



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 11511 MAIN ST., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Townvue Townhomes

LOCATION OF PROPOSAL: 11830 NE 8th Street

DESCRIPTION OF PROPOSAL:

Design Review and Variance approval to construct 23 townhomes in 4 building on a 1.28-acre site. Variance request is to building a rockery with a side structure setback.

FILE NUMBERS: 13-111959-LD and 13-133054-LS

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on January 16, 2014.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carole V Holland
 Environmental Coordinator

1/2/2014
 Date

OTHERS TO RECEIVE THIS DOCUMENT:
 State Department of Ecology,
 Attorney General
 Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: Townvue Townhomes
Proposal Address: 234 107th Avenue NE
Proposal Description: Design Review approval request to construct 23 townhomes in 4 buildings on a 1.28-acre site and Variance approval to build a rockery within a side structure setback.
File Number: 13-111959-LD
13-133054-LS
Applicant: Wes Giesbrecht
Decisions Included: Combined Design Review, Variance and SEPA Threshold Determination (Process II)
Planner: Sally Nichols
State Environmental Policy Act Threshold Determination: Determination of Non-Significance

Carol V. Helland

Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Recommendation: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: *Carol V. Helland*
Carol V. Helland, Land Use Director

Notice of Application: May 23, 2013 (Design Review/SEPA) & December 12, 2013 (Variance)
Notice of Decision: January 2, 2014
Appeal Deadline: January 16, 2014
Design Review
Expiration Date: January 16, 2016 (if no complete Building Permit application is filed prior to this date - Refer to LUC 20.40.500)

For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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ATTACHED:

Project Drawings
SEPA Checklist

I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests Design Review approval and a SEPA Threshold Determination to construct 23 residential townhome units on an existing multi-family residential site. The 23 townhomes will be distributed among four buildings. The site is 1.28 acres in the R-30 multi-family land use district. It is currently occupied by an existing apartment complex which will be demolished with this proposal. The applicant is also requesting a Variance approval to construct a rock wall within the required side structure setback along the northern property line.

A. Site Design

The Townvue Townhome project will be made up of 23 townhouse units arranged in four separate buildings. The buildings and the individual townhouse units within each building will be staggered to respond to the sloped contours of the site and to work with the natural grade as much as possible.

All homes will be accessed from 107th Avenue SE, a dead-end street that connects to Main Street within the Downtown. There will be no vehicular access to 108th Avenue SE. However, a pedestrian path will provide a link between 108th Avenue SE and 107th Avenue SE through the project site. In order to meet the roadway grades and provide cover for an existing sewer line that bisects the property, the applicant is also proposing to construct a retaining wall along the northern property line where the internal roadway connects with 107th Avenue SE. In some places the wall may be 12-foot high within the northern structure setback.

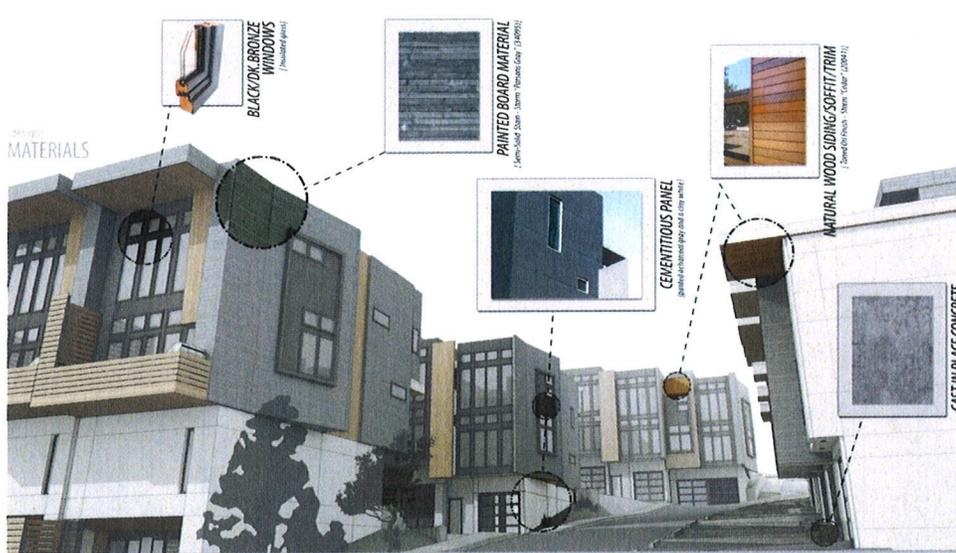
Figure 1 – Birdseye Perspective



Each townhome will have a two-car garage (either tandem or side-by-side) and there will be four guest parking spaces. Due to the narrowness of the internal private

are also consistent with the materials found in new homes in the surrounding single-family neighborhoods. The colors used are earthtones that also will respond well to the surrounding context.

Figure 3 – Building Materials



The heights of the units will vary from 30-feet to 40-feet and there will be rooftop decks on the units in buildings 1 and 2. The townhomes will be staggered to respond to the topography of the site and to break up the bulk and scale of what otherwise would be large rectangular buildings.

Figure 4 – Building Elevations and Heights

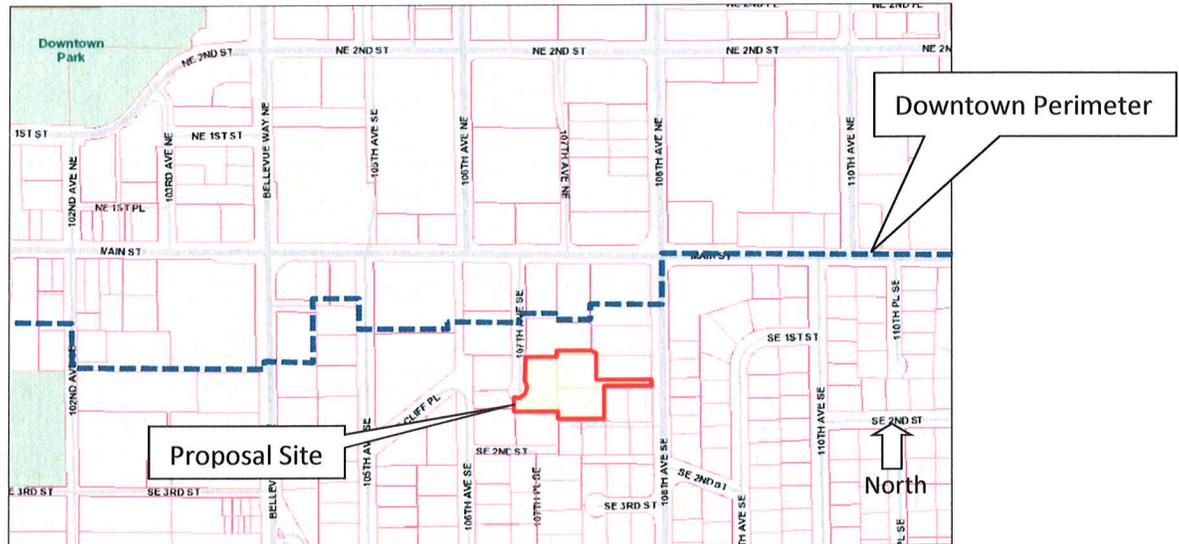


II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT

A. Site Description/Context

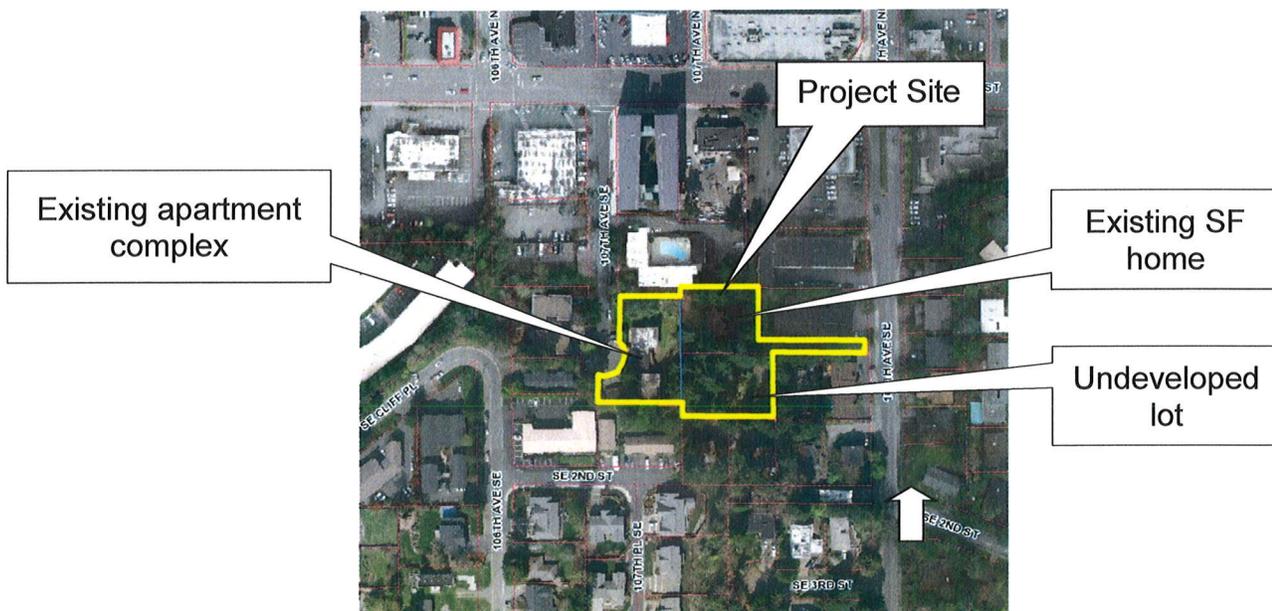
The proposal site lies just south of the southern Downtown perimeter. The surrounding area is mostly developed with residential housing; including both apartments, condominiums and single family neighborhoods to the east (Surrey Downs) and south (refer to Figure 8 - Zoning Map in Section II.B below).

Figure 5 – Vicinity Map



The site is comprised of three parcels, which will be referred to in this report as the “site.” These parcels will need to be combined via a boundary line adjustment into one parcel prior to the issuance of any construction permits. **Refer to Condition of Approval regarding a boundary line adjustment in Section X of this report.**

Figure 6 – Aerial Photograph/Site Context



There is one, older 2-story apartment complex on the western lot which is accessed off of 107th Avenue SE. The complex consists of two small buildings connected with a

carport. The northern building sits approximately 10 feet lower than the southern building. 107th Avenue SE is a steep, dead-end road that intersects with Main Street in the Downtown. There is also an older single family home on the northeastern flag lot that is accessed off 108th Avenue SE via a long driveway. This access driveway will be turned into a utility corridor and pedestrian path that will connect 108th Avenue SE and 107th Avenue SE. The southeastern lot is not developed.

The entire site is heavily wooded primarily with mature Douglas fir trees and native undergrowth. There are steep grades running east-west across the site with an approximately 66-foot drop in grade from the southwestern corner down to 108th Avenue SE. This presented significant site planning challenges. The existing apartment building is built on a relatively level building pad at the site's high point on 107th Avenue SE. The existing single family home lies approximately 46 feet below the southern building of the apartment complex.

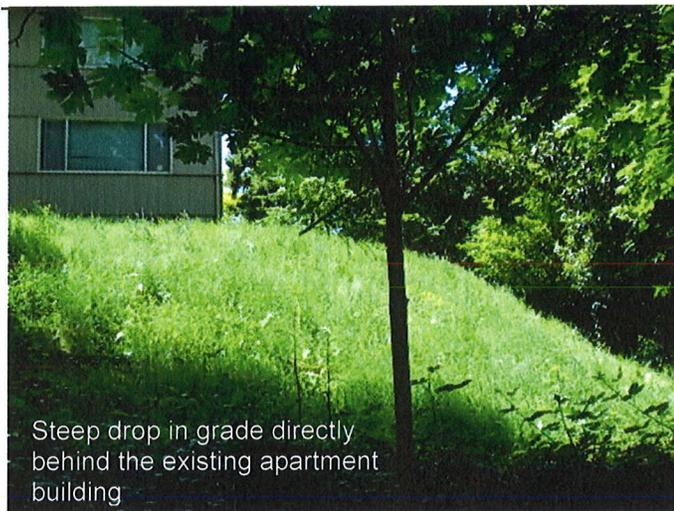
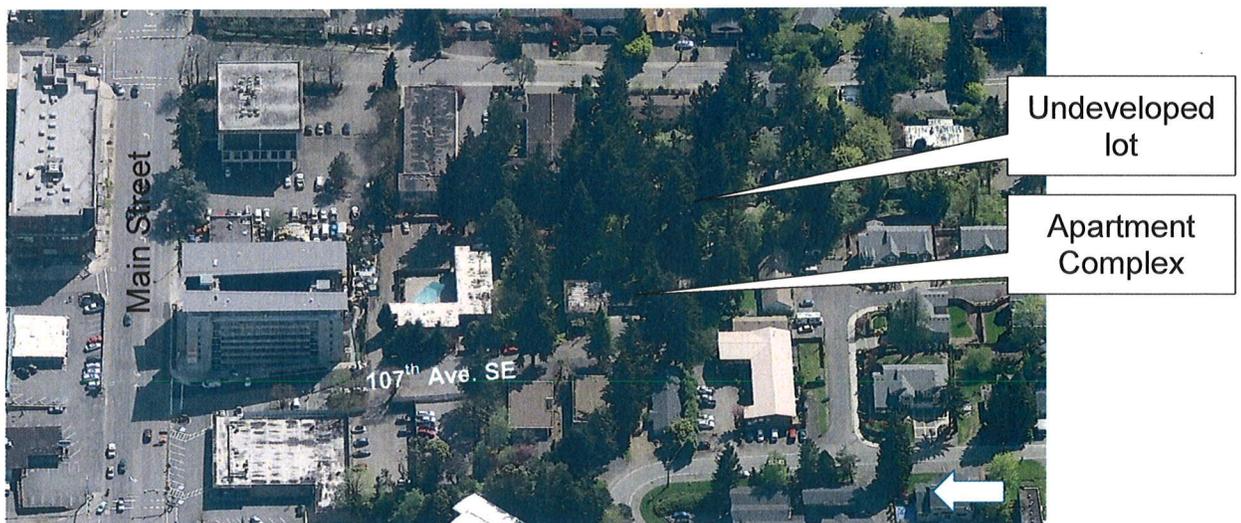
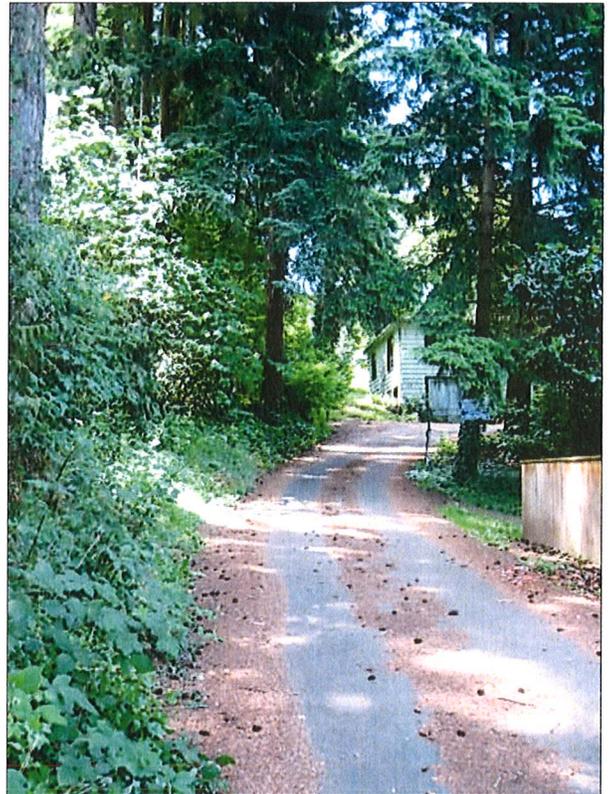


Figure 7 – Bird's Eye Perspective Looking East (existing conditions)





Looking east - existing apartment building on-site fronting on 107th Avenue SE



Looking west - existing driveway off 108th Avenue SE (will become a pedestrian access only)

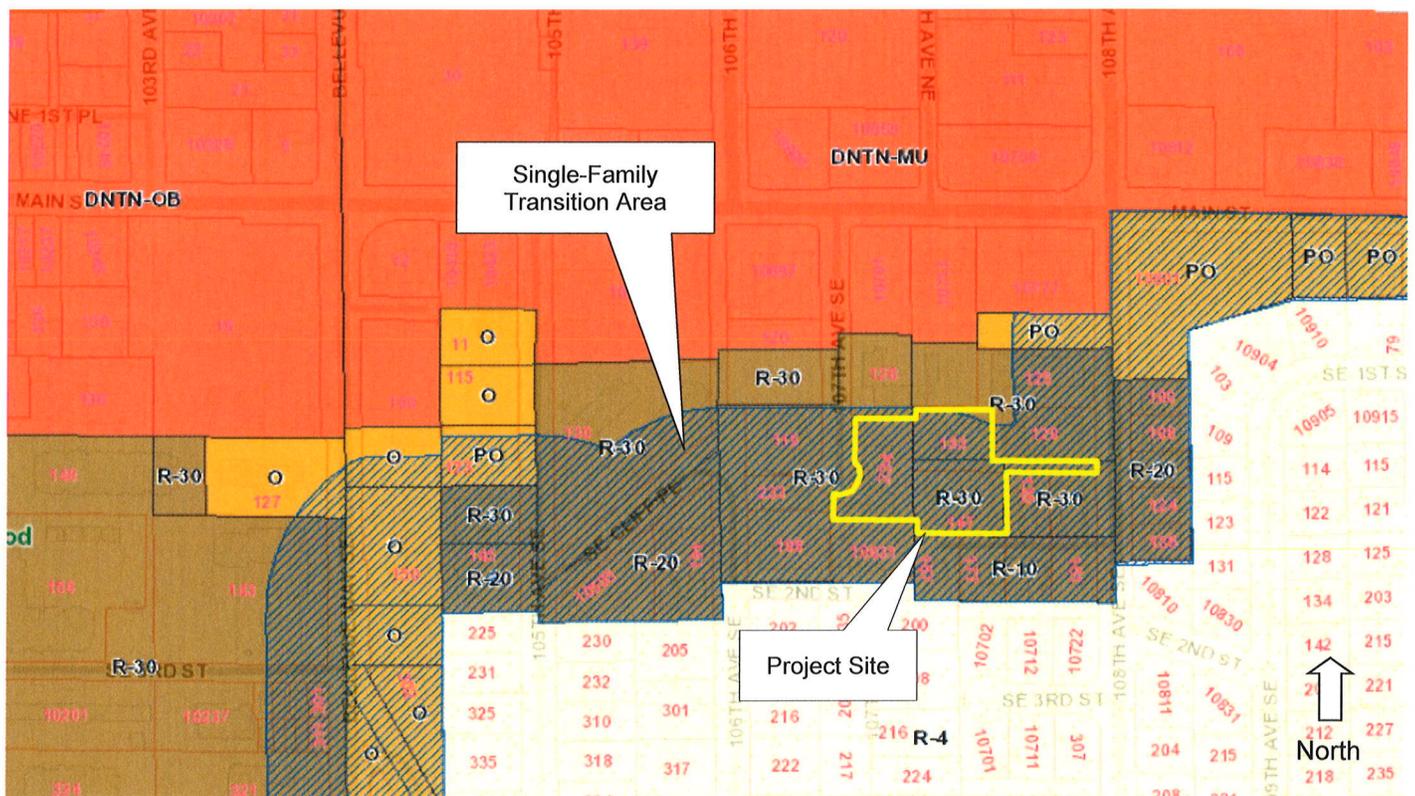


Looking north - view to Downtown from 107th Avenue SE - as seen from cul-de-sac in front of site and existing apartment building

B. Zoning

The site is zoned Multifamily (R-30) and it is within the band of multi-family zoning districts along the southern Downtown perimeter (refer to Figure 8 below). It also lies within the Single Family Transition Area Design District due its proximity to the R-4, single family land use districts to the south and east within the Southwest Subarea of Bellevue. The location of the site within the Transition Area Design District triggered this Design Review process.

Figure 8 - Zoning Map



The uses of the surrounding properties are as follows:

- North:** R-30: Two older, 2-story apartment buildings outside of the Transition Area Design District
- East:** R-30: 2-story multi-family buildings within the Transition Area Design District (one apartment building and one condominium building) and Surrey Downs neighborhood in the R-4 land use district, across 108th Avenue SE to the east
- West:** R-30: 1-2 story apartment buildings within the Transition Area Design District
- South:** R-10: One apartment building and four older, single-family homes within the Transition Area Design District. To the south of this band of R-10 zoning is a single-family neighborhood in the R-4 land use district.

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Use

Uses are regulated by LUC 20.10.400 (Use Charts) and LUC 20.25B (Transition Area Overlay District). While the residential use proposed for this project is permitted in the Multifamily Residential land use district (R-30), it is subject to Design Review approval because it lies within the Transition Area Design District.

2. Dimensional Requirements

All applicable dimensional requirements of the Land Use Code will be met. Refer to the following chart for specific information, as well as Conditions of Approval and the attached Project Plans attached as Exhibit B.

	Permitted/Required	Proposed
Site Area/Zone	55,777 SF R-30 in Single-Family Transition Area Design District Southwest Bellevue Subarea	
Building Height	40 FT is allowed with bonuses measured from average finish grade Max. height of 30 FT within 20 FT of the property line in R-30 LUC 20.25B.040.A	<u>Building 1</u> : 40 FT and 30 FT within 20 FT of property line w/ 2 building segments <u>Building 2</u> : 40 FT and 30 FT within 20 FT of property line w/ 2 building segments <u>Building 3</u> : 40 FT <u>Building 4</u> : 40 FT Meets LUC requirement.
Lot Coverage by Structure	Site area: 55,777 SF 35% = 19,522 SF LUC 20.20.010	Building 1: 4,730 SF Building 2: 4,285 SF Building 3: 3,244 SF Building 4: 3,243 SF <u>Total</u> : 15,502 SF = 27.8% Meets LUC requirement.
Setbacks & Distance between Structures	<u>Front</u> (107 th Avenue SE): 20 feet from the property line <u>Sides</u> : 8 FT Type III perimeter landscaping <u>Rear</u> : (108 th Avenue SE): 25 FT LUC 20.20.010 & 20.25.040.B	<u>Front</u> : 20 FT <u>Sides</u> : 8 FT - Note that a rock retaining wall is within the side setback along a portion of the northern property line. Variance approval for this wall is included in this report. Refer to Section VIII.B <u>Rear</u> : 25 FT Meets LUC requirement.

	Permitted/Required	Proposed
Setbacks (cont'd)	<u>Distance between structures:</u> Min. 20 feet LUC 20.25B.040.B.2	20'-0" minimum is provided Meets LUC requirement.
Parking	1.6 stalls/2 bdrm unit @ 8 units = 13 1.8 stalls/3 & 4 bdrm units @ 15 units = 27 Guest: No requirement Total minimum required = 40 stalls LUC 20.20.590.F.1	Proposed: 50 stalls 46 in townhome garages 4 guest parking spaces Meets LUC requirement.
Maximum Impervious Surface	80% of 55,777 SF = 44,622 SF LUC 20.20.010	36,204 SF = 65% Meets LUC requirement.
Loading	Minimum one 10' x 55' area accessible to a public right of way. LUC 20.20.590.K.4	Not specified. <u>Refer to Condition of Approval regarding loading in Section X of this report.</u> As conditioned, meets LUC requirement.
Landscape	<u>Tree Retention:</u> <u>Perimeter Trees:</u> Required: 100% of perimeter trees = 185 inches <u>Interior Trees:</u> Required: 15% of diameter inches = 123 inches Perimeter Landscape Requirements: <u>Street Frontages:</u> 10 FT Type III perimeter landscaping <u>Interior Property Lines:</u> 8 FT Type III perimeter landscaping Compliance with LUC 20.20.520, 20.20.900 and 20.25B.040.C	Proposed: 86 diameter inches = 46% Proposed: 0 inches (all trees removed) <u>107th Ave. SE & 108th Ave. SE</u> <u>Frontages:</u> Min. 10 FT <u>Interior Property Lines:</u> Min. 8 FT As conditioned, meets LUC requirement. <u>Refer to discussion in Section III.A.3 below regarding the Alternative Tree Retention Option and Conditions of Approval regarding the final landscape plan and landscape installation and maintenance assurance devices in Section X of this report.</u>

	Permitted/Required	Proposed
Recycling & Solid Waste Collection Area	LUC 20.25B.040.F	<p>Solid waste & recycling will be stored in individual garages and picked up in front of each home. Receptacles will be required to have molded plastic lids. <u>Refer to Condition of Approval regarding solid waste/ Recycling and solid waste/recycling receptacle lids in Section X of this report.</u></p> <p>The applicant has provided documentation from Republic Services (City's contracted waste hauler) that the method for pick-up has been reviewed and approved. Letter is in project file.</p> <p>Meets Requirement</p>
Mechanical Equipment	<p>Located on the roof & visually screened, within the bldg or below grade.</p> <p>LUC 20.20.525</p>	<p>There will be no mechanical equipment on the roofs. All mechanical equipment will be located inside the buildings. Meet LUC requirements.</p>

3. Alternative Tree Retention Option

The applicant has proposed to retain 46% of the diameter inches of the perimeter trees (5 existing trees) and to remove all of the interior trees. The loss of these trees will be mitigated via the planting of 103 replacement trees along with additional shrubs and groundcovers. The need for the Alternative Tree Retention Option stems primarily from the topography of the site and the location of the majority of the existing trees as described below.

Topography: The site slopes down almost 66 feet from west to east. Extensive grading will be required to gain access to the homes, meet the road grade at 107th Avenue SE, site the buildings, and provide adequate cover over an existing sewer line that bisects the site.

Location of Existing Trees: The large majority of the existing trees occupy the heart of the slope, on an undeveloped lot. Again, due in large part to the topography, this area is where the largest amount of grading will be required to accommodate the new roads and building pads. It was not possible to retain these trees and achieve the necessary site infrastructure improvements.

Tree Species: Lastly, several of the existing trees were either inappropriate species and/or were planted in locations where they never achieved proper root and canopy development. This is particularly true of the Leland Cypress trees on site, which were planted to create quick screening.

The Alternative Tree Retention Option can be approved under this Design Review application if the following criteria are met:

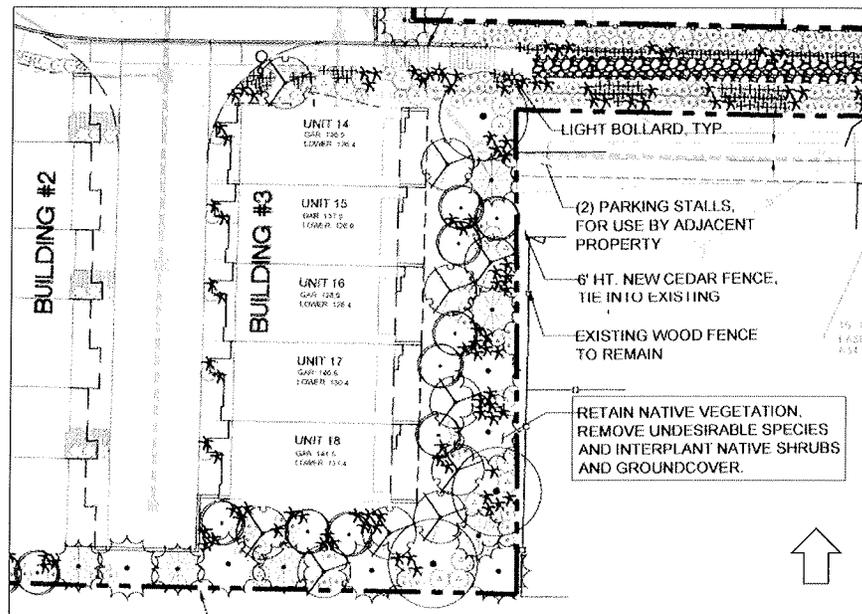
- a. The modification is consistent with the stated purpose of this section;
- b. The modification proposal incorporates the retention or replacement of significant trees equal in equivalent diameter inches or incorporates the increased retention or replacement of significant trees and naturally occurring undergrowth to what would otherwise be required.

Where a modification proposal includes supplemental or replacement trees in lieu of retention, the applicant shall utilize plant materials which complement the natural character of the Pacific Northwest, and which are adaptable to the climatic, topographic, and hydrologic characteristics of the site.

Finding: The Alternative Tree Retention Option can be approved as proposed and conditioned. The replacement trees will be greater in diameter inches than that which will be removed. 222 diameter inches of required trees will be removed. However, the applicant has proposed to replant at least 103 trees with a minimum diameter of 3 inches or a height of 10 feet or greater for a total of at least 309 diameter inches. This is approximately 87 diameter inches over the required 222 replacement inches.

Additionally, a large portion of naturally occurring undergrowth in the southeast corner of the property will be retained and enhanced with additional native plantings. This southeast corner will also have a larger than required landscape buffer to adjust for grading issues and provide room for planting of larger trees. All invasive species such as English ivy and blackberry will be removed from the site and replaced with native shrubs and groundcovers.

Figure 9 – New Planting at the SE Corner of the Site



All replacement trees will be either native or well adapted to the Pacific Northwest to re-establish the existing vegetated character of the neighborhood. All trees will be installed with either a minimum 3-inch caliper or 10-foot height at time of planting. Therefore, the plantings will present a more mature landscape immediately and will achieve a better canopy condition relatively quickly.

All new plantings will be watered by an automatic irrigation system to ensure survival. The applicant will also be required to provide a landscape maintenance device in order to further ensure proper planting establishment. If any of the trees shown to be retained need to be removed as a result of construction, the applicant will be required to receive written permission from Land Use and provide additional landscape mitigation. **Refer to Condition of Approval regarding the trees and final landscape plan and landscape installation and maintenance devices in Section X of this report.**

IV. PUBLIC NOTICE AND COMMENT

Application Date: April 1, 2013 (Design Review/SEPA) and Oct. 23, 2013 (Variance)
Application Completeness Date: April 29, 2013 (Design Review/SEPA) and Oct. 31, 2013 (Variance)
Notice of Application published: May 23, 2013 (Design Review/SEPA) and Dec. 12, 2013 (Variance)
Public Notice Sign installed: May 23, 2013
Minimum Comment Period ended: June 6, 2013 (Design Review/SEPA) and Dec. 26, 2013 (Variance)
Notice of Public Meeting: September 5, 2013
Public Meeting: September 26, 2013

Although the minimum required public comment period ended on June 6, 2013, comments were accepted up to the date of this decision. Land Use received a few phone calls regarding the scope and timing of construction for project and two written comments requesting general information about the project.

No citizens attended the public meeting.

V. TECHNICAL REVIEW

A. Clearing & Grading

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this Design Review application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

B. Utilities

The City has specific capacities for water, sewer and storm drainage in which the developer's and civil engineer shall design to meet the minimum requirements outlined in Bellevue City Code and the Utilities Engineering Standards.

The water, sewer and storm drainage systems have been reviewed on a conceptual basis only. There are no implied approvals of the engineering specifications for the water, sanitary sewer and storm drainage systems for this proposal. Engineering review will be performed through the Utility Developer Extension Agreement (UE Application). Final civil engineering may require changes to the site layout to accommodate the utilities. The Utility Code and Utility Engineering Standards contain adequate design requirements.

The water, sewer and storm drainage systems shall be designed per the Utility codes BCC 24.02, 24.04 and 24.06, and the Utility Engineering Standards. The water, sewer and storm drainage system engineering review, approvals, and inspection shall occur through the Utility Developer Extension application process. **Refer to Condition of Approval regarding utilities in Section X of this report.**

C. Transportation

Site Access

Access to the proposed project will be provided via a single 24-foot wide driveway off of 107th Avenue SE. The proposed driveway will be constructed per Development Standards Detail DEV-7A.

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

1. A combined street tree and street light plan is required for review and approval prior to completion of engineering and landscape plans for their installation. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from driveways (ten feet from Point A in standard drawing DEV-7A). The final engineering plans must include a streetlight plan and specifications prepared by a qualified engineer consistent with Bellevue's streetlight requirements. All necessary engineering details, including standard drawings, for any new or relocated streetlight and associated equipment must be included in the final civil engineering plans for the Clearing and Grading Permit.
2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements
3. The 107th Avenue SE street frontage must be improved to include pavement widening for the east portion of the cul-de-sac, 18" curbs and gutters, 6-foot wide sidewalks and street lights. The face of curb will be placed 19 feet from the right-of-

way centerline and the east half of the cul-de-sac will have a 48 feet radius per Development Standards Detail DEV-1 within 50 feet of right of way. A street profile must be submitted with construction plans. **Refer to Condition of Approval regarding dedication of right-of-way in Section X of this report.**

4. The design and appearance of the sidewalk 107th Avenue SE shall comply with the standards and drawings in the Transportation Department Design Manual, including standard drawings TE-11. The sidewalk shall be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern.

5. The driveway on 107th Avenue SE shall have an approach width, as defined in standard drawing DEV-7A, of 24 feet. The driveway apron design shall be consistent with standard drawing DEV-7A. The internal private roads must have slopes of less than 15%. The landing slope at 107th Avenue SE will be 10% for a distance of 20 feet approaching the back edge of the sidewalk.

6. No new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk.

7. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing Dev-7A. Fixed objects are defined as anything with breakaway characteristics stronger than a typical 4 by 4 wooden post.

8. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.

Refer to Conditions of Approval regarding civil engineering plans for transportation, building and site plans for transportation, and street frontage improvements in Section X of this report.

Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. There are some utility easements contained on this site which are affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished. **Refer to Condition of Approval regarding pedestrian easements in Section X of this report.**

Above grade installation within the sidewalk of transformers and utility vaults is not desirable and will not be allowed without Review Engineer approval. **Refer to Condition of Approval regarding easements for street light boxes and vaults in Section X of this report.**

Right of Way Dedication

To incorporate street improvements such as the new half cul-de-sac and its associated curb and gutter, the developer is required to dedicate such that street surface to back of curb is accommodated within the public right of way. **Refer to Condition of Approval regarding dedication of right-of-way in Section X of this report.**

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department. **Refer to Condition of Approval regarding holiday construction and traffic restrictions in Section X of this report.**

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to condition regarding a right-of-way use permit in Section X of this report.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Near this project 107th Avenue SE has been classified as "Overlay Required" with the City's trench restoration program; therefore, a grind and overlay will also be required. Details of any trench restoration must be shown on the engineering plans. **Refer to Condition of Approval regarding pavement restoration in Section X of this report.**

D. Fire

The Fire Reviewer reviewed the plans and materials submitted for this project and determined that the fire-related portion of this Design Review application can be approved. All roadways within the site will be considered Fire Lanes and are required to be signed and posed "No Parking-Fire Lane." All of the townhomes will require fire sprinklers due to a Fireflow of 880gpm from the nearest hydrant, which is located on 107th Avenue SE. **Refer to Conditions of Approval regarding fire in Section X of this report.**

VI. STATE ENVIRONMENTAL POLICY ACT (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see Environmental Checklist in the project file at City Hall Records Office). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2013-2024 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS), adopted August, 2013 (available in the Records Office at City Hall). This document analyzes the transportation and air quality impacts of the City's Traffic Task Force recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Code or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below together with specific conditions of approval. These impacts will be mitigated through exercise of Code authority as well as through project-specific conditions of approval, contained in Section X of this report.

A. NOISE

Construction Noise: The Bellevue Noise Control Ordinance BCC 9.18 limits noise levels at the property line to 55 dBA (A-weighted sound level), except from 7:00 a.m. to 6:00 p.m. on weekdays and 9:00 a.m. to 6:00 p.m. on Saturdays that are not legal holidays. Expanded hours may be approved by the Land Use Director per BCC 9.18.020.B and approval via an LY permit. However, the site is completely surrounded by residential uses. Restricting the construction hours will reduce noise impacts to neighboring properties. Expanded construction hours during evening or early morning hours should be avoided to minimize noise impacts to nearby residents. In addition, the contractor must use the best available noise abatement technology consistent with feasibility during construction. **Refer to Condition of Approval regarding construction hours and use of best available noise abatement technology in Section XI of this report.**

B. PLANTS

A majority of the existing trees on the site will be removed. However, approximately 309 diameter inches of new trees with minimum 3-inch diameters will be planted. Refer to discussion in Section III.A.3 regarding the Alternative Tree Retention Option.

C. TRANSPORTATION

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2024 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2024 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. Townvue Townhomes development lies within MMA # 7, which has a 2024 total growth projection of 449 multi-family units. This

development proposes 23 townhome units, which will replace the existing 10-unit multi-family building and single family dwelling. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Transportation impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. **Refer to Condition of Approval regarding transportation impact fees in Section X of this report.**

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

This development will generate approximately 5 new p.m. peak hour trips. Therefore, the proposed development is exempt from requirements of the concurrency test.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the p.m. peak hours. In addition, staff analyzed the impacts of services needed at the site, including refuse and recycling pickup, and residential moving trucks. The applicant will provide an enlarged cul-de-sac on the east half of 107th Avenue SE dead-end right of way per the "Road Plan" submitted on October 24, 2013. **Refer to Condition of Approval regarding dedication of right-of-way in Section X of this report.**

VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Site Design

- The number of townhome units was reduced from 26 to 23 in response to the topography, the circulation through the site, the required setbacks, and the height requirements.
- The heights of the end units on buildings 1 and 3 were reduced to respond to the 30-foot height requirement.
- A Variance was identified as being necessary to erect a retaining wall within a portion of the northern side setback that is necessary to protect an existing sewer main.
- A children's play area was moved from the southeast to southwest corner of the site to provide a larger, open and useable play space that was more accessible to all of the units.

VIII. DECISION CRITERIA

Below is a discussion of how the proposal has met the decision criteria for both the Design Review and Variance request.

A. Design Review: The Director may approve, or approve with modifications, an application for Design Review under LUC 20.30F.145.A–E if:

1. The proposal is consistent with the Comprehensive Plan.

This project is consistent with the Comprehensive Plan, which includes policies for the provision of housing along with policies that address the goals of site and building design. The addition of new residential units is consistent with the City’s goal of creating housing for its population and the region under the State’s Growth Management Act. This project is also in alignment with the City’s commitment to maintain, strengthen, protect and enhance its existing residential neighborhoods.

Policy LU-9: *Maintain compatible use and design with surrounding built environment when considering new development or redevelopment within an already developed area.*

Finding: The proposed development is surrounded by older, existing multifamily development (apartments and condominiums). The proposed residential use and townhouse design will achieve compatibility with the surrounding built environment.

Policy HO-17: *Encourage infill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.*

Finding: The proposal involves infill within an existing residential neighborhood which consists predominantly of apartments and condominiums. Although it is a large site, it is under-utilized with only one existing multi-family building and one older single family home on the property. Additional residential units are beneficial to the City’s housing goals and the region’s promotion of jobs/housing balance under the State’s Growth Management Act. In this location, close to the Downtown, this proposal will provide additional housing opportunities for people who choose to live near their jobs in Downtown or in other proximate locations within the City. The existing site is under-utilized with a large amount of open land on-site. The use and site and building design of the proposed development are compatible with the surrounding neighborhood.

Policy UD-2: *Support designs for the built environment that are visually stimulating and thoughtful and which convey excellence in architecture and workmanship, and durability in building materials.*

Finding: The proposed buildings incorporate high-quality design and an interesting composition of durable building materials and colors that will enhance the overall built environment in this neighborhood and subarea.

Policy UD-3: *Encourage a variety of site and building designs which are compatible and consistent with surrounding development and that implement the policies of this plan.*

Finding: The architectural details of the proposed townhomes will be compatible with surrounding residential neighborhoods; particularly those found

in newer development. However, by introducing new materials and updated colors, the proposal project will provide a more vibrant, urban appearance to the buildings, which is warranted due to its very close proximity to Downtown.

2. **The proposal complies with the applicable requirements of this Code.**
The proposal complies with all applicable requirements of the Land Use Code. Refer to Section III of this report for specific information on Land Use Code consistency.
3. **The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.**

As conditioned, the proposal complies with all applicable Design Guidelines contained in LUC 20.25B.050, Transition Area Design District. Key points are summarized as follows:

Site Design Guidelines

a. Vehicular Access

There will be only one access point to the proposal off 107th Avenue SE. Traffic will not be directed through abutting residential districts.

b. Loading and Refuse Collection

As found in the surrounding residential neighborhoods, each townhome resident will store solid waste and recycling containers within the garages and the containers will be collected by Republic Services once a week.

c. Tree Retention

See discussion regarding the Alternative Tree Retention Option in Section III.A.3 of this report.

d. Contextual Compatibility

The applicant considered the surrounding built environment and the topography of the site to design a project that will be compatible with the adjacent residential properties to the east, west, and south as well as with the emerging development found in the southern Downtown perimeter.

Building Design Guidelines

a. Exterior Surfaces (LUC 20.25B.050.B.1).

All materials on exterior surfaces have been chosen to reduce reflectivity onto adjacent properties and fit well within the residential context.

b. Building Facade (LUC 20.25B.050.B.2).

The building facades incorporate offsets, changes in building heights responding to the change in grade, an interplay of materials and colors, and architectural details such as balconies and interesting windows to break down the scale of the building and provide architectural interest.

c. Roof Form (LUC 20.25B.050.B.3).

The proposed buildings will have flat roofs. Although not the pitched roofs found on many single family homes, they are similar to the roof forms found in most of the surrounding multi-family buildings within the R-30 land use district. In addition, these more modern roof forms will provide an interesting transition in building forms moving south from the Downtown while still feeling

very residential in nature.

d. *Communication Dishes (LUC 20.25B.050.B.4)*

No large external communication dishes are proposed.

e. *Exterior Materials and Colors (LUC 20.25B.050.B.5)*

Although contemporary in character, the proposed materials are compatible with the surrounding residential buildings and the earthtone colors complement not only the colors of surrounding buildings but the colors found in the surrounding natural environment.

- 4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**

The proposed buildings have been designed and sited to be compatible with surrounding residential neighborhood, as well as with the development found in the southern Downtown development.

- 5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.**

All required public services and facilities are available to the site.

- B. Variance: The Director may approve or approve with modification an application for a variance from the provisions of the Land Use Code if:**

- 1. The variance will not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and land use district of the subject property;**

The placement of a rock retaining wall that will vary in height up to 12 feet within the side setback will have no impact of the use of adjacent properties. The adjacent property already sits below the proposal property and is bordered by tall, scrubby vegetation. The applicant is also willing to record an easement with the adjacent owner to allow fill at the base of the rockery should the adjacent property ever redevelop. **Refer to Condition of Approval regarding easement to fill along the wall in Section X of this report.**

- 2. The variance is necessary because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property to provide it with use rights and privileges permitted to other properties in the vicinity and in the land use district of the subject property;**

The variance is necessary due to the existing steep topography found on the site. The site will be accessed at the lowest elevation possible on 107th Avenue SE in order to maintain a consistent maximum grade of 15% on the internal roadway as required by the Fire Department for all internal roads. Fill for the roadway will be necessary and this fill will be retained by this wall. In addition, the elevation of the road profile was also constrained by the presence of an existing sewer main running through the site in the northwest corner and the amount of fill required to be placed between the sewer and the roadway. Lastly, the location of the roadway up against the northern property line will allow the applicant to provide two additional guest parking spaces, which will lessen the overall impact of

guests parking on 107th Avenue SE.

3. The granting of the variance will not be materially detrimental to property or improvements in the immediate vicinity of the subject property;

The granting of this variance will not be materially detrimental to property or improvements in the immediate vicinity. The amount of light between the proposal site and the property to the north will be improved over the existing condition, where overgrown vegetation creates a dark condition. There also is no outdoor development along this side of the adjacent building to disturb. Additional landscaping, including trees along the toe of the wall and vines on the wall, will soften the overall affect and create a positive view from adjacent buildings. Slight variations may be required during construction permit review to ensure that the wall does not fall within the sight distance triangle required by Transportation. **Refer to Condition of Approval regarding the trees and final landscape plan in Section X of this report.**

4. The variance is not inconsistent with the Comprehensive Plan.

The variance is consistent with the Comprehensive Plan. Refer to Section VIII.A.1 of this report for applicable Comprehensive Plan policies and proposal consistency.

IX. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, City Code & Standard compliance reviews and SEPA review, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal, which includes Design Review, a Variance request, and SEPA threshold determination.

X. CONDITIONS OF APPROVAL:

Compliance with City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including, but not limited to the following:

Applicable Codes, Standards and Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Janney Gwo, 425-452-6190
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Kevin Carolan, 425-452-7832
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Tim Stever, 425-452-4294
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Abdy Farid, 425-452-7698
Utility Code – BCC Title 24	Don Rust, 425-452-4856

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Noise & Construction Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Proximity to existing residential uses will be given special consideration. Upon written request to DSD, work hours may be extended to 10:00 p.m. if the criteria for extension of work hours as stated in BCC 9.18 can be met and the appropriate mitigation employed.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Sally Nichols, Land Use

2. Use of Noise Abatement Technology

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020F
REVIEWER: Sally Nichols, Land Use

3. Holiday Construction & Traffic Restrictions

Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

AUTHORITY: BCC 14.30.060
REVIEWER: Tim Stever, Right-of-Way/Transportation

4. Provisions For Loading

The property owner shall provide an off-street loading space which can access a public street. On-street loading and unloading on 107th Avenue SE will not be permitted.

AUTHORITY: LUC 20.20.590.K.4
REVIEWER: Sally Nichols, Land Use

5. Utilities

There are no implied approvals of the engineering specifications for the water, sanitary sewer and storm drainage systems for this proposal. Engineering review will be performed through the Utility Developer Extension Agreement (UE Application). Final civil engineering may require changes to the site layout to accommodate the utilities. The Utility Code and Utility Engineering Standards contain adequate design requirements.

The water, sewer and storm drainage systems shall be designed per the Utility codes BCC 24.02, 24.04 and 24.06, and the Utility Engineering Standards. The water, sewer and storm drainage system engineering review, approvals, and inspection shall occur through the Utility Developer Extension application process.

AUTHORITY: BCC 24.02, 24.04, 24.06
REVIEWER: Don Rust, Utilities

6. Fire

- a) All roadways for this project will be considered Fire Lanes and are required to be signed and posted "No Parking-Fire Lane" as per Bellevue Standards (IFC 503.3 Bellevue Amended).
http://www.bellevuewa.gov/pdf/Fire/F-11_FireCurbSigns.pdf
- b) All townhomes will require fire sprinklers due to a fireflow of 880gpm from nearest hydrant which is located on 107th Ave SE.

AUTHORITY: IFC 503.3 Bellevue Amended
REVIEWER: Kevin Carolan, Fire

7. Solid Waste/Recycling

All pick-up functions will be handled on-site and all rights of way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

AUTHORITY: LUC 20.20.725
REVIEWER: Sally Nichols, Land Use

B. **PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:**

1. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction

activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever, Transportation/Right-of-Way

2. Civil Engineering Plans - Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway access and the turnaround must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) Installation or relocation of streetlights and related equipment.
- d) Sight distance. (Show the required sight triangles and include any sight obstructions, including those off-site.)
- e) Location of fixed objects in the sidewalk or near the driveway approach.
- f) Trench restoration within any right of way or access easement.
- g) Street lighting plan.

Specific requirements are detailed below.

- a) The applicant will provide an enlarged cul-de-sac on the east half of 107th Avenue SE dead-end right of way per the "Road Plan" submitted on October 24, 2013.
- b) Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.
- c) Miscellaneous:
 - ♦ Driveway aprons must be constructed in accordance with Design Manual Standard Drawing DEV-7A.
 - ♦ Landings on sloping approaches are not to exceed a 10% slope for a distance of 20 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
 - ♦ Vehicle and pedestrian sight distance must be provided per BCC

14.60.240 and 14.60.241. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

AUTHORITY: BCC 14.60; Transportation Department Design Manual
REVIEWER: Abdy Farid, Transportation

3. Trees and Final Landscape Plan

- a) The Final Landscape Plan shall be submitted with the clearing and grading application to ensure compliance with all Land Use Code requirements. In addition, the Final Landscape Plan shall also be submitted for reference with all building permits. Plant species shall be chosen to minimize irrigation demands and reduce maintenance requirements.
- b) The applicant will be required to plant a **minimum** of 103 replacement trees, each with a minimum diameter (at time of planting) of 3-inches.
- c) If any of the trees shown for retention need to be removed during construction, the applicant shall first obtain written permission from Land Use and propose additional trees as directed by Land Use. Each replacement tree shall be 3-inches minimum.
- d) Additional small trees and large shrubs shall be planted at the base of the northern retaining wall and shown and approved on the final landscape plan.

AUTHORITY: LUC 20.20.520 and 20.25B.040.C
REVIEWER: Sally Nichols, Land Use

D. PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:

1. Transportation Impact Fee

Payment of the traffic impact fee will be required at the time of building permit issuance. This fee is subject to change and the fee schedule in effect at the time of building permit issuance for the above ground building permit will apply. Fee credit will be given for removal of the existing structures.

AUTHORITY: BCC 22.16
REVIEWER: Abdy Farid, Transportation

2. Building and Site Plans – Transportation

Building plans, landscaping plans, and architectural site plans must accommodate driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241
REVIEWER: Abdy Farid, Transportation

3. Existing Easements

There are utility easements contained on this site which are affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: BCC 14.60.100
REVIEWER: Tim Stever, Transportation/Right-of-Way

4. Easements for Street Light Boxes and Vaults

Above grade installation of transformers and utility vaults within the sidewalk is not desirable and will not be allowed without Review Engineer approval.

The applicant shall provide easements to the City for location of street light facilities such as above-grade boxes and below-grade vaults between the building and sidewalk within the landscape area.

AUTHORITY: BCC 14.60.100
REVIEWER: Abdy Farid, Transportation

5. Pedestrian Easements

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

AUTHORITY: BCC 14.60.100
REVIEWER: Abdy Farid, Transportation

6. Dedication of Right of Way

The applicant shall dedicate right of way to the City along the property frontage such that street improvements to and including the back of new curb are located within the public right of way.

AUTHORITY: BCC 14.60.090
REVIEWER: Abdy Farid, Transportation

E. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. Street Frontage Improvements

All street frontage improvements and other required transportation elements, including pavement widening, street light installation, must be constructed by the applicant and accepted by the City Inspector. All existing street light and apparatus affected by this development, including power sources, must be relocated as necessary. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction.

The applicant is responsible for half-roadway improvements on 107th Avenue SE including the half cul-de-sac as shown per the "Road Plan" submitted on October 24, 2013.

AUTHORITY: BCC 14.60.090, 100, 110, 120, 130, 150, 181, 210, 240, 241, 250; Transportation Department Design Manual Sections 4, 5, 7, 11, 14, 15, 19, 20, 21, 22, 23; and Transportation Department Design Manual Standard Drawings DEV-1, DEV-7A, DEV-10, DEV-11, TE-2, TE-3, TE-10, TE-11 and TE-21.
REVIEWER: Abdy Farid, Transportation

2. Pavement Restoration

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

107th Avenue SE: Based on this street pavement classification, it is designated as "Overlay Required." Street cutting is permitted only with extraordinary pavement restoration. A full grind and overlay from center of the roadway to the new curb line along the entire site's frontage will be required.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #21
REVIEWER: Tim Stever, Right-of-Way/Transportation

3. Easement to Fill along Northern Rock Retaining Wall

Prior to any TCO, the applicant shall record a fill easement which will allow the neighbor directly to the north (126 107th Avenue SE) to fill up against the new rock retaining wall that lies within the northern side setback of the Townvue Townhomes property. The language and dimensions (if any) of the fill easement shall be approved by Land Use prior to recording.

AUTHORITY: LUC 20.30G
REVIEWER: Sally Nichols, Land Use

4. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the applicant shall submit the following: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation and inspection approval by Land Use and Clearing and Grading.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

5. Landscape Maintenance Assurance Device

A landscape maintenance assurance device must be filed with the Development Services Department for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

6. Solid Waste/Recycling – Receptacle Lids

All lids for any solid waste and/or recycling receptacles must be made of molded plastic or other sound buffering material.

AUTHORITY: LUC 20.25B.040.F
REVIEWER: Sally Nichols, Land Use

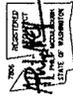
Attachments

- A. Project Plans
- B. SEPA Checklist

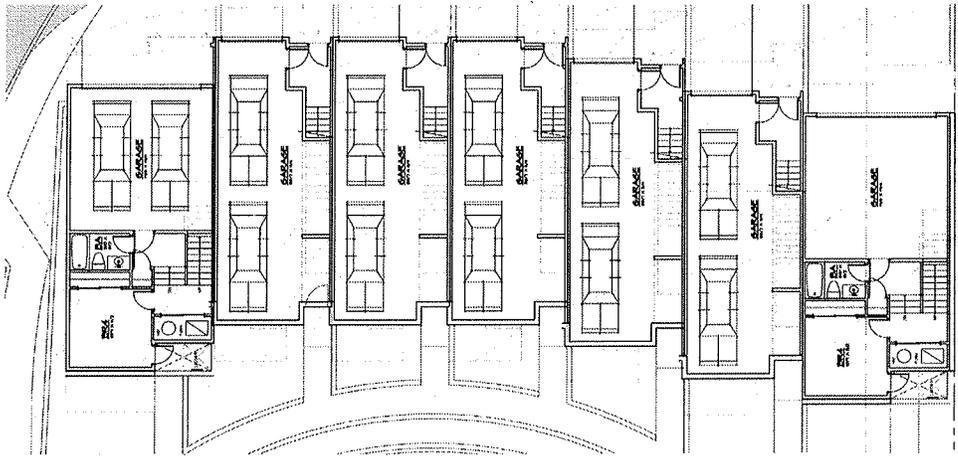


TOWNVE TOWNHOMES
234 107TH AVENUE SE
BELLEVUE, WASHINGTON
BUILDING #1 - FLOOR PLANS

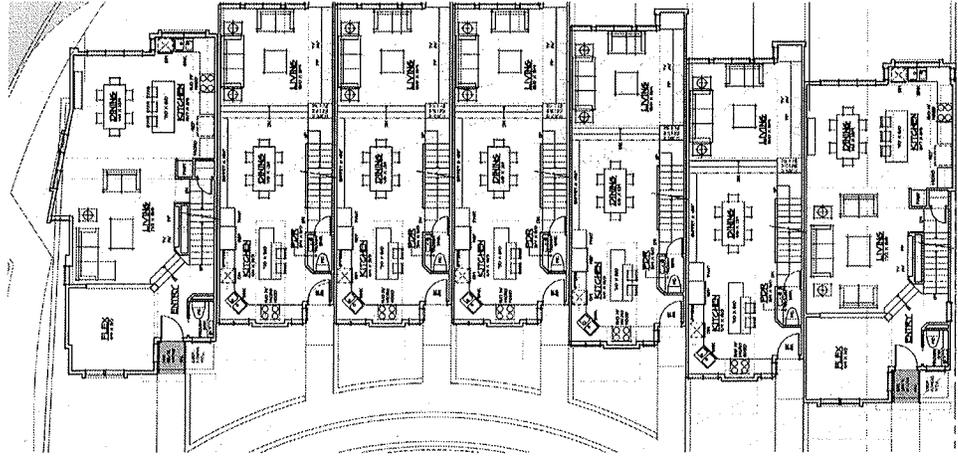
Hackworth Group
Architectural Planning
5700 Corson Avenue South • Seattle, WA 98108
206.443.1181



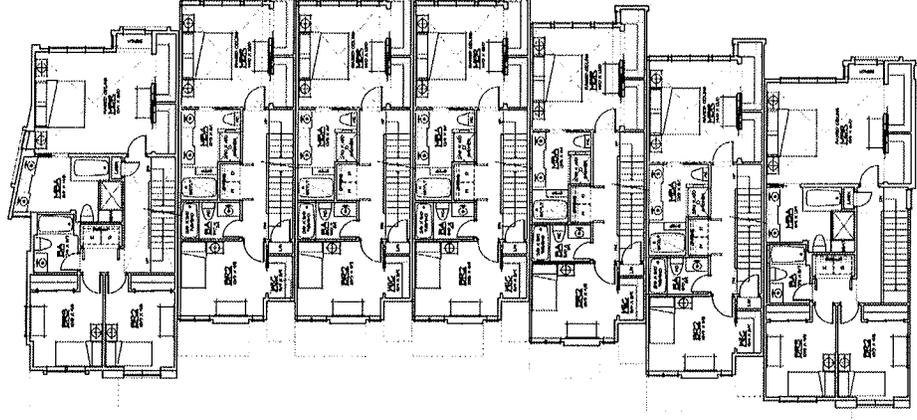
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Checked By	APL
Drawn By	APL
Issue Date:	02/29/2013
Project No.	50335001
Revision Description	No. Date
PER CTY DESIGN REVIEW COMMENTS	1 08/01/2013
PER CTY DESIGN REVIEW COMMENTS	2 10/22/2013



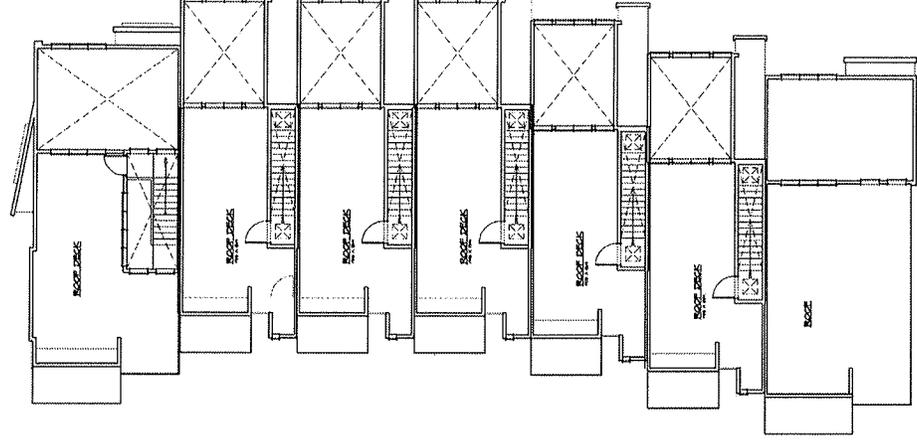
LOWER FLOOR PLAN



MAIN FLOOR PLAN



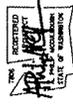
UPPER FLOOR PLAN



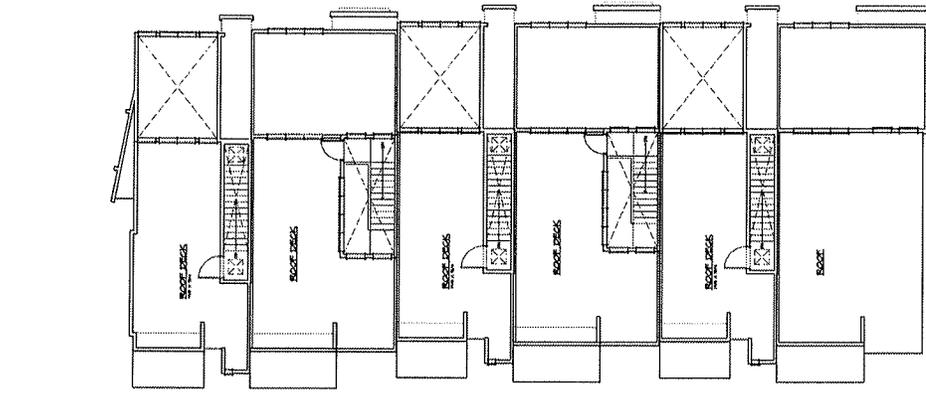
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TOWNVE TOWNHOMES
234 107TH AVENUE SE
BELLEVUE, WASHINGTON
BUILDING #2 - FLOOR PLANS

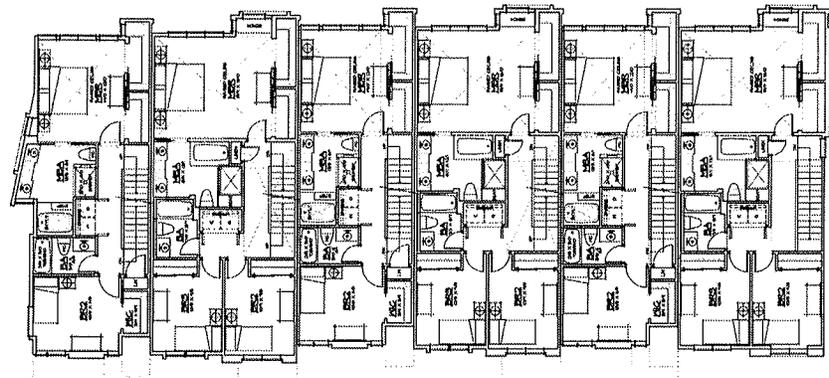
Blackworth Group
 Architecture/Planning
 5700 Carson Avenue South • Seattle, WA 98108
 206.443.1181



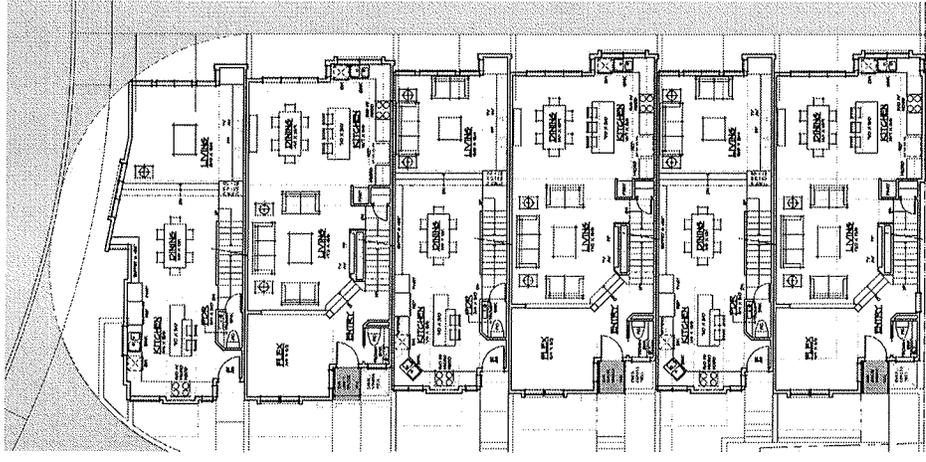
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Checked By:	APU	
Drawn By:	APU	
Issue Date:	03/29/2013	
Project No.:	50135001	
Revision Description:		
No.	Date	Revision Description
1	08/01/2013	PER CITY DESIGN REVIEW COMMENTS
2	10/22/2013	PER CITY DESIGN REVIEW COMMENTS



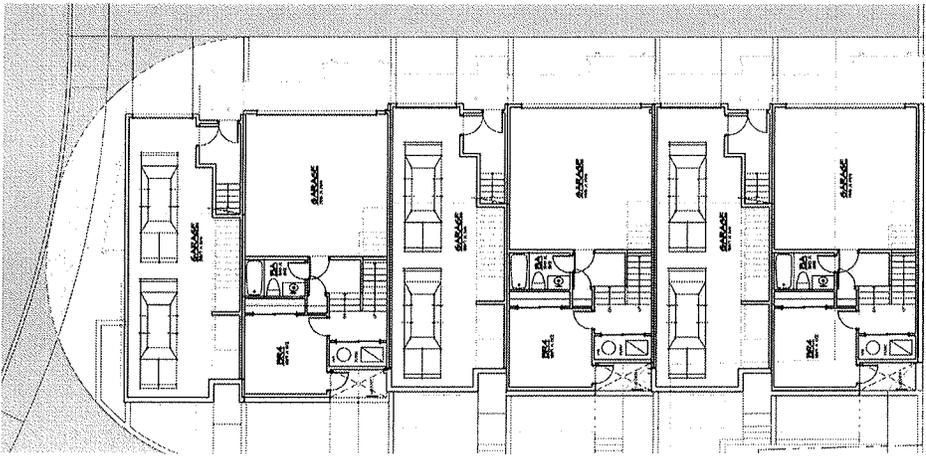
ROOF



UPPER FLOOR PLAN



MAIN FLOOR PLAN



LOWER FLOOR PLAN



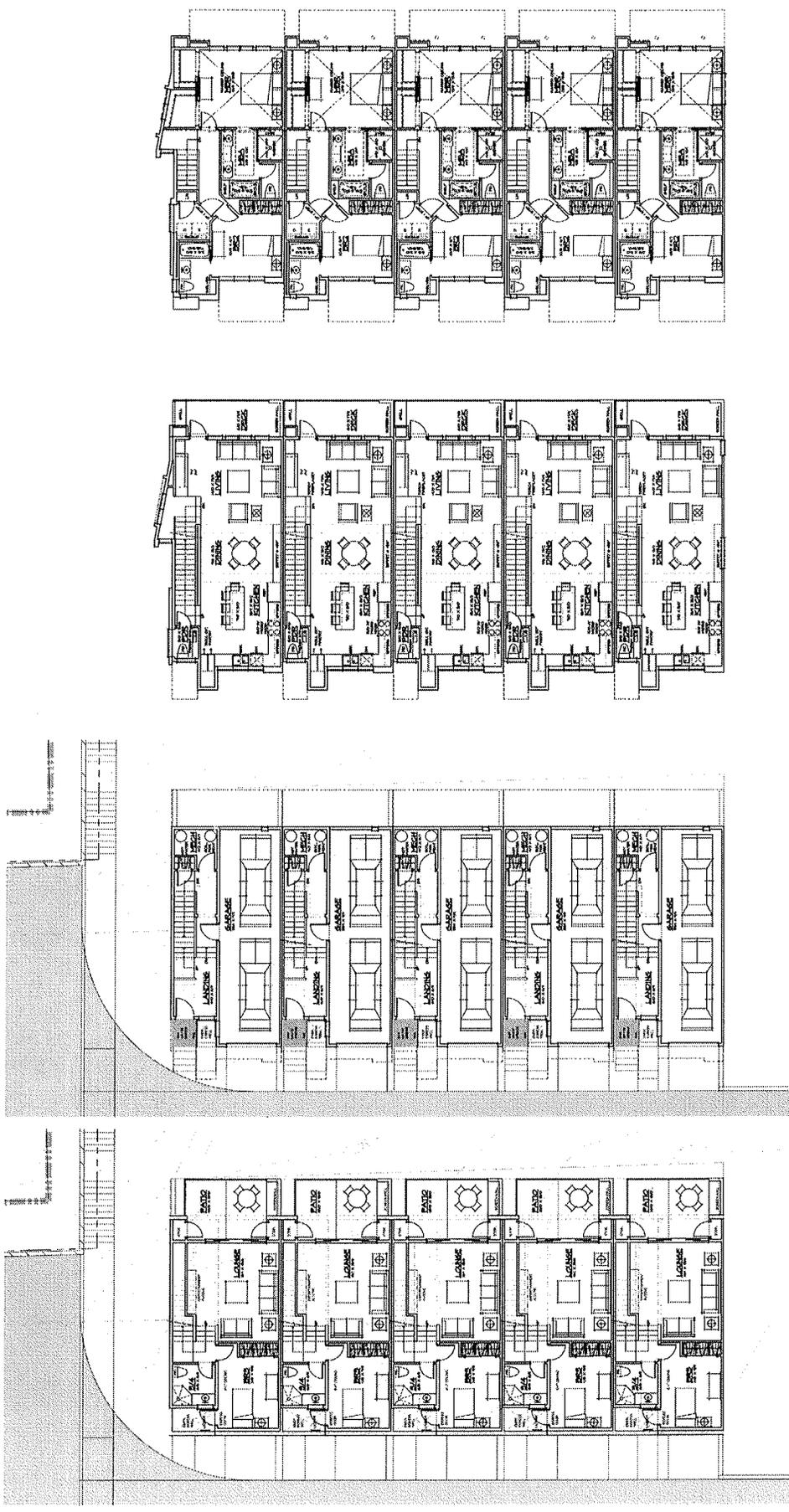
TOWNVUE TOWNHOMES
234 107TH AVENUE SE
BELLEVUE, WASHINGTON
BUILDING #3 - FLOOR PLANS

Blackworth Group
Architectural Planning
5700 Carson Avenue South • Seattle, WA 98108
206.443.1181



Designed By: APW
Drawn By: IWT
Checked By: APW
Project No.: 50335001
Issue Date: 03/29/2013
DESIGN REVIEW

No.	Date	Revision Description
1	08/01/2013	PER CITY DESIGN REVIEW COMMENTS
2	10/22/2013	PER CITY DESIGN REVIEW COMMENTS



THIRD FLOOR PLAN

SECOND FLOOR PLAN

MAIN FLOOR PLAN

BASEMENT

Designed By:	APM	
Checked By:	APM	
Drawn By:	UT	
Project No.:	20335001	
Revision Description	No.	Date
PER C TY DESIGN REVISION COMMENTS	1	08/01/2013
PER C TY DESIGN REVISION COMMENTS	2	10/22/2013



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TOWNHUE TOWNHOMES
 234 107TH AVENUE SE
 BELLEVUE, WASHINGTON
 BUILDING #3 - ELEVATIONS

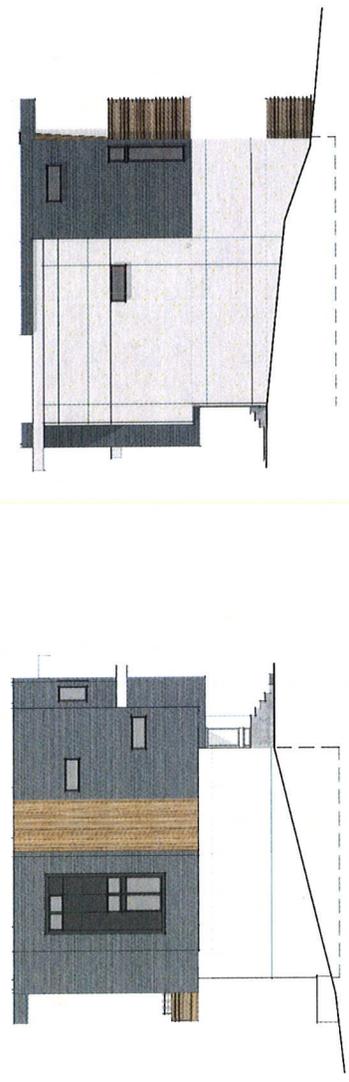
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WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

BUILDING #3 ELEVATIONS
 SCALE: 1/8" = 1'-0"



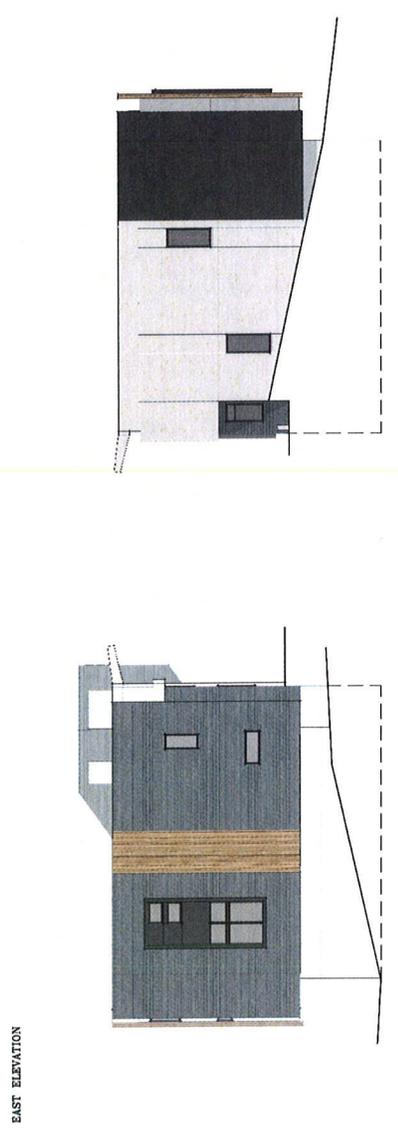
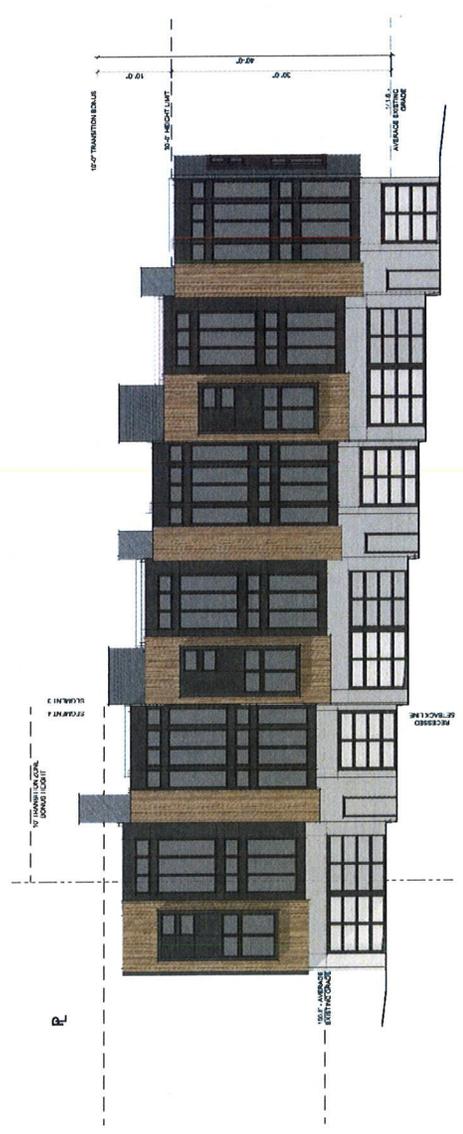
Designed By:	APM	
Drawn By:	UT	
Checked By:	APM	
Issue Date:	03/29/2015	
No.	Date	Revision Description
1	08/01/2015	PER C TY DES ON REV EIV COMMENTS
2	10/22/2015	PER C TY DES ON REV EIV COMMENTS
Project No. 50335001		



H Beckwith Group
 Architecture + Planning
 5700 Connon Avenue South • Seattle, WA 98108
 206.443.1181

TOWNVUE TOWNHOMES
 234 107TH AVENUE SE
 BELLEVUE, WASHINGTON
 BUILDING #2 - ELEVATIONS

A32



BUILDING #2 ELEVATIONS
 SCALE: 1/8" = 1'-0"

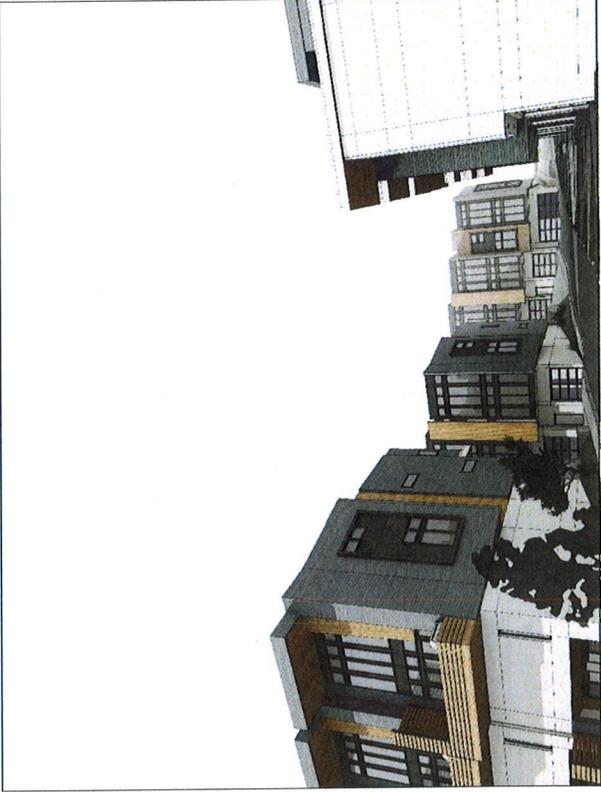


TOWNVUE TOWNHOMES
234 107TH AVENUE SE
BELLEVUE, WASHINGTON
PERSPECTIVES

Hackworth Group
Architecture Planning
5700 Coron Avenue South • Seattle WA 98108
206.443.1181



Designed By:	AFM
Drawn By:	I RT
Checked By:	AFM
Issue Date:	03/29/2013
Revision Description:	
No.	Date
1	08/01/2013 PER C TY DESI ON REV EW COMMENTS
2	10/22/2013 PER C TY DESI ON REV EW COMMENTS
Project No.	50335001



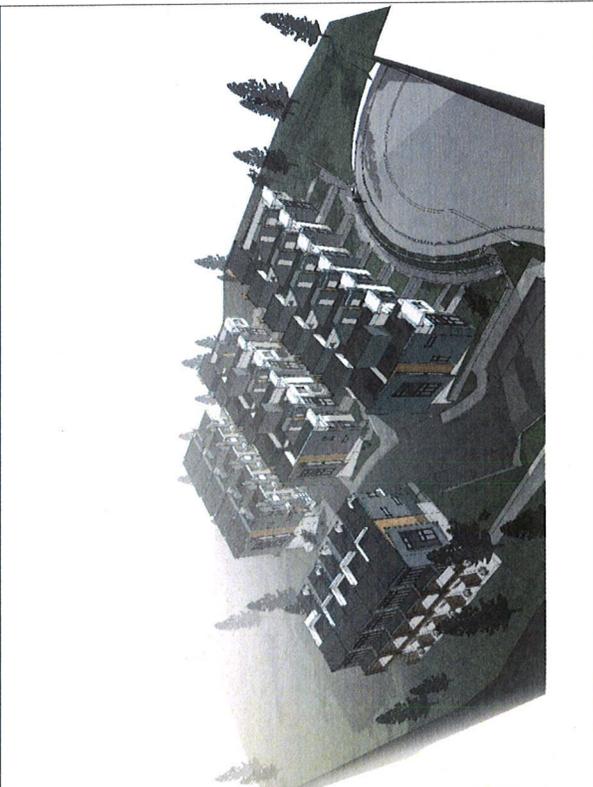
PERSPECTIVE #4



PERSPECTIVE #2



PERSPECTIVE #3



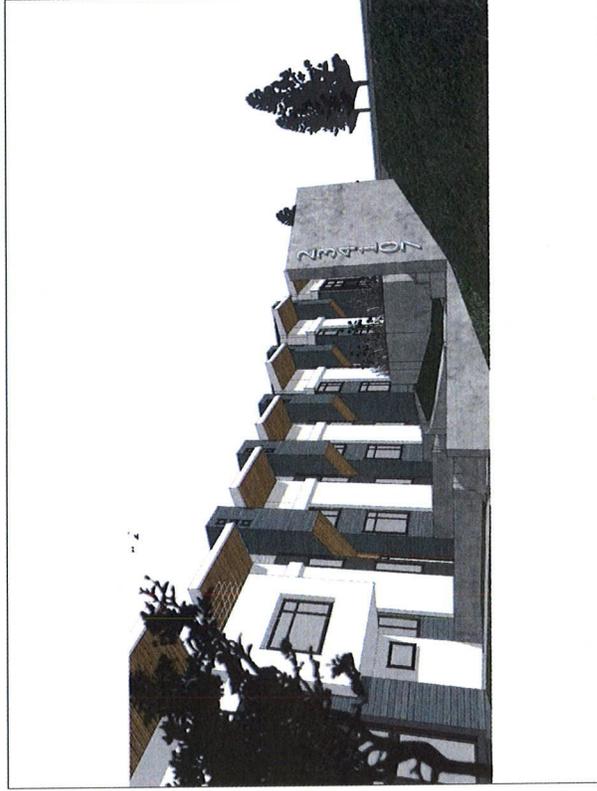
PERSPECTIVE #1

TOWNVUE TOWNHOMES
234 107TH AVENUE SE
BELLEVUE, WASHINGTON
SIGN MASTER PLAN

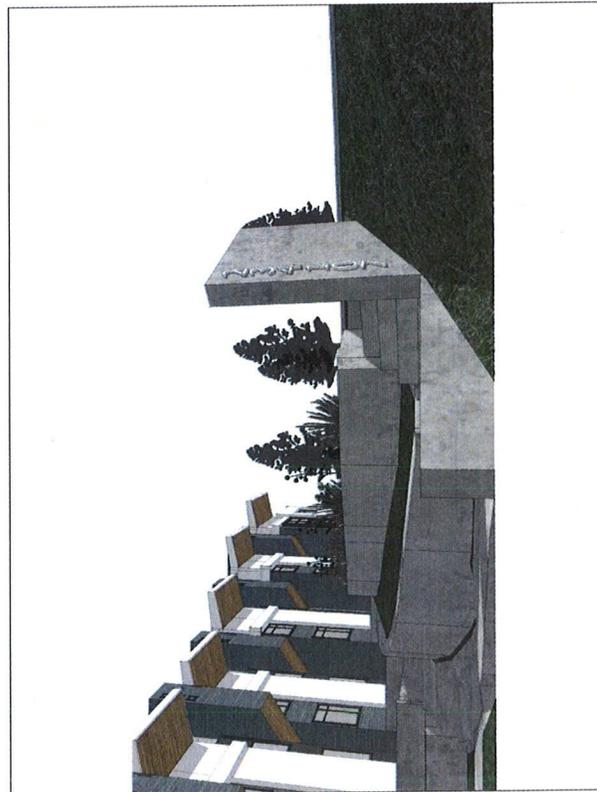
Hackworth Group
Architecture Planning
5700 Coron Avenue South • Seattle, WA 98108
206.443.1181



Designed By:	AYM
Drawn By:	AYM
Checked By:	AYM
Project No.:	20335001
Issue Date:	03/29/2013
No.:	1
Date:	08/01/2013
Revision Description:	PER C TY DESIGN REVIEW COMMENTS
No.:	2
Date:	10/22/2013
Revision Description:	PER C TY DESIGN REVIEW COMMENTS



PERSPECTIVE #2



PERSPECTIVE #1

Issue No.	Date	Revision Description
1	03/29/2013	PER C TY DES ON REV EN COMMENTS
2	10/22/2013	PER C TY DES ON REV EN COMMENTS

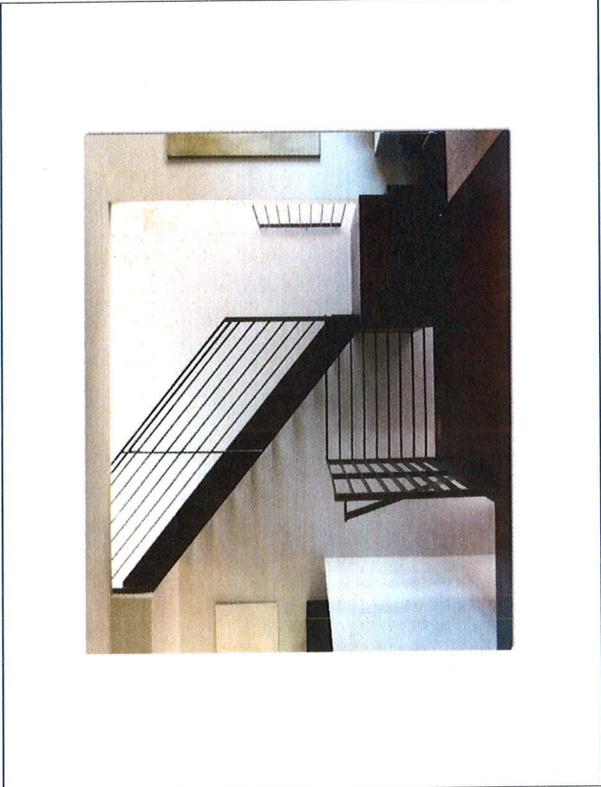
Designed By: APM
 Drawn By: I UT
 Checked By: APM
 Project No.: 50335001



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 206.443.1181

TOWNHUE TOWNHOMES
 234 107TH AVENUE SE
 BELLEVUE, WASHINGTON
 BUILDING MATERIALS

A6.0



EXTERIOR/INTERIOR RAIL SYSTEM

ATLANTIC 9600

"THERMAL FRAME" LUXURY HOME HINGED DOOR

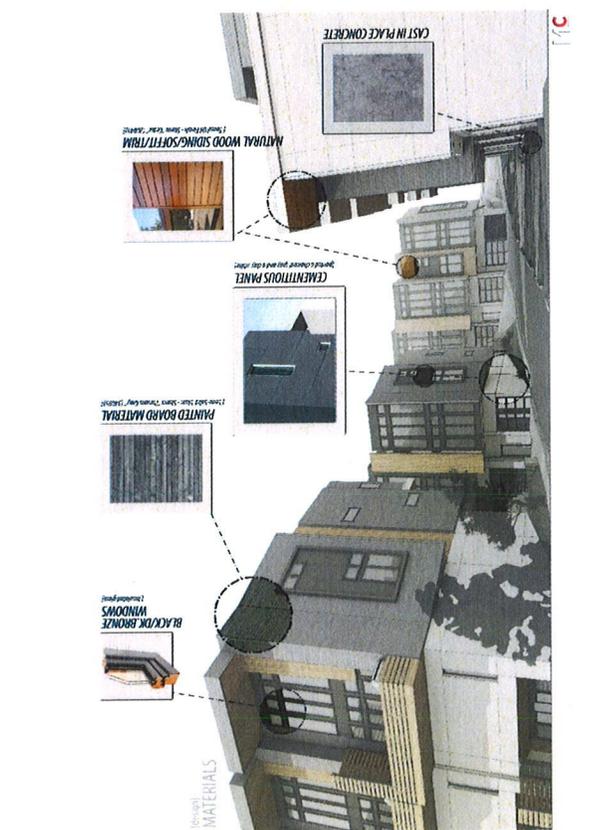
COMPONENTS: 1. Thermal Frame 2. Glass Panel 3. Hardware
DETAILS: 1. Thermal Frame 2. Glass Panel 3. Hardware
NOTES: 1. Thermal Frame 2. Glass Panel 3. Hardware

ATLANTIC 9600

"THERMAL FRAME" LUXURY HOME HINGED DOOR

COMPONENTS: 1. Thermal Frame 2. Glass Panel 3. Hardware
DETAILS: 1. Thermal Frame 2. Glass Panel 3. Hardware
NOTES: 1. Thermal Frame 2. Glass Panel 3. Hardware

DOOR SYSTEM



EXTERIOR MATERIALS

WINA 3600

"THERMAL FRAME" WINDOW-WALL

COMPONENTS: 1. Thermal Frame 2. Glass Panel 3. Hardware
DETAILS: 1. Thermal Frame 2. Glass Panel 3. Hardware
NOTES: 1. Thermal Frame 2. Glass Panel 3. Hardware

WINA 3600

"THERMAL FRAME" WINDOW-WALL

COMPONENTS: 1. Thermal Frame 2. Glass Panel 3. Hardware
DETAILS: 1. Thermal Frame 2. Glass Panel 3. Hardware
NOTES: 1. Thermal Frame 2. Glass Panel 3. Hardware

WINDOW SYSTEM

Sally Nichols
Dec. 3, 2013

BACKGROUND INFORMATION

Property Owner: M.S. Ventures I Limited Partnership ✓

Proponent: Wes Giesbrecht ✓

Contact Person:

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 15080 North Bluff Road White Rock, B.C. (Canada) V4B 5C1 ✓

Phone: (206) 769-1888 ✓

Proposal Title: Townvue Townhomes ✓

Proposal Location:

(Street address and nearest cross street or intersection) Provide a legal description if available. ✓

234 107th Avenue SE

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: ✓

The project proposes to construct ³26 new townhouse units with associated roads and utilities on three existing parcels.

2. Acreage of site: ✓

1.28 Acres

unit reduction due to site constraints/city review

3. Number of dwelling units/buildings to be demolished:

11 Units / 3 Buildings to be demolished

4. Number of dwelling units/buildings to be constructed: ✓

²³26 Units / 4 Buildings

5. Square footage of buildings to be demolished: ✓

8,008 SF of buildings to be demolished

6. Square footage of buildings to be constructed: ^{35,040 SF in 4 bldgs} ✓

~~60,665~~ SF of buildings to be constructed

(lot coverage 15,502 sq ft)

7. Quantity of earth movement (in cubic yards): ✓

25,000 CY

8. Proposed land use: ✓

Residential

9. Design features, including building height, number of stories and proposed exterior materials: ✓

Building Height: 40', Stories: 3 and 4, Exterior Materials: Wood, cement board, metal, composition and glass.

^{30 & 40'}

10. Other

Estimated date of completion of the proposal or timing of phasing: ✓

12/31/2015

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No ✓

SN

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. ✓

Geotechnical Report prepared by Terra Associates, Inc., dated January 9, 2013.

in project file

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known. ✓

No

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Permits applied for: Preapplication Conference (12 132712 DB; 01/24/13) and Predevelopment Services (13-106123DC; 1/29/13)
Permits required: Design Review (LD), Boundary Line Adjustment (BLA-LW), Major Project (BB), Developer Extension Agreement (UE), ROW Surface Disturbance Permit, Fire Sprinklers and Alarms, and NPDES Permit.

*LG (variance for rock wall)
13-189054-LG incl. in this
Design review decision)*

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal): ✓

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development
Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

wooded / ~~is~~ one parcel undeveloped ✓

b. What is the steepest slope on the site (approximate percent slope)?

The steepest slope on site is 40%. The average slope across the site is approximately 19%

but does not qualify as a steep slope per like 20.25H. ✓

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland. ✓

The site is underlain by medium dense to very dense silty sand with gravel, sand with silt and gravel, and sand with silt.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. ✓

No

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source

of fill.

It is anticipated that approximately 25,000 CY of material will be moved during grading operations. The site will be graded to approach a balanced site (cut to fill). Any imported and exported materials will be obtained and/or transported from an approved and permitted location. Treatment of saturated and wet soils may be accomplished using a cement treated base (CTB) or similar material. ✓

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. Temporary erosion and sediment control measures will be implemented in accordance with City of Bellevue standard practices and requirements to minimize short term construction impacts. ✓

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? ✓

Approximately 73% 92,204 SF = 65%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

A Temporary Erosion and Sediment Control Plan will be submitted for the City's review and approval. Approved erosion mitigation measures and source control BMPs will be implemented prior to and during construction. The erosion control plan will include such elements as filter fabric fencing, a construction entrance and the employment of Best Management Practices during construction. Chitosan, or similar additive, may be used in addition to baker tanks to assist in sediment removal.

Erosion control per
C&B inspection §
BCC 23.76 ✓

BCC 23.76
erosion and
sediment
control ✓

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Construction vehicles and equipment will result in increased emissions and dust into the air. After project completion, emissions to the air will be limited to the vehicle exhaust generated by residents of Townvue Townhomes.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. ✓

No

c. Proposed measures to reduce or control emissions or other impacts to the air, if any: ✓

Site will be sprinkled with water during construction as necessary to control dust.

construction dust
suppression
measures per
BCC 23.76 ✓

BCC 23.76 ✓

3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. ✓

No

(2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans. ✓

No

NS

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. ✓

N/A

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. ✓

No

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. ✓

No

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. ✓

No

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description. ✓

No

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. ✓

Sanitary sewer will be discharged to the city of Bellevue public sanitary sewer, so no wastewater will be discharged into the ground.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. ✓

Onsite stormwater runoff from the paved surfaces will be collected and transported via a system of curb, gutter, catch basins, and underground storm drainage pipe. The onsite conveyance system will join the closed municipal conveyance system in 108th Avenue SE which ultimately discharges to the Mercer Slough.

(2) Could waste materials enter ground or surface waters? If so, generally describe.

No

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Onsite stormwater detention will mitigate any impacts on stormwater runoff quantity. An approved biofiltration swale will provide water quality enhancement of onsite stormwater runoff.

*Per Utilities code
BCC 24.06 - storm
and surface water*

4. Plants

a. Check or circle types of vegetation found on the site: ✓

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered? ✓

A majority of the site, with the exception of some significant trees designated to remain, will be stripped of existing vegetation as part of the proposed construction.

c. List threatened or endangered species known to be on or near the site. ✓

None

*native veg in S. east corner
will remain & be enhanced
tree removal requires
Alternative Tree Retention
Option LVC 20.20.900
(see chapt III of
staff report)*

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The project site will be landscaped in accordance with the City of Bellevue requirements. This includes landscaped buffers along the project boundaries.

*Advance to
LVC 20.20.900 / LVC 20.20.520 &
20.25B.040.c
(Transition
area
buffers)*

5. ANIMALS

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- Birds: hawk, heron, eagle, songbirds, other: ✓
- Mammals: deer, bear, elk, beaver, other:

*other animal
per lowland
forests*

Fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site. ✓

None

c. Is the site part of a migration route? If so, explain.

No

d. Proposed measures to preserve or enhance wildlife, if any: ✓

None

✓ Pacific NW flyway - replant tree canopy per Alternative Tree Retention Option LUC 20.20.900 ✓

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc. ✓

Electric and natural gas are available on the project site, and will be used for heating and lighting. ✓

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. ✓

No

would actually increase solar access for adjacent properties ✓

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any: ✓

None

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. ✓

No

(1) Describe special emergency services that might be required. ✓

N/A

CA 9 code BCC 23.76 DOE chapters in W.A.C. ✓

(2) Proposed measures to reduce or control environmental health hazards, if any. ✓

N/A

b. Noise

(1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)? ✓

Traffic noise from nearby roads will not affect the proposed project.

(2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site. ✓

Short term construction noise would be generated only during the construction hours approved by the City of Bellevue. ✓

Construction Noise regulated per BCC 9.18 ✓

24

(3) Proposed measures to reduce or control noise impacts, if any:

Construction will be limited to daytime hours, per City of Bellevue requirements, to control noise impacts.

BCC 9.18

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties? ✓
The project site and adjacent properties are currently used for residential use only.
- b. Has the site been used for agriculture? If so, describe. ✓
No
- c. Describe any structures on the site.
There are currently (3) two-story apartment buildings on the project site. *one apt is was a SF home*
- d. Will any structures be demolished? If so, what? ✓
All onsite structures will be demolished.
- e. What is the current zoning classification of the site? ✓
The current zoning is R-30 Multi-Family.
- f. What is the current comprehensive plan designation of the site? ✓
The current comprehensive plan designation is MF-H.
- g. If applicable, what is the current shoreline master program designation of the site? ✓
N/A
- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. ✓
No
- i. Approximately how many people would reside or work in the completed project? ✓
Approximately 100 people will live in the completed project.
- j. Approximately how many people would the completed project displace?
Approximately 20 people.
- k. Proposed measures to avoid or reduce displacement impacts, if any: ✓
None
- i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:
The proposed development is consistent with the current zoning and the comprehensive plan designation.

Required Design Review since in SF Transition LUG 20.25B Ind. ~~plan~~ dimensional reqmts. ✓

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. ✓

28 townhouse units are proposed. Housing is middle to high income.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. ✓

Fourteen apartments will be removed. Housing removed is low to middle income.

- c. Proposed measures to reduce or control housing impacts, if any: ✓

None

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? ✓

Tallest Building Height: 40', Principal Building Exterior: Wood, cement board and glass.

- b. What views in the immediate vicinity would be altered or obstructed? ✓

The views of the existing property will be replaced with the view of the new townhomes. This development will include landscaping and open space that are not present on the undeveloped site.

- c. Proposed measures to reduce or control aesthetic impacts, if any: ✓

The project will be designed per the city of Bellevue codes and standards. The design materials selected for the building exterior will improve the aesthetics of the neighborhood.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? ✓

None

- b. Could light or glare from the finished project be a safety hazard or interfere with views? ✓

No. The project lighting will be designed to provide a safe level of lighting within the development.

✓ Design review req'd because in SF Transition LDC 20.25 B
✓ cut off shields may be on exterior lighting

- c. What existing off-site sources of light or glare may affect your proposal? ✓
None
- d. Proposed measures to reduce or control light or glare impacts, if any: ✓
The project lighting will be designed to provide a safe level of lighting. Light poles and spacing will be designed per city of Bellevue standards and to minimize any light encroachment on adjacent properties.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? ✓
As a part of this project, a 2,500 SF play area will be provided. Additionally, Downtown Bellevue Park and Bellevue High School are within 0.5-mile of the project site and both provide recreational facilities.
- b. Would the proposed project displace any existing recreational uses? If so, describe. ✓
No
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: ✓
A play area and open space are proposed as part of the project.

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. ✓
No
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site. ✓
None
- c. Proposed measures to reduce or control impacts, if any: ✓
N/A

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. ✓
The site is served from Main Street, 107th Avenue SE, and 108th Avenue SE. The main project access is located on 107th Avenue SE. *107th dead end of. (peds only when project complete)*
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? ✓
Yes. The nearest bus stop is 0.1 miles away.
- c. How many parking spaces would be completed project have? How many would the project eliminate? ✓
Each unit will have its own garage, generally providing two (2) parking stalls for each unit. There will also be 5 guest parking stalls. The project would eliminate 8 carport stalls. *50 parking total proposed*
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓
The project proposes 3 new private roads for access. Half street improvements are proposed for 107th Avenue SE.
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. ✓
No

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓

Approximately less than 15 p.m. peak hour trips per day and 300 total vehicular trips per day would be generated by the completed project.

g. Proposed measures to reduce or control transportation impacts, if any: ✓

The project will be required to pay traffic mitigation fees to the City of Bellevue, which will be used to make improvements to City streets.

*Title 14 -
Transportation Code
22.16*

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

The project will require police and fire department protection.

*schools
etc.
all services
req'd in adjacent
residential
neighborhoods*

b. Proposed measures to reduce or control direct impacts on public services, if any. ✓

None

16. Utilities

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other. ✓

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓

Underground water, sanitary sewer, and storm drainage systems are proposed to serve the project site. Gas, power and cable TV services will also be required to serve each unit.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature..... *S. B. P.E.*

Date Submitted..... *3/29/13*

