
 TOTAL ENCLOSED BUILDING AREA: 6,030 SF

COVERED OUTDOOR STORAGE: 220 SF
 TOTAL BUILDING AREA: 6,250 SF

AREA BREAKDOWN BY USE:

B-OFFICE: 845 SF
 M-RETAIL (CUSTOMER SERVICE AREA): 410 SF
 S-1 STORAGE AND SERVICE AREA: 4,775 SF

LOT AREA = 45,730 SF (13.6% LOT COVERAGE)

MAX. F.A.R. = 1.0 PROPOSED F.A.R. = .136

DESIGN REVIEW IS NOT REQUIRED 20.25D.030.C.2

20.25D.060 - EXISTING CONDITIONS WITHIN BR-CR ZONE:
 SCOPE OF THIS PROJECT FALLS BELOW \$150,000 DEVELOPMENT THRESHOLD

20.25H.120.C:

75' STRUCTURE SETBACK REQUIRED FROM TOE OF EXISTING STEEP SLOPE AREA

REQUIRED SETBACK FROM PROPERTY LINE = 0' @ ALL YARDS

MAX. IMPERVIOUS AREA = 75%
 EXISTING/PROPOSED IMPERVIOUS AREA = 38,168/45,730 = 83.5%
 (NO CHANGE TO EXISTING IMPERVIOUS AREA UNDER THIS SCOPE)

MAX. BASE BUILDING HEIGHT = 45'
 PROPOSED BUILDING HEIGHT = 20'

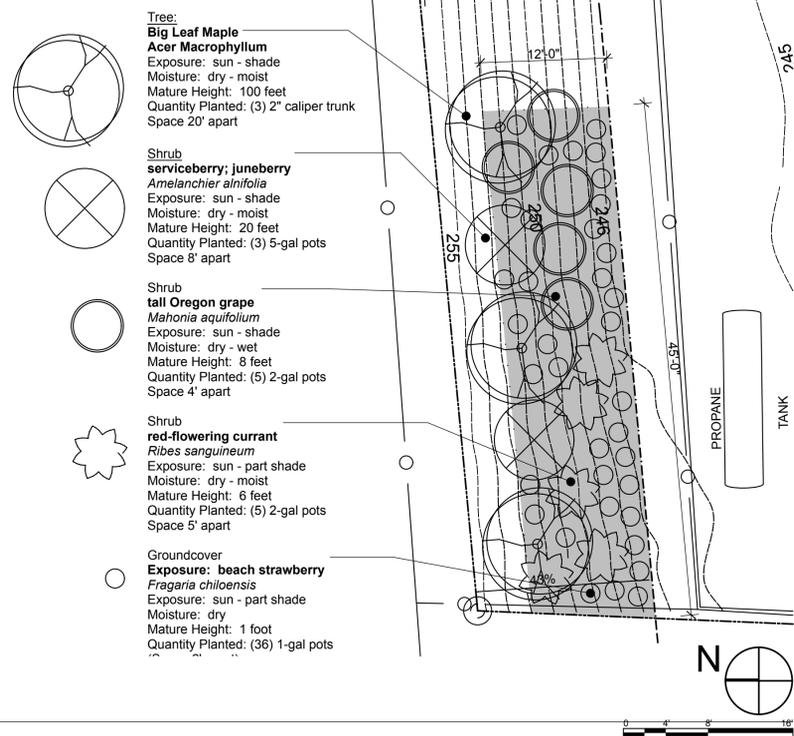
PARKING (20.25D.120):

GENERAL OFFICE: 3:1000 NSF MIN. AND 4:1000 NSF MAX.
 MFR/ASSEMBLY: 1.5:1000 NSF MIN. AND 2:1000 NSF MAX.
 RETAIL: 3:1000 NSF MIN. AND 4.5:1000 NSF MAX.

OFFICE AREA = 845 SF = 3 PARKING STALLS MIN.
 RETAIL AREA = 410 SF = 2 PARKING STALLS MIN.
 MFR/ASSEMBLY AREA = 4,775 SF = 8 PARKING STALLS MIN.
 13 PARKING STALLS REQUIRED / 13 PARKING STALLS PROVIDED

PLANTING NOTES:

- Soil retention. The duff layer and native topsoil should be retained in an undisturbed state to the maximum extent practicable.
- A topsoil layer with a minimum organic matter content of ten percent dry weight in planting beds, and 5% organic matter content in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the original undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.
- Planting area must be mulched with 2 inches of organic material
- Quality of compost and other materials used to meet the organic content requirements:
 - The organic content for "pre-approved" amendment rates can be met only using compost that meets the definition of "composted materials" in WAC 173-350-220. This code is available online at: <http://www.ecy.wa.gov/programs/swfa/facilities/350.html>
The compost must also have an organic matter content of 35% to 65%, and a carbon to nitrogen ratio below 25:1.
 - The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.
 - Calculated amendment rates may be met through use of composted materials as defined above; or other organic materials amended to meet the carbon to nitrogen ratio requirements, and meeting the contaminant standards of Grade A Compost.
 The resulting soil should be conducive to the type of vegetation to be established.



2 Site - Enlarged Mitigation Area
 SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
5-28-13		CRITICAL AREAS LAND USE PERMIT
//		

PROJECT NO:
 MODEL FILE:
 DRAWN BY:
 CHK'D BY:
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SHEET TITLE
 Site Plan

CONSULTANTS

Star Rentals
 12900 Northup Way
 Bellevue, WA 98005

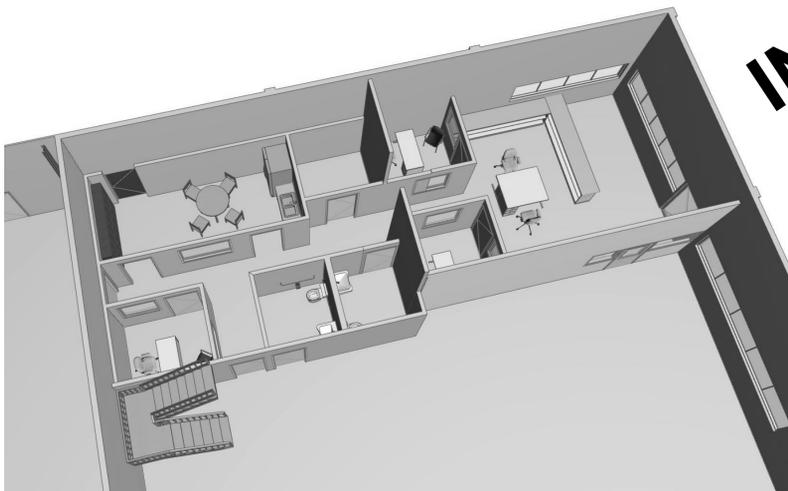
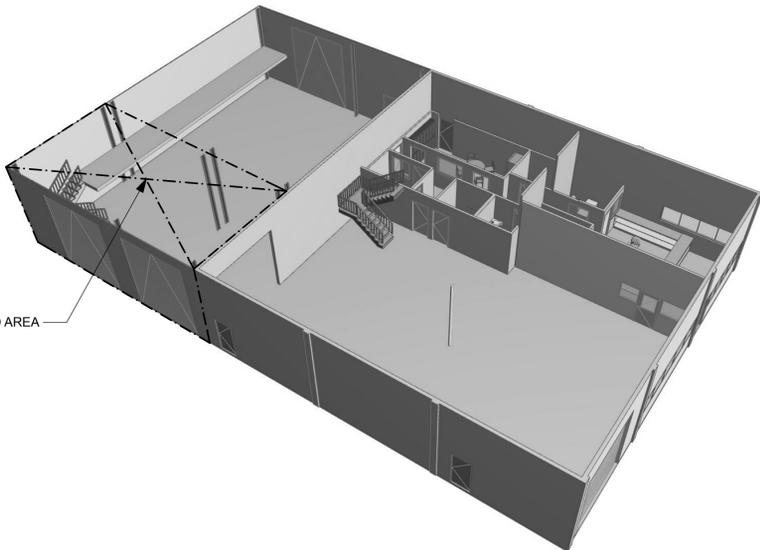
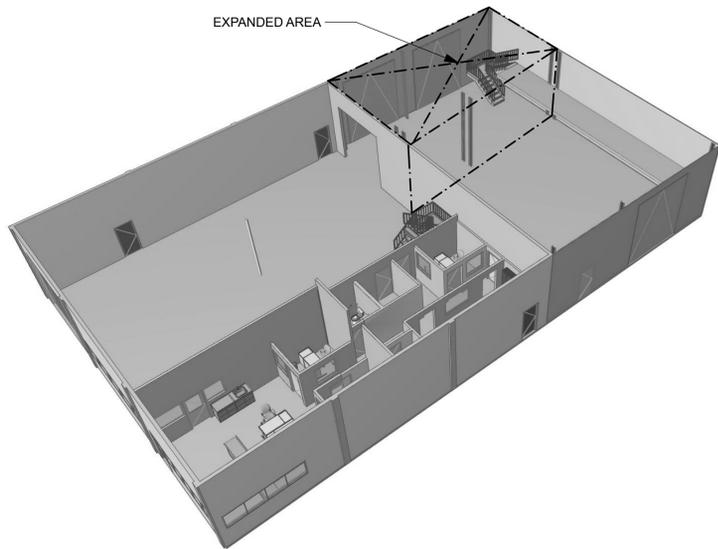
5-28-13 CRITICAL AREAS
 LAND USE PERMIT

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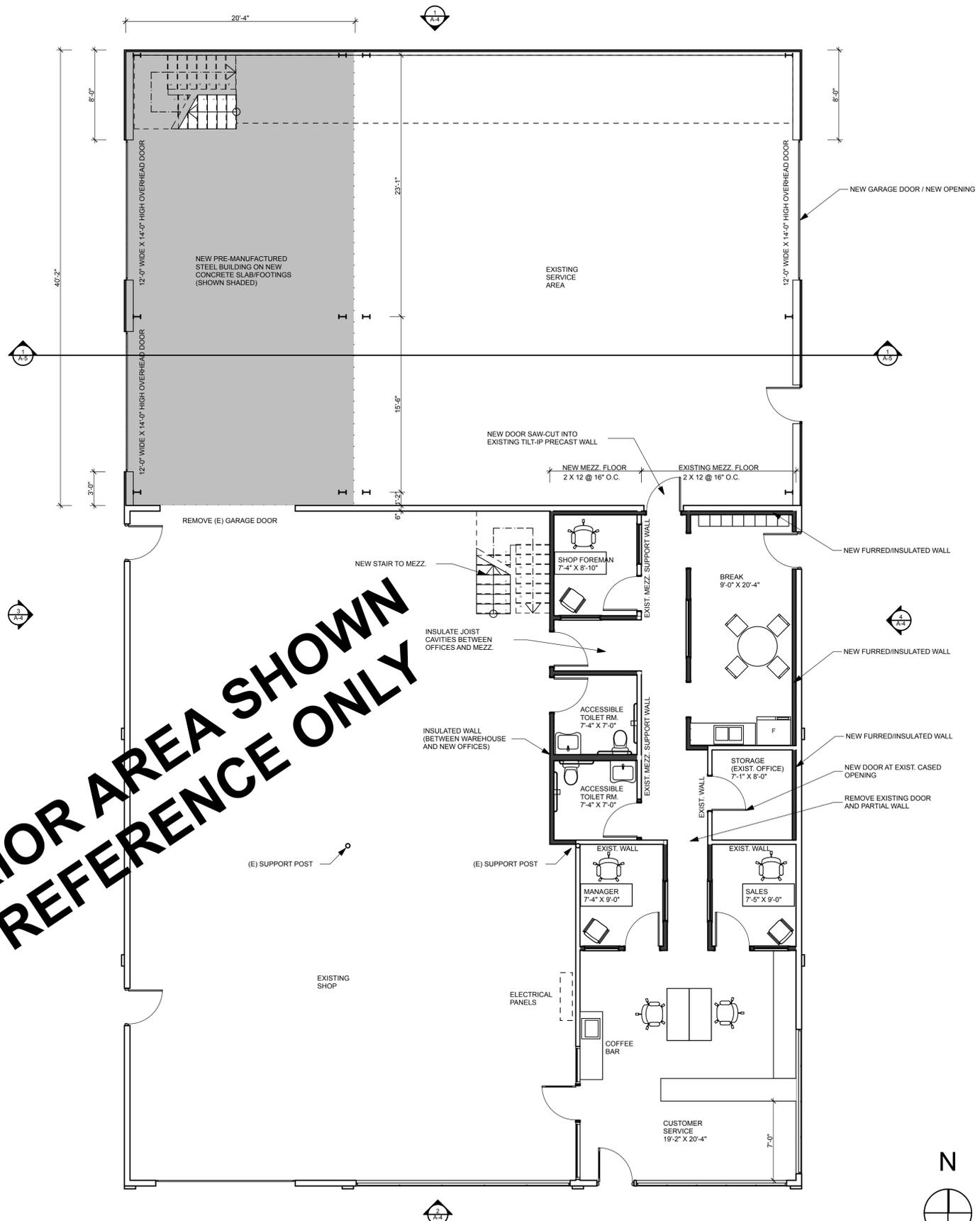
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SHEET TITLE
 Floor Plan

A-3



**INTERIOR AREA SHOWN
 FOR REFERENCE ONLY**



1 Floor Plan
 SCALE: 3/16" = 1'-0"

