



DEVELOPMENT SERVICES DEPARTMENT  
ENVIRONMENTAL COORDINATOR  
450 110<sup>th</sup> Avenue NE  
BELLEVUE, WA 98004

**OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS**

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 13-113024-LD  
Project Name/Address: Bellevue Square SE Expansion/523 Bellevue Way NE  
Publish: March 27, 2014  
**Minimum Comment Period: April 16, 2014**

Materials included in this Notice:

- Blue Bulletin
- Checklist
- Vicinity Map
- Plan Sheets
- Application Materials
- Other:



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Attachments:

Environmental Checklist  
Plans

**ENVIRONMENTAL CHECKLIST**

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service)

**INTRODUCTION**

**Purpose of the Checklist:**

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

**Instructions for Applicants:**

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

**Use of a Checklist for Nonproject Proposals:** A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words project, applicant, and project area should be read as proposal, proposer, and affected geographic area, respectively.

**Attach an 8 1/2" x 11 vicinity map which accurately locates the proposed site.**

**Received**  
**DEC 11 2013**  
**Permit Processing**  
**City of Bellevue**

## BACKGROUND INFORMATION

Property Owner: Kemper Development Company  
Proponent: Sclater Partners Architects  
Contact Person: Michael D. Chaplin, AIA, Sclater Partners Architects  
Phone Number: 206.624.8682  
Address: 414, Olive Way, Suite 300, Seattle, WA 98101  
Proposal Title: Bellevue Square - Southeast Corner Expansion  
Proposal Location: 421 Bellevue Square, Bellevue, WA 98004 Located at Southeast corner of Bellevue Square Shopping Center bordered by Bellevue Way to the East and NE 4th Street to the South.

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 ½" x 11" vicinity map that accurately locates the proposal site. See Attached Vicinity map

Give an accurate, brief description of the proposal's scope and nature:

1. General description: Expansion of existing Bellevue Square project at the southeast corner for a three level retail podium with retail and restaurants, access to Bellevue Square, one residential tower on the north and a hotel/residential tower on the south side. The project will also have a five level below grade parking structure and a service level with loading docks, utility areas and parking access.
2. Acreage of Project Limits: Approximately 142,140 sf = 3.6 Acres
3. Number of dwelling units/buildings to be demolished:  
Existing one story parking structure, existing loading dock and existing retail shop to be demolished.
4. Number of dwelling units/buildings to be constructed:  
Expansion of existing Bellevue Square Shopping Center with a three level podium and buildings with 238 residential units. Underground parking for approximately 1,700 vehicles on levels P1 to P5.
5. Square footage of buildings to be demolished: Parking 76,980 sf and Retail 6,045 sf.
6. Square footage of buildings to be constructed:  
Below grade parking structure = 691,845 sf, 5 levels  
Podium- retail and restaurants = 266,856 sf, 3 levels  
North Tower residential use = 224,600 sf, 17 stories  
South Tower hotel use 196,132sf, 11 stories and residential use 78,991sf, 6 stories = 275,123 sf, 17 floors total.
7. Quantity of earth movement (in cubic yards): approximately 302,726 Cubic Yards
8. Proposed land use:  
Mixed use in downtown DNTN-MU and DNTU-MU/Sub district C. Expansion of existing Bellevue Square Shopping Center with retail and restaurants at podium, below grade parking, two towers including one residential tower and one hotel/residential tower above podium.

9. Design features, including building height, number of stories and proposed exterior materials:  
The proposed building design at the podium levels will be similar in height to adjacent JC Penney and MACY's buildings. The residential buildings above the podium levels will be set back from the retail edge and will be arranged to maximize views. Proposed building materials for the podium facade will be a mix of stone, metal and wood panels and a curtain wall system with combination of vision and spandrel glazing. The height of the towers will be approximately 230' from average finished grade.
10. Other: The project will complement existing adjacent development of Lincoln Square. Estimated date of completion of the proposal or phasing:

Estimated date of project completion:

Estimated date for project completion is 2016 for podium and garage and 2017 for residential towers.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Geotechnical report has been completed and attached with this application.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None known at this time.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

- Design Review-Applied 4/22/2013
- Shoring permit
- Clear and Grade Permit
- UDEA Permit
- R.O.W. Permit122
- Building Permits
- Tenant Improvements Permits
- Mechanical, Electrical, Plumbing, Sprinkler, Fire Protection, Fire Alarm Permits
- Smoke Control Permit
- Sign Permit

Please provide one or more of the following exhibits, if applicable to your proposal.  
(Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development  
Preliminary plat map
- Clearing & Grading Permit  
Plan of existing and proposed grading  
Development plans

**X Building Permit (or **Design Review**)**

Site plan  
Clearing & grading plan

- Shoreline Management Permit  
Site plan

**A. ENVIRONMENTAL ELEMENTS**

**1. Earth**

- a. General description of the site:  **Flat**  Rolling  Hilly  Steep slopes  
 Mountains  Other
- b. What is the steepest slope on the site (approximate percent slope)  
Less than 1% slope
- c. What general types of soils are found on the site (for example clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.  
From surface level down the soil units are fill, weathered till, glacial till and glacially overridden sand and silt.
- d. Are there surface indicators or history of unstable soils in the immediate vicinity? If so, describe.  
None known at this time.
- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.  
All grading will be in the form of excavation and removal of soils for parking garage.
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.  
No. Potential for erosion during removal of soils from the site will be limited by implementation of ground support.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?  
Approximately 98% as allowed by Land Use Code.
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:  
Temporary shoring will be installed for excavation.

**2. AIR**

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.  
During construction, typical equipment exhaust from excavating equipment. Upon project completion, typical exhaust will be from automobiles.
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so,

generally describe.

None known at this time.

- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:  
Construction dust suppression measures per BCC 23.76 will be implemented.

### 3. WATER

#### a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

None

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

#### b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

Temporary dewatering for construction of the garage will occur during construction.

Permanent dewatering systems for the garage are pending ground water level and will be evaluated upon excavation for garage.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None.

#### c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Roof top storm water will be collected and discharged through storm water system.  
Surface water will be collected in oil water tanks and discharged to storm water system through filtration vaults.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.  
No

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:  
Possible collection of roof water for irrigation purpose. Storm control per COB requirements, UE permit per BCC 24.06.

#### 4. Plants

- a. Check or circle types of vegetation found on the site:

**deciduous tree:** alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

**shrubs**

grass

pasture

crop or grain

wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?

Typical on grade parking lot planting and driveway planting will be removed and replace with street front landscaping, plaza landscaping and possibly roof top landscaping.

- c. List threatened or endangered species known to be on or near the site.

None known at this time.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Enhance streetscape with continuous landscaping and focus landscaping at plaza areas per Land Use Code 20.25.A.060.A.2.e. See Landscape plan as part of DR submittal.

#### 5. Animals

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site: None Observed.

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

- b. List any threatened or endangered species known to be on or near the site.  
None.

- c. Is the site part of a migration route? If so, explain.  
No.

- d. Proposed measures to preserve or enhance wildlife, if any:  
None.

## 6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Electric and natural gas will be used for heating and air conditioning.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No impact known at this time.

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

Use of waterless urinals for commercial restrooms and possible application of green roof.

## 7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

None known at this time.

- (1) Describe special emergency services that might be required.

No special emergency services are anticipated. Only standard emergency service by local fire and police departments is anticipated.

- (2) Proposed measures to reduce or control environmental health hazards, if any.

If it is determined that products selected or equipment used might have an impact on environmental health, then those items will be evaluated at that time and measures will be taken to reduce the potential for health hazard.

- b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?  
Adjacent street traffic noise is the only noise that exists prior to construction.
  
- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)?  
Indicate what hours noise would come from the site.  
Short term noise will be construction equipment noise. Periodic long term noise will be the testing of the emergency generators. Another long term noise will be regular street traffic noise. Construction noise will be limited to hours allowed by the current noise ordinance in place at the time of construction. Construction and truck traffic noise per BCC 9.18

## 8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?  
Current use is commercial and parking. Adjacent uses are retail to north and west, surface parking to the east and city park to the south.
  
- b. Has the site been used for agriculture? If so, describe.  
None know at this time.
  
- c. Describe any structures on the site.  
One story parking structure, surface parking and retail store at the SE corner.
  
- d. Will any structures be demolished? If so, what?  
All existing structure will be demolished.
  
- e. What is the current zoning classification of the site?  
Current Zoning for the site is DNTN-MU and DNTN-MU-Sub District-C
  
- f. What is the current comprehensive plan designation of the site?  
Downtown Core.
  
- g. If applicable, what is the current shoreline master program designation of the site?  
N/A.
  
- h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.  
No.
  
- i. Approximately how many people would reside or work in the completed project?  
Residential- approximately 238 residential units, Hotel- 196 guest rooms, 75 employees,  
Retail- 200 employees
  
- j. Approximately how many people would the completed project displace?  
Approximately 5 employees.
  
- k. Proposed measures to avoid or reduce displacement impacts, if any:  
Increased square footage of retail area and addition of a hotel will be a net increase in work opportunities.

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The project will be developed in mixed use style that incorporates residential living, hospitality, retail and restaurant uses. All these uses are encouraged by the downtown master use plan. See staff report for comprehensive plan policy discussion section VIII A.

## 9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

Two residential towers will provide 238 units. Cost of these units is not known at this time. No low income housing is proposed.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None.

- c. Proposed measures to reduce or control housing impacts, if any:

Not Applicable. No residential units exist at the site. All housing units are new to the site.

## 10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

The towers are 230' tall above average finished grade. No elements will project above this height. Exterior will be a combination of curtain wall, stone, wood and metal panels.

- b. What views in the immediate vicinity would be altered or obstructed?

Views from the east will be slightly altered.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

Positioning and orientation of towers has been carefully evaluated to create view corridors as much as possible and reduce the wall effect.

## 11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

The light fixtures proposed will be for illumination of driveway, pedestrian walkways, building accent lighting.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

See discussion on light and glare SEPA Section VI. Light sources will not glare upward to adjacent residents.

- c. What existing off-site sources of light or glare may affect your proposal?

None know at this time.

- d. Proposed measures to reduce or control light or glare impacts, if any:

Accent lighting will be focused on the building. Driveway lighting will be shielded from adjacent properties and right-of-way.

## **12. Recreation**

- a. What designated and informal recreational opportunities are in the immediate vicinity?  
Bellevue Downtown Park is located to the south across NE 4th street.
- b. Would the proposed project displace any existing recreational uses? If so, describe.  
No.
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:  
No impacts on existing.

## **13. Historic and Cultural Preservation**

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.  
No.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.  
None known at this time.
- c. Proposed measures to reduce or control impacts, if any:  
None at this time as there are no items listed in b above.

## **14. Transportation**

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.  
The downtown core is served by I-405. The site is served by Bellevue Way and NE 4th Street. Access to the site is shown on the Road Plan as part of Design Review Submittal.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?  
The site is served by public transit on Bellevue Way and NE 4th Street. Downtown Transit Center is located several blocks to the east.
- c. How many parking spaces would be completed project have? How many would the project eliminate?  
1,700 parking spaces are proposed. Currently there are approximately 531 parking spaces at the site.
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).  
A right turn lane from Bellevue Way to NE 4th Street is proposed.

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.  
No.
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.  
Based on Trip generation study, 462 new pm peak hour trips will be generated. See Trip generation Memo from TDA submitted as part of Design Review.
- g. Proposed measures to reduce or control transportation impacts, if any:  
Current measures used as part of Bellevue Square will be maintained as part of this project.

**15. Public Services**

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.  
The project is within the Downtown District that currently has fire and police protection associated with existing structures. The proposed mixed use facility may require a small increase if multiple responses occur.
- b. Proposed measures to reduce or control direct impacts on public services, if any.  
The proposed project will incorporate a fire command center that will assist in fire response. Kemper Development has a security team that will also cover this project.

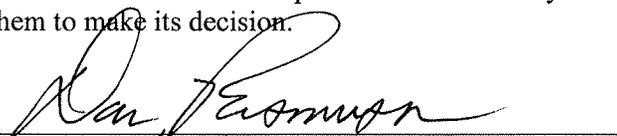
**16. Utilities**

- a. Circle utilities currently available at the site: **electricity, natural gas, water, refuse service, telephone, sanitary sewer**, septic system, **other: Possibly fiber optics.**
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.  
The proposed project will be constructing new services from the streets. These services will be power, water, sewer, natural gas, telephone and fiber optics.

**Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature



Date Submitted

10/31/13



BELLEVUE  
SQUARE™

**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**PROJECT  
PERSPECTIVE**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A0.1**

**SCLATER PARTNERS  
ARCHITECTS, PC**

## PROJECT NARRATIVE

### EXISTING SITE

1. THE EXISTING SITE IS LOCATED AT THE SOUTHEAST CORNER OF BELLEVUE SQUARE SHOPPING CENTER AND BORDERED BY BELLEVUE WAY NE TO THE EAST AND NE 4<sup>TH</sup> STREET TO THE SOUTH. THE SITE AREA CONSISTS OF APPROXIMATELY 152,000 SQUARE FEET.
2. THE PRIMARY USE OF THIS AREA IS PARKING FOR PRIVATE VEHICLES, VEHICULAR AND PEDESTRIAN CIRCULATION AND MINOR LOADING AREA FOR RETAIL SHOPS AT BELLEVUE SQUARE.

### PROPOSED PROJECT:

1. THE PROPOSED BUILDING CONSISTS OF UNDERGROUND PARKING FOR APPROXIMATELY 1,700 VEHICLES ON LEVELS P1 TO P5 AND A RELOCATED LOADING AREA OCCURS ON SERVICE LEVEL. CIRCULATION WITHIN THE GARAGE WILL BE BY SPEED RAMPS.
2. VEHICULAR ACCESS TO THE PROPOSED GARAGE WILL BE LOCATED ON BELLEVUE WAY NORTHEAST AND NORTHEAST 4<sup>TH</sup> STREET IN APPROXIMATELY THE SAME LOCATIONS AS CURRENTLY USED WITH THE SAME MANEUVERING FOR INGRESS AND EGRESS. TRUCK ACCESS WILL BE FROM BELLEVUE WAY NE AND NE 4<sup>TH</sup> STREET. THE OUTBOUND TRUCK ACCESS ON NE 4<sup>TH</sup> STREET WILL REMAIN A LEFT TURN FOR TRUCKS ONLY.
3. THE PODIUM FIRST FLOOR CONSISTS OF RETAIL AREAS, RESTAURANT, ENTRANCE LOBBIES FOR NORTH, WEST AND SOUTH TOWERS WITH VALET DROP-OFF AND SUPPORTING SERVICE AREAS. THE PODIUM SECOND FLOOR CONSISTS OF RETAIL AREAS AND WILL HAVE A CONNECTION TO BELLEVUE SQUARE. THE PODIUM THIRD LEVEL CONSISTS OF RETAIL AREAS AND WILL HAVE A CONNECTION TO BELLEVUE SQUARE.
4. THE PROPOSED PROJECT CONTAINS TWO 17 STORY TOWERS ABOVE THE PODIUM. THE NORTH TOWER IS FOR RESIDENTIAL USE. THE SOUTH TOWER CONTAINS 11 LOWER LEVELS FOR HOTEL USE AND 6 UPPER LEVELS FOR RESIDENTIAL USE.

5. DRAWINGS IN THIS SET EXHIBIT DETAILS ON SQUARE FOOTAGE AREAS FOR THE PROPOSED PROJECT.
6. A NEW RIGHT HAND TURN LANE IS PROPOSED FOR SOUTHBOUND TRAFFIC ON BELLEVUE WAY NE TURNING ONTO NE 4<sup>TH</sup> STREET.

### BUILDING FORMS:

1. THE PROPOSED BUILDING DESIGN AT THE PODIUM LEVELS WILL BE SIMILAR IN CHARACTER TO EXISTING BELLEVUE SQUARE AND LINCOLN SQUARE ONE ALONG BELLEVUE WAY AND PROPOSED LINCOLN SQUARE EXPANSION ACROSS BELLEVUE WAY. IT WILL BE SIMILAR IN HEIGHT TO THE EXISTING J C PENNEY AND MACY'S BUILDINGS. THE RESIDENTIAL AND HOTEL TOWERS ABOVE THE PODIUM WILL BE SET BACK FROM THE RETAIL EDGE AND ARRANGED SO AS TO MAXIMIZE VIEWS.
2. BUILDING MATERIALS USED FOR THE PODIUM FINISH ARE PROPOSED TO BE A MIX OF STONE, METAL, WOOD AND GLASS (VISION AND SPANDREL).
3. THE HEIGHT OF PROPOSED TOWERS WILL BE APPROXIMATELY 230' FROM AVERAGE FINISH GRADE.

### PROPOSED AMENITIES:

1. PEDESTRIAN ORIENTED FRONTAGE AND MARQUEE ARE PROPOSED ALONG BELLEVUE WAY NORTHEAST AND NE 4<sup>TH</sup> STREET.
2. UNDERGROUND PARKING IS PROPOSED WITHIN THE PROJECT LIMITS.
3. A LANDSCAPE AREA IS PROPOSED BETWEEN THE BUILDING AND SIDEWALK ALONG BELLEVUE WAY NE AND NE 4<sup>TH</sup> STREET.
4. A MINOR PUBLIC OPEN SPACE IS PROPOSED AT THE SOUTH EAST CORNER OF THE SITE.

### BELLEVUE SQUARE SOUTHEAST CORNER PARKING SUMMARY

#### MINIMUM PARKING STALL REQUIRED PER COB (DNTN-MU) - OPTION ONE

EXISTING BELLEVUE SQUARE	MINIMUM	MAXIMUM
Retail	1,212,011 SF/1000 * 4 =	4,849 SF/1000 * 5 =
Storage (Level A + L105A)	25,815 SF/1000 * 4 =	104 SF/1000 * 5 =
Office	17,062 SF/1000 * 2.5 =	43 SF/1000 * 3 =
Restaurant	76,541 SF/1000 * 10 =	768 SF/1000 * 20 =
<b>Total Stalls Req.</b>	<b>5,762</b>	<b>7,773</b>

#### PROPOSED BELLEVUE SQUARE SOUTHEAST CORNER

Retail per 1,000	216,391 SF/1000 * 2 =	433 SF/1000 * 4 =	866
Hotel	182,832 194 Rooms	0 194 Rooms	0
Residential 1 BR	145,696 143 1 Br	0 143 1 Br x1.2	172
Residential 2 BR	145,696 95 2 Br	0 95 2 Br x1.6	152
<b>Total Stalls Req. w/ SEC</b>	<b>690,614</b>	<b>433</b>	<b>1,190</b>
	<b>Stalls Required/Allowed</b>	<b>6,195</b>	<b>10,152</b>

#### MINIMUM PARKING STALL REQUIRED PER COB (DNTN-MU) - OPTION TWO

EXISTING BELLEVUE SQUARE	MINIMUM	MAXIMUM
Retail	1,331,429 SF/1000 * 4 =	5,326 SF/1000 * 5 =
<b>Total Stalls Req.</b>	<b>5,326</b>	<b>6,657</b>

#### PROPOSED BELLEVUE SQUARE SOUTHEAST CORNER (Bellevue LUC Table 20.25A.050)

Retail	197,140 SF/1000 * 2 =	395 SF/1000 * 4 =	789
Restaurant	19,251 SF/1000 * 10 =	198 SF/1000 * 20 =	386
Hotel- Guest Rooms*	178,132 194 Rooms	194 194 Rooms	194
Hotel- Meeting Rooms	4,700 SF/1000 * 10 =	47 SF/1000 * 10 =	47
Residential 1 BR	145,696 143 1 Br x1	143 143 1 Br x2	286
Residential 2 BR	145,696 95 2 Br x1.6	152 95 2 Br x2	190
Retail Deleted at Levels B + C	-9,303 SF/1000 * 2 =	-18 SF/1000 * 4 =	-36
<b>Total Stalls Req. w/ SEC</b>	<b>681,311</b>	<b>1,106</b>	<b>1,856</b>
	<b>Stalls Required/Allowed</b>	<b>6,867</b>	<b>9,629</b>

\* No Code Minimum required. Proposed is 1 stall/Guest Room

#### PARKING PROVIDED

Stalls Existing		6,171
Stalls Removed @ SEC Expansion		-531
Stalls Added w/ SEC Expansion		1,700
<b>Total Stalls Provided</b>		<b>7,340</b>

## DRAWING LIST

A0.1	PROJECT PERSPECTIVE	C1.00	DEMOLITION PLAN
A0.2	PROJECT INFO, PROJECT AREAS, DRAWING LIST	C2.00	T.E.S.C. AND EXCAVATION PLAN
		C2.10	MASS EXCAVATION SECTIONS
		C3.00	CIVIL SITE PLAN
A1.1	EXISTING SITE PLAN	C3.10	UTILITY SECTIONS
A1.2	EXISTING CONDITIONS / SURVEY	C3.11	UTILITY SECTIONS PROFILES
A1.3	DEMOLITION PLAN	C3.20	UTILITY DETAILS
A1.4	LAND USE SITE PLAN		
A1.5	SITE PLAN B - OVERALL	L1.0	SITE PLAN
A1.6	SITE PLAN B - ENLARGED	L2.0	PLAZA ENLARGEMENT PLANS
A1.7	LOT COVERAGE	L3.0	STREETSCAPE SECTIONS & PLANTING DETAILS
A1.8	AVERAGE FINISHED GRADE	L4.0	ROOFSCAPE PLAN
A1.8a	AVERAGE FINISHED GRADE		
A1.8b	AVERAGE FINISHED GRADE		
A1.9	SHADE STUDY	PM1	CHANNELIZATION PLAN
		TS1.01	TRAFFIC SIGNAL PLAN
		TS2.01	ILLUMINATION PLAN
		TS3.01	ILLUMINATION CALCULATION EXHIBIT

A2.1	FLOOR PLANS - P4 & P5
A2.2	FLOOR PLANS - P2 & P3
A2.3	FLOOR PLANS - SERVICE & P1
A2.4	FLOOR PLAN LEVEL A
A2.5	FLOOR PLAN LEVEL B
A2.6	FLOOR PLAN LEVEL C
A2.7	FLOOR PLAN LEVEL D
A2.8	FLOOR PLAN LEVELS 5
A2.9	LEVEL 6-14
A2.10	PLAN LEVEL 15
A2.10a	ENLARGED TOWER FLOOR PLANS
A2.11	FLOOR PLAN LEVELS 16-19
A2.12	PLAN LEVEL 20
A2.12a	ENLARGED TOWER PLANS
A2.13	ROOF PLAN

A3.1	ELEVATION - NORTH
A3.2	ELEVATION - EAST
A3.3	ELEVATION - SOUTH
A3.4	ELEVATION - WEST
A3.5	ELEVATIONS - NORTH TOWER
A3.7	ELEVATIONS - SOUTH TOWER
A3.8	SIGN MASTER PLAN
A3.9	EXTERIOR LIGHTING STUDY

A4.1	PERSPECTIVES
A4.2	PERSPECTIVES
A4.3	PERSPECTIVES

## PROJECT TEAM

**OWNER:**  
KEMPER DEVELOPMENT CO.  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004  
PH: (425) 646-3660  
FAX: (425) 646-3661  
CONTACT: DAN MEYERS

**GENERAL CONTRACTOR:**  
GLY CONSTRUCTION  
200 112th AVENUE NE SUITE 300  
BELLEVUE, WA 98004-5878  
PH: (425) 451-8877  
FAX: (425) 453-5680  
CONTACT: DAVE McGOVERN

**ARCHITECT:**  
SCLATER PARTNERS  
ARCHITECTS  
414 OLIVE WAY SUITE 300  
SEATTLE, WA 98101  
PH: (206) 624-8682  
FAX: (206) 621-8445  
CONTACT: MICHAEL CHAPLIN

**STRUCTURAL:**  
CARY KOPCZYNSKI & CO  
10500 NE 8th STREET SUITE 800  
BELLEVUE, WA 98004  
PH: (425) 455-2144  
FAX: (425) 455-2091  
CONTACT: CARY KOPCZYNSKI,  
MARK WHITELY

**CIVIL ENGINEER:**  
COUGHLIN PORTER LUNDEEN  
413 PINE STREET SUITE 300  
SEATTLE, WA. 98101  
PH: (206) 343-0460  
FAX: (206) 343-5691  
CONTACT: JEFF PETERSON

**LANDSCAPE ARCHITECT:**  
BERGER PARTNERSHIP  
1721 8th AVENUE N.  
SEATTLE, WA. 98109  
PH: (206) 325-6877  
FAX: (206) 323-6867  
CONTACT: STEVE SHEA

**SIGNALIZATION ENGINEER:**  
TRANSPORTATION ENGINEERING  
NORTHWEST  
816 6th STREET S.  
KIRKLAND, WA. 98033  
PH: (206) 817-9400  
FAX: (360) 668-1133  
CONTACT: CHRIS BICKET

**SURVEYOR:**  
W H PACIFIC  
12100 NE 195TH ST, # 300  
BOTHELL, WA. 98011  
PH: (425) 951-4800  
FAX: (425) 951-4808  
CONTACT: RICHARD DICKMAN

**TRAFFIC CONSULTANT:**  
TDA  
615 SECOND AVENUE SUITE 680  
SEATTLE, WA. 98104  
PH: (206) 682-4750  
FAX: (206) 682-4173  
CONTACT: BILL EAGER



## KEMPER DEVELOPMENT COMPANY

### Revisions

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

## BELLEVUE SQUARE SE CORNER

SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

## PROJECT INFO, PROJECT AREAS, DRAWING LIST

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

## A0.2

SCLATER PARTNERS  
ARCHITECTS, PC



**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

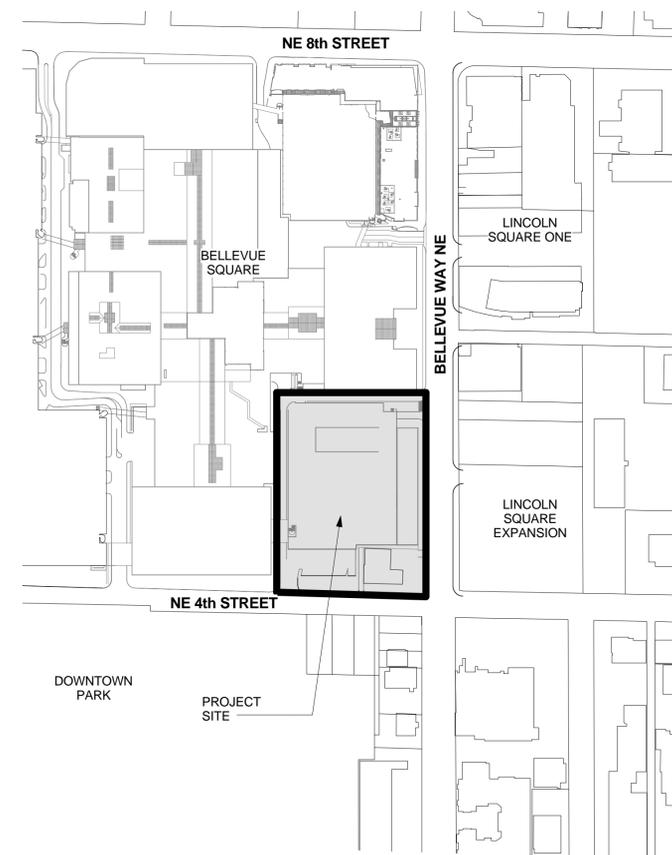
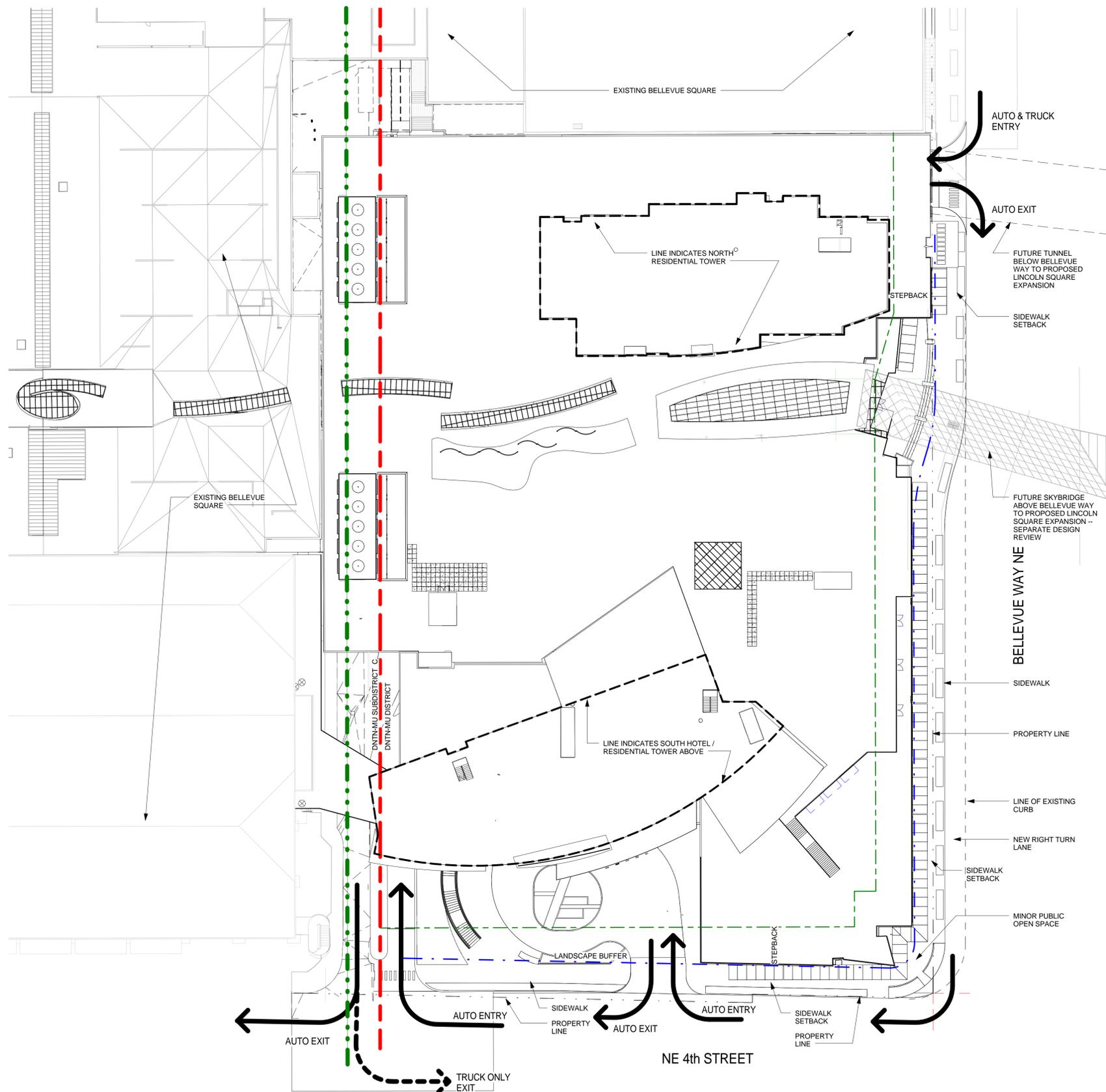
**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**LAND USE SITE PLAN**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A1.4**

**SCLATER PARTNERS  
ARCHITECTS, PC**



LAND USE SITE PLAN SCALE: 1" = 30'-0" **2**

VICINITY MAP SCALE: 1" = 200'-0" **1**

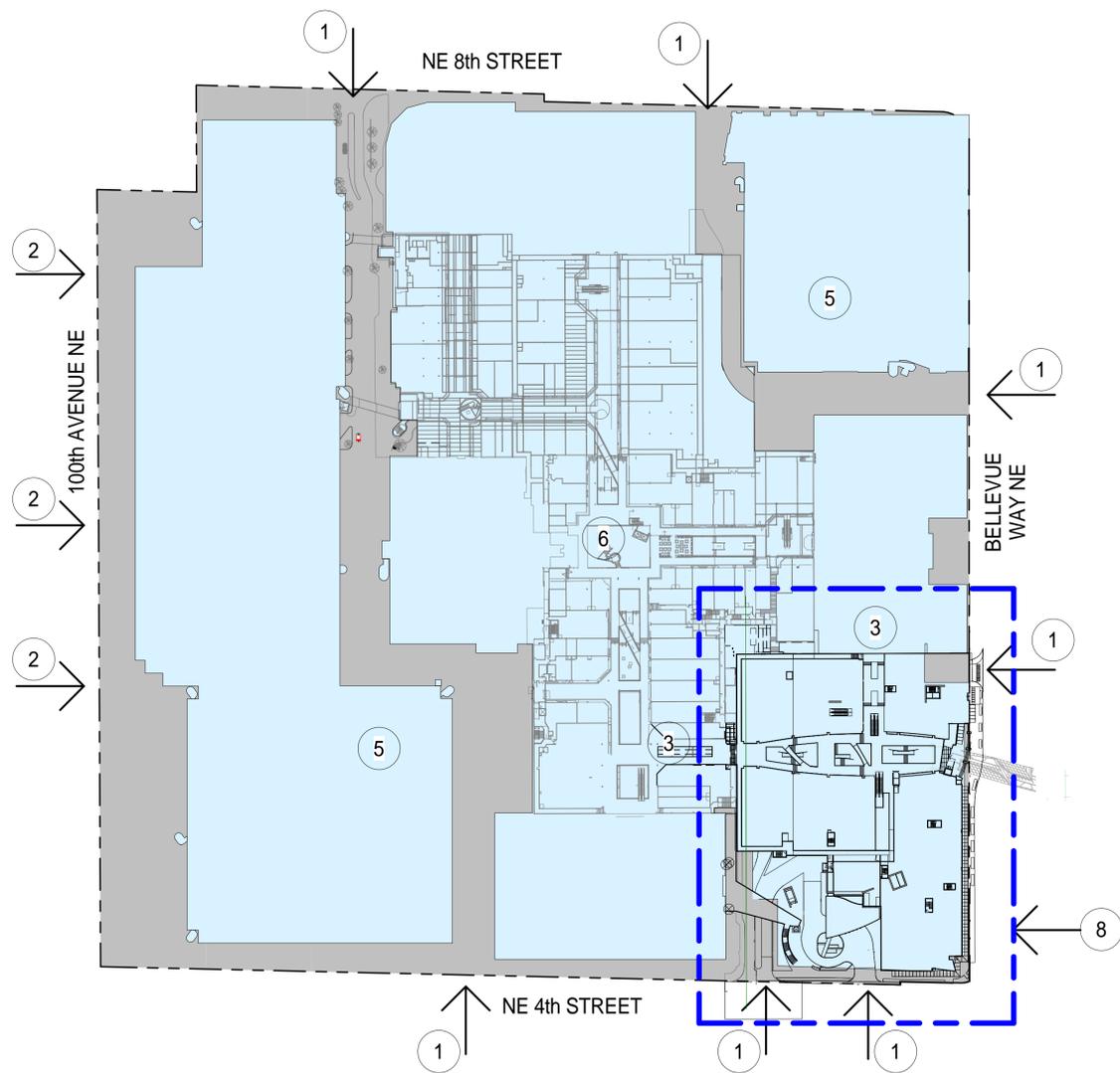


**SITE PLAN KEY NOTES**

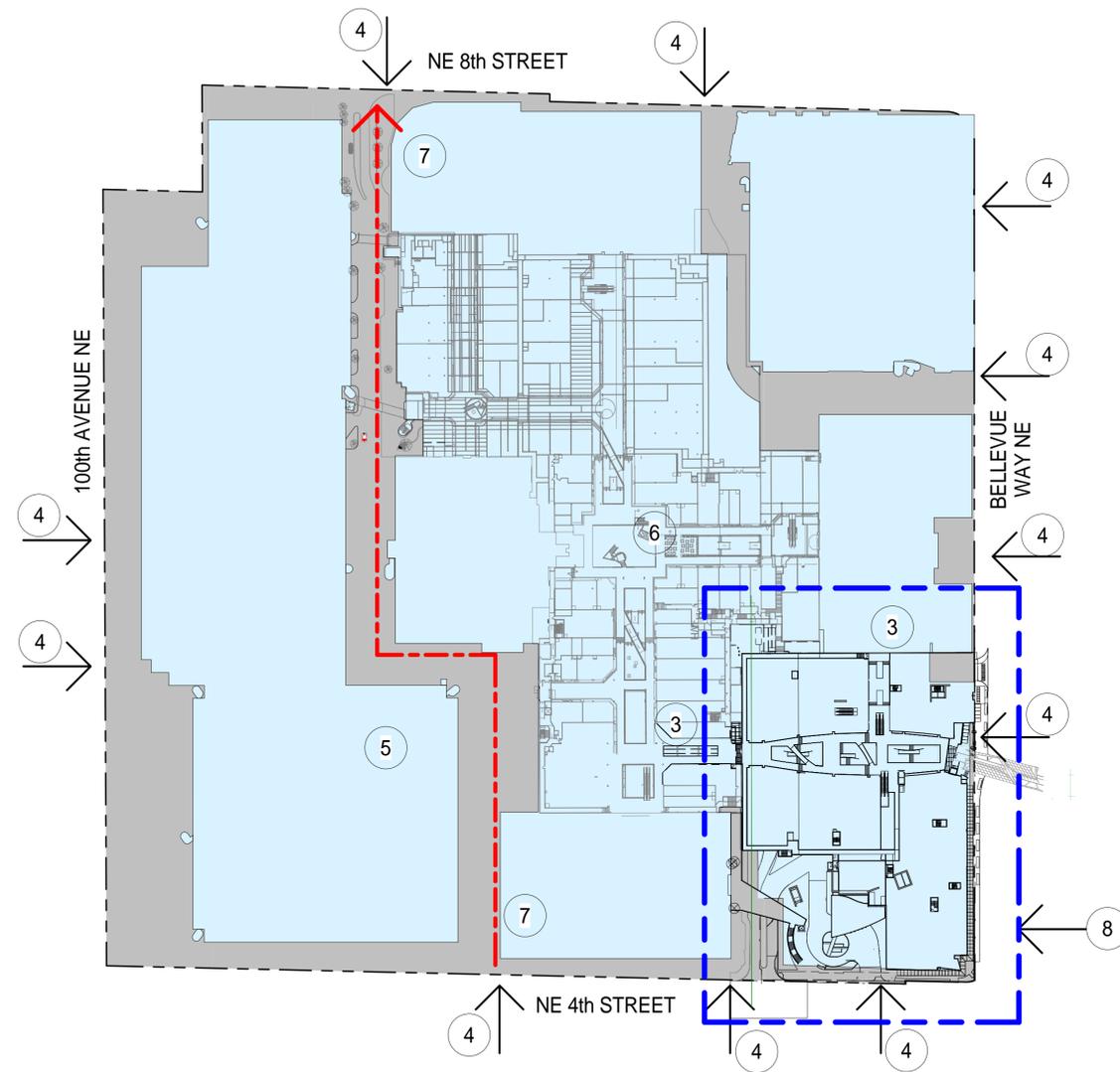
- 1 ACCESS TO & FROM MAJOR ARTERIAL
- 2 ACCESS TO & FROM MINOR ARTERIAL
- 3 ACCESS TO EXISTING PORTION OF BELLEVUE SQUARE
- 4 ACCESS VIA SIDEWALK AT STREET FRONTAGE
- 5 EXISTING PARKING STRUCTURE
- 6 EXISTING BELLEVUE SQUARE
- 7 MID-BLOCK CONNECTION BETWEEN NE 4th STREET AND NE 8th STREET
- 8 REFER TO SITE PLAN - ENLARGED FOR ADDITIONAL INFORMATION



**KEMPER  
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SITE PLAN - VEHICULAR ACCESS



SITE PLAN - PEDESTRIAN ACCESS



**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

**SITE PLAN B -  
OVERALL**

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

**A1.5**

**SCLATER PARTNERS  
ARCHITECTS, PC**

**GENERAL NOTES**

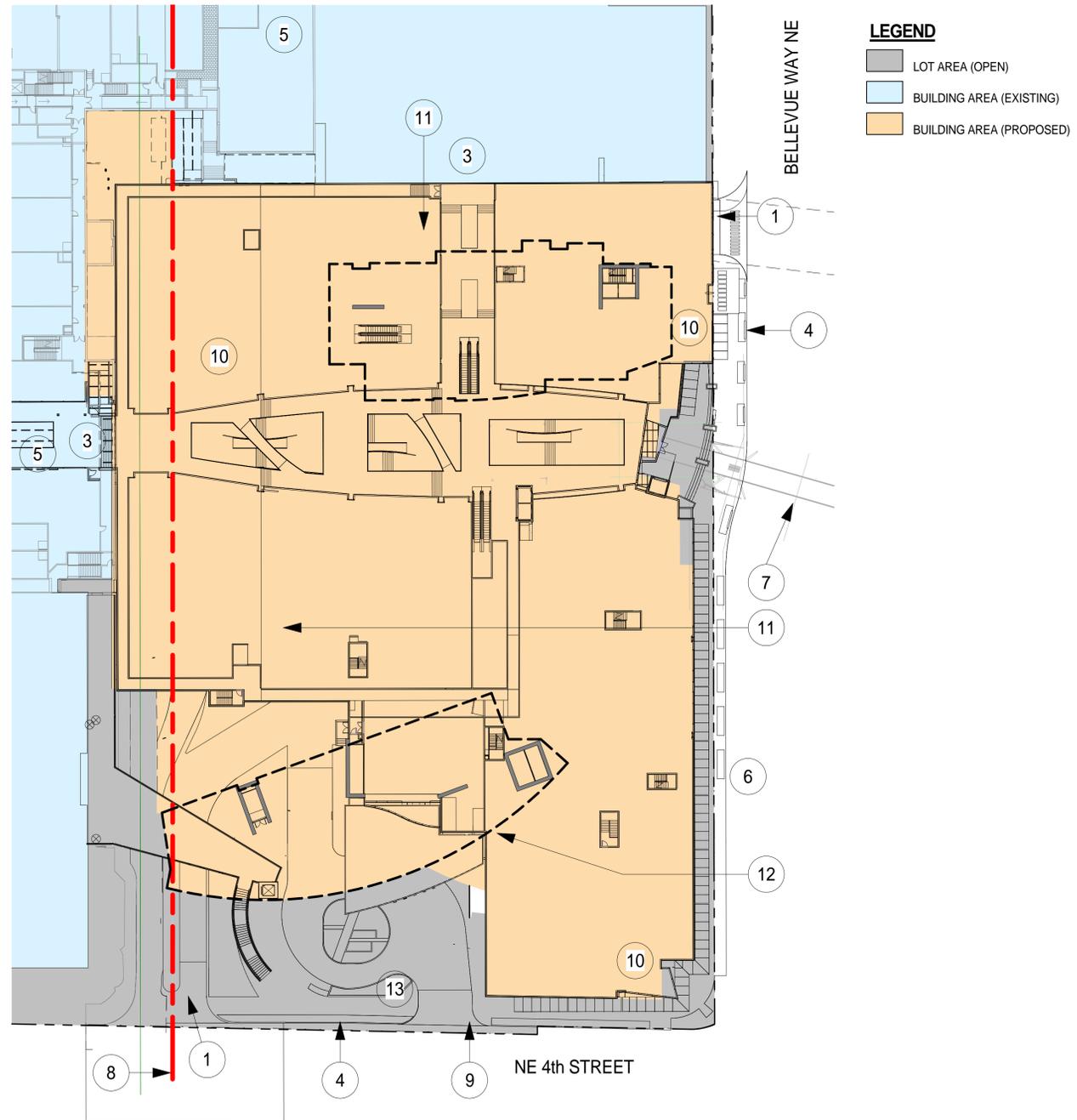
- 1 FOR UTILITIES, EASEMENTS & SURVEY INFO, SEE SURVEY
- 2 PROJECT SITE IS LOCATED DNTN-MU ZONE

**SITE PLAN KEY NOTES**

- 1 ACCESS TO & FROM MAJOR ARTERIAL
- 2 ACCESS TO & FROM MINOR ARTERIAL
- 3 ACCESS TO EXISTING PORTION OF BELLEVUE SQUARE
- 4 SIDEWALK AT STREET FRONTAGE
- 5 EXISTING PORTION OF BELLEVUE SQUARE
- 6 NEW RIGHT TURN LANE FROM BELLEVUE WAY TO NE 4TH STREET
- 7 FUTURE SKYBRIDGE ACCESS ACROSS BELLEVUE WAY TO PROPOSED LINCOLN SQUARE EXPANSION
- 8 EASTERN EXTENT OF PERIMETER DESIGN DISTRICT C
- 9 ACCESS FROM NE 4TH STREET TO RESIDENTIAL AND HOTEL LOBBY
- 10 RETAIL TENANTS AT STREET LEVEL AND 2ND LEVEL, RESTAURANT TENANTS AT 3RD LEVEL
- 11 OUTLINE OF RESIDENTIAL STRUCTURE ABOVE AT NORTH PORTION OF PROPOSED BUILDING AREA
- 12 OUTLINE OF HOTEL / RESIDENTIAL STRUCTURE ABOVE AT SOUTH PORTION OF PROPOSED BUILDING AREA
- 13 LANDSCAPE BUFFER



**KEMPER  
DEVELOPMENT  
COMPANY**



**LEGEND**

- LOT AREA (OPEN)
- BUILDING AREA (EXISTING)
- BUILDING AREA (PROPOSED)

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

**SITE PLAN B -  
ENLARGED**

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

**A1.6**

**SCLATER PARTNERS  
ARCHITECTS, PC**

**SITE PLAN**  
SCALE: 1" = 40'-0"  
1



BELLEVUE  
SQUARE™

**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

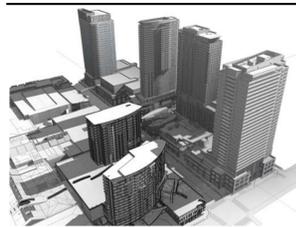
**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**SHADE STUDY**

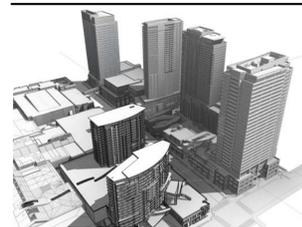
**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A1.9**

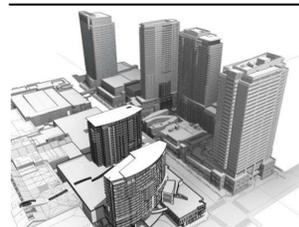
**SCLATER PARTNERS  
ARCHITECTS, PC**



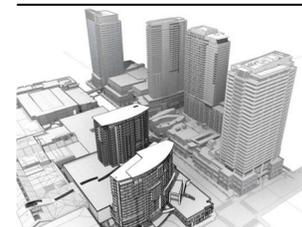
June 9 am



June 11 am



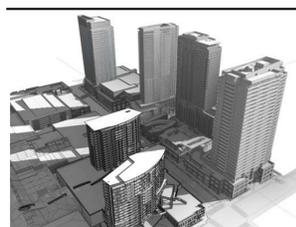
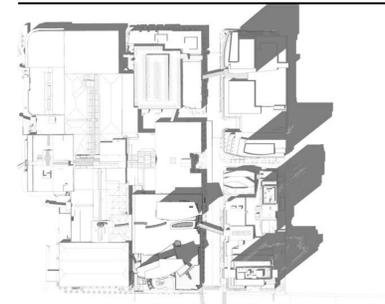
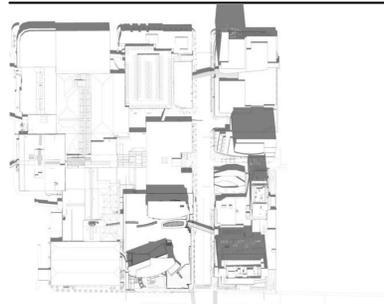
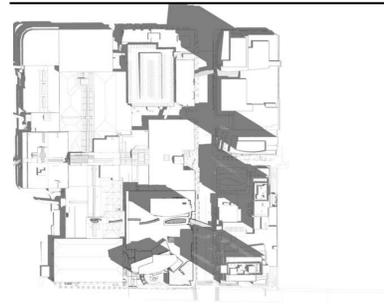
June 1 pm



June 3 pm



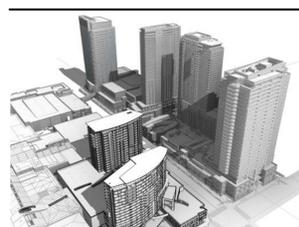
June 5 pm



Mar / Sep 9 am



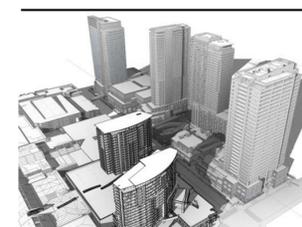
Mar / Sep 11 am



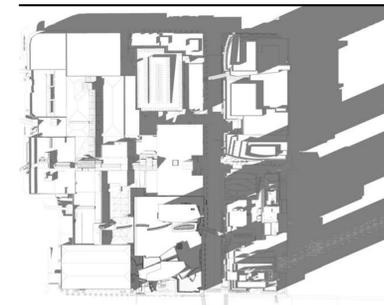
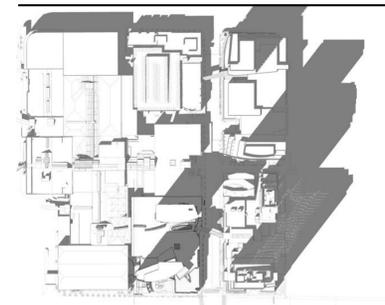
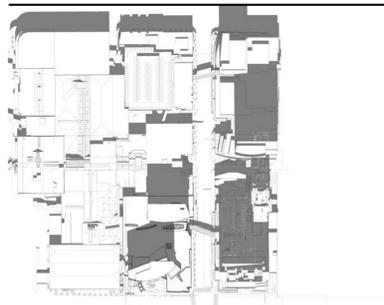
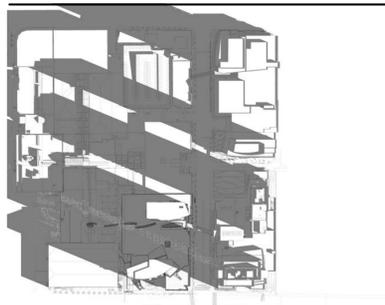
Mar / Sep 1 pm



Mar / Sep 3 pm



Mar / Sep 5 pm



Dec 9 am



Dec 11 am



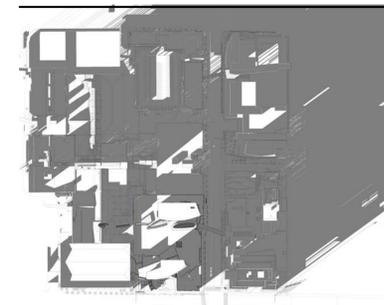
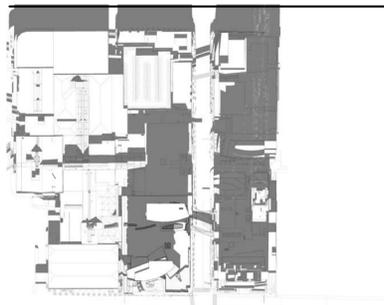
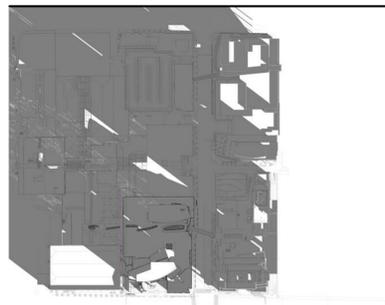
Dec 1 pm

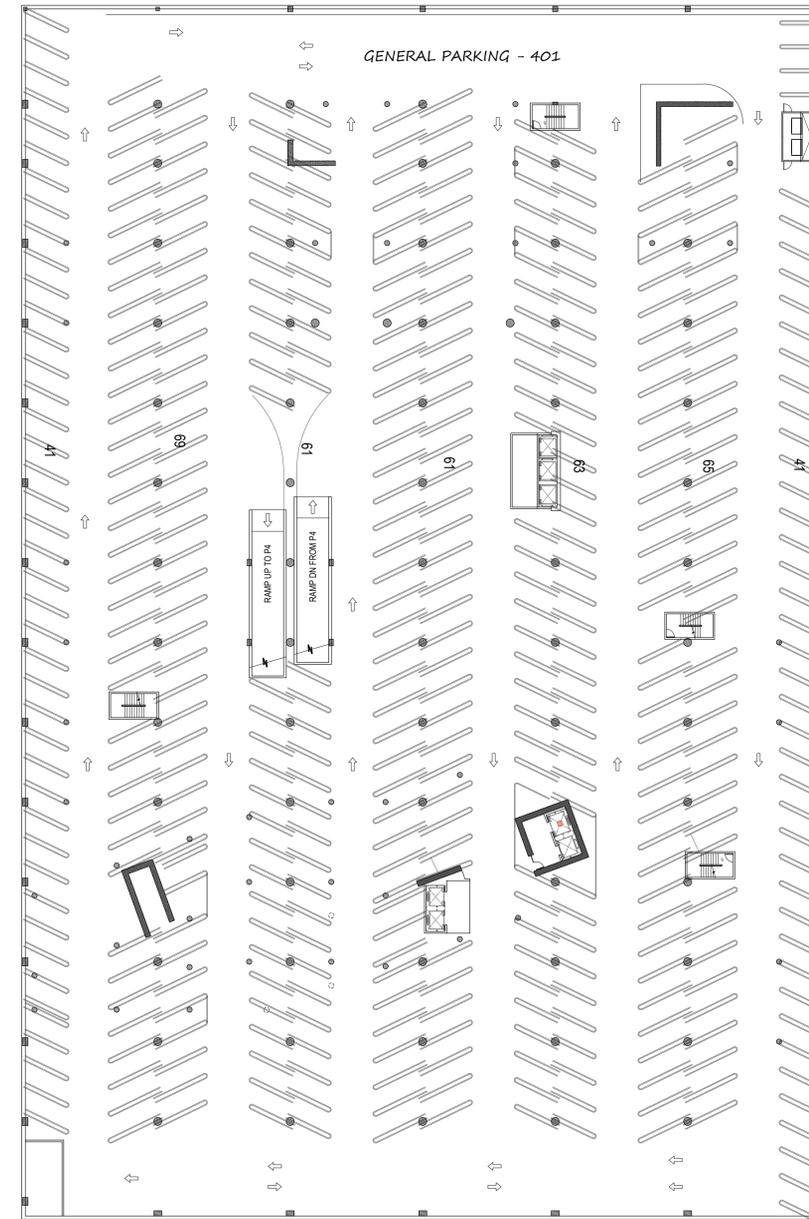
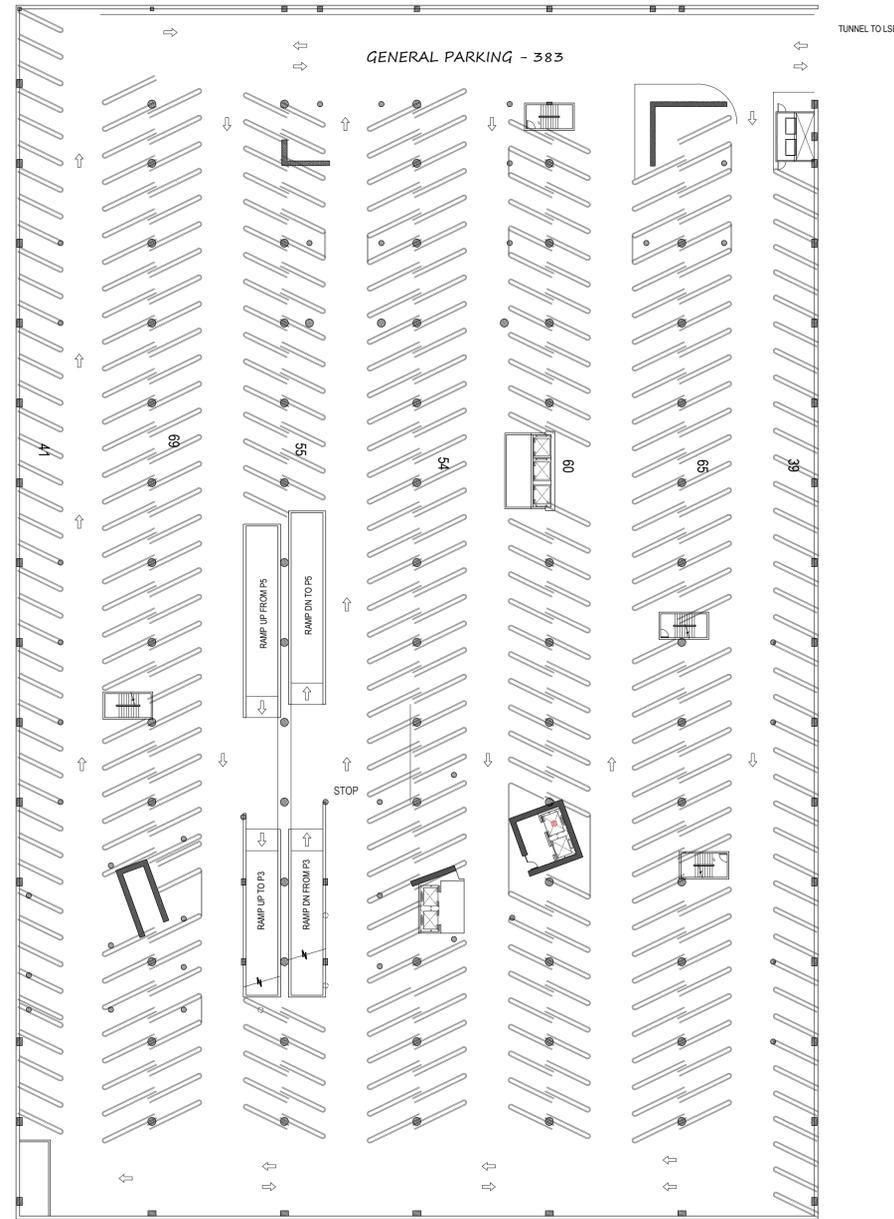


Dec 3 pm



Dec 5 pm





**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

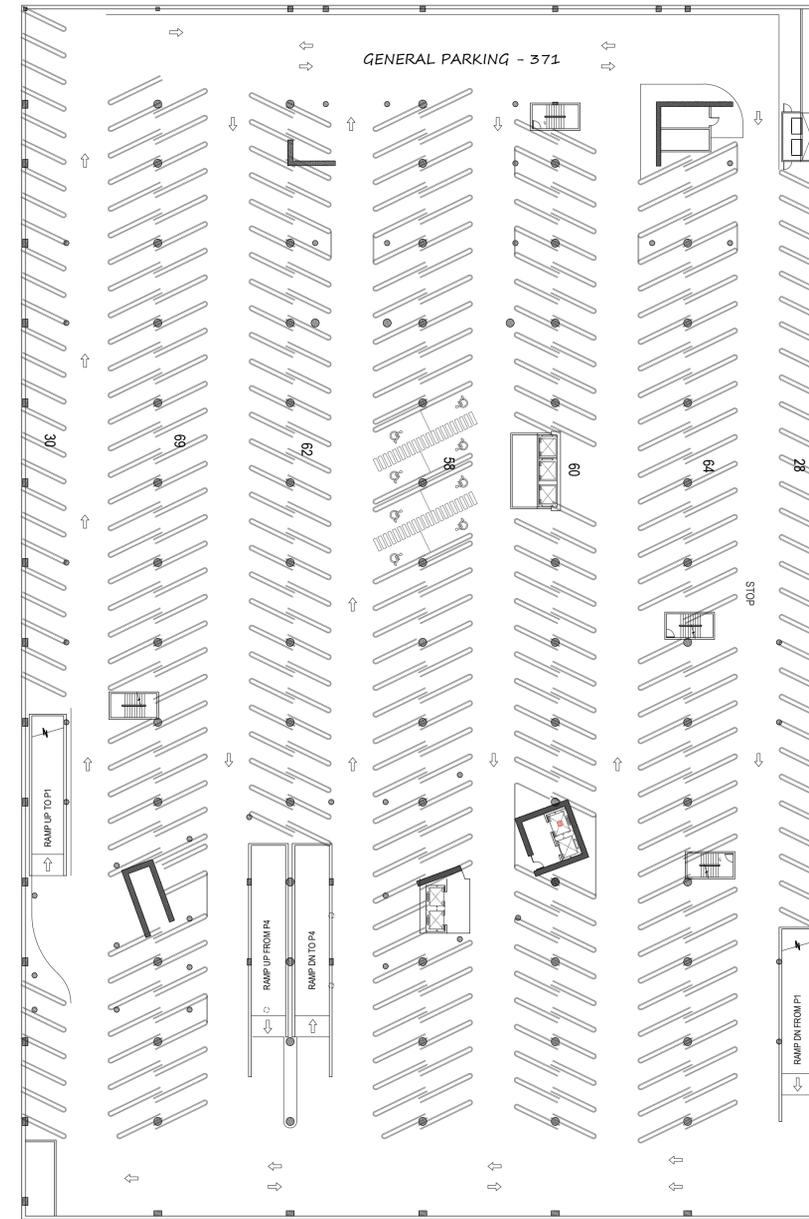
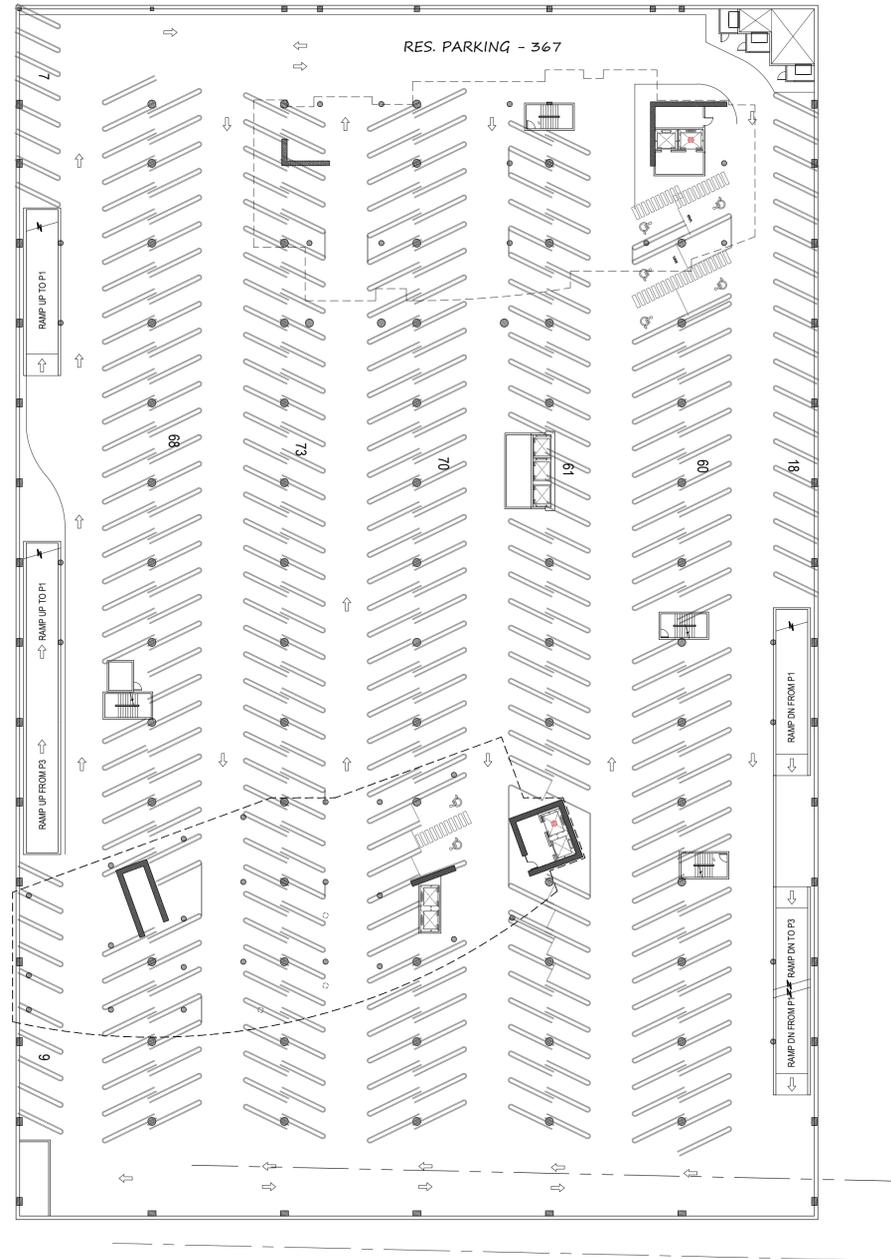
**FLOOR PLANS  
GARAGE**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.1**

**SCLATER PARTNERS  
ARCHITECTS, PC**





**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLANS  
GARAGE**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.2**

**SCLATER PARTNERS  
ARCHITECTS, PC**

AR E E 2

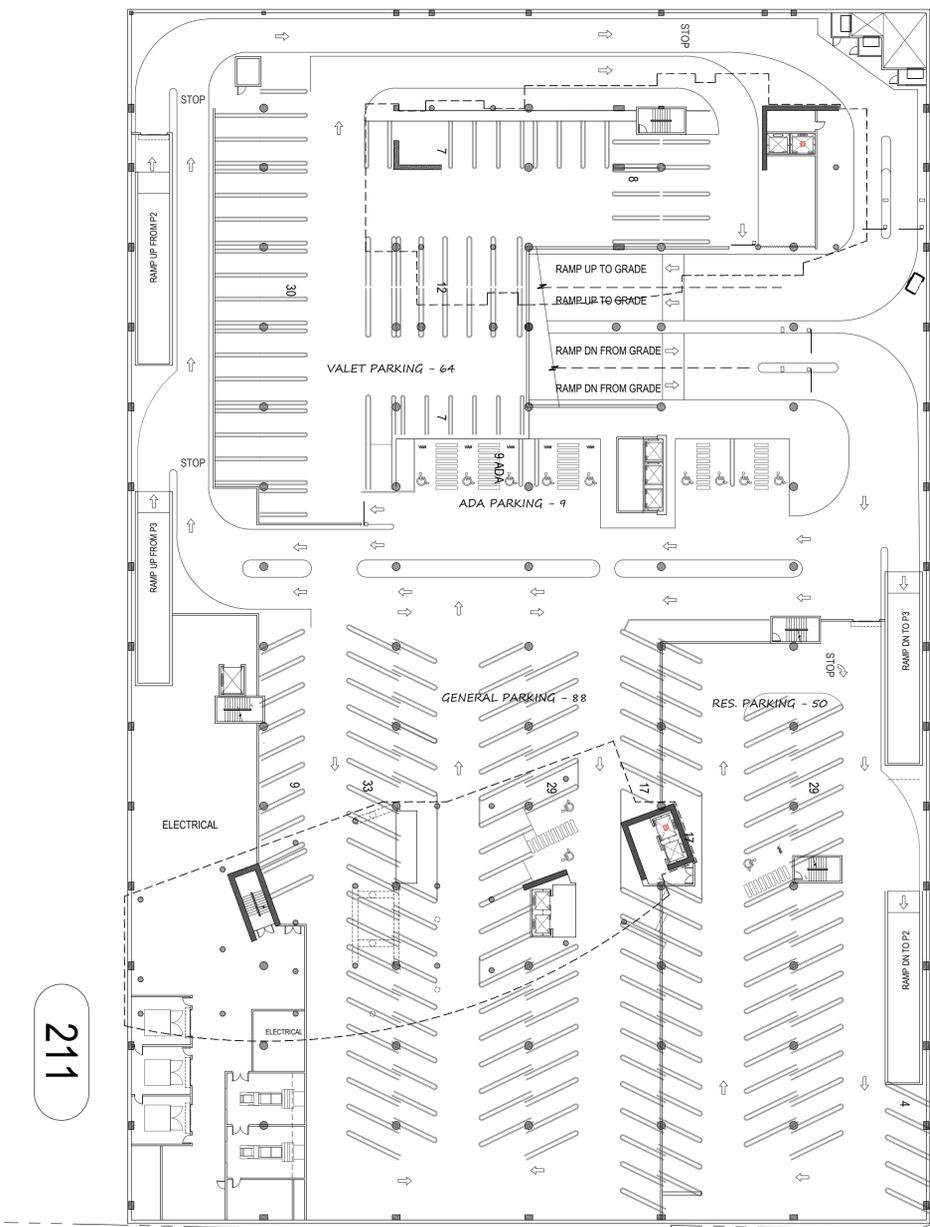
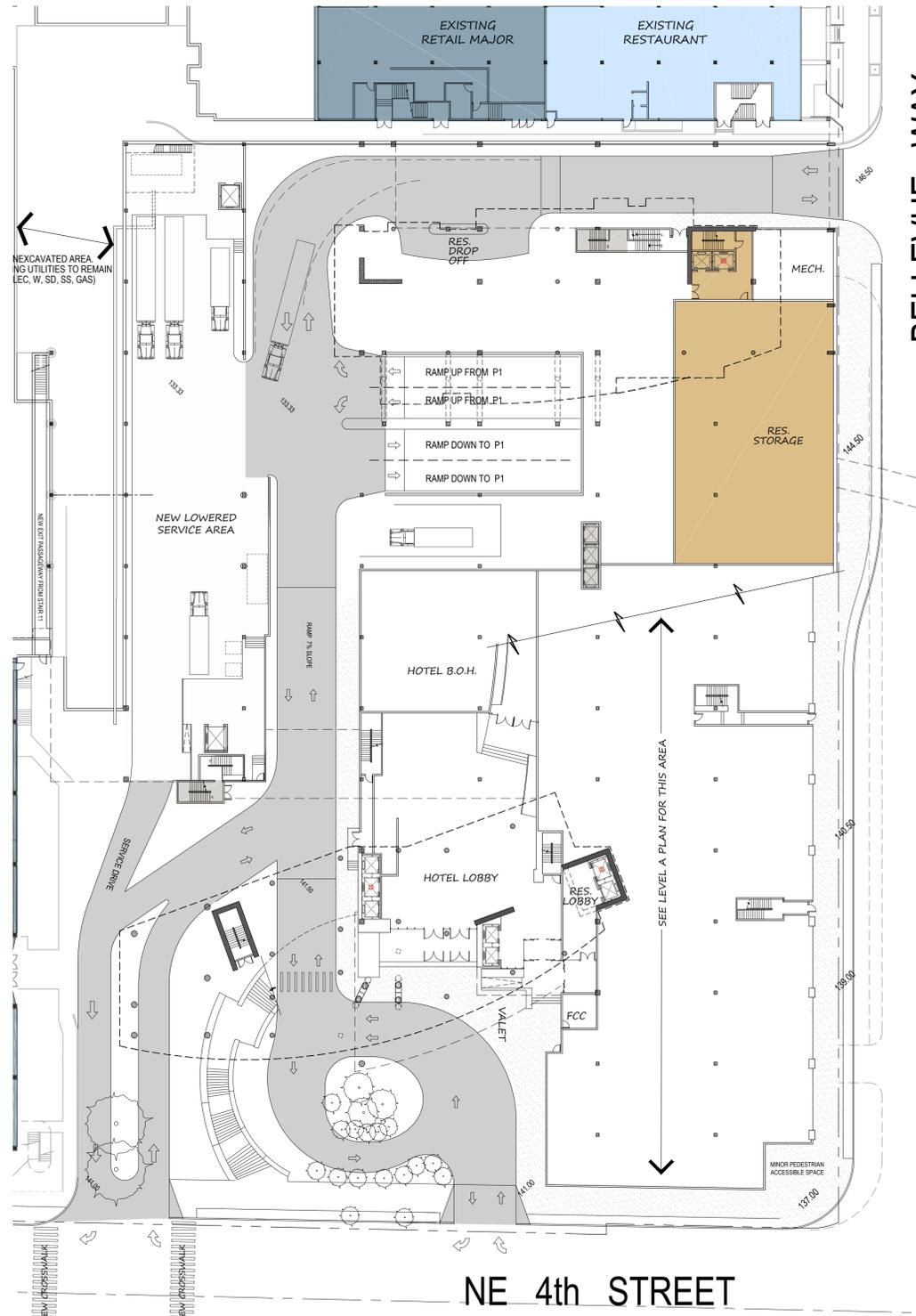
S.I.A.E. 1/32" = 1'-0" **2**

NORTH

AR E E 3

S.I.A.E. 1/32" = 1'-0" **1**

NORTH



**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

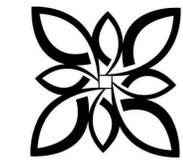
SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLANS  
GARAGE**

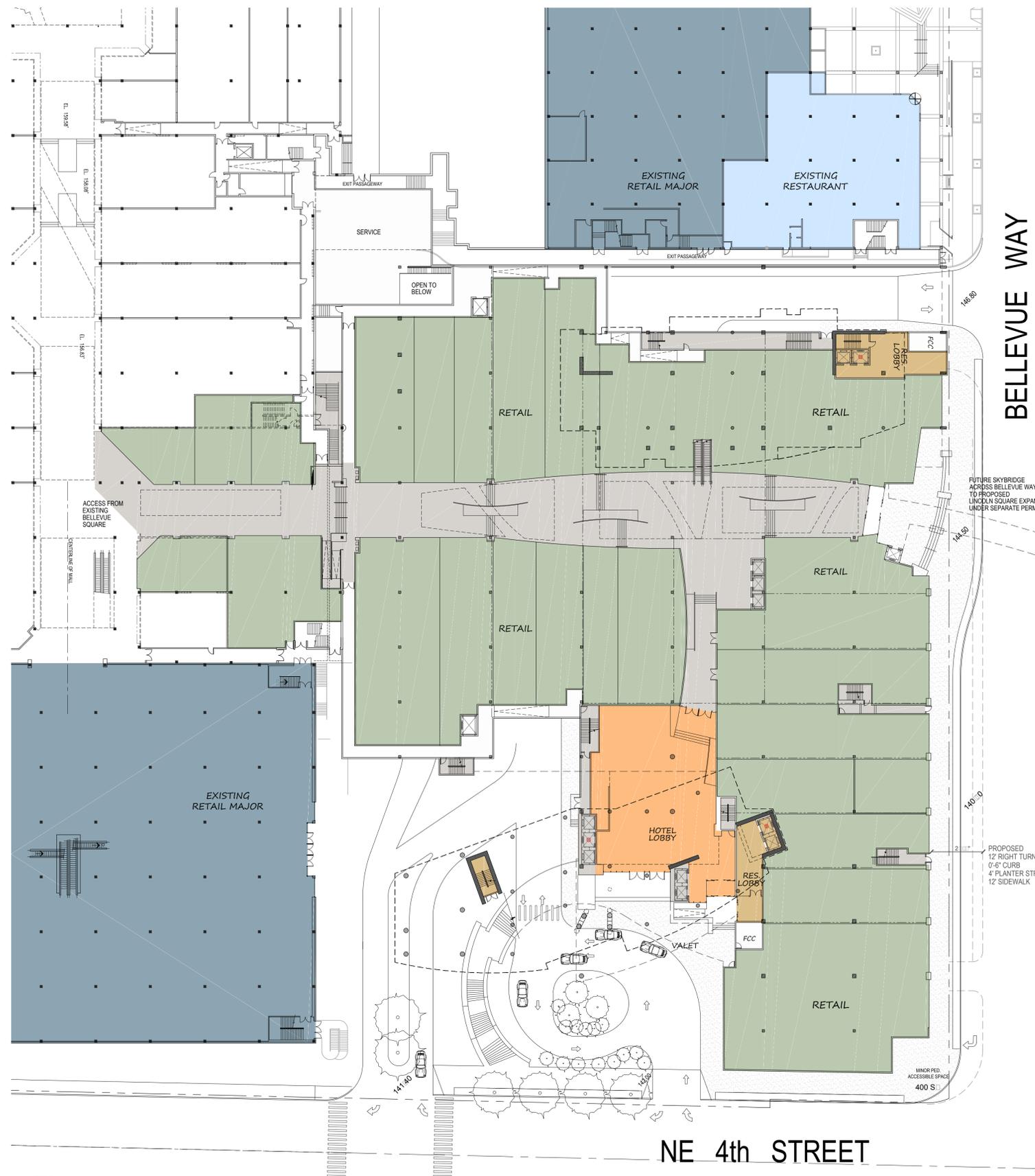
**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.3**

**SCLATER PARTNERS  
ARCHITECTS, PC**



BELLEVUE  
SQUARE™  
KEMPER  
DEVELOPMENT  
COMPANY



- Legend:
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

BELLEVUE WAY

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
A**

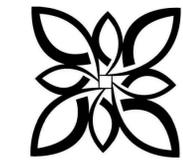
**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.4**

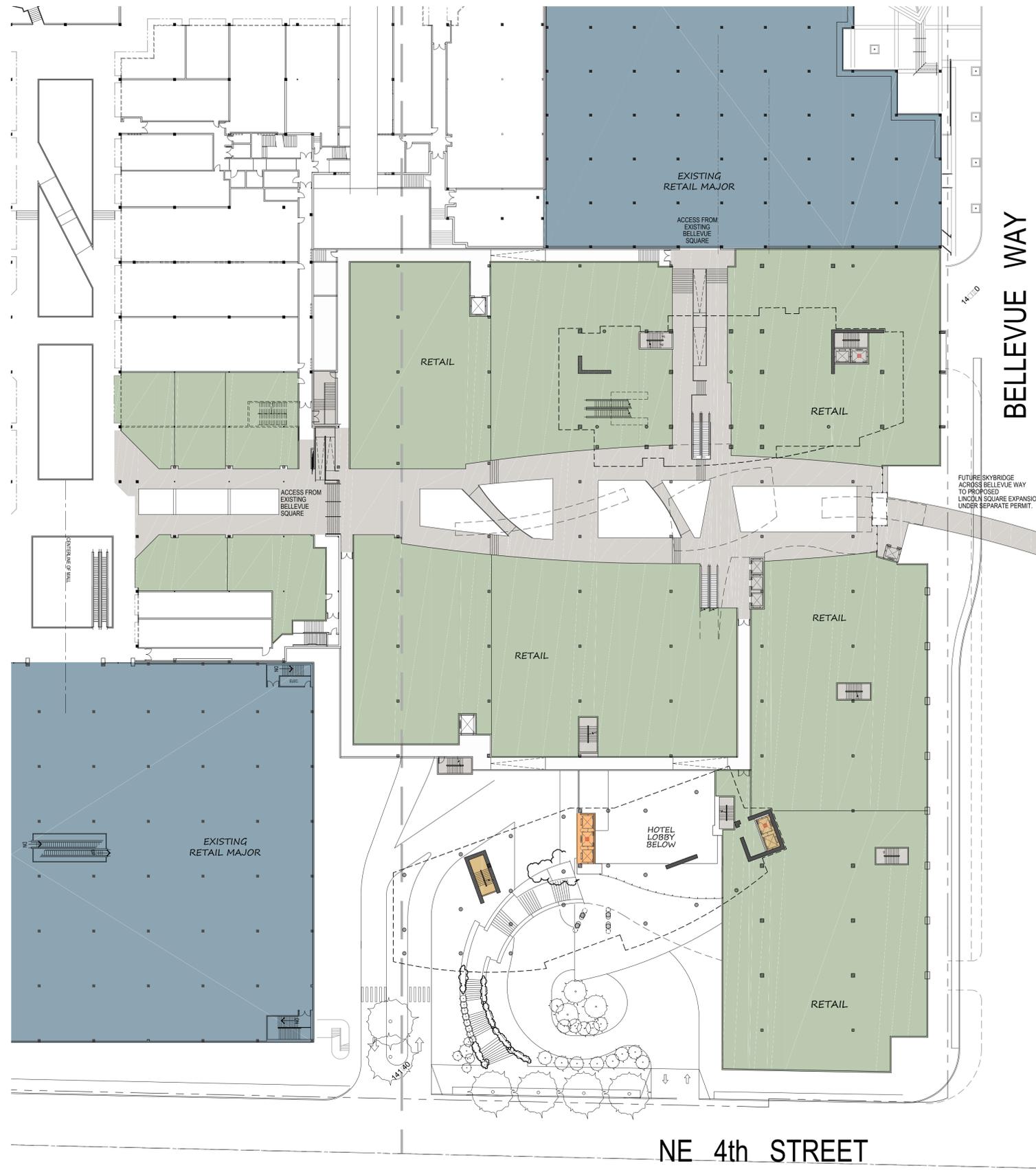
**SCLATER PARTNERS  
ARCHITECTS, PC**

Scale: 1/32" = 1'-0"

North Arrow



BELLEVUE  
SQUARE™  
KEMPER  
DEVELOPMENT  
COMPANY



BELLEVUE WAY

FUTURE SKYBRIDGE  
ACROSS BELLEVUE WAY  
TO PROPOSED  
LINCOLN SQUARE EXPANSION  
UNDER SEPARATE PERMIT.

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
B**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.5**

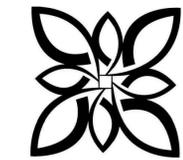
**SCLATER PARTNERS  
ARCHITECTS, PC**

Legend

- COLOR INDICATES MAJOR RETAIL STORES
- COLOR INDICATES RETAIL STORES
- COLOR INDICATES HOTEL AREAS
- COLOR INDICATES RESIDENTIAL AREAS
- COLOR INDICATES RESTAURANT
- COLOR INDICATES OFFICE / COMMERCIAL
- COLOR INDICATES COMMON AREAS
- COLOR INDICATES SERVICES
- COLOR INDICATES PARKING AREAS



SCALE: 1/32" = 1'-0"



BELLEVUE  
SQUARE™  
KEMPER  
DEVELOPMENT  
COMPANY



E E D

- COLOR INDICATES MAJOR RETAIL STORES
- COLOR INDICATES RETAIL STORES
- COLOR INDICATES HOTEL AREAS
- COLOR INDICATES RESIDENTIAL AREAS
- COLOR INDICATES RESTAURANT
- COLOR INDICATES OFFICE / COMMERCIAL
- COLOR INDICATES COMMON AREAS
- COLOR INDICATES SERVICES
- COLOR INDICATES PARKING AREAS

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
C**

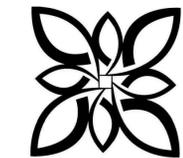
**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.6**

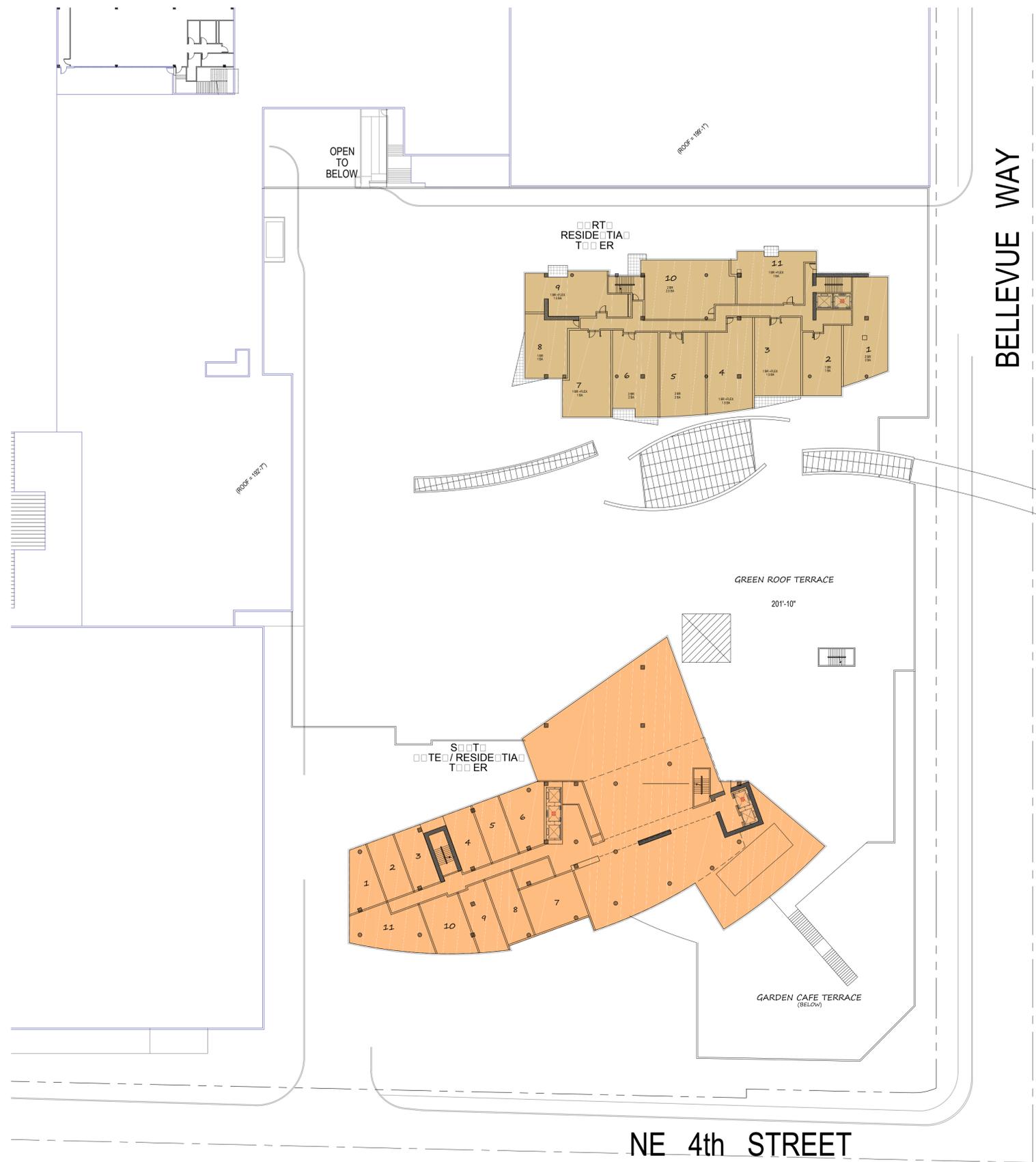
**SCLATER PARTNERS  
ARCHITECTS, PC**



E E D SCALE: 1/32" = 1'-0" 1



BELLEVUE  
SQUARE™  
KEMPER  
DEVELOPMENT  
COMPANY



- Legend:
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

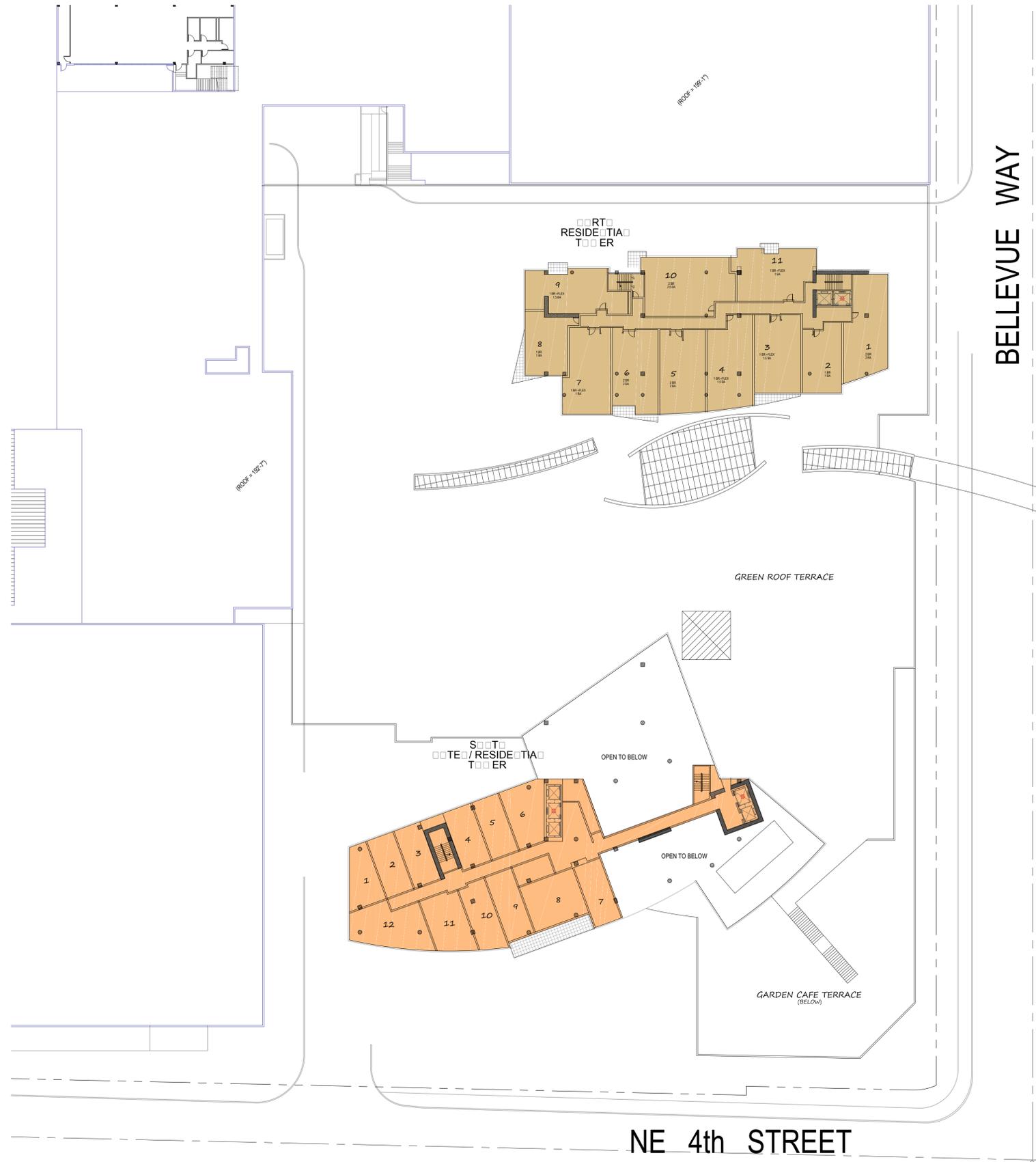
**FLOOR PLAN LEVEL  
D**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.7**

**SCLATER PARTNERS  
ARCHITECTS, PC**

NORTH  
 SCALE: 1/32" = 1'-0"  
1



- Legend:
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

BELLEVUE WAY

NE 4th STREET

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
5**

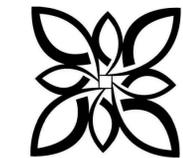
**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.8**

**SCLATER PARTNERS  
ARCHITECTS, PC**

NORTH

SCALE: **1**  
1/32" = 1'-0"



BELLEVUE  
SQUARE™  
KEMPER  
DEVELOPMENT  
COMPANY



BELLEVUE WAY

NE 4th STREET

**Revisions**

Rev	Date	Description
1.	10-13-2013	

BELLEVUE SQUARE  
SE CORNER

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
6-14**

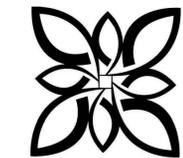
**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.9**

**SCLATER PARTNERS  
ARCHITECTS, PC**

- LEGEND**
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

NORTH  
 SCALE: 1/32" = 1'-0"  
 SHEET 14



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BELLEVUE WAY

NE 4th STREET

**Revisions**

Rev	Date	Description
1.	10-13-2013	

BELLEVUE SQUARE  
SE CORNER

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
15**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

**A2.10**

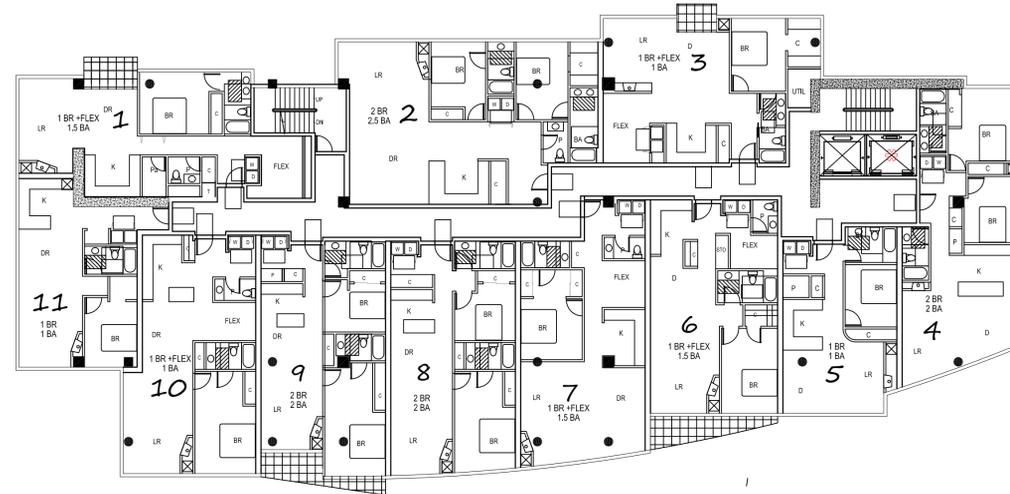
**SCLATER PARTNERS  
ARCHITECTS, PC**

- LEGEND**
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

NORTH  
 SCALE: 1/32" = 1'-0"  
 1



**KEMPER  
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COMPANY**



TYPICAL RESIDENTIAL FLOOR PLAN NORTH TOWER

NORTH  
SCALE: 1/16" = 1'-0" **2**

Revisions		
Rev	Date	Description
1	10/25/13	RESUBMITTAL FOR 2 TOWER SCHEME



TYPICAL RESIDENTIAL FLOOR PLAN SOUTH TOWER

NORTH  
SCALE: 1/16" = 1'-0" **1**

**BELLEVUE SQUARE  
SE CORNER**

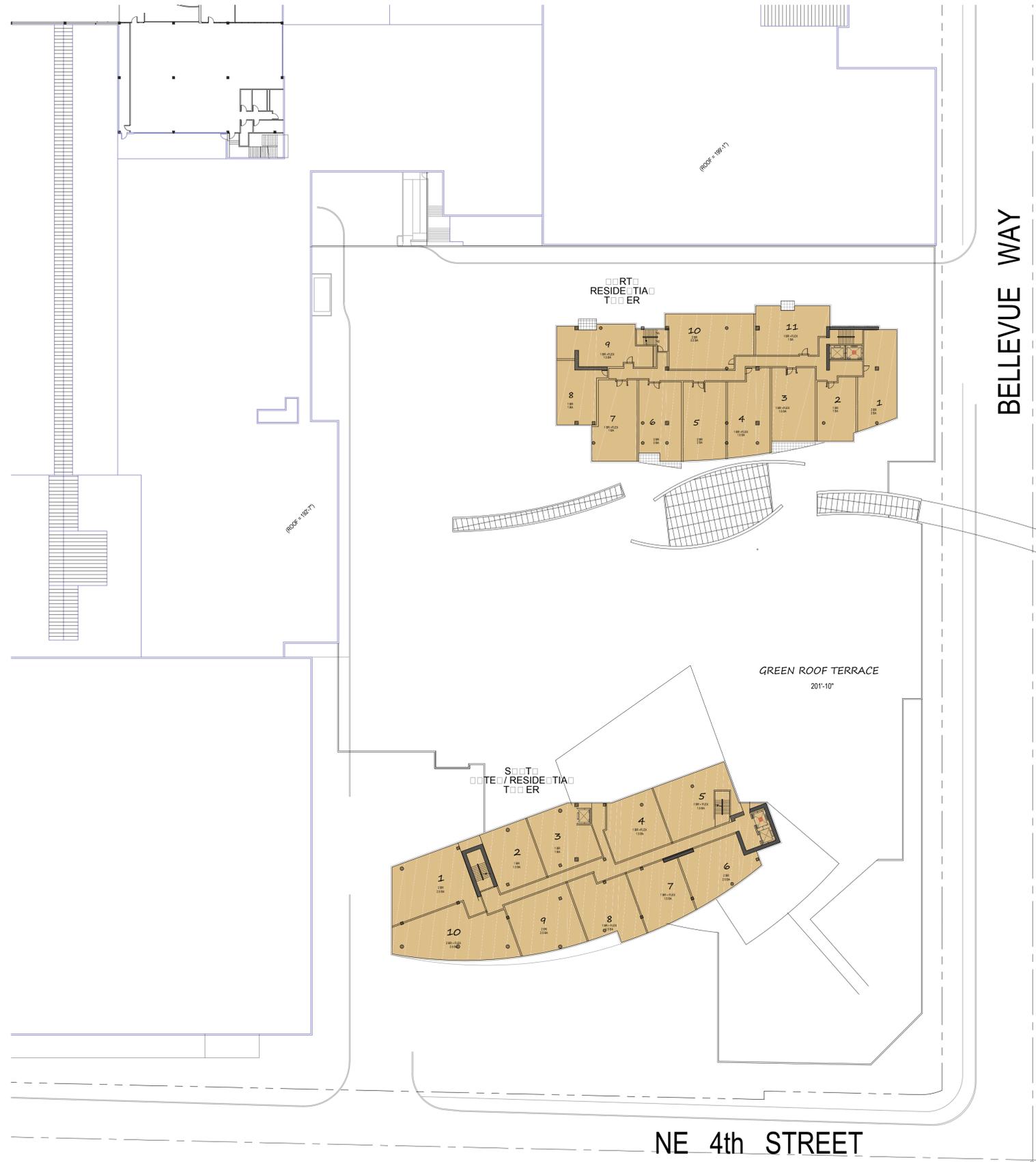
**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ENLARGED TOWER  
FLOOR PLANS**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A2.10a**

**SCLATER PARTNERS  
ARCHITECTS, PC**



- Legend:
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE SE CORNER**

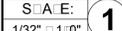
SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

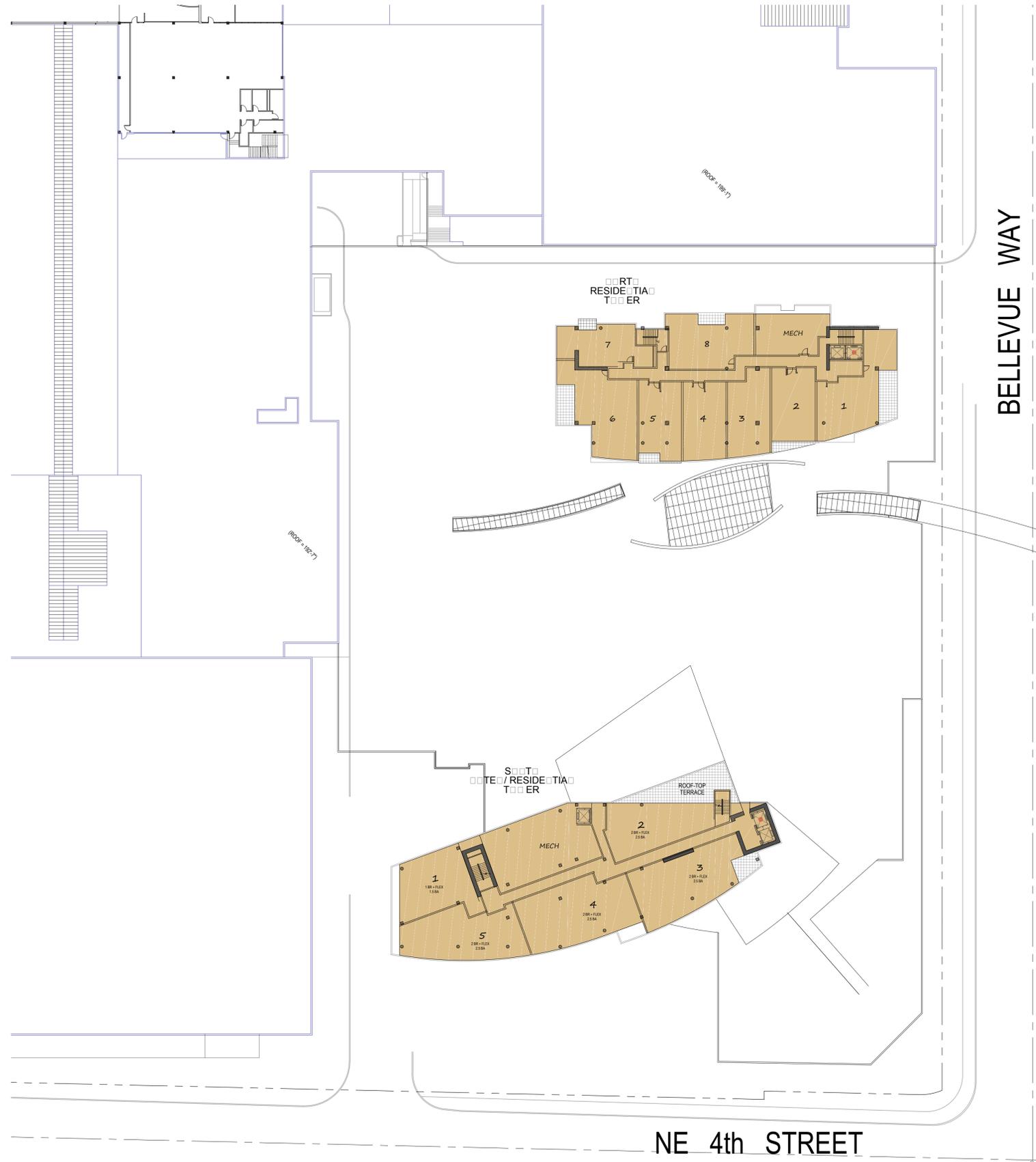
**FLOOR PLAN LEVEL 16-19**

**DESIGN REVIEW SUBMITTAL  
APRIL 05, 2013**

**A2.11**

**SCLATER PARTNERS ARCHITECTS, PC**

 NORTH  
 1" = 10'-0"  
 1" = 10'-0"



- Legend:
- COLOR INDICATES MAJOR RETAIL STORES
  - COLOR INDICATES RETAIL STORES
  - COLOR INDICATES HOTEL AREAS
  - COLOR INDICATES RESIDENTIAL AREAS
  - COLOR INDICATES RESTAURANT
  - COLOR INDICATES OFFICE / COMMERCIAL
  - COLOR INDICATES COMMON AREAS
  - COLOR INDICATES SERVICES
  - COLOR INDICATES PARKING AREAS

**Revisions**

Rev	Date	Description
1.	10-13-2013	

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
575 BELLEVUE SQUARE  
BELLEVUE, WA 98004

**FLOOR PLAN LEVEL  
20**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 05, 2013**

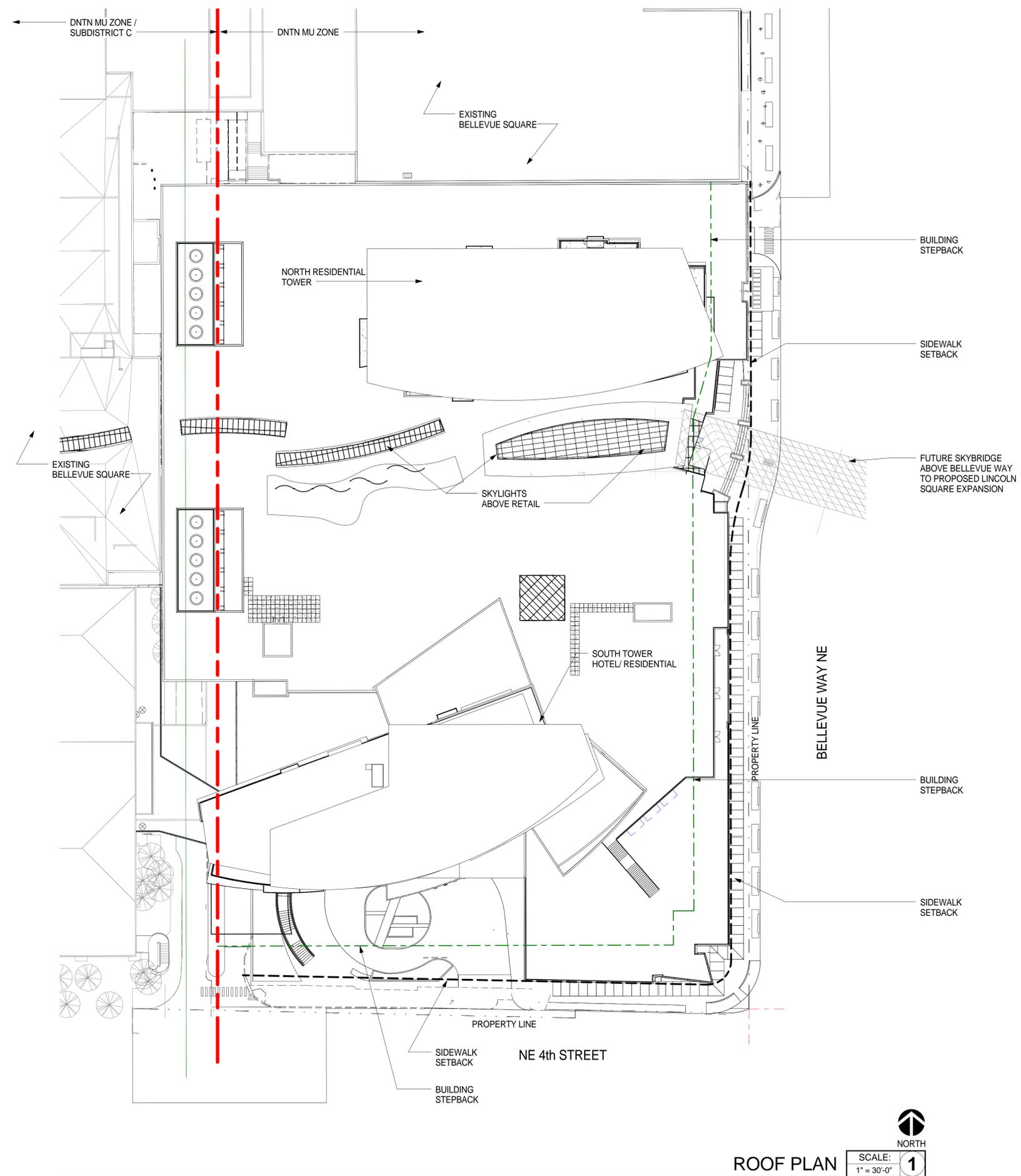
**A2.12**

**SCLATER PARTNERS  
ARCHITECTS, PC**

Sheet: **20**

Scale: **1/32" = 1'-0"**

North Arrow



**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ROOF PLAN**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A2.13**

**SCLATER PARTNERS  
ARCHITECTS, PC**

**ROOF PLAN**

NORTH

SCALE:  
1" = 30'-0"

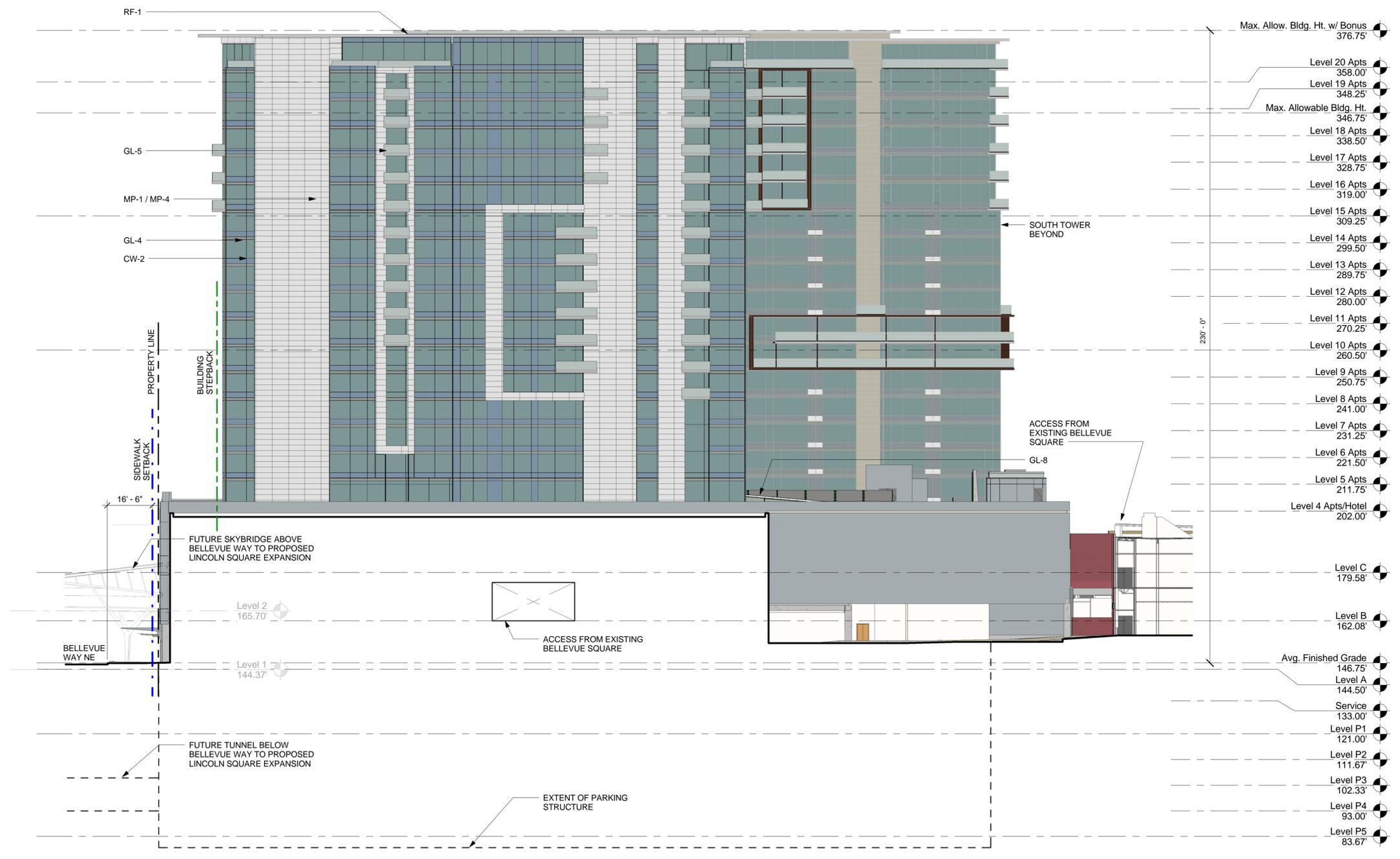
**1**

**MATERIALS LEGEND**

PRODUCT	DESCRIPTION	COLOR	PRODUCT	DESCRIPTION	COLOR
SF-1	Anodized aluminum	Clear	MS-1	Flat metal screen- clear anodized aluminum	Clear
CW-1	Anodized aluminum	Clear	PAV-1	2' x 2' paver on pedestal system	--
CW-2	4-sided toggle glazed structural silicone glazed	Charcoal	RF-1	Metal roof	9967 Pewter
CW-3	4-sided toggle glazed structural silicone glazed	Charcoal	ST-1	Limestone- dimension stone for exterior cladding	Kieron Grey Limestone Flamed
GL-1	Vision glass insulated 1", low-e	Clear	ST-2	Limestone- dimension stone for exterior cladding	New Zuri Limestone Honed
GL-2	Spandrel to match vision glass	Spandrel	WP-1	Composite wood panel	Amber
GL-3	Vision glass insulated 1", low-e	Clear	WP-2	Composite wood panel	Gold
GL-4	Spandrel to match vision glass	Spandrel			
GL-5	Clear glass railing system	Clear			
GL-7	Vision glass laminated tempered	Clear			
GL-8	Vision glass insulated laminated tempered	Clear			
GL-P	Acrylic Sheet	Glacier			
MP-1	Composite metal panel	9958 Champagne Gold			
MP-2	Cor-ten or sim. Weathered steel. 1 1/4" deep	763 Rust			
MP-3	Composite metal panel	9946 Silversmith			
MP-4	Composite metal panel	9967 Pewter			
MP-5	Composite metal panel	9951 Champagne Pearl			
MP-6	Composite Metal Panel	Pre-weathered Zinc			
MP-7	Composite Metal Panel	9949 Copper			
MP-8	Composite Metal Panel	179 Regal White			
MP-9	Composite Metal Panel	White			



**KEMPER  
DEVELOPMENT  
COMPANY**



**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ELEVATION - NORTH**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.1**

**SCLATER PARTNERS  
ARCHITECTS, PC**

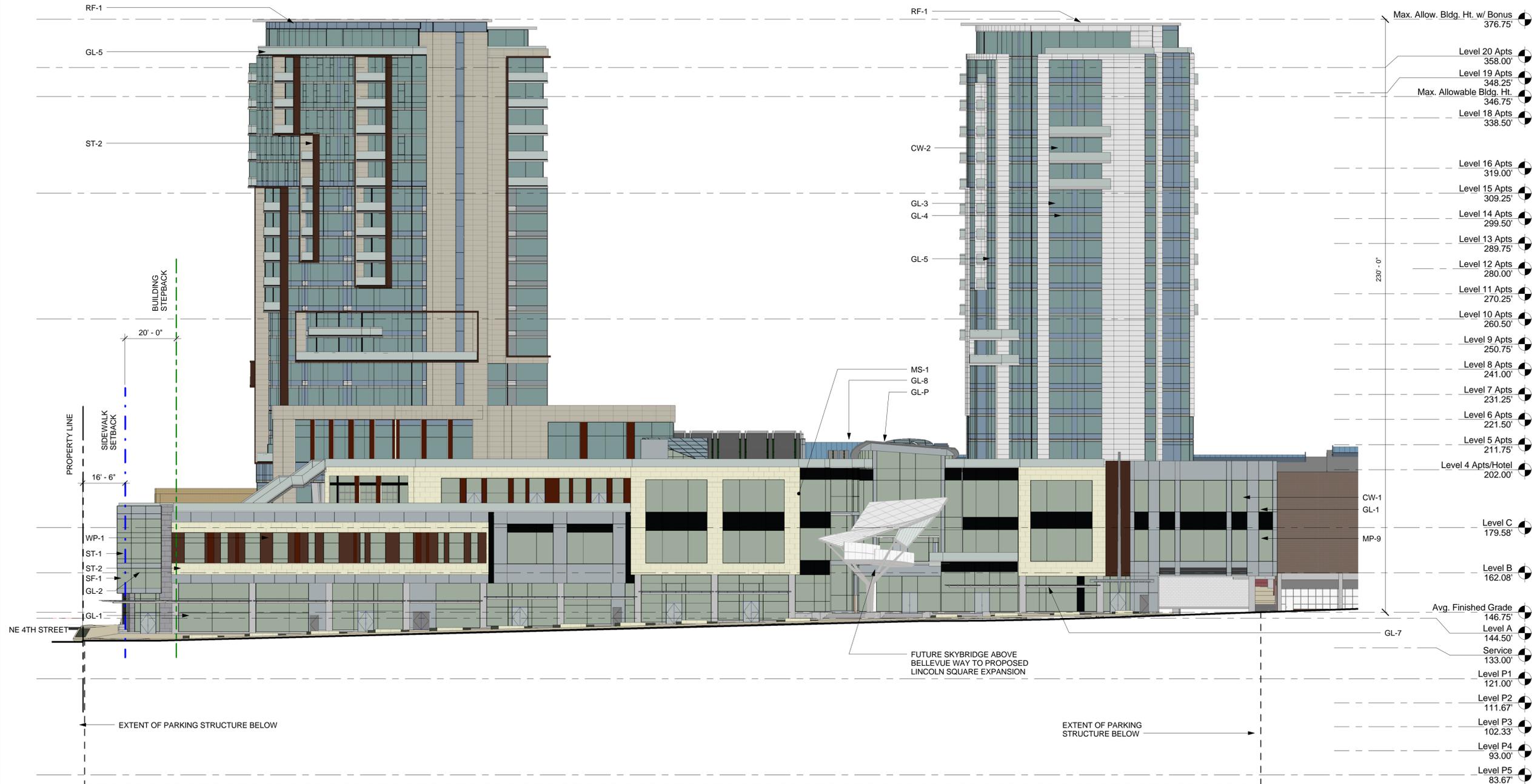
**NORTH ELEVATION** SCALE: 1" = 20'-0" **1**

**MATERIALS LEGEND**

PRODUCT	DESCRIPTION	COLOR	PRODUCT	DESCRIPTION	COLOR
SF-1	Anodized aluminum	Clear	MS-1	Flat metal screen- clear anodized aluminum	Clear
CW-1	Anodized aluminum	Clear	PAV-1	2' x 2' paver on pedestal system	--
CW-2	4-sided toggle glazed structural silicone glazed	Charcoal	RF-1	Metal roof	9967 Pewter
CW-3	4-sided toggle glazed structural silicone glazed	Charcoal	ST-1	Limestone- dimension stone for exterior cladding	Kieron Grey Limestone Flamed
GL-1	Vision glass insulated 1", low-e	Clear	ST-2	Limestone- dimension stone for exterior cladding	New Zuri Limestone Honed
GL-2	Spandrel to match vision glass	Clear	WP-1	Composite wood panel	Amber
GL-3	Vision glass insulated 1", low-e	Spandrel	WP-2	Composite wood panel	Gold
GL-4	Spandrel to match vision glass	Clear			
GL-5	Clear glass railing system	Clear			
GL-7	Vision glass laminated tempered	Clear			
GL-8	Vision glass insulated laminated tempered	Clear			
GL-P	Acrylic Sheet	Glacier			
MP-1	Composite metal panel	9958 Champagne Gold			
MP-2	Cor-ten or sim. Weathered steel. 1 1/4" deep	763 Rust			
MP-3	Composite metal panel	9946 Silversmith			
MP-4	Composite metal panel	9967 Pewter			
MP-5	Composite metal panel	9951 Champagne Pearl			
MP-6	Composite Metal Panel	Pre-weathered Zinc			
MP-7	Composite Metal Panel	9949 Copper			
MP-8	Composite Metal Panel	179 Regal White			
MP-9	Composite Metal Panel	White			



**KEMPER  
DEVELOPMENT  
COMPANY**



**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ELEVATION - EAST**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.2**

**SCLATER PARTNERS  
ARCHITECTS, PC**

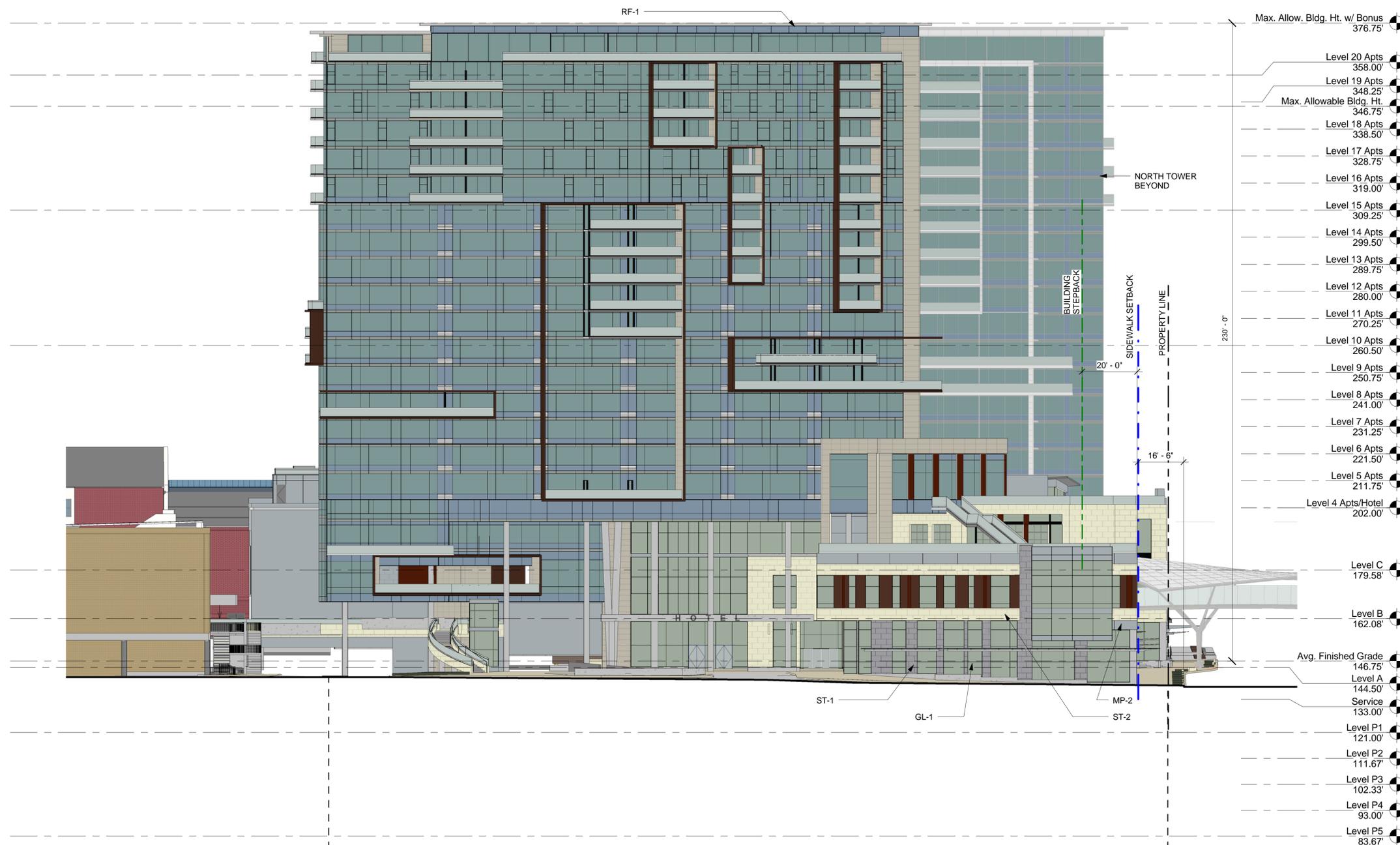
**EAST ELEVATION** SCALE: 1" = 20'-0" **1**

**MATERIALS LEGEND**

PRODUCT	DESCRIPTION	COLOR	PRODUCT	DESCRIPTION	COLOR
SF-1	Anodized aluminum	Clear	MS-1	Flat metal screen- clear anodized aluminum	Clear
CW-1	Anodized aluminum	Clear	PAV-1	2' x 2' paver on pedestal system	--
CW-2	4-sided toggle glazed structural silicone glazed	Charcoal	RF-1	Metal roof	9967 Pewter
CW-3	4-sided toggle glazed structural silicone glazed	Charcoal	ST-1	Limestone- dimension stone for exterior cladding	Kieron Grey Limestone Flamed
GL-1	Vision glass insulated 1", low-e	Clear	ST-2	Limestone- dimension stone for exterior cladding	New Zuri Limestone Honed
GL-2	Spandrel to match vision glass	Clear	WP-1	Composite wood panel	Amber
GL-3	Vision glass insulated 1", low-e	Clear	WP-2	Composite wood panel	Gold
GL-4	Spandrel to match vision glass	Spandrel			
GL-5	Clear glass railing system	Clear			
GL-7	Vision glass laminated tempered	Clear			
GL-8	Vision glass insulated laminated tempered	Clear			
GL-P	Acrylic Sheet	Glacier			
MP-1	Composite metal panel	9958 Champagne Gold			
MP-2	Cor-ten or sim. Weathered steel. 1 1/4" deep	763 Rust			
MP-3	Composite metal panel	9946 Silversmith			
MP-4	Composite metal panel	9967 Pewter			
MP-5	Composite metal panel	9951 Champagne Pearl			
MP-6	Composite Metal Panel	Pre-weathered Zinc			
MP-7	Composite Metal Panel	9949 Copper			
MP-8	Composite Metal Panel	179 Regal White			
MP-9	Composite Metal Panel	White			



**KEMPER  
DEVELOPMENT  
COMPANY**



**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ELEVATION - SOUTH**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.3**

**SCLATER PARTNERS  
ARCHITECTS, PC**

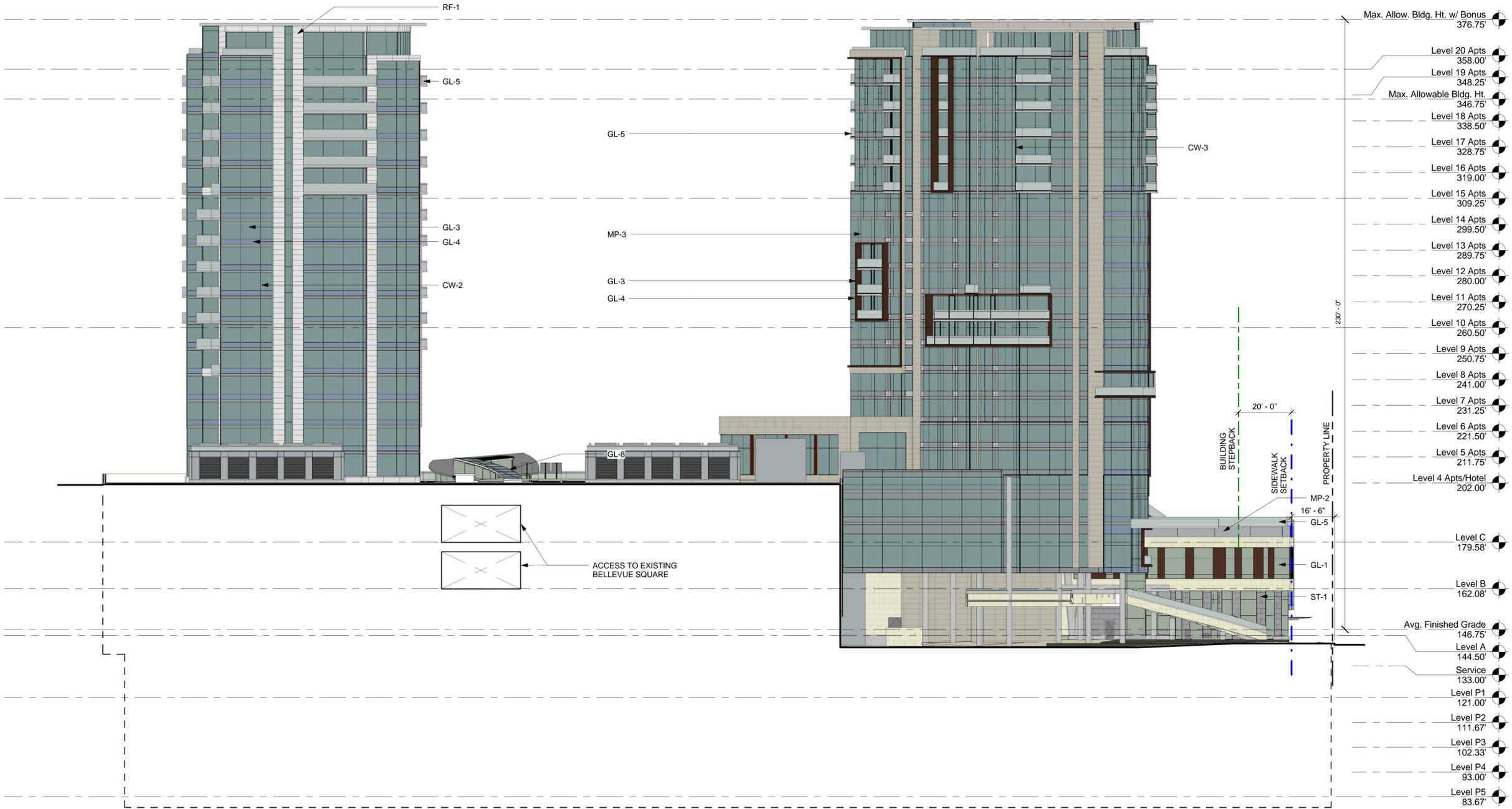
**SOUTH ELEVATION** SCALE: 1" = 20'-0" **1**

**MATERIALS LEGEND**

PRODUCT	DESCRIPTION	COLOR	PRODUCT	DESCRIPTION	COLOR
SF-1	Anodized aluminum	Clear	MS-1	Flat metal screen- clear anodized aluminum	Clear
CW-1	Anodized aluminum	Clear	PAV-1	2' x 2' paver on pedestal system	--
CW-2	4-sided toggle glazed structural silicone glazed	Charcoal	RF-1	Metal roof	9967 Pewter
CW-3	4-sided toggle glazed structural silicone glazed	Charcoal	ST-1	Limestone- dimension stone for exterior cladding	Kieron Grey Limestone Flamed
GL-1	Vision glass insulated 1", low-e	Clear	ST-2	Limestone- dimension stone for exterior cladding	New Zuri Limestone Honed
GL-2	Spandrel to match vision glass	Spandrel	WP-1	Composite wood panel	Amber
GL-3	Vision glass insulated 1", low-e	Clear	WP-2	Composite wood panel	Gold
GL-4	Spandrel to match vision glass	Spandrel			
GL-5	Clear glass railing system	Clear			
GL-7	Vision glass laminated tempered	Clear			
GL-8	Vision glass insulated laminated tempered	Clear			
GL-P	Acrylic Sheet	Glacier			
MP-1	Composite metal panel	9958 Champagne Gold			
MP-2	Cor-ten or sim. Weathered steel. 1 1/4" deep	763 Rust			
MP-3	Composite metal panel	9946 Silversmith			
MP-4	Composite metal panel	9967 Pewter			
MP-5	Composite metal panel	9951 Champagne Pearl			
MP-6	Composite Metal Panel	Pre-weathered Zinc			
MP-7	Composite Metal Panel	9949 Copper			
MP-8	Composite Metal Panel	179 Regal White			
MP-9	Composite Metal Panel	White			



**KEMPER  
DEVELOPMENT  
COMPANY**



**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ELEVATION - WEST**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.4**

**SCLATER PARTNERS  
ARCHITECTS, PC**

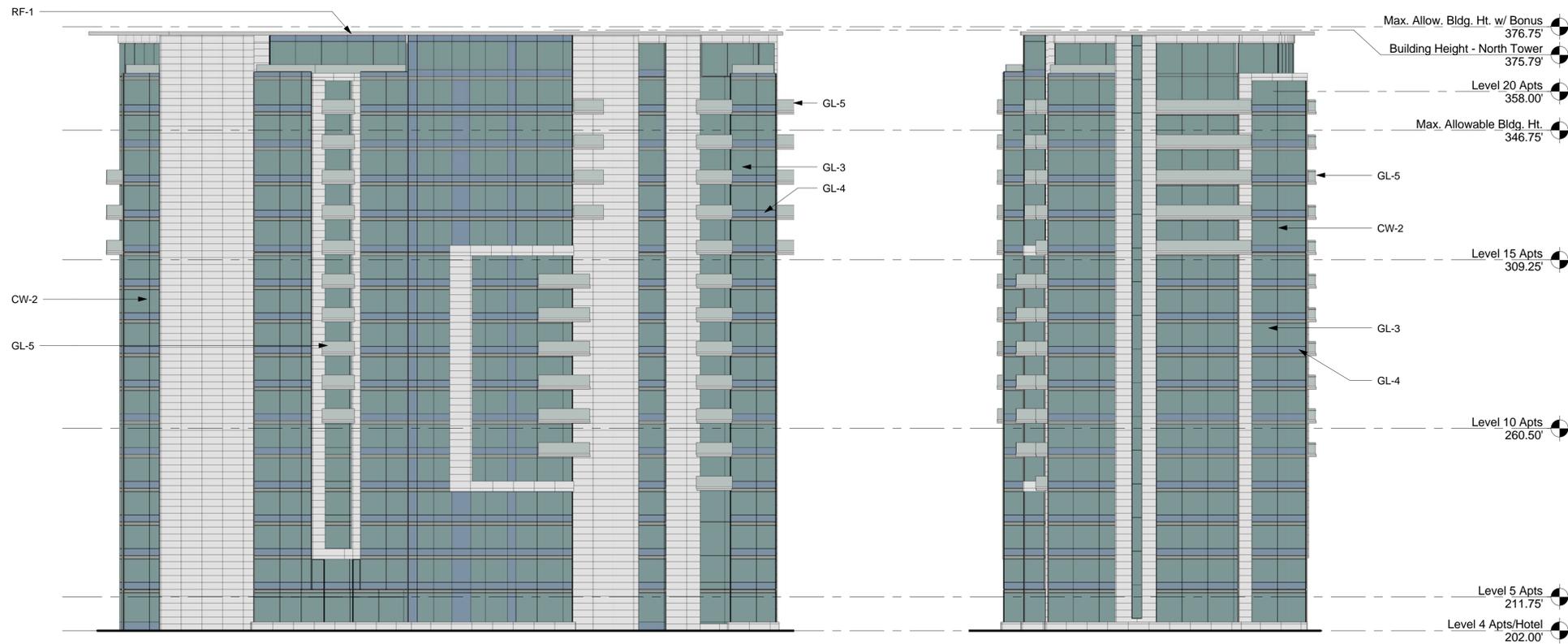
WEST ELEVATION SCALE: 1" = 20'-0" **1**



**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme



**NORTH ELEVATION** SCALE: 1" = 20'-0" **1**

**WEST ELEVATION** SCALE: 1" = 20'-0" **2**

**MATERIALS LEGEND**

PRODUCT	DESCRIPTION	COLOR
SF-1	Anodized aluminum	Clear
CW-1	Anodized aluminum	Clear
CW-2	4-sided toggle glazed structural silicone glazed	Charcoal
CW-3	4-sided toggle glazed structural silicone glazed	Charcoal
GL-1	Vision glass insulated 1", low-e	Clear
GL-2	Spandrel to match vision glass	Spandrel
GL-3	Vision glass insulated 1", low-e	Clear
GL-4	Spandrel to match vision glass	Spandrel
GL-5	Clear glass railing system	Clear
GL-7	Vision glass laminated tempered	Clear
GL-8	Vision glass insulated laminated tempered	Clear
GL-P	Acrylic Sheet	Glacier
MP-1	Composite metal panel	9958 Champagne Gold
MP-2	Cor-ten or sim. Weathered steel. 1 1/4" deep	763 Rust
MP-3	Composite metal panel	9946 Silversmith
MP-4	Composite metal panel	9967 Pewter
MP-5	Composite metal panel	9951 Champagne Pearl
MP-6	Composite Metal Panel	Pre-weathered Zinc
MP-7	Composite Metal Panel	9949 Copper
MP-8	Composite Metal Panel	179 Regal White
MP-9	Composite Metal Panel	White
MS-1	Flat metal screen- clear anodized aluminum	Clear
PAV-1	2' x 2' paver on pedestal system	--
RF-1	Metal roof	9967 Pewter
ST-1	Limestone- dimension stone for exterior cladding	Kieron Grey Limestone Flamed
ST-2	Limestone- dimension stone for exterior cladding	New Zuri Limestone Honed
WP-1	Composite wood panel	Amber
WP-2	Composite wood panel	Gold



**SOUTH ELEVATION** SCALE: 1" = 20'-0" **3**

**EAST ELEVATION** SCALE: 1" = 20'-0" **4**

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ELEVATIONS - NORTH  
TOWER**

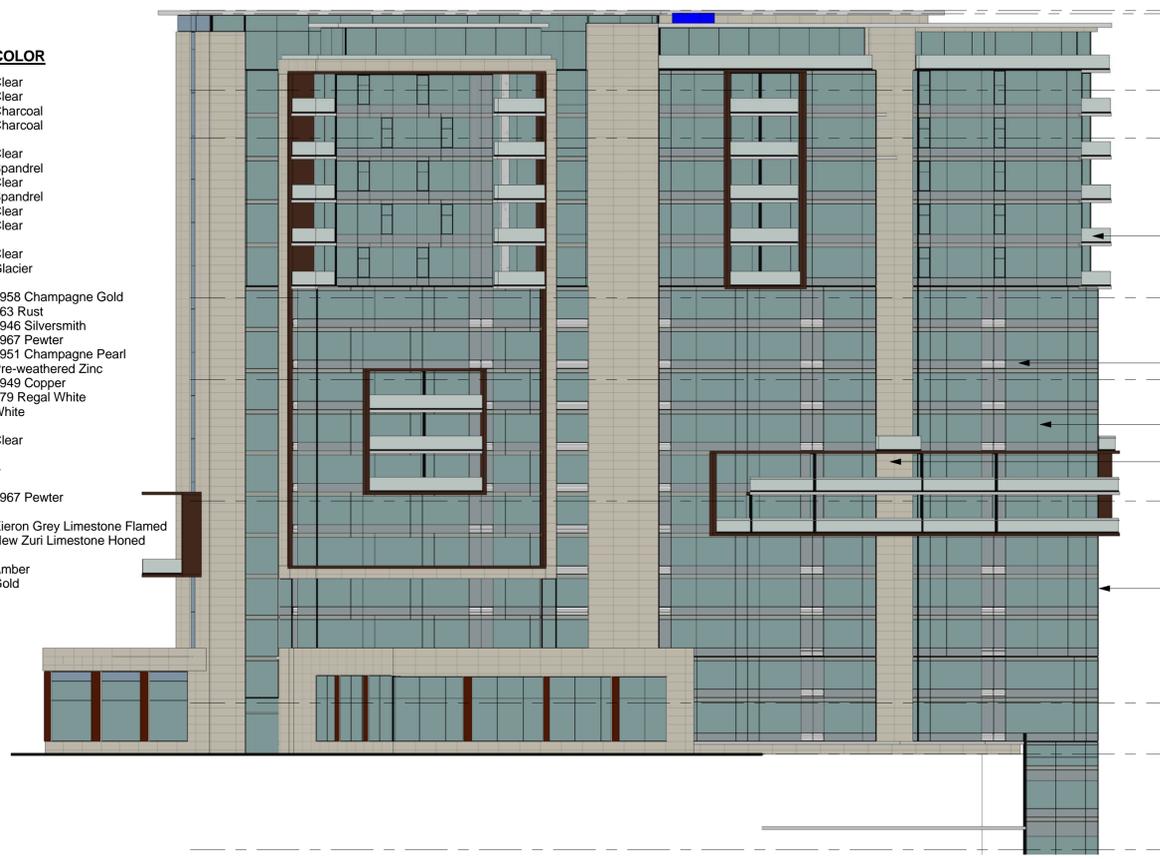
**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.5**

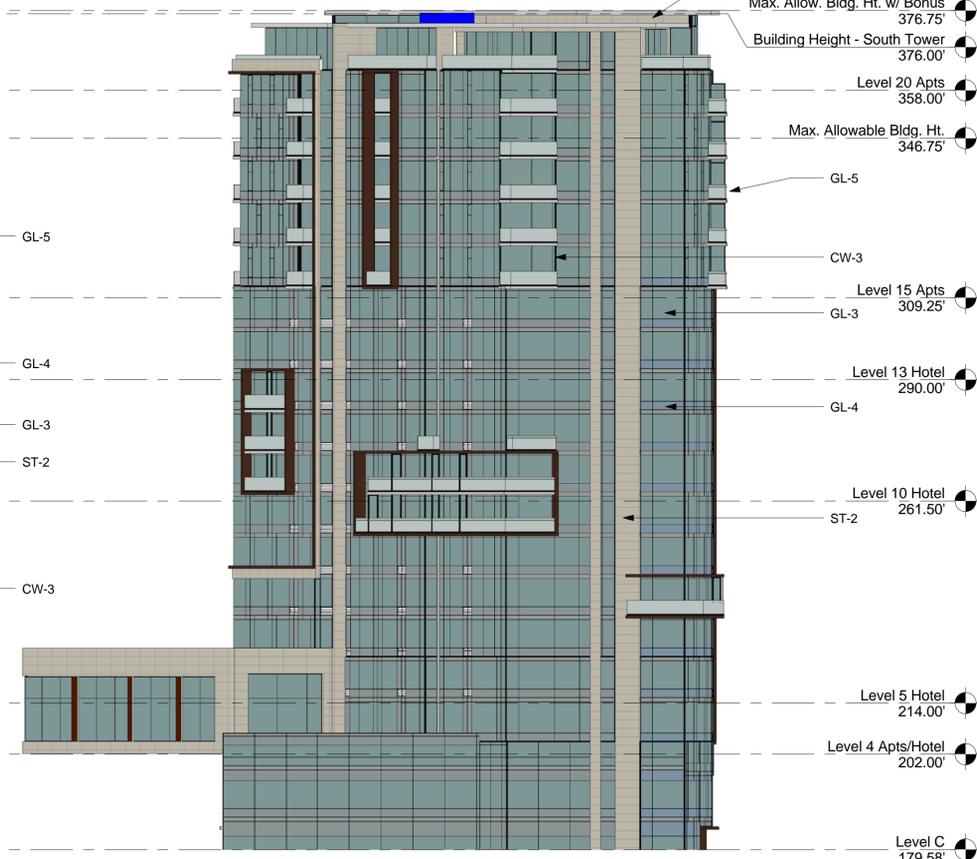
**SCLATER PARTNERS  
ARCHITECTS, PC**

**MATERIALS LEGEND**

PRODUCT	DESCRIPTION	COLOR
SF-1	Anodized aluminum	Clear
CW-1	Anodized aluminum	Clear
CW-2	4-sided toggle glazed structural silicone glazed	Charcoal
CW-3	4-sided toggle glazed structural silicone glazed	Charcoal
GL-1	Vision glass insulated 1", low-e	Clear
GL-2	Spandrel to match vision glass	Clear
GL-3	Vision glass insulated 1", low-e	Clear
GL-4	Spandrel to match vision glass	Spandrel
GL-5	Clear glass railing system	Clear
GL-7	Vision glass laminated tempered	Clear
GL-8	Vision glass insulated laminated tempered	Clear
GL-P	Acrylic Sheet	Glacier
MP-1	Composite metal panel	9958 Champagne Gold
MP-2	Cor-ten or sim. Weathered steel. 1 1/4" deep	763 Rust
MP-3	Composite metal panel	9946 Silversmith
MP-4	Composite metal panel	9967 Pewter
MP-5	Composite metal panel	9951 Champagne Pearl
MP-6	Composite Metal Panel	Pre-weathered Zinc
MP-7	Composite Metal Panel	9949 Copper
MP-8	Composite Metal Panel	179 Regal White
MP-9	Composite Metal Panel	White
MS-1	Flat metal screen- clear anodized aluminum	Clear
PAV-1	2' x 2' paver on pedestal system	--
RF-1	Metal roof	9967 Pewter
ST-1	Limestone- dimension stone for exterior cladding	Kieron Grey Limestone Flamed
ST-2	Limestone- dimension stone for exterior cladding	New Zuri Limestone Honed
WP-1	Composite wood panel	Amber
WP-2	Composite wood panel	Gold



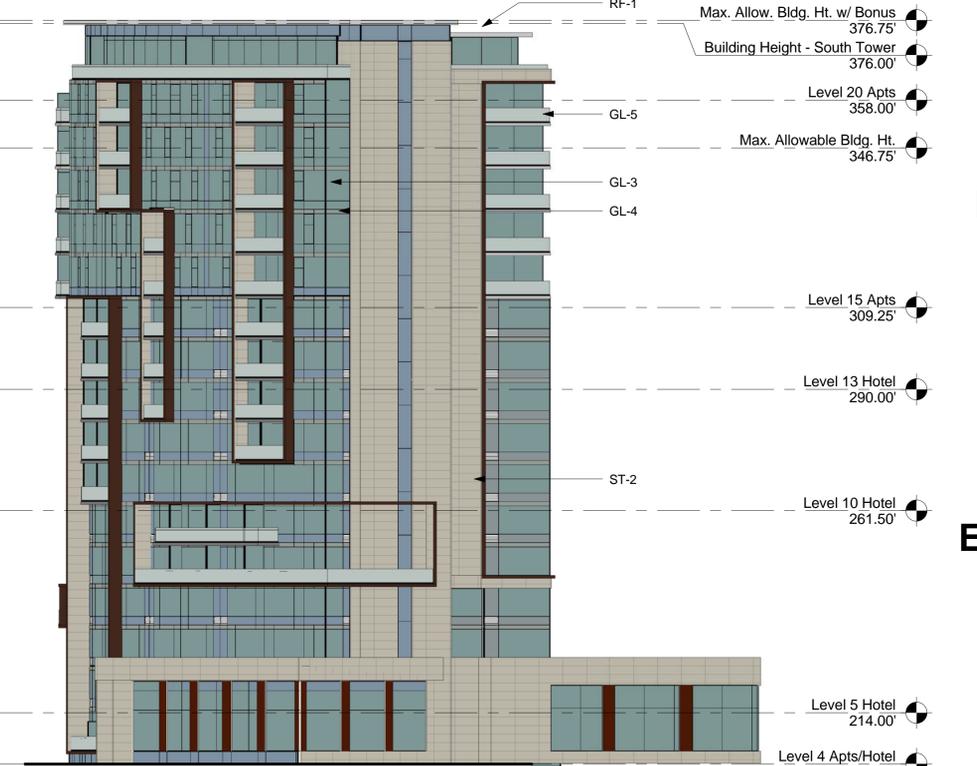
**NORTH ELEVATION** SCALE: 1" = 20'-0" 1



**WEST ELEVATION** SCALE: 1" = 20'-0" 2



**SOUTH ELEVATION** SCALE: 1" = 20'-0" 3



**EAST ELEVATION** SCALE: 1" = 20'-0" 4



**KEMPER DEVELOPMENT COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**ELEVATIONS - SOUTH TOWER**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.7**

**SCLATER PARTNERS ARCHITECTS, PC**



**KEMPER  
DEVELOPMENT  
COMPANY**



**EAST ELEVATION** SCALE: 1" = 20'-0" **1**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
**701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**SIGN MASTER PLAN**

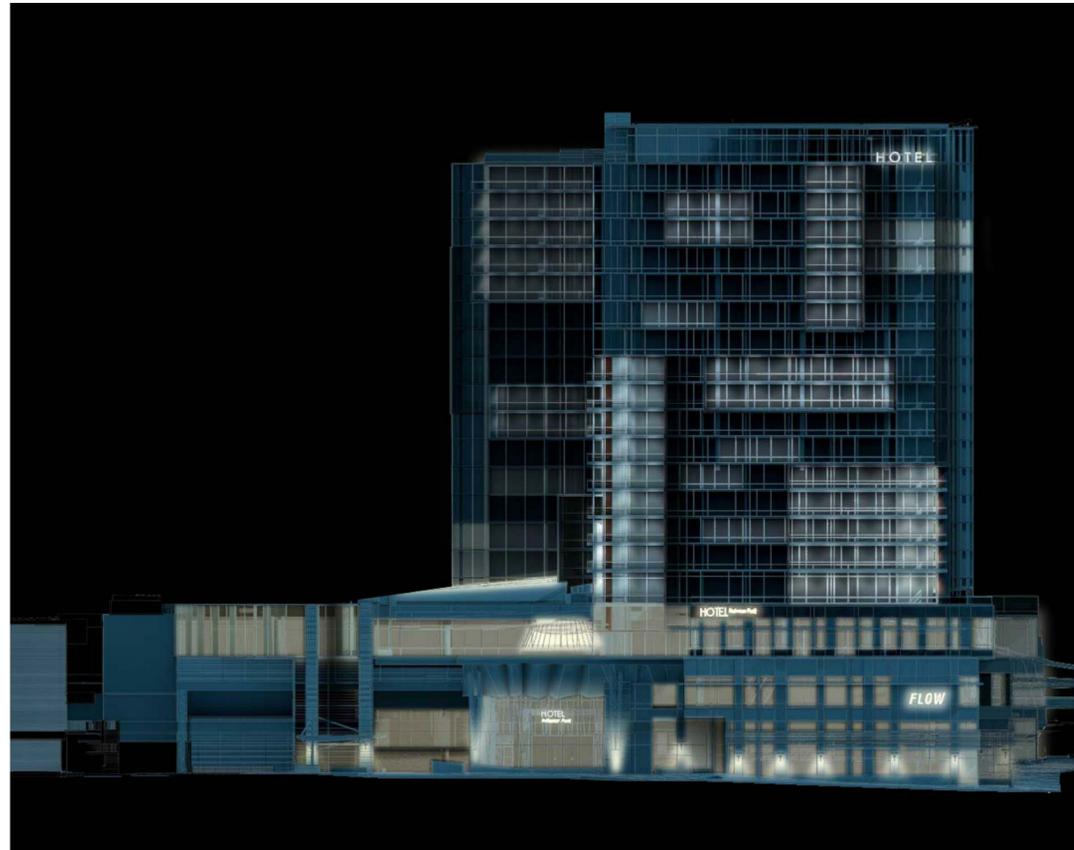
**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A3.8**

**SCLATER PARTNERS  
ARCHITECTS, PC**



**SOUTH ELEVATION** SCALE: 1" = 20'-0" **2**



EXTERIOR LIGHTING STUDY SOUTH ELEVATION

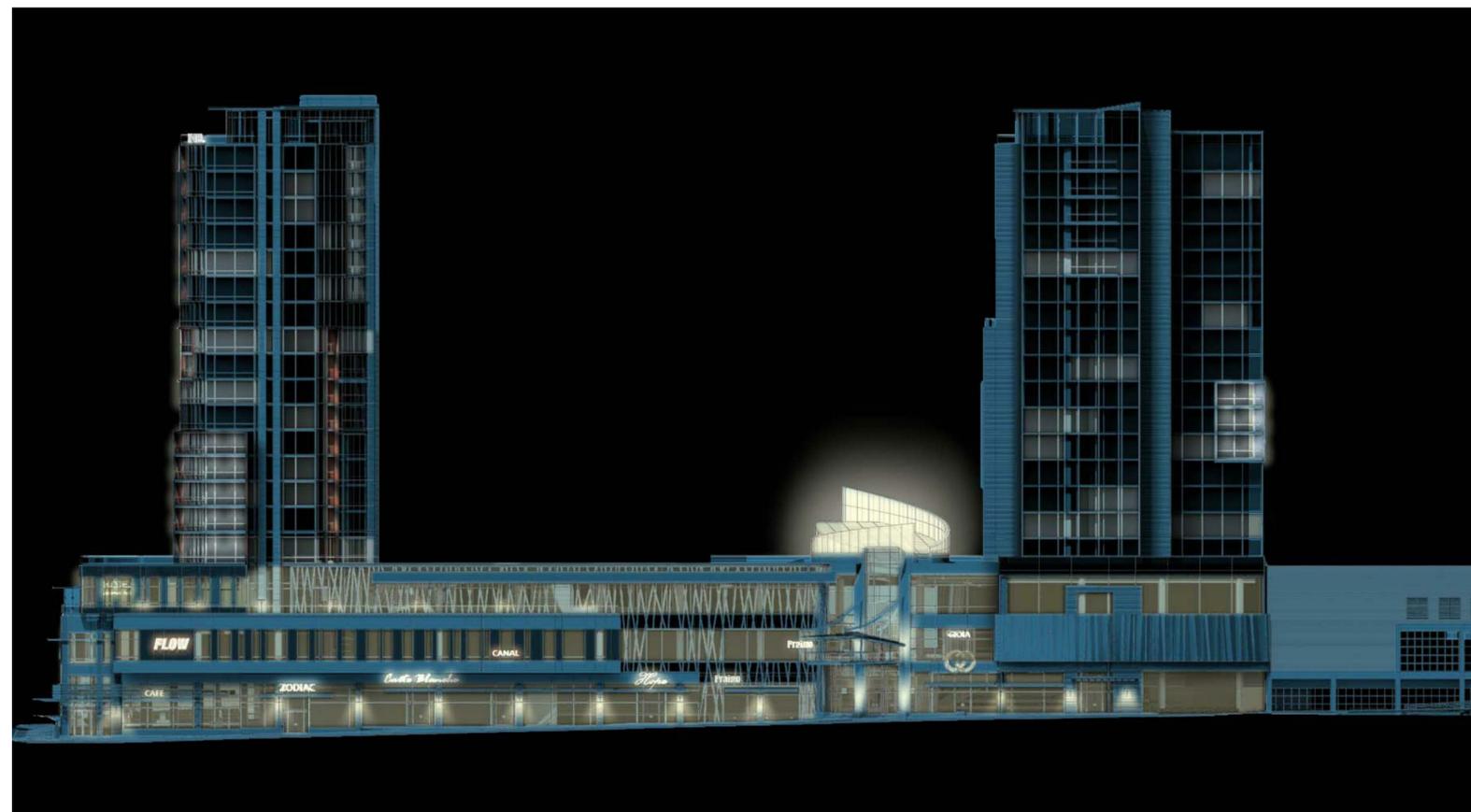
SCALE: 1" = 30'-0" **2**



**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme



EXTERIOR LIGHTING STUDY EAST ELEVATION

SCALE: 1" = 30'-0" **1**

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

**EXTERIOR LIGHTING  
STUDY**

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

**A3.9**

**SCLATER PARTNERS  
ARCHITECTS, PC**



PERSPECTIVE OF ROOF 1



PERSPECTIVE FROM BELLEVUE WAY 2



**BELLEVUE  
SQUARE™**  
**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme



PERSPECTIVE FROM NE 4TH STREET 3



PERSPECTIVE FROM SOUTHWEST 4

**BELLEVUE SQUARE  
SE CORNER**

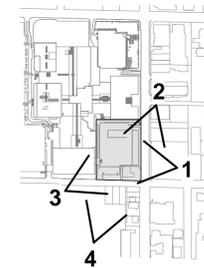
**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**PERSPECTIVES**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A4.1**

**SCLATER PARTNERS  
ARCHITECTS, PC**



**KEY**



AERIAL PERSPECTIVE FROM NW **1**



AERIAL PERSPECTIVE FROM NE **2**



AERIAL PERSPECTIVE FROM SW **3**



AERIAL PERSPECTIVE FROM SE **4**



**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme

**BELLEVUE SQUARE  
SE CORNER**

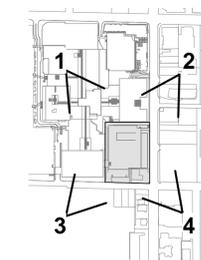
SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

**PERSPECTIVES**

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

**A4.2**

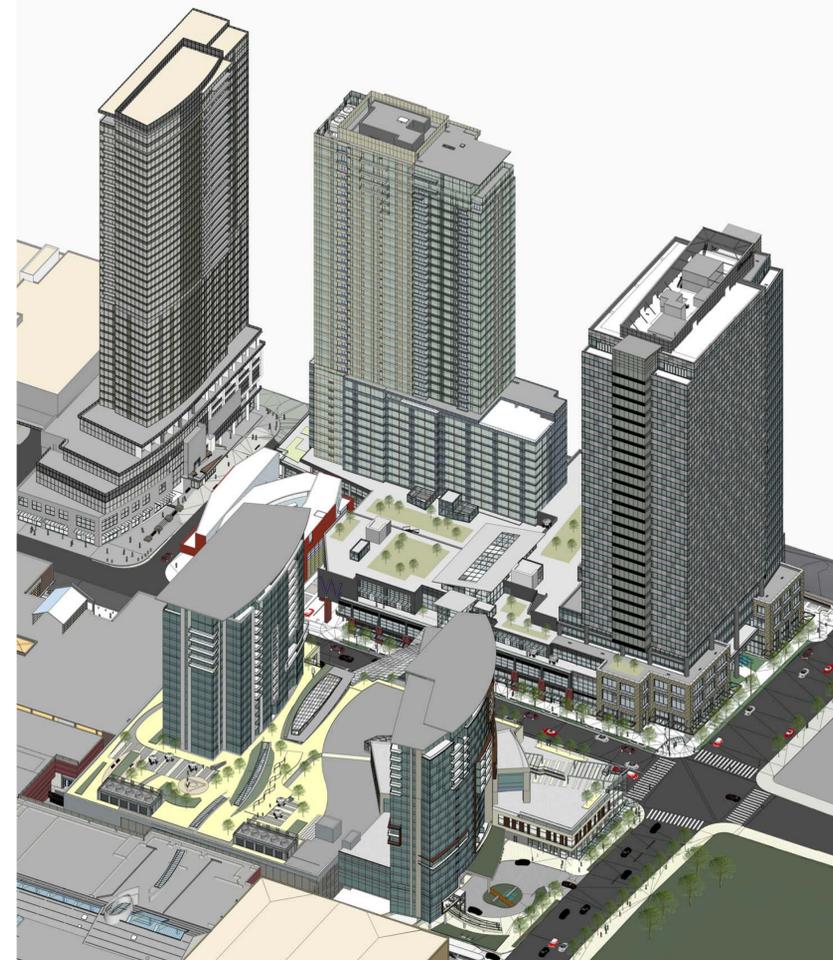
**SCLATER PARTNERS  
ARCHITECTS, PC**



**KEY**



AERIAL PERSPECTIVE FROM NW WITH LINCOLN SQUARE EXPANSION **1**



AERIAL PERSPECTIVE FROM SW WITH LINCOLN SQUARE EXPANSION **2**



**BELLEVUE  
SQUARE™**  
**KEMPER  
DEVELOPMENT  
COMPANY**

**Revisions**

Rev	Date	Description
1	10/25/13	Revised to 2 tower scheme



PERSPECTIVE FROM NE 8TH STREET **3**



PERSPECTIVE FROM LINCOLN SQUARE ONE **4**

**BELLEVUE SQUARE  
SE CORNER**

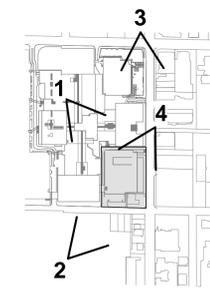
SITE ADDRESS:  
**701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**PERSPECTIVES**

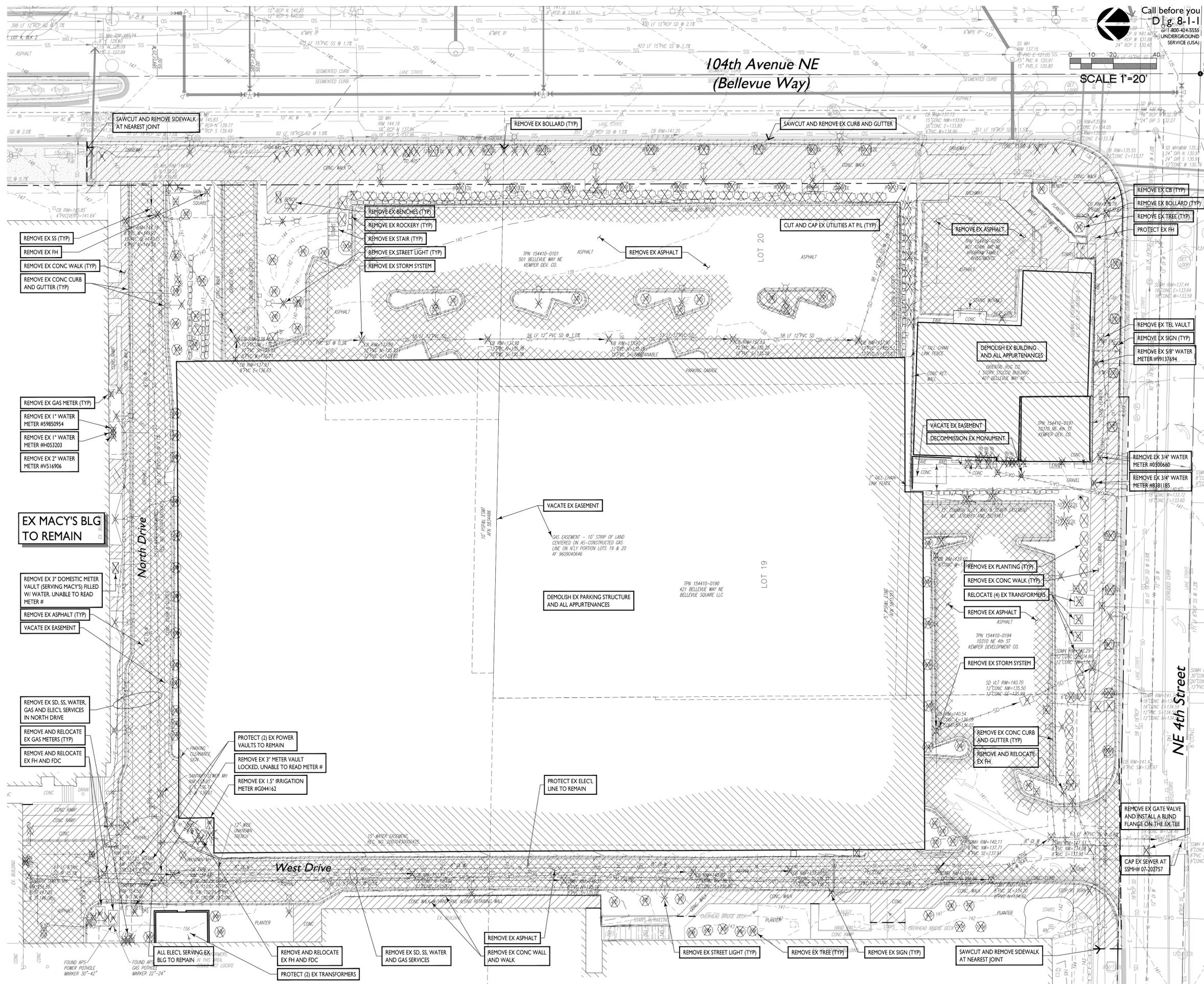
**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**A4.3**

**SCLATER PARTNERS  
ARCHITECTS, PC**



**KEY**



Call before you dig  
 811-800-42-5555  
 UNDERGROUND SERVICE (USA)

SCALE 1"=20'



**KEMPER DEVELOPMENT COMPANY**

- Utility Demolition Sanitary Phasing Notes**
- RELOCATE MALL ZONE 9 (MACY'S) FIRE SERVICE AND MACY'S GAS SERVICE/METER W/IN NORTH DRIVE TO PERMANENT LOCATION ADJACENT TO BELLEVUE WAY.
  - BEGIN GARAGE SHORING AND EXCAVATION.
  - INSTALL POWER, SANITARY SEWER, GAS AND COMMUNICATIONS SERVICES FOR WEST DRIVE IN PERMANENT LOCATION ON NE 4TH ST. SEE DESIGN/BUILD M.E.P. DRAWINGS FOR PROPOSED UTILITIES W/IN FUTURE BUILDING FOOTPRINT.
  - REMOVE EXISTING UTILITIES W/IN WEST DRIVE AND CONNECT NEWLY INSTALLED SERVICES.
  - ABOVE GRADE CONSTRUCTION (BEYOND GARAGE LIMITS) CAN BEGIN ONCE ALL UTILITIES IN NORTH AND WEST DRIVES HAVE BEEN RELOCATION TO FINAL LOCATION.

**Revisions**

Rev	Date	Description
1	10/24/13	Revised ADR

**BELLEVUE SQUARE SE CORNER**

**SITE ADDRESS:  
 701 BELLEVUE WAY NE  
 BELLEVUE, WA 98004**

**DEMOLITION PLAN**

**DESIGN REVIEW SUBMITTAL  
 APRIL 5, 2013**

**C1.00**

**SCLATER PARTNERS ARCHITECTS, PC**

**R.O.W. USE PERMIT/HAUL ROUTE PERMIT**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ROW USE AND HAUL ROUTE PERMITS WITH THE CITY OF BELLEVUE PRIOR TO CONSTRUCTION ACTIVITIES. THE AFOREMENTIONED PERMIT MUST BE OBTAINED PRIOR TO FINAL ISSUANCE OF THE CLEARING AND GRADING PERMIT AND THE DEVELOPER

Call before you Dig 8-1-1  
 1-800-424-5555  
 UNDERGROUND SERVICE (USA)

SCALE 1"=20'



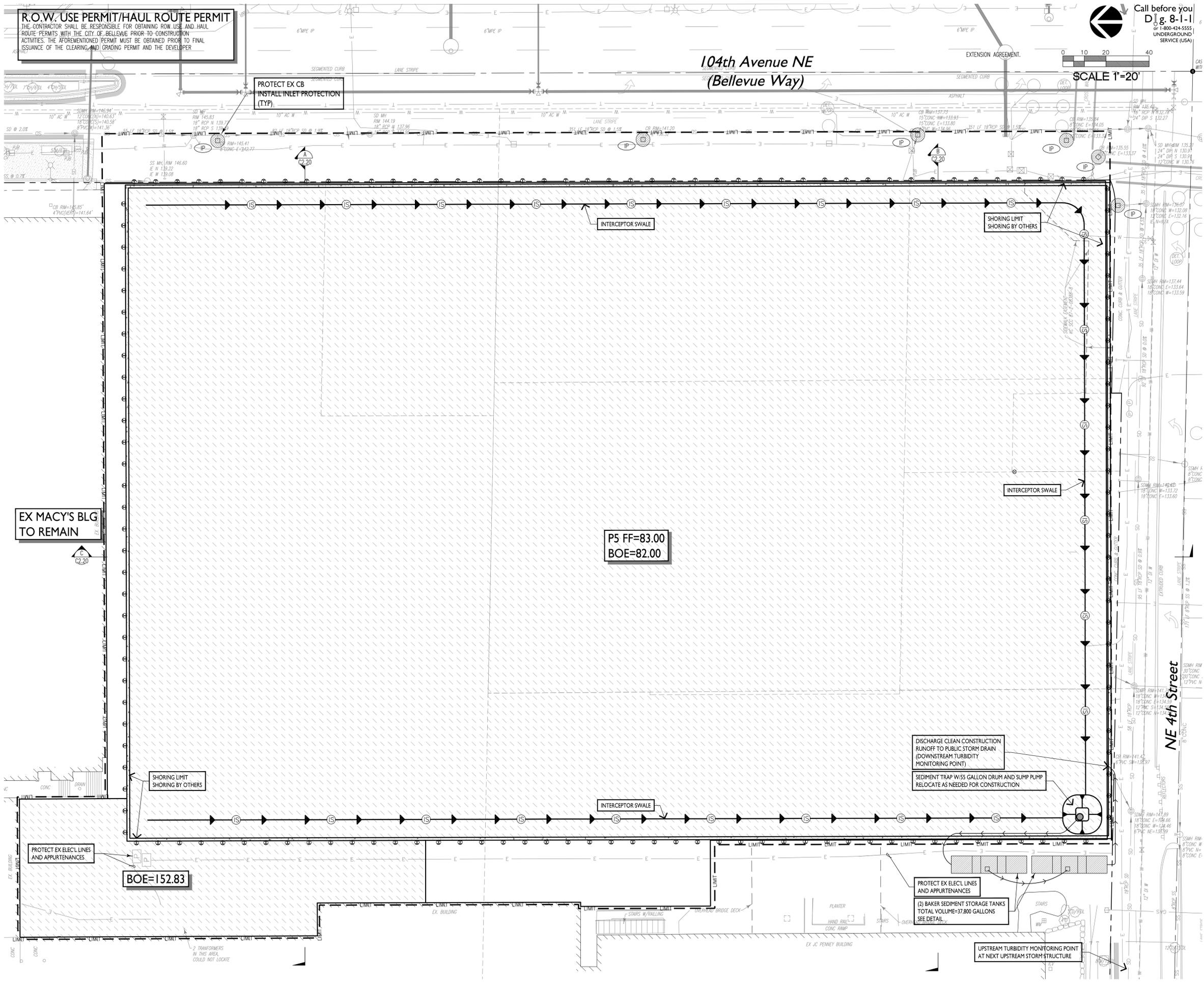
**KEMPER DEVELOPMENT COMPANY**

- B.M.P. Legend**
- INTERCEPTOR DIKE AND SWALE PER BMP C200
  - PUMPED DRAINAGE
  - SILT FENCE PER BMP C233
  - CONSTRUCTION FENCE PER BMP C103
  - TREE PROTECTION SEE DETAIL
  - STABILIZED CONSTRUCTION ENTRANCE PER BMP C105
  - STORM DRAIN INLET PROTECTION
  - 55 GALLON DRUM SUMP/PUMP SEE DETAIL

NOTE: BMP'S LISTED ARE DETAILED IN THE 2005 WSDOE SWMMW.

**Revisions**

Rev	Date	Description
1	10/24/13	Revised ADR



**BELLEVUE SQUARE SE CORNER**

SITE ADDRESS:  
 701 BELLEVUE WAY NE  
 BELLEVUE, WA 98004

**T.E.S.C. AND EXCAVATION PLAN**

DESIGN REVIEW SUBMITTAL  
 APRIL 5, 2013

**C2.00**

**SCLATER PARTNERS ARCHITECTS, PC**



BELLEVUE SQUARE™

**KEMPER DEVELOPMENT COMPANY**

Revisions		
Rev	Date	Description
1	10/24/13	Revised ADR

**BELLEVUE SQUARE SE CORNER**

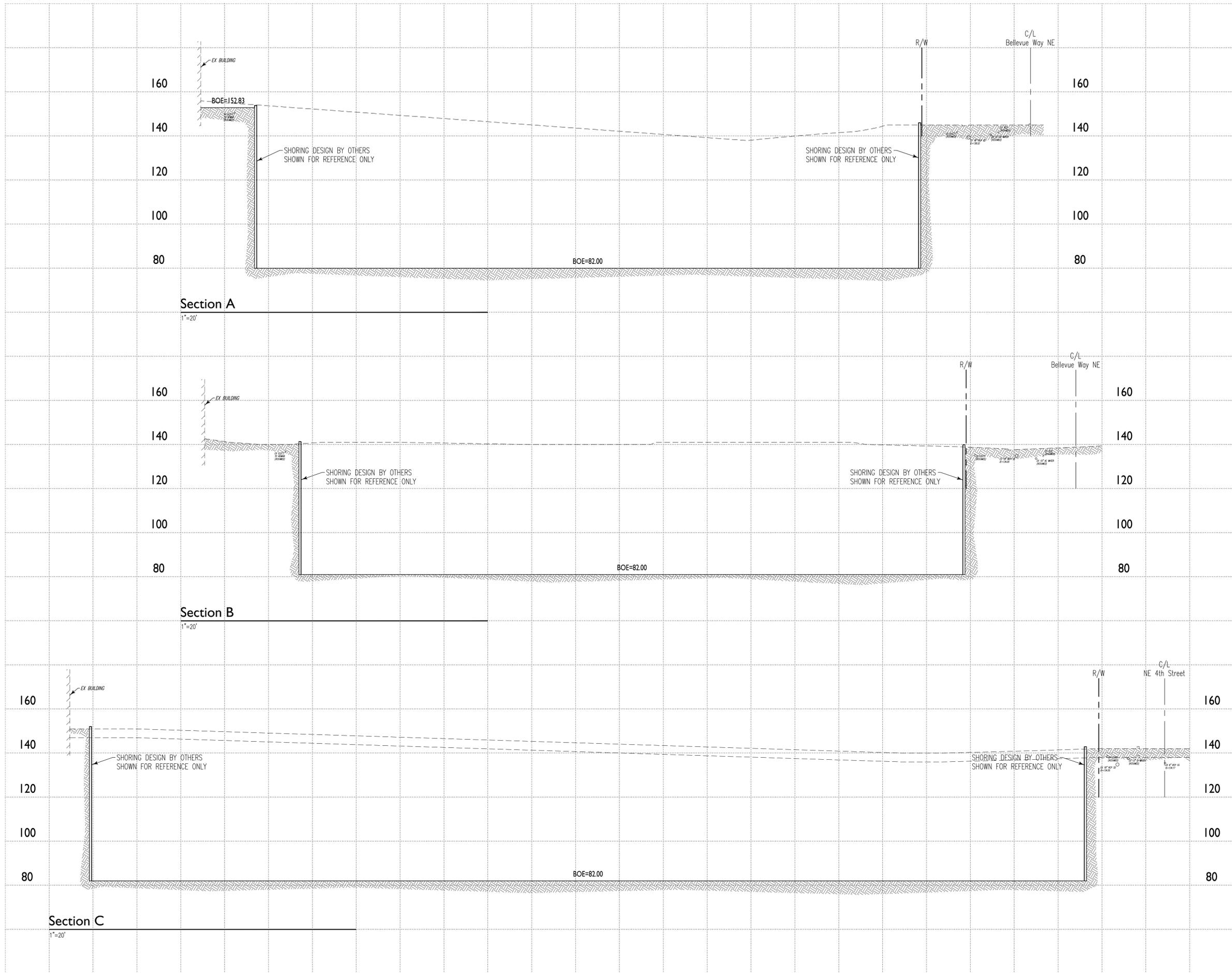
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701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

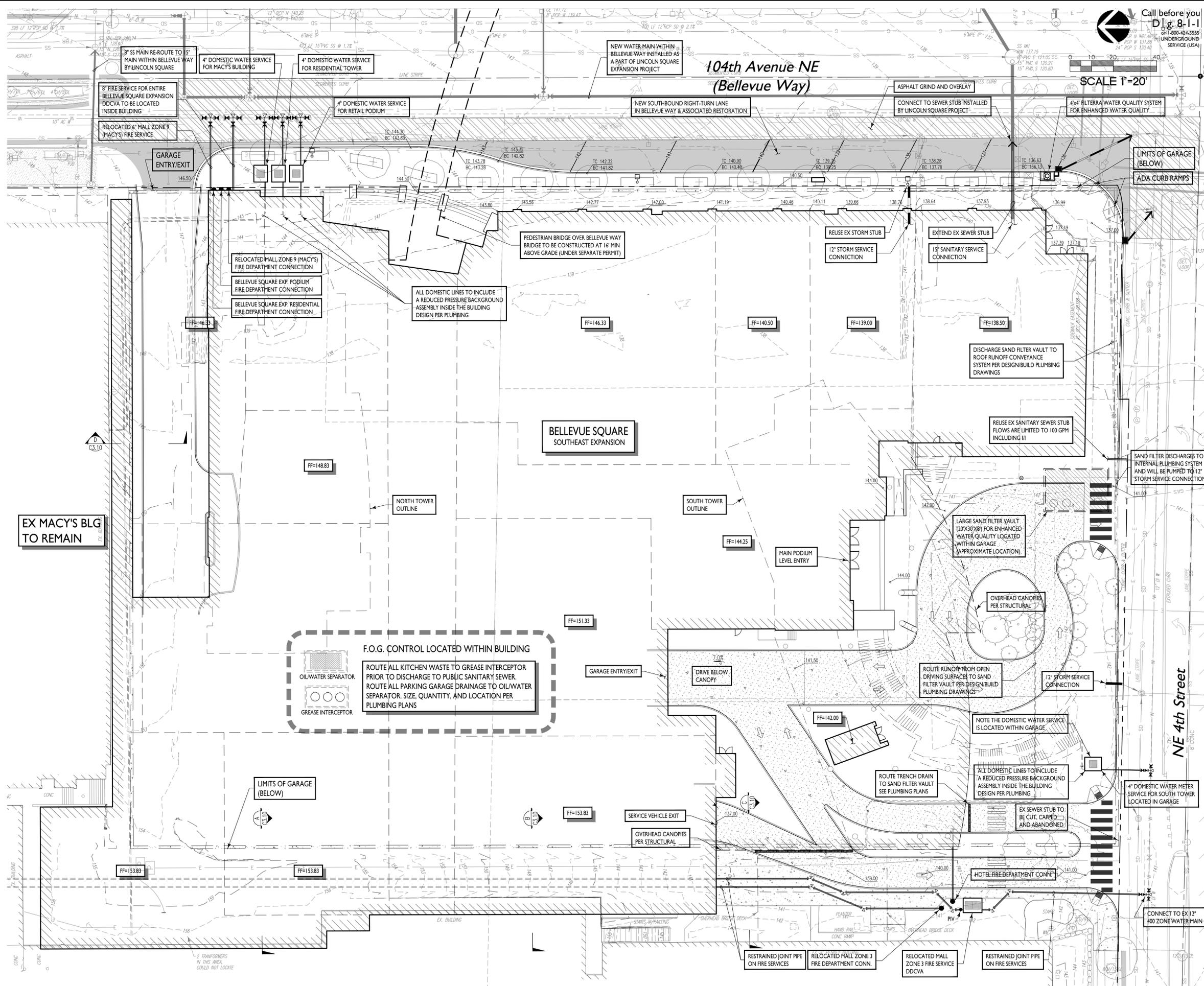
**MASS EXCAVATION SECTIONS**

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

**C2.10**

**SCLATER PARTNERS ARCHITECTS, PC**





Call before you dig  
 Dig 8-1-1  
 1-800-42-5555  
 UNDERGROUND SERVICE (USA)

SCALE 1"=20'



**KEMPER DEVELOPMENT COMPANY**

**BELLEVUE SQUARE SE CORNER**

SITE ADDRESS:  
 701 BELLEVUE WAY NE  
 BELLEVUE, WA 98004

**CIVIL SITE PLAN**

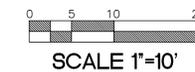
DESIGN REVIEW  
 SUBMITTAL  
 APRIL 5, 2013

**C3.00**

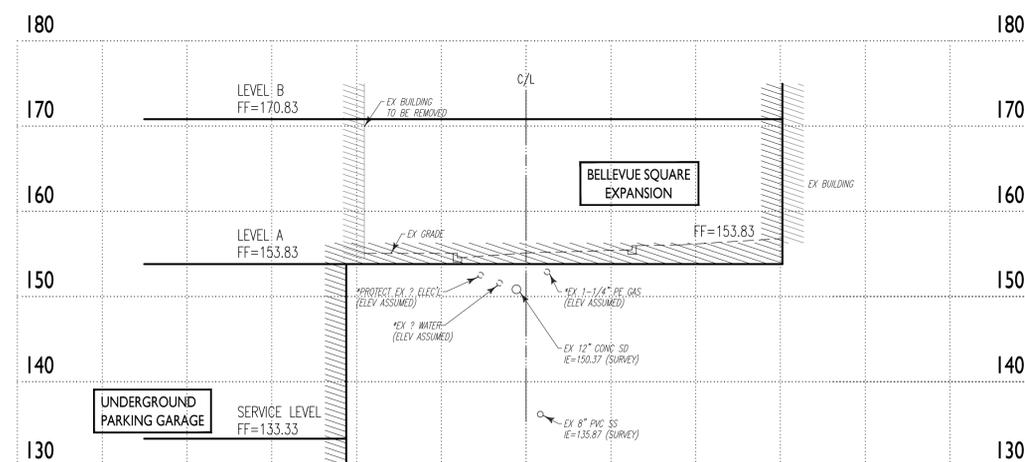
**SCLATER PARTNERS ARCHITECTS, PC**

**Revisions**

Rev	Date	Description
1	10/24/13	Revised ADR



**KEMPER  
DEVELOPMENT  
COMPANY**

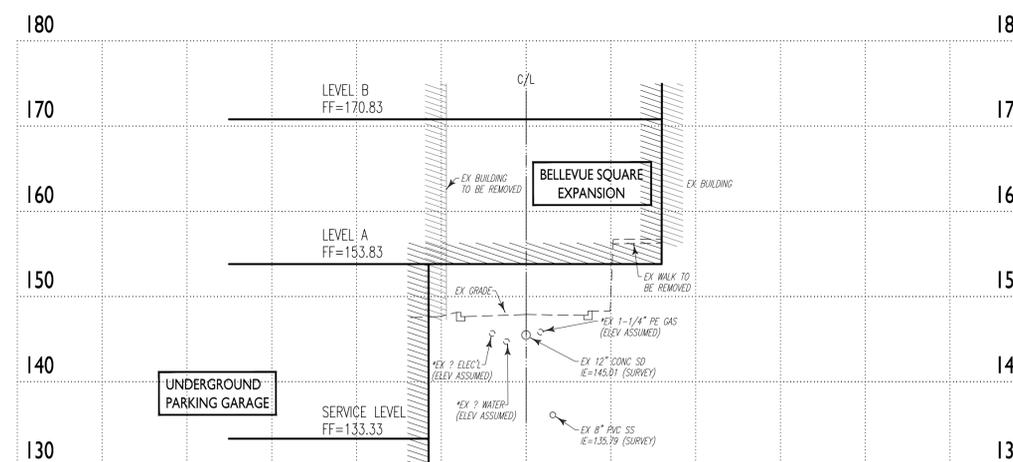


**Section A**

1"=10'

\* NOTE: THESE UTILITIES HAVE BEEN SHOWN AT ASSUMED DEPTHS FIELD LOCATION WILL BE REQ'D TO PROVIDE ACCURACY

NOTE: ALL UTILITIES EXCEPT ELEC'L WILL NEED TO BE RELOCATED DUE TO BUILDING LOCATION

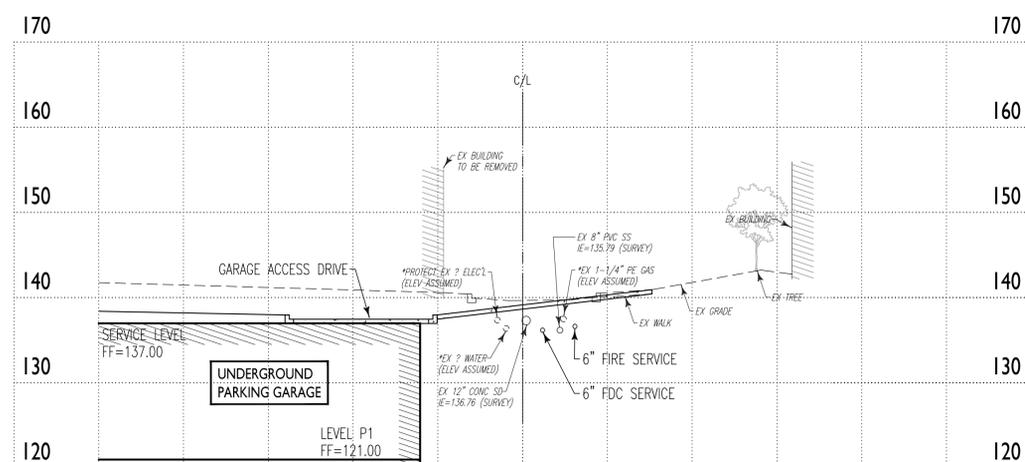


**Section B**

1"=10'

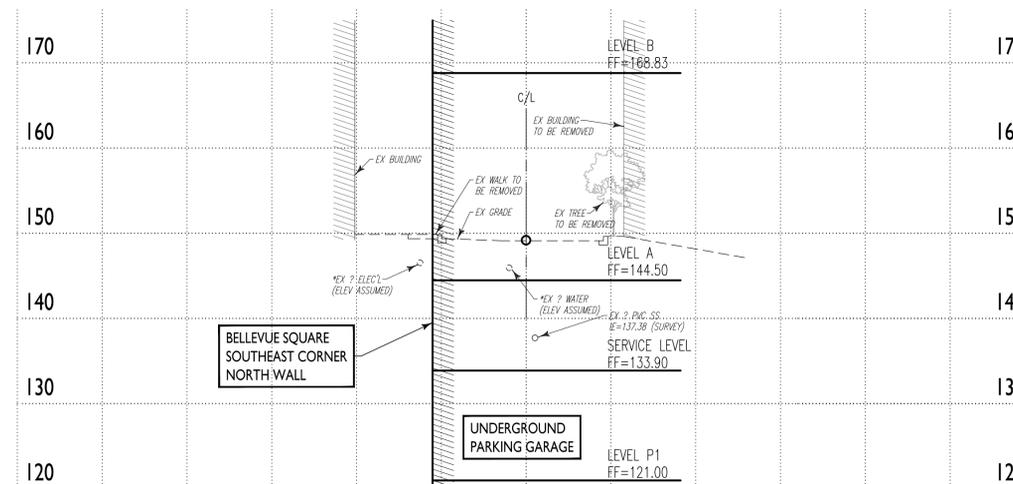
\* NOTE: THESE UTILITIES HAVE BEEN SHOWN AT ASSUMED DEPTHS FIELD LOCATION WILL BE REQ'D TO PROVIDE ACCURACY

NOTE: ALL UTILITIES EXCEPT ELEC'L WILL NEED TO BE RELOCATED DUE TO BUILDING LOCATION



\* NOTE: THESE UTILITIES HAVE BEEN SHOWN AT ASSUMED DEPTHS FIELD LOCATION WILL BE REQ'D TO PROVIDE ACCURACY

NOTE: ALL UTILITIES EXCEPT ELEC'L WILL NEED TO BE RELOCATED DUE TO BUILDING LOCATION



**Section D**

1"=10'

\* NOTE: THESE UTILITIES HAVE BEEN SHOWN AT ASSUMED DEPTHS FIELD LOCATION WILL BE REQ'D TO PROVIDE ACCURACY

NOTE: ALL UTILITIES WILL NEED TO BE RELOCATED DUE TO BUILDING LOCATION

**Revisions**

Rev	Date	Description
1	10/24/13	Revised ADR

**BELLEVUE SQUARE  
SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**UTILITY SECTIONS**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**C3.10**

**SCLATER PARTNERS  
ARCHITECTS, PC**



**KEMPER  
DEVELOPMENT  
COMPANY**

**BELLEVUE SQUARE  
SE CORNER**

SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004

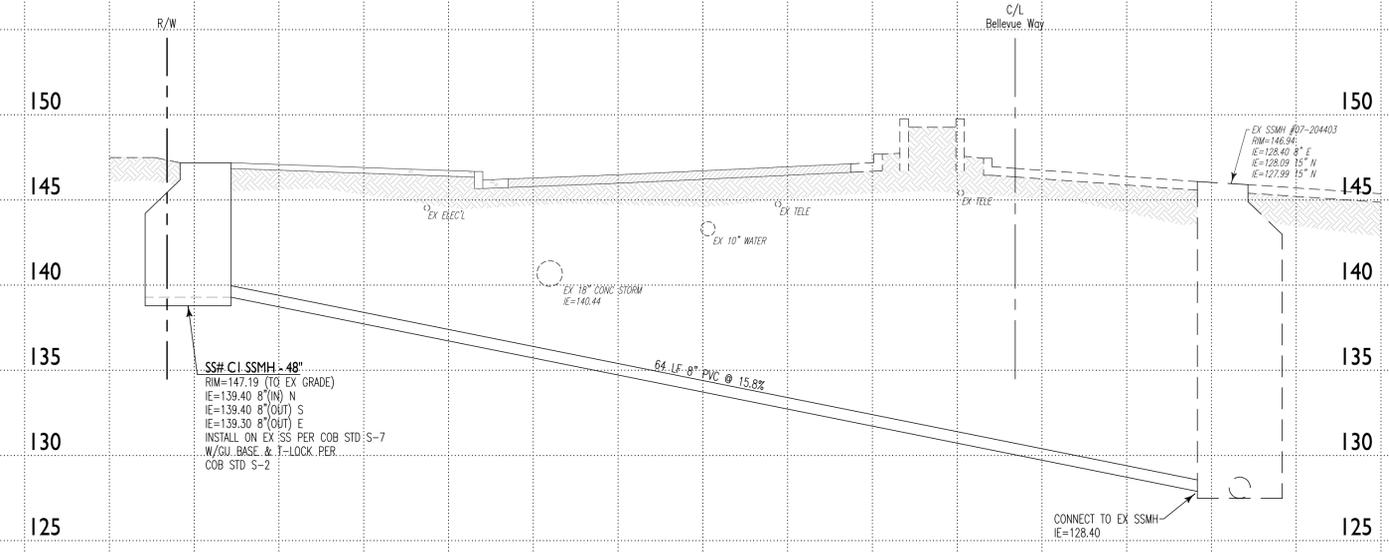
**UTILITY  
PROFILES**

DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013

**C3.11**  
SCLATER PARTNERS  
ARCHITECTS, PC

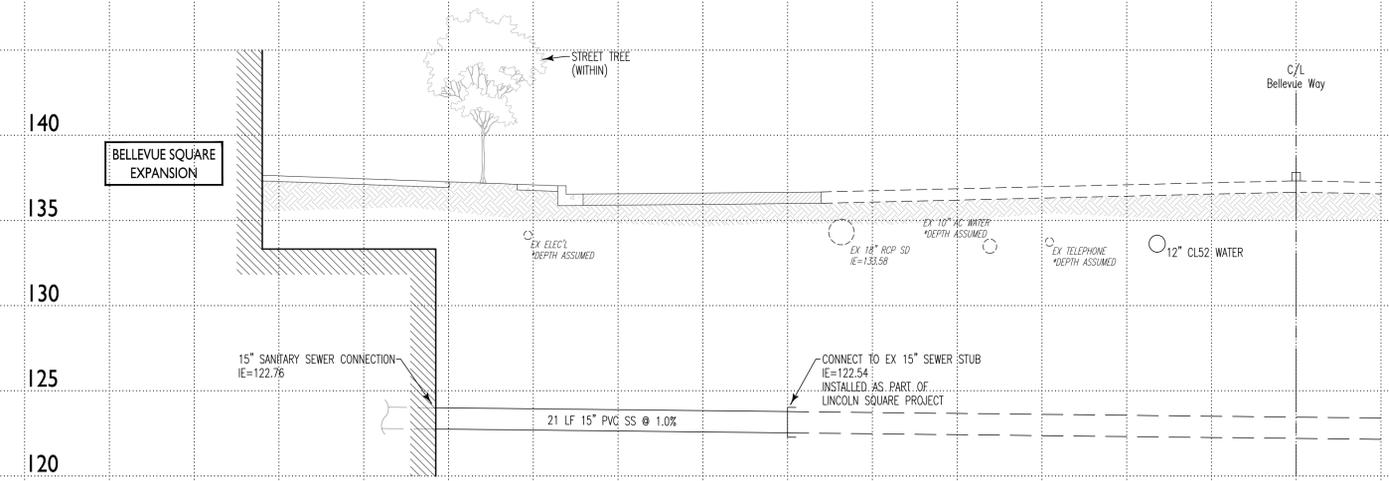
**Revisions**

Rev	Date	Description
1	10/24/13	Revised ADR



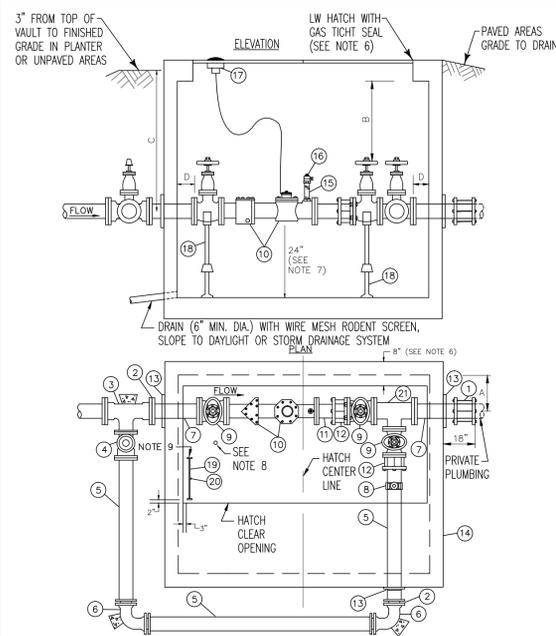
**Sewer Main Profile Crossing Bellevue Way**

INSTALLED AS PART OF LINCOLN SQUARE EXPANSION  
1"=5'



**Side Sewer Extension**

1"=5'



- MATERIALS LIST - (ALL SIZES ARE SAME AS METER UNLESS OTHERWISE LISTED)**
- 1-MECH. CPLG. TO FIT, EQUAL TO ROMAC 501
  - 1-4x3" REDUCER, P.E. M.J. (FOR 3" SERVICE ONLY)
  - 1-TEE, M.J. x FL.
  - 1-GATE VALVE, F.L. x M.J. (W/VALVE BOX & COVER)
  - 3-D.I. PIPE, P.E., LENGTH AS REQUIRED
  - 2-90° BEND, M.J.
  - 2-D.I. PIPE, P.E. x FL., LENGTH AS REQUIRED
  - 1-SERVICE SADDLE, ROMAC 2025 (TAP POINTED UP AT 12-O'CLOCK) OR EQUAL, 1-CORPORATION STOP, ANNA-TAPER(CC) x M.I.P.T., FORD FB400-7, WITH 2" F.I.P.T. x 2 1/2" M.N.S.T. ADAPTOR AND CAP (2 1/2" F.N.S.T.)
  - 3-GATE VALVE, FL.
  - DAWN 12 METER W/ INTERNAL STRAINER, W/ELECTRONIC RESOLUTION (100'S OF CUBIC FEET FOR 3" METER, 500 CUBIC FEET FOR 4-6" METER) REGISTER.
  - 1-D.I. ADAPTER FL. x P.E., LENGTH TO FIT.
  - 2-FL. CPLG. ADAPTER, EQUAL TO SMITH-BLAIR 912.
  - WELDED FL. RESTRAINT OR MEGA-LUG MID-SPAN RESTRAINT AND THRUST BLOCK ADJACENT TO VAULT DETAIL W-66
  - PRECAST CONC. VAULT BY UTILITY VAULT CO. (SEE TABLE FOR MODEL NO.) W/TWO DIAMOND PLATE DOORS RATED FOR HS-25 LOADING.
  - 1-2" BRASS NIPPLE, M.I.P.T. x M.I.P.T., 6" LONG, CONNECT TO TEST PORT OF COMPOUND METER.
  - 2" M.I.P.T. x 2 1/2" MNST ADAPTOR AND CAP (2 1/2" FNST).
  - TR/PL SENSOR (TO MOUNT IN VAULT ACCESS DOOR).
  - 2-ADJUSTABLE STANCHION BOLTED TO FLOOR.
  - 1-GALVANIZED STEEL LADDER TO BE ATTACHED TO VAULT. THE FIRST STEP SHALL BE MAX 8" BELOW TOP OF COVER.
  - 1-BLCO LADDER UP, LU-2 MODEL AT TOP OF THE LADDER. SEE DETAIL W-19.
  - 1-TEE, FL.

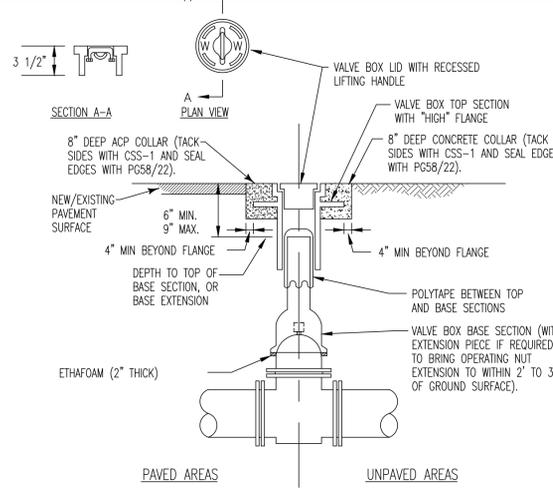
METER MAIN LINE SIZE	BYPASS	CORP STOP FOR FLUSH PORT-SIZE	MIN. CLEARANCES	VAULT MODEL	VAULT COVER # (W/SPECIAL OFFSET)
A	B	C	D	A	B
3"	4"D.L.	2"	10"	6"2-8"	577-LA
4"	4"D.L.	2"	12"	6"2-8"	676-WA
6"	6"D.L.	2"	12"	8"3-2"	4484-LA

\* COVER MODIFIED PER NOTE 6.

- NOTES:**
- ALL MATERIALS, INCLUDING METER SHALL BE FURNISHED BY CONTRACTOR.
  - ALL PIPE & FITTINGS 3" & LARGER SHALL BE CEMENT LINED DUCTILE IRON, CLASS 52 MINIMUM.
  - TEE WITH (3) GATE VALVES REQUIRED AT DISTRIBUTION MAIN.
  - VAULTS SHALL NOT BE INSTALLED IN AREAS W/VEHICULAR TRAFFIC.
  - IN CENTRAL BUSINESS DISTRICT, 3" THROUGH 6" METERS SHALL CONNECT TO WATER MAIN W/8" PIPE (SUBSTITUTE 8" SERVICE SIZE REDUCER, M.J. x P.E., AT UPSTREAM SIDE OF ITEM (3)).
  - VAULT COVER SHALL INCLUDE 2 LOCKING ALUMINUM LW TYPE HATCH DOORS (PART NO. HH-36"x72") WITH LIGHT BLAST 5086 SKID RESISTANCE APPLICATION DOORS SHALL BE CAST IN COVER WITH 8" SPECIAL OFFSET FROM VAULT WALL, AS SHOWN. COVER TO READ "WATER".
  - PROVIDE 24" CLEARANCE BETWEEN VAULT FLOOR & BOTTOM OF COMPOUND METER. WHERE ELEVATION OF VAULT FLOOR IS TOO LOW TO DRAIN TO DAYLIGHT OR STORM SYSTEM, THIS CLEARANCE CAN BE REDUCED TO A MINIMUM OF 12" IF SUBSTITUTION OF A SHORTER VAULT ALLOWS FLOOR TO DRAIN TO DAYLIGHT OR STORM SYSTEM (APPROVED BY THE UTILITY ON A CASE BY CASE BASIS ONLY). SUBSTITUTE VAULTS ARE AS FOLLOWS:  
3" 575-LA WITH 577L-2-332P COVER (WITH SPECIAL OFFSET + LW ALUM. HATCH)  
4" 675-WA WITH 675-TW-2-332P COVER (WITH SPECIAL OFFSET + LW ALUM. HATCH)
  - PROVIDE 2 1/4" DIAM. OPENING IN ALUMINUM DOOR FOR TR/PL SENSOR.
  - LADDER TO BE BOLTED TO VAULT FLOOR AND TO VAULT WALL AT THREE LOCATIONS. RUNGS SHALL BE SPACED AT 12" ON CENTER.
  - ALL FITTINGS OUTSIDE VAULT SHALL INCLUDE THRUST BLOCKING AND JOINT RESTRAINT DEVICES.
  - PIPE, FITTINGS, VALVES OUTSIDE VAULT SHALL BE 4" FOR 3" SERVICE INSTALLATION.
  - MINIMUM 2' OF LEVEL, UNOBSTRUCTED AREA AROUND HATCHES.

City Of Bellevue Standard Plan W-33  
**3" To 6" Domestic Meter Installation w/Full Bypass**

NTS  
6



ALL PARTS SHALL BE CAST OR DUCTILE IRON AND COATED WITH ASPHALTIC VARNISH.  
OLYMPIC FOUNDRY INC.: #VB045 LID, TOP AND BASE SECTION  
RICH (VANRICH CASTING CORP.): TOP SECTION AND LID #045 WITH RICH STANDARD BASE  
12" ADJUSTING SLEEVE #044A

City Of Bellevue Standard Plan W-10  
**Valve Box Installation**

NTS  
3

**THRUST BLOCK - TABLE**

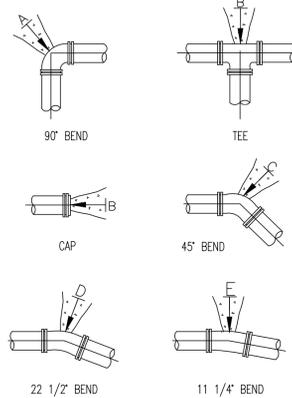
PIPE SIZE	PRESSURE PSI	MINIMUM BEARING AREA AGAINST UNDISTURBED SOIL SQUARE FEET					Y (100' PSI)
		A	B	C	D	E	
4"	200	2/(1)	1/(NONE)	1/(NONE)	NONE	NONE	NONE
	300	3/(2)	2/(2)	2/(1)	1/(1)	NONE	NONE
6"	200	4/(3)	3/(2)	3/(1)	1/(1)	1/(NONE)	NONE
	300	6/(4)	4/(3)	3/(2)	2/(1)	1/(NONE)	NONE
8"	200	7/(5)	5/(3)	4/(3)	2/(2)	1/(NONE)	3/(2)
	300	11/(8)	8/(5)	6/(4)	3/(2)	2/(1)	3/(2)
10"	200	11/(8)	8/(6)	6/(4)	3/(2)	2/(1)	4/(3)
	275	16/(11)	11/(7)	9/(6)	5/(3)	3/(2)	5/(4)
12"	200	16/(11)	11/(8)	9/(6)	5/(3)	3/(2)	5/(4)
	250	24/(16)	17/(11)	13/(9)	7/(5)	4/(3)	7/(6)
14"	200	22/(15)	16/(11)	12/(8)	6/(4)	3/(2)	7/(6)
	250	33/(22)	23/(16)	18/(12)	9/(6)	5/(3)	10/(7)
16"	200	29/(19)	21/(14)	16/(11)	8/(6)	5/(3)	10/(7)
	225	32/(21)	23/(16)	17/(12)	9/(6)	5/(3)	13/(9)
18"	200	36/(24)	26/(17)	20/(13)	10/(7)	5/(4)	13/(9)
	200	45/(29)	32/(21)	24/(16)	13/(8)	7/(4)	16/(11)
24"	200	64/(43)	46/(30)	35/(23)	18/(12)	9/(6)	23/(16)

**SAFE BEARING LOADS IN LB./SQ. FT.**  
THE SAFE BEARING LOADS GIVEN IN THE FOLLOWING TABLE ARE FOR HORIZONTAL THRUSTS WHEN THE DEPTH OF COVER OVER THE PIPE EXCEEDS 2 FEET.

- NOTES:**
- SQUARE FEET OF CONCRETE THRUSTS - BLOCK AREA BASED ON SAFE BEARING LOAD OF 2000/(3000) POUNDS PER SQUARE FOOT.
  - AREAS MUST BE ADJUSTED FOR OTHER SIZE PIPE, PRESSURES & SOIL CONDITIONS.
  - CONCRETE BLOCKING SHALL BE CAST IN PLACE & HAVE MINIMUM OF 1/4 SQUARE FOOT BEARING AGAINST THE FITTING.
  - BLOCK SHALL BEAR AGAINST FITTINGS ONLY & SHALL BE CLEAR OF JOINTS TO PERMIT TAKING UP OR DISMANTLING JOINT.
  - CONTRACTOR SHALL INSTALL BLOCKING ADEQUATE TO WITHSTAND FULL TEST PRESSURE AS WELL AS TO CONTINUOUSLY WITHSTAND OPERATING PRESSURE UNDER ALL CONDITIONS OF SERVICE.

SOIL	SAFE BEARING LOAD LB. PER SQ. FT.
MUCK, PEAT, ETC.	0
SOFT CLAY	1,000
SAND	2,000
SAND & GRAVEL	3,000
SAND & GRAVEL-CEMENTED WITH CLAY	4,000
HARD SHALE	10,000

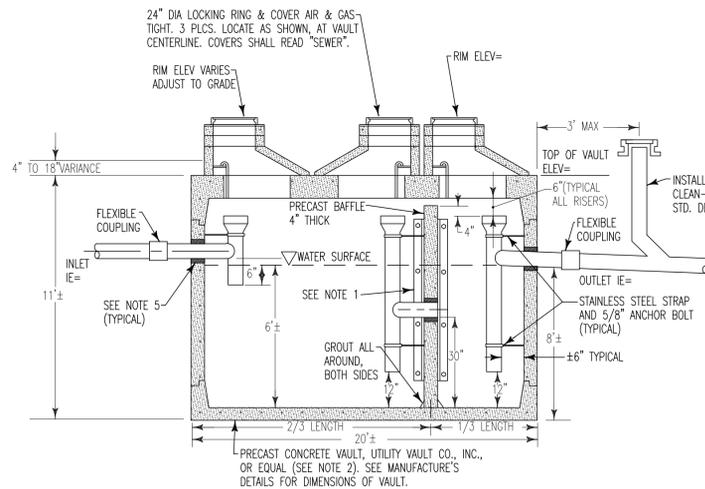
\* IN MUCK OR PEAT, ALL THRUSTS SHALL BE RESTRAINED BY PILES OR TIE RODS TO SOLID FOUNDATIONS OR BY REMOVAL OF MUCK OR PEAT AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THRUST.



City Of Bellevue Std DII W-1  
**Typical Concrete Thrust Blocking**

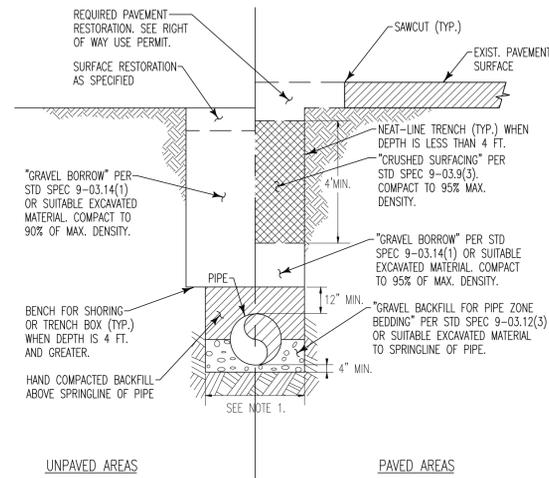
NTS  
6

- IF VAULT IS NOT SLOTTED TO ACCEPT PRECAST CONC. BAFFLE THEN PRECAST CONC. BAFFLE SHALL BE HELD IN PLACE BY (2) 3"x3"x3/8" ANGLE (4FT. LONG) ATTACHED TO VAULT WALL WITH (4 EA.) 1/2" BOLTS AND NUTS (WITH WASHERS) SPACED 14" O.C. ANGLE AND FASTENERS SHALL BE STAINLESS STEEL OR GALVANIZED AND ASPHALT COATED.
- PRECAST PANEL VAULT AND BAFFLE SHALL HAVE KNOCKOUTS AT ALL PIPE OPENINGS. IF KNOCKOUTS ARE NOT PRESENT THEN PIPE OPENINGS SHALL BE CORE-DRILLED. PIPE OPENINGS SHALL BE 2" LARGER THAN PIPE DIAMETER.
- POSITION RISERS BELOW ACCESS OPENINGS TO ALLOW CLEAR ACCESS TO RISER AND VAULT CHAMBER.
- LOCATE INTERCEPTOR WITHIN 20' OF DRIVE FOR ACCESS BY MAINT. VEHICLE.
- CONNECTIONS TO CONCRETE WALLS WITH P.V.C. PIPE REQUIRE PVC/CONC. MANHOLE ADAPTERS. SEAL ALL PIPE CONNECTIONS WITH NONSHRINK GROUT.
- LINE-SIZED P.V.C. PIPE SHALL BE USED THROUGHOUT WHERE LINE IS 6" DIA. OR GREATER. SIX INCH P.V.C. SHALL BE USED THROUGHOUT WHERE LINE IS LESS THAN 6" DIA.
- GRAY-WATER ONLY. BLACK-WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER.
- CLEAN-OUT REQUIRED 3' MAX. DOWNSTREAM OF INTERCEPTOR.
- FILL WITH CLEAN WATER PRIOR TO START UP OF SYSTEM.
- FOR 1000 GALLON INTERCEPTOR, SUBSTITUTE 12" DIA. LOCKING RING AND COVER, AIR & GAS TIGHT, FOR "CENTER" MANHOLE. LOCATE DIRECTLY ABOVE TEE. OLYMPIC FOUNDRY M1025 OR EQUAL.
- FOR 600 AND 750 GALLON INTERCEPTORS, SUBSTITUTE ONE 30" DIA. MANHOLE FOR THE TWO 24" DIA. MANHOLES SHOWN AT THE OUTLET END OF VAULT. CENTER OF 30" DIA. COVER SHALL BE LOCATED 2'-0" FROM OUTLET FACE OF VAULT. RING AND COVER SHALL BE LOCKING TYPE, AIR AND GAS TIGHT.
- ALL RINGS AND COVERS SHALL BE BOLT-LOCKING TYPE, RATED FOR H20 LOAD MINIMUM.
- INTERIOR GREASE INTERCEPTORS SHALL HAVE VENTING PER UNIFORM PLUMBING CODE REQUIREMENTS.
- WALLS TO BE BOLTED AND ROOF/FLOOR GROUTED PER MANUFACTURER'S SPECS.



NTS  
COB Std DII S-24  
**Grease Interceptor**

NTS  
10



- NOTES:**
- MAXIMUM WIDTH OF TRENCH AT TOP OF PIPE:  
\* 36" FOR PIPE UP TO AND INCLUDING 12" NOMINAL DIAMETER.  
\* I.D. PLUS 18" FOR PIPE LARGER THAN 12" NOMINAL DIAMETER.

City Of Bellevue Standard Plan W-5  
**Typical Trench Detail**

NTS  
7



**BELLEVUE SQUARE™**  
**KEMPER DEVELOPMENT COMPANY**

**BELLEVUE SQUARE SE CORNER**

**SITE ADDRESS:  
701 BELLEVUE WAY NE  
BELLEVUE, WA 98004**

**UTILITY DETAILS**

**DESIGN REVIEW  
SUBMITTAL  
APRIL 5, 2013**

**C3.20**

**SCLATER PARTNERS  
ARCHITECTS, PC**

NTS  
Not Used 11