



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 450 110th Ave NE
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: John Darvish

LOCATION OF PROPOSAL: 1899 116th Avenue NE

DESCRIPTION OF PROPOSAL: To demolish two existing structures and replace with a one story medical office building over at grade structured parking, 13,775 gross square feet on a 19,448 square foot site located in the BR-MO zone.

FILE NUMBERS: 13-111934 LD **PLANNER:** Liz Stead

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **11/7/2013**
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carle V. Heller
 Environmental Coordinator

10/24/2013
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife / Stewart.Reinbold@dfw.gov; Christa.Heller@dfw.wa.gov;
- State Department of Ecology, Shoreline Planner N.W. Region / Jobu461@ecy.wa.gov; sepaunit@ecy.wa.gov
- Army Corps of Engineers Susan.M.Powell@nws02.usace.army.mil
- Attorney General ecyolyef@atg.wa.gov
- Muckleshoot Indian Tribe Karen.Walter@muckleshoot.nsn.us; Fisheries.fileroom@muckleshoot.nsn.us



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: **Darvish Medical Building**

Proposal Address: 1899 116th Avenue NE

Proposal Description: Application for Design Review approval to construct a new one story medical office building over at grade structured parking. The building will be 13,775 gross square feet with 41 parking stalls. Site improvements include utilities, upper level terraces, landscaping, and new sidewalk with street trees/planting strip. Project also includes demolition of two existing single family residences being used for commercial uses. The site area is 19,448 square feet.

File Number: **13-111934-LD**

Applicant: John Darvish

Decisions Included: Design Review

Planner: Liz Stead, Planning Manager

State Environmental Policy Act Threshold Determination: Determination of Non-Significance

Carol V. Helland
Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Recommendation: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland
Carol V. Helland, Land Use Director

Application Date: March 29, 2013
Notice of Application: June 6, 2013
Minimum Comment Period: June 20, 2013
Notice of Decision: October 24, 2013
Appeal Deadline: November 7, 2013

For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

CONTENTS

I.	Request/Proposal Description.....	Pg. 3
II.	Site Description, Zoning & Land Use Context.....	Pg. 4
III.	Consistency with Land Use Code/Zoning Requirements.....	Pg. 5
IV.	Public Notice & Comment.....	Pg. 8
V.	Technical Review.....	Pg. 9
VI.	State Environmental Policy Act (SEPA).....	Pg. 13
VII.	Changes to Proposal Due to City Review.....	Pg. 16
VIII.	Decision Criteria.....	Pg. 16
IX.	Decision.....	Pg. 19
X.	Conditions of Approval.....	Pg. 19

Attachments:

Project Plans & Drawings
Environmental Checklist

I. REQUEST and REVIEW PROCESS

A. Request

Application for Design Review approval to construct a new one story medical office building over at grade structured parking. The building will be 13,775 gross square feet with 41 parking stalls. Site improvements include utilities, upper level terraces, landscaping, and new sidewalk with street trees/planting strip. Project also includes demolition of two existing single family residences being used for commercial uses. The site area is 19,448 square feet.



View from 116th Avenue NE

The applicant also requests approval of an Alternative Landscape Option to reduce a portion of the required landscape buffer at the south property line. See Section III.A.4 for detailed discussion regarding the Alternative Landscaping Option.

The building will have a contemporary look that is consistent with the design goals for the Bel-Red Medical Office zone. Medical tenant spaces will be provided ranging in size from 2,500 square feet to 6,000 square feet per tenant. The building owners, with a naturopathic healthcare practice, will occupy approximately half the tenant space, 5,500 square feet. Covered parking is provided on the ground floor.

The exterior colors of the building will be from a warm palette and will emphasize earth tones. Special attention has been given to an appropriately scaled street wall that will be responsive to the pedestrian environment and conducive to supporting a strong pedestrian experience. The massing of the proposal has been designed to create a varying experience along the street edge. Three ground level materials are being proposed to offer visual relief; flat metal panel, perforated metal screening/wire mesh panels, and terracotta tile cladding. The parking is entirely screened by architectural features and further screened by landscaping elements.

The upper level contains the medical clinic and tenant spaces. Four large balconies accent the four elevations and contain large planters which will hold mature trees and plantings. An interior courtyard open to the sky is located in the center of the upper level and will provide daylight to

interior spaces.

The use of pedestrian scaled design details enhances the pedestrian experience. These include a strong main entry and enhanced landscaping along 116th Avenue NE. In addition to the landscaping at the street, there are large second story terraces with sizable planting elements which will draw the eye upward and soften the façade.

B. Review Processes

Design Review is required since the project is located in the Bel-Red Medical Office (BR-MO) land use district. A Design Review application is a Process II application (LUC 20.35.200) with an administrative decision by the Director of Development Services (LUC 20.30F).

A SEPA threshold Determination is also a Process II decision with administrative decision by the Environmental Coordinator. Appeals are heard and decided by the Hearing Examiner for Process II applications. Minor changes to the approved Design Review may be processed as a Land Use Exemption. **See related Condition of Approval in Section X.A.**

II. SITE DESCRIPTION, ZONING AND LAND USE CONTEXT



Aerial Vicinity Map

A. Site Description

The 19,448 square foot project site fronts 116th Avenue NE. There are two existing single family residences (3,563 gross square feet) currently being used for commercial purposes which will be demolished as a part of this project. Two existing trees will be retained and seven will be removed along with existing lawn and vegetation, see Table 1 for percentages

of tree retention. There are no critical areas onsite. The site drops about four feet from 116th Avenue NE (east) to 115th Avenue NE at the property line (west).

B. Context and Zoning

The property is located within the Wilburton neighborhood at the southwest corner of 116th Avenue NE and NE 19th Street. The surrounding area is mainly comprised of single family residential structures that have been converted to commercial uses. Zoning at the subject parcel and all areas surrounding is BR-MO, the area was rezoned from Office (O) in 2009 with the implementation of the Bel-Red section of the Land Use Code.



Zoning Map

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Uses

Uses are regulated by Bellevue Land Use Code (LUC) Sections 20.20 (General Development Requirements) and 20.25D (Bel-Red District). The proposed medical office use is permitted in the Bel-Red Medical Office zoning district (BR-MO) subject to Design Review approval.

2. Dimensional Requirements

All applicable dimensional requirements for Land Use Code 20.20 (General) and 20.25D (Bel-Red District) will be met. Refer to the following for specifics.

Table 1
Land Use Code (LUC) Statistical Table

Zone: BR-MO	Permitted/Required	Proposed	Comments
Height	70 feet (LUC 20.25D.080.A)	27.5 feet	Meets LUC.
Impervious Surface	75%	82% (Innovative techniques are being used to meet code requirements)	Meets LUC. Refer to discussion regarding Impervious Surface in Section III.A.1 below.
Setbacks	0' setback on 116 th Avenue NE, NE 19 th Street and 115 th Avenue NE	1'-5" setback at 116 th Avenue NE, 0' setback at NE 19 th Street, 8" setback at 115 th Avenue NE	Meets LUC.
Streetscape and Landscaping	<p>116th Avenue NE: 6' sidewalk, 5' planting strip, 6" curb (Arterial Landscaping)</p> <p>NE 19th Street: 6' sidewalk, 5' planting strip, 6" curb (Local Street Landscaping)</p> <p>115th Avenue NE: 6' sidewalk, 5' planting strip, 6" curb (Local Street Landscaping)</p> <p>Interior Property Line at South: 10' Landscape Buffer</p>	<p>6' sidewalk, 9'-10" planting strip, 6" curb</p> <p>6' sidewalk, 5' planting strip, 6" curb</p> <p>6'-5" sidewalk, <u>4'-6"</u> planting strip</p> <p>6'-0"</p>	<p>Meets LUC.</p> <p>Meets LUC.</p> <p>Sidewalk/planting strip dimensions must meet code. <u>See related Condition of Approval in Section X.B</u></p> <p>Refer to discussion regarding <u>Alternative Landscaping Option in Section III.A.2</u> below.</p>
Street Trees 116 th Avenue NE NE 19 th Street 115 th Avenue NE	Summit Ash Village Green Zelkova Village Green Zelkova	Summit Ash Village Green Zelkova Village Green Zelkova	Meets LUC.

Loading	One off-street area. (LUC 20.20.590.K.4)	Loading space provided in parking garage.	Meets LUC.
Recycling & Solid Waste Collection Area	An area measuring at least 28 SF, as calculated here: 2 SF/1,000 SF @ 13,775 = 28 SF minimum. (LUC 20.20.725)	139 square foot enclosure provided at the west side of the site.	Meets LUC. <u>See related Condition of Approval in Section X.C</u>
Mechanical Equipment	Locate on the roof or below grade and visually screen. (LUC 20.20.525)	Rooftop mechanical equipment located behind a 6' high perforated mechanical screen.	Meets LUC. <u>See related Condition of Approval in Section X.C</u>
Compact Stalls	Maximum 50%	46%	Meets LUC.
Number of parking stalls	46 stalls at 4/1,000 nsf	41 stalls provided in accordance with reduction after review of parking study provided by applicant. See parking section below.	Meets LUC. Refer to discussion regarding Parking in Section III.A.3 below.
Floor Area Ratio (FAR)	Minimum and Maximum Permitted is 1.0	0.71	Meets LUC.

1. Impervious Surfaces

The applicant is proposing an impervious surface area of 82%, with the LUC requiring a 75% maximum coverage. The applicant seeks to use LUC 20.20.460.G, "Innovative Techniques" to mitigate the shortfall in impervious surface requirements. They have proposed using green roof technology which would be assessed at 0.43 square feet of green roof area to one square foot of impervious surface area. The applicant proposes a green roof of 3,250 square feet to meet the needs of this project. See report from KPFF Consulting dated July 6, 2012 in the project file for more information about the technical details of the proposed green roof. Applicant's proposal has been reviewed by Art Chi, Utilities Plan Review. Mr. Chi has indicated that the conceptual plan is consistent with regulations required by LUC 20.20.460.G, therefore the concept is approved for further development and review in construction drawing stage. **See related Condition of Approval in Section X.B.**

2. Alternative Landscape Option – Interior Property Line

The applicant has requested an alternative landscape option to the City of Bellevue requirement for a ten foot landscape buffer along interior property lines. The proposed

landscaping will incorporate a native buffer between the applicant's property and their neighbors to the south. Two significant trees are being retained, and existing invasive species will be removed and replaced with native plant materials. Evergreen and deciduous trees have been chosen for this location that are a minimum of six feet tall at installation and spaced no further than 30 feet on center. In addition to the evergreens, shrubs have been selected that will grow a minimum of three and one-half feet tall with ground cover that will cover the area within three years. Landscape mounding will be included in this area except near the existing trees that are to be retained. Based upon the above, and the modification criteria listed within LUC 20.20.520.J, the requested ALO is approved as depicted in Sheets L1.01 – L1.05 of attached drawings.

3. Parking Requirement

For medical offices a parking ratio of 4.0 spaces per 1,000 net square feet is required by LUC 20.25D.120.B.2, line F, the Land Use Director is given authority to modify the minimum required parking through LUC 20.25D.120.F. The applicant has requested a modification to the parking ratio after having commissioned a parking study by the Transpo Group dated November 2, 2012. In that parking study a ratio of 3.4 spaces per 1,000 net square feet was recommended specifically for this use. The applicant has provided for a slightly higher ratio of 3.6 spaces per 1,000 net square feet to align with the peak ratio at comparable locations. Providing parking at this ratio will provide 41 parking spaces for the project, 19 of those spaces are allocated as compact, under the 50% maximum as imposed by code. No adverse impact is anticipated beyond the site. The applicant's request to modify the parking ratio for this use from 4.0 spaces per 1,000 net square feet to 3.6 spaces per 1,000 net square feet is approved.

IV. PUBLIC NOTICE AND COMMENT

Notice of Application was published in the City of Bellevue's Weekly Permit Bulletin and the Seattle Times on June 6, 2013. It was mailed to property owners within 500 feet of the project site and a two-sided Public Information Sign was installed on the project site on the same day. Although the minimum required public comment period ended on June 20, 2013, comments were accepted up to the date of this decision.

One comment was received from the public as of the writing of this staff report. The comment was submitted by Jennifer Benoliel, a neighbor to the project. Ms. Benoliel voiced concerns about the noise during construction affecting her business working with children. Her place of business is located in close proximity to the site. In response to Ms. Benoliel's comments she was informed of the City's code requirements for noise and the construction hours that are conditioned in this report, **See related Condition of Approval in Section X.A of this report.** This information and request for sensitivity during construction is also being passed on to the applicant for his construction company's information.

Ms. Benoliel also expressed concerns that street parking is limited at the site and the street parking may become unavailable for her clients during the construction phase of this project. The project is conditioned to not permit construction parking on the street,

including vehicles used by construction workers to access the site. **See related Condition of Approval in Section X.A of this report.**

V. TECHNICAL REVIEW

A. Utilities

Approval of the Design Review Application Only. There are no implied approvals of the utility engineering. All water, sewer & storm drainage design review, plan approval and field inspection shall be done through the Utility Developer Extension Agreement application, water application process, side sewer permit(s) and or storm drainage connection permits. **See related Condition of Approval in Section X.A of this report.**

B. Fire

The Fire Department has reviewed and approved this permit. Technical review will occur under associated building permits for this proposal.

C. Clear and Grade

The Clearing and Grading Section of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. Technical review will occur under associated Clearing and Grading permits for this proposal.

D. Transportation

Site Access

Vehicular access to the proposed project will be via one driveway off NE 19th Street. No other driveways are approved. This driveway will be approximately 85 feet from 116th Avenue NE, measured near side to near side. Parking will be at ground level under the main floor of the building. Most deliveries are expected to be by trucks of the UPS/Fedex type, which are up to 30 feet long, but usually shorter. Routine service by trucks longer than 30 feet is not expected. Drawings submitted by the applicant indicate that the turning movements of delivery trucks up to 30 feet long can be accommodated in the parking area within the building. In addition, adequate vertical clearance for standard delivery trucks must be provided at the garage door and throughout the truck maneuvering area within the building. Prior to building permit approval, the applicant must provide proof of adequate vertical clearance. Signage governing truck movements may be required.

Garbage pick-up off 115th Avenue NE will be acceptable, as conditioned elsewhere in this document. Other than that, **on-street loading/unloading will not be allowed.**

The street address for this development will be determined by the City's Parcel and Address Coordinator.

See related Conditions of Approval in Sections X.A, X.B, and X.C.

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform with the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual. **See related Conditions of Approval in Sections X.A, X.B, and X.C.**

1. A combined street tree and street light plan is required for review and approval prior to completion of final engineering and landscape plans. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from driveways (ten feet from Point A in standard drawings DEV-7A, 7F, or equivalent). Comments provided in April 2013 by the City's streetlight engineering group must be addressed.
2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes shall not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a consistent travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Buildings shall be designed so that doors do not swing out into the pedestrian path. Installation of colored or textured bands to guide pedestrians in the direction of travel may be advisable, subject to the requirements for non-standard sidewalk features.

ADA-compliant curb ramps shall be installed where needed, consistent with standard drawings TE-12, TE-13, or approved variations. At the intersection of NE 19th Street

and 115th Avenue NE, the developer shall install two ramps per standard drawing TE-12. At the intersection of NE 19th Street and 116th Avenue NE, one northbound ramp shall be installed, similar to WSDOT Standard Plan F40-16.01, modified to have sloped wings on each side.

3. The sidewalk on 116th Avenue NE shall be completely removed and reconstructed with a sidewalk at least six feet wide, separated from the curb by a planter ten feet wide, not including the curb. The ten-foot planter is required to accommodate future widening of 116th Avenue NE for a bike lane, which is adopted as project B-109 in the City's Pedestrian and Bicycle Transportation Plan Report. The existing curb and gutter along 116th Avenue NE may remain in the present alignment; however, the Transportation Department inspector may require repair or replacement of any segments of the curb and gutter that are damaged or not up to present standards.

At the southern end of the site's frontage on 116th Avenue NE, the eastern edge of the sidewalk shall transition toward the curb in order to align with the existing sidewalk further south. The transition shall be at an angle no sharper than 45 degrees (30 degrees is preferred). The transition area should be coordinated with pedestrian access to the bus stop.

4. Landscaping within the planter strip along 116th Avenue NE shall comply with the arterial landscaping requirements of the Bel-Red Code, LUC 20.25D.110.
5. The design and appearance of all sidewalks fronting this site shall comply with the standards and drawings in the Transportation Department Design Manual, including standard drawing TE-11. Sidewalks shall be constructed of standard concrete with a transverse broom finish and with joints and scoring per drawing TE-11, unless both the Transportation Department and the Land Use Division agree to accept any non-standard pattern, color, or other features. New curbs and gutters shall comply with standard drawing TE-10.

Any non-standard features or vegetation shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements.

6. Tree wells and other landscaping between the curb and sidewalk on any adjacent city street shall be irrigated with a metered water source. Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
7. The driveway on NE 19th Street shall have a width, as defined in standard drawing DEV-7A or DEV-7F, of at least 26 feet at the back of sidewalk. Analysis of truck turning movements indicates that 30-foot trucks exiting the driveway will require greater width on the east side of the driveway across the planter strip and at the curb. Filling part of the planter strip with hard surface may be required, and the location of at

- least one street tree may be affected. A special design to accommodate said truck movement must be completed in the final civil engineering and landscaping plans as part of the clearing and grading permit.
8. No new building structure or garage shall be constructed under a street right of way or sidewalk easement. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
 9. To the maximum extent feasible, no utility vaults will be allowed within a public sidewalk.
 10. Any awning, marquee, balcony, etc. over a sidewalk or utility easement must be at least 16 feet above the sidewalk, or be removable (with an agreement regarding removal and replacement); and must have at least 3 feet horizontal clearance from any streetlight or traffic signal pole.
 11. No fixed objects, including fire hydrants, trees, signs, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing DEV-7A, DEV-7F, or approved equivalents. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post.
 12. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground, except for high voltage transmission lines.
 13. Storm water runoff on adjacent streets must be managed per Utility Department standards.
 14. The applicant must contact Metro Transit to confirm that the proposed location of landscaped areas, street trees, and concrete pads near the southern end of the frontage on 116th Avenue NE will be compatible with the bus stop location. Front and rear doors on both standard and articulated buses should be considered. The layout of street frontage features near the bus stop may require revision. The contact information is:
Liz Gotterer, Transit Route Facilities Planner
King County Metro Transit
Phone 206-684-1647, Fax 206-684-1860
liz.gotterer@kingcounty.gov

Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. **See related Condition of Approval in Section X.C.**

Any utility easements contained within this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished. Transformers and utility vaults to serve the

building shall be placed inside the building or below grade, to the extent feasible. **See related Condition of Approval in Section X.C.**

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **See related Condition of Approval in Section X.B.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching. Near this project, 115th Avenue NE and NE 19th Street are presently classified as Overlay Required. 116th Avenue NE is presently classified as Standard Trench Restoration. Any trenching or construction-related pavement damage on 115th Ave or NE 19th Street will require a grind and overlay at least 50 feet long for the full width of any affected lane. Exact requirements for pavement restoration will be specified in the Right of Way Use Permit for this development. **See related Condition of Approval in Section X.D.**

Transportation Management Program

Per the Transportation Management Program Requirements Chart in Bellevue City Code 14.60.070.E, this development is exempt from the requirement to establish a Transportation Management Program because the development will have less than 30,000 square feet of medical office space.

VI. STATE ENVIRONMENTAL POLICY ACT

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal that are beyond those identified in the Bel-Red Corridor EIS. The Environmental Checklist, together with information submitted (in the official file) adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including SEPA, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements, with incorporation by reference of:

- The Bel-Red Corridor Project Draft and Final Environmental Impact Statement, issued July 19, 2007 and addendum.
- Final Environmental Impact Statement, 2009-2020, Transportation Facilities Plan, March 2009

These documents are available in the Development Services Records Room, Bellevue City Hall, 450 110th Ave NE.

Adverse impacts which are less than significant are usually subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Sec. 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

EARTH

The current site is mostly flat with a drop in grade of approximately 4 feet from east to west. The proposed grading would be to allow for footings and foundations for the new building. Erosion could be avoided during clearing and construction using methods from the City of Bellevue Temporary Erosion Control Plan. City of Bellevue Best Management Practices will be followed during clearing, grading and construction (as per the issued clearing and grading permit). Upon completion of the project, no erosion is anticipated to occur from site.

AIR

Emissions from dust and automobile could occur during construction. Appropriate measures to control dust during construction activities as required by the City's standards and codes will be followed. Automobile emissions would occur after project completion. These auto emissions would be similar to the levels from nearby facilities and would not require mitigation.

WATER

There are no critical areas onsite. No groundwater would be withdrawn and irrigation water would infiltrate into the ground water in planted areas. The proposed site is not located within 300 feet of a body of water, nor does the site lie within a 100-year floodplain.

Stormwater is collected on the flat roof, balconies and courtyards and conveyed through downspouts. Roof and balcony stormwater flow is reduced by the 4,051 square foot green roof and large balcony planters. A detention vault located under the parking garage level is used to control and slow the flow of stormwater before entering the public storm sewer system.

NOISE

Construction Noise: Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Construction noise is prohibited on all Sundays and WA state holidays. Posting of construction hours is required. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY ONLY be granted pursuant to 9.18.020C.1&2. Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding properties during the proposed timeline for construction. In order to minimize detriment on uses in the immediate vicinity of the project, the Contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. **See related Condition of Approval in Section X.A.**

TRANSPORTATION

Long-Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2024 have been addressed in the City's 2013 – 2024 Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2024 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. The Darvish Medical Building lies within MMA #12, which has a 2024 total growth projection of more than 2.7 million square feet of new office space, which includes medical office. This development proposes 13,775 square feet of medical office space. The development will demolish 3,563 square feet of medical office and other commercial space, for a net increase of 10,212 square feet. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance.

Payment of the traffic impact fee will be required at the time of building permit issuance. Based on the present fee schedule, the impact fee for a medical office building is \$9.34 per square foot. The development is eligible for impact fee credit for removal of previous uses on the two affected lots. Impact fees are subject to change, and the fee schedule in effect at the time of building permit issuance will apply. A fee increase is scheduled to take effect on January 1, 2016. See a related Condition of Approval in Section X.C.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more net new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

This development proposes 13,775 square feet of medical office space. Trip generation data used by the City of Bellevue includes a trip generation rate of 2.6 new trips (not including pass-by trips) per 1000 square feet for medical / dental office uses. At that rate, the proposed development would generate 36 new p.m. peak hour trips; however, trip generation associated with the two buildings that will be removed must be subtracted. One existing building is a former residence of 1730 square feet that was converted to medical / dental office. At 2.6 trips per 1000 square feet, removal of that building would eliminate 4 trips. The second existing building is a former residence of 1440 square feet that was converted to a daycare facility. At a rate of 9.35 trips per 1000 square feet, removal of that building would eliminate 13 trips. Net new p.m. peak hour trip generation is estimated to be: $36 - 4 - 13 = 19$ trips. Hence, no concurrency analysis is required under the Traffic Standards Code.

Short-Term Operational Impacts and Mitigation

City staff considered the short-term operational impacts of this proposal in order to recommend mitigation if necessary. Based on the trip generation estimate of only 19 net new p.m. peak hour trips (see above), the Transportation Department concluded that a formal traffic impact analysis is not required. The only short-term traffic operational issues that warrant further consideration are truck access and garbage pick-up, which are addressed elsewhere in this report under the Summary of Technical Reviews.

VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

The following changes to the proposal were due to City staff review:

- Green roof was added to comply with impervious surface requirements.
- Access to trash enclosure was provided from the building through the west stair.
- Plantings were removed from in front of the trash enclosure to enable units to be wheeled onto street for pick up.
- South façade has at grade level has been visually broken up with the introduction of mesh panels. The panels will provide textural change and shadow lines, both of which will break up the proposed long façade.
- Rooftop mechanical equipment screening area has been enlarged to accommodate future needs.

VIII. DECISION CRITERIA

A. The Director may approve, or approve with modifications, an application for Design Review pursuant to LUC 20.30F.145 if:

1. The proposal is consistent with the Comprehensive Plan.

The project is consistent with the *Bel-Red (BR) Subarea Plan*. Following is a listing of relevant Comprehensive Plan policies:

POLICY S-BR-5. *Develop land uses consistent with the Bel-Red Land Use Plan map (Figure S-BR-1).*

The facility will provide medical office uses which will serve local residents as well as those within the Puget Sound region. The medical office use is consistent with the intention for the BR-MO zone.

POLICY S-BR-15. *Integrate transit in the design of public and private developments, so that the form and connectivity of the built environment supports travel choices.*

The main entrance for the building faces onto 116th Ave NE, with a bus stop in close proximity. The main entry has cover to accommodate passengers waiting for the bus.

POLICY S-BR-18. *Encourage diversity in the built environment through a variety of building heights and forms, building articulation and modulation. Encourage building rooflines and floorplates that break down the scale of buildings, help to differentiate Bel-Red from Downtown, and enhance the architectural variety of the area.*

The design of the building has articulated facades and projecting terraces that screen the parking areas and break down the scale of the building.

POLICY S-BR-19. *Encourage the use of building materials that are of high quality and durability, are appropriate for the area climate, and that have a sense of permanence.*

Materials such as terracotta panel, architectural metal screening and panels and high quality “storefront” glazing are all highly durable and give a sense of quality. Additionally, the building itself is being “landscaped” as the terraces and roof are all being planted. The terrace planting in particular effectively creates another layer of greenery between the windows and the street, further breaking up the mass of the building and softening its impact.

2. The proposal complies with the applicable requirements of this Code.

The proposal complies with all applicable requirements of the Land Use Code. Refer to Section III of this report for specific information on Land Use Code consistency. The applicant shall be required to submit landscape assurance devices prior to temporary certificate of occupancy of the building. **See related Condition of Approval in Section X.D.**

3. The proposal addresses all applicable design guidelines or criteria of this Code

in a manner which fulfills their purpose and intent.

As discussed in section III.B of this report, the proposal complies with all applicable Design Guidelines contained in Land Use Code 20.25D Bel-Red District. Refer to Section III of this report for how the proposal has met the Dimensional Requirements and Development Standards.

The applicable Design Guidelines are summarized below:

A. Character and Site Guidelines

a. Promote Architectural Compatibility

The surrounding context of the site consists of single family structures west of 116th Avenue NE and low rise professional office buildings east of 116th Avenue NE. The proposed scheme for the building is a single story of office space over an entire story of covered parking. Overall the building height has been kept low with the floorplate size maximized to accommodate the functional needs for the applicant and maintain a low slung structure consistent with the neighboring projects.

b. Protect and Enhance Surface Water Resources

The applicant is proposing to provide a green roof that will reduce the amount of runoff from other surfaces.

B. Pedestrian Emphasis Guidelines

a. Define the Pedestrian Environment

The 116th Avenue NE façade has a simple, elegant look with a prominent pedestrian entrance to the building. The rhythm of the terracotta tile on the west elevation will be a good backdrop for the pedestrian. The sidewalk is lined on both sides with significant landscaping and street trees to add to the pedestrian experience.

b. Create a Variety of Successful Outdoor Spaces

Planted terraces surround the entire building screening the parking garage and enhancing the appearance of the second floor office areas. The presence of these large planted terraces also serve to break up the massing of the building softening its impact and stepping back the profile of the building as it rises from the street.

C. Architectural Guidelines

a. Encourage High Quality Materials

Materials such as terracotta panel, architectural metal screening and panels, and high quality "storefront" glazing are all highly durable and give a sense of quality.

b. Provide Interesting Building Massing

The mass of the building is well broken up, creating an interesting façade. The horizontal nature of the terracotta panels is broken up by vertical elements at the entry. The second floor of the building is pushed back to provide a terrace space for the building occupants which further breaks up the box.

c. Build Compatible Parking Structures

The parking for this site is at grade within the structure of the building. It is completely hidden from view at the east side of the property, 116th Avenue NE. The north side of the property at NE 19th Street uses perforated metal cladding to keep cars from being visible, while still providing visual interest for the passerby. The elevation on the west side of the property mimics the use of terracotta tile at the east side of the property to create the appearance of usable space behind the terracotta panels. Any insulation below slab at garage entry shall be covered to create a finished ceiling where visible from street. **See related Conditions of Approval in Section X.**

D. Lighting Guidelines

a. Orient Lighting Toward Sidewalks and Public Spaces

All lighting for the project is oriented toward sidewalks and planting areas, cutoff shields are provided.

4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

As conditioned, the project meets this criterion. **See related Conditions of Approval in Section X.**

5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

All required public services and facilities are available to the site.

IX. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code and Standard compliance reviews, the Development Services Director does hereby APPROVE WITH CONDITIONS the subject proposal.

X. CONDITIONS OF APPROVAL:

The following conditions are imposed under the authority referenced:

NOTE – Vested Status of the Design Review: The vested status of the Design Review approval is per

Land Use Code 20.40.500. Under Land Use Code 20.40.500, the vested status of the Design Review shall expire two years from the date of the City's final decision, unless a completed building permit application is filed before the end of the two year term. Upon issuance of a building permit, the vested status of a land use permit or approval shall be automatically extended for the life of the project.

COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES:

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Clearing and Grading Code - BCC 23.76	Tom McFarlane,	425-452-5207
Bellevue Development Standards	Tom McFarlane,	425-452-5207
Transportation Code - BCC 14.60	Carl Wilson,	425-452-4228
Trans. Development Review - BCC.22.16	Carl Wilson,	425-452-4228
Bellevue Utilities Code - BCC Title 24	Arturo Chi,	425-452-4119
Land Use Code (LUC) - BCC Title 20	Liz Stead,	425-452-2725
Sign Code - BCC Title 22B	Liz Stead,	425-452-2725
Noise Control - BCC 9.18	Liz Stead,	425-452-2725
Uniform Fire Code - BCC 23.11	Travis Ripley	425-452-6042

A. GENERAL CONDITIONS

1. CONSTRUCTION HOURS

Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday, except for Federal holidays and as further defined by the Bellevue City Code. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Written requests for exemption from the Noise Control Code must be submitted two weeks prior to the scheduled onset of extended hour construction activity.

Reviewer: Liz Stead, Land Use
Authority: BCC 9.18.020, .040

2. USE OF BEST AVAILABLE NOISE ABATEMENT TECHNOLOGY

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses. Operational noise must comply with City of Bellevue Noise Code, BCC 9.18 at all times.

Reviewer: Liz Stead, Land Use
Authority: BCC 9.18.020F

3. PRELIMINARY DESIGN, UTILITY CODES AND ENGINEERING STANDARDS

Utility review has been completed on the preliminary information submitted at the time of this application. The review of this application has no implied approvals for water, sewer and storm drainage components of the project. Final plan approval will occur under a Utility Extension Agreement which will be required for review and approval of the utility

design. Submittal of the utility extension will coincide with future clearing and grading permit review. Final civil engineering may require changes to the site layout to accommodate the utilities.

Reviewer: Art Chi, Utilities
Authority: BCC Title 24.02, 24.04, 24.06

4. VEHICULAR ACCESS AND LOADING

Vehicular access to this site will be via one driveway off NE 19th Street. The property owner shall provide a truck loading/unloading space under the building that can serve delivery trucks up to 30 feet long. Except for garbage pick-up on 115th Avenue NE, on-street loading and unloading will not be permitted.

Reviewer: Carl Wilson, Transportation
AUTHORITY: BCC 14.60.150, LUC 20.20.590.K.4

5. MODIFICATION TO THE DESIGN REVIEW PLANS

Any modification to this approval shall be documented as an Amendment to this Design Review OR as an addition or revision to this issued land use approval, processed as a Land Use Exemption. The applicant shall demonstrate compliance with the Land Use Code in effect at the time of issuance of this report when the modification occurs within the two-year vesting period. Any modification to the project design must be reviewed for consistency with the design intent as stated in this report. Conditions of Approval run for the life of the project.

Reviewer: Liz Stead, Land Use
AUTHORITY: LUC 20.30F.175

6. CONSTRUCTION PARKING

No construction parking is permitted on adjacent city streets during construction. Parking must be secured off site to prevent impacts to surrounding businesses.

Reviewer: Liz Stead, Land Use
AUTHORITY: LUC 20.30.F.145

B. PRIOR TO CLEARING & GRADING PERMIT: The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements and to mitigate adverse environmental impacts not addressed through applicable Code provisions. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. PROTECTION OF EXISTING TREES TO REMAIN

The plans submitted for clearing and grading permit approval shall include protection of two (2) existing trees on site, 18" Magnolia and 8" Cedar. Tree protection details shall be included on the plans. The applicant shall work with assigned city staff during all phases of

tree protection.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.25J.060, .070, Comprehensive Plan Policy EN-49

2. RIGHT-OF-WAY USE PERMIT

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when pedestrian access is not feasible due to specific construction activities, such as shoring, foundation work, and construction of frontage improvements. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

Reviewer: Tim Stever, Right of Way
AUTHORITY: BCC 11.70 & 14.30

3. CIVIL ENGINEERING PLANS – TRANSPORTATION

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway access points must be in conformance with the Americans with Disabilities Act, the Transportation Development Code, the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and

landscape plans must conform to the engineering plans as needed.) The driveway on NE 19th St shall be at least 26 feet wide, with modifications discussed in the Summary of Technical Reviews in order to accommodate truck turns.

- c) Handicapped ramps.
- d) Design of the dumpster roll out ramp.
- e) Installation or relocation of streetlights and related equipment.
- f) Sight distance for both vehicles and pedestrians per BCC 14.60.240 and 241. (Show the required sight triangles and include any sight obstructions, including mature landscaping.)
- g) Location of fixed objects in the sidewalk or near the driveway approach.
- h) Trench restoration within any right of way or access easement.
- i) Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.

Reviewer: Carl Wilson, Transportation

AUTHORITY: BCC 14.60, Transportation Department Design Manual, and Transportation Department Design Manual Standard Drawings

4. LOCAL STREET DIMENSIONS

All sidewalk and planting strip dimensions must meet the standards in the LUC. 115th Avenue NE must be designed to provide a six foot sidewalk, a five foot planting strip, and six inch curb.

Reviewer: Liz Stead, Land Use

AUTHORITY: LUC 20.25D.110.3.d

5. IMPERVIOUS SURFACES

Technical drawings shall be provided to Utilities Reviewer, Art Chi, for the "green roof" to review for final approval with LUC requirements as related to Innovative Techniques section of the LUC.

Reviewer: Liz Stead, Land Use

AUTHORITY: LUC 20.20.460.G

C. PRIOR TO BUILDING PERMIT: The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building permit application:

1. TRANSPORTATION IMPACT FEE

Payment of the traffic impact fee will be required at the time of building permit issuance. Based on the present fee schedule, the impact fee for a medical office building is \$9.34 per square foot. The development is eligible for impact fee credit for removal of previous uses on the two affected lots. Impact fees are subject to change, and the fee schedule in effect at the time of building permit issuance will apply. A significant fee increase is scheduled to take effect on January 1, 2016.

Reviewer: Carl Wilson, Transportation
AUTHORITY: BCC 22.16

2. BUILDING AND SITE PLANS – TRANSPORTATION

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. Prior to approval of the building permit, the applicant shall submit proof that adequate horizontal and vertical clearance exists within the parking area to accommodate standard delivery trucks up to 30 feet long.

Reviewer: Carl Wilson, Transportation
AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241;
LUC 20.20.590.K.4

3. EXISTING EASEMENTS

Any utility easements contained within this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

Reviewer: Tim Stever, Right of Way
AUTHORITY: BCC 14.60.100

4. SIDEWALK AND UTILITY EASEMENTS

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

Reviewer: Carl Wilson, Transportation
AUTHORITY: BCC 14.60.100

5. SOLID WASTE, RECYCLING & GARBAGE UPKEEP

The applicant shall provide a written document showing that Allied Waste has been contacted to establish adequate sizing of recycling and solid waste collection areas for this project using current standards. In addition, the owner shall provide for the return of receptacles and trash not removed from the property back into the building the day of pick-up; all rights of way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.20.725

6. COMPACT STALLS

The applicant shall portray compact stalls on the building permit plan set. No more than 50% of the parking stalls shall be compact stalls.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.20.590.K.9

7. EXTERIOR LIGHTING

The applicant shall provide exterior lighting fixtures which direct light downward and which shield the source of light from visibility at the property line. The exterior lighting fixtures shall be shielded to prevent spillover of light beyond the property.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.20.522.B

8. MECHANICAL EQUIPMENT SCREENING

Roof plans submitted for building permit application shall indicate locations of all mechanical equipment including any communication equipment such as satellite dishes. The plans shall demonstrate that screening is provided so that these items are not visible from adjacent streets, public sidewalks, or the surrounding buildings.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.20.590.K.9

9. GARAGE SOFFIT VIEW

Sections submitted for building permit application shall provide finish for any soffits at second floor under slab insulation where it may be visible to public. Any sections of soffit insulation that will be visible when garage door is open must be finished at entry in a manner consistent with design of building.

9. BOUNDARY LINE ADJUSTMENT

The submitted Boundary Line Adjustment permit must be completed and recorded prior to the issuance of any construction permits.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.45B.260

10. SIGNAGE

A comprehensive sign package shall be submitted to Land Use for review and approval prior to issuance of any sign permits. The sign package plans, elevations, and other sketches shall include but are not limited to:

- a. Location
- b. Lighting
- c. Color Palette
- d. Material
- e. Design (No cabinet or can signs are permitted)

Signage shall be the minimum size necessary to convey information and shall be architecturally compatible and integrated with the building. See Sign Code limitations or other design criteria. Design review of individual signs and compliance with the approved sign package will occur through review of each sign permit application.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.25A.110, LUC 20.30F, BCC 22B

11. PHASING PLAN / DELAYED CONSTRUCTION PLAN

Prior to issuance of the building permit, the applicant shall provide the following:

- (a) A Phasing Plan: The phasing plan shall indicate different phases of construction of the project and project timeline.
- (b) Delayed Construction Plan: The delayed construction plan shall be a plan to indicate how the site will be secured if construction is delayed for any reason. At a minimum the plan shall include street frontage improvements, including all plantings, to be installed prior to abandonment of the site. In addition, the plan shall include black netting material (i.e. black polyethylene woven knit) or another approved material for any vertical protective covering of the exterior of the building.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.30F.145.D

D. PRIOR TO TCO: The following conditions are required by City Code and supported by City Policy. These conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. LANDSCAPE INSTALLATION ASSURANCE DEVICE

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the applicant shall submit the following: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost of labor and materials to complete these areas per the approved Landscape Plan.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.40.490

2. LANDSCAPE MAINTENANCE ASSURANCE DEVICE

The applicant shall file with the Development Services Department a landscape maintenance assurance device for a one-year period; provide an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

Reviewer: Liz Stead, Land Use
AUTHORITY: Land Use Code 20.40.490

3. STREET FRONTAGE IMPROVEMENTS

All street frontage improvements and other required transportation elements, including street light system revisions, must be constructed by the applicant and accepted by the City Inspector. Existing overhead lines must be relocated underground. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Sight lines required by city code must be achieved. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

Reviewer: Carl Wilson, Transportation

AUTHORITY: BCC 14.60, Comprehensive Plan Policy UT-39, Transportation Department Design Manual, and Transportation Department Design Manual Standard Drawings.

4. PAVEMENT RESTORATION

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

115th Avenue NE and NE 19th Street are presently classified "Overlay Required." Any trenching or construction-related pavement damage on those streets will require a grind and overlay at least 50 feet long for the full width of any affected lane. 116th Avenue NE is presently classified as Standard Trench Restoration. Exact requirements for pavement restoration will be specified in the Right of Way Use Permit for this development.

Reviewer: Tim Stever, Right of Way

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #21

Attachment:
Plans and Drawings

CODE REQUIREMENTS

PROJECT TO COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO:

BUILDING CODE: 2009 INTERNATIONAL BUILDING CODE AS AMENDED BY THE STATE OF WASHINGTON AND THE CITY OF BELLEVUE

LAND USE CODE: TITLE 20 BELLEVUE CITY CODE

ENERGY CODE: 2006 WASHINGTON STATE ENERGY CODE

VENTILATION CODE: 2006 WASHINGTON STATE VENTILATION & INDOOR AIR QUALITY CODE

ALL APPLICABLE CODES, ORDINANCES AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES AND SPECIFICATIONS.

PROPERTY INFORMATION

ADDRESS (TWO LEGAL PARCELS)

1899 116TH AVE NE, BELLEVUE, WA 98004 (LOT 5)
1854 115TH AVE NE, BELLEVUE, WA 98004 (LOT 6)

TAX PARCEL NO.
5328000025 (LOT 5)
5328000030 (LOT 6)

LEGAL DESCRIPTION

LOT 5, MCGRATH'S ADDITION, AS RECORDED IN VOLUME 53 OF PLATS, PAGE 97, RECORDS OF KING COUNTY, WASHINGTON.

LOT 6, MCGRATH'S ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 53 OF PLATS, PAGE 97, IN KING COUNTY, WASHINGTON.

LOT AREA

LOT 5 - 9,401 SF
LOT 6 - 10,047 SF
19,448 SF TOTAL
(PER SURVEY BY GEODIMENSIONS DATED 10/25/2011)

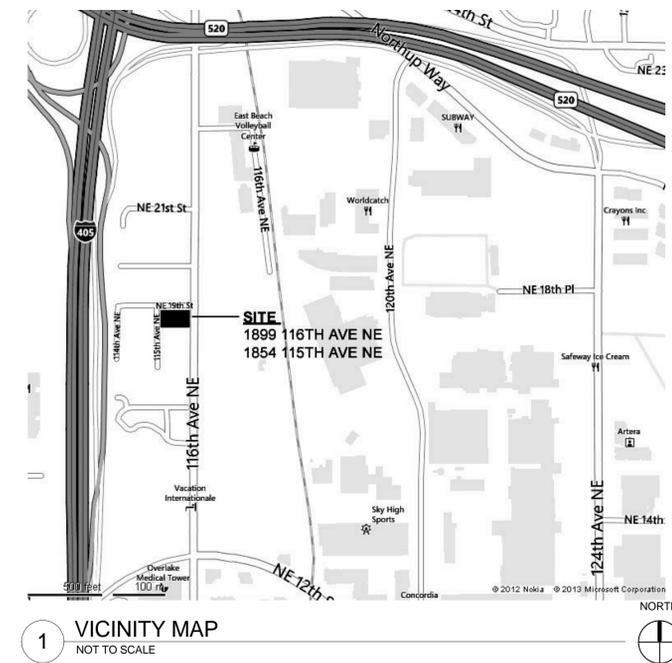
PROPOSED PROJECT SUMMARY

DEMOLISH EXISTING SINGLE FAMILY RESIDENCE (CURRENTLY USED AS MEDICAL CLINIC) ON LOT 5.

DEMOLISH EXISTING SINGLE FAMILY RESIDENCE (CURRENTLY USED AS PRIVATE DAY CARE) ON LOT 6.

COMBINE LOTS 5 AND 6 IN SINGLE PARCEL.

CONSTRUCT A ONE STORY MEDICAL CLINIC BUILDING OVER OPEN PARKING GARGE LOCATED ON GRADE.



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DESIGN JHA
DRAWN KK
CHECKED
DATE 03/29/13

REVISIONS
▲ DESIGN REVIEW REVISIONS - 06/21/13

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DARVISH MEDICAL
1899 116TH AVE NE
BELLEVUE, WA 98004

DESIGN REVIEW

PROJECT INFORMATION AND CODE NOTES

A-1.0

LAND USE CODE NOTES

ZONE: BEL-RED MEDICAL OFFICE (BR-MO)

PROPOSED USE: MEDICAL CLINIC BUILDING

DIMENSIONAL REQUIREMENTS (CHART 20.25D.080.A)

SETBACKS: 0 FEET
BUILDING HEIGHT LIMIT: 70 FEET
FLOOR AREA RATIO: 1.0
IMPERVIOUS SURFACE/LOT COVERAGE: SEE BELOW FOR PROPOSED MITIGATION OF MAX. IMPERVIOUS SURFACE/LOT COVERAGE

FLOOR AREA RATIO (F.A.R.)

GROSS FLOOR AREA:	13,658 SF	SEE A1.4
LOT AREA (PER SURVEY):	19,448 SF	
PROPOSED F.A.R.:	0.71 (<1.0)	

IMPERVIOUS/LOT COVERAGE REQUIREMENTS

LOT AREA (PER SURVEY):	19,448 SF	
PERVIOUS AREA REQ'D (25%):	4,862 SF	
PERVIOUS AREA PROVIDED:	3,465 SF	SEE A1.4
ADD'L PERVIOUS AREA REQ'D:	1,397 SF	
GREEN ROOF REQ'D (@43% CREDIT):	3,250 SF	

PERVIOUS AREA REQUIRED PER BMC 20.20.460 'IMPERVIOUS SURFACE'.

* APPLICANT SEEKS TO USE BMC 20.20.460 SUBSECTION G 'INNOVATIVE TECHNIQUES' TO SATISFY IMPERVIOUS SURFACE REQUIREMENTS. SEE ALSO REPORT FROM KPFF CONSULTING ENGINEERS DATED JULY 6TH 2012 FOR IMPERVIOUS SURFACE MITIGATION CALCULATION DETAILS.

PARKING REQUIREMENTS

3.6" PARKING SPACES PER 1,000 NET SQUARE FEET

* APPLICANT SEEKS REDUCTION OF PARKING RATIO TO 3.6 BASED ON TRAFFIC STUDY PREPARED BY THE TRANSPG GROUP DATED NOV. 2 2012. SEE ALSO EMAIL ON FILE WITH THE CITY OF BELLEVUE DATED 1/9/2013

NET SQUARE FEET PROPOSED:	11,310 SF	SEE A1.4
REQUIRED SPACES AT 3.6/1000:	40.7	
SPACES PROVIDED:	41 SPACES	

PARKING STALL SIZE MIX:

FULL SIZE:	20 STALLS
COMPACT:	19 STALLS (<50%)
ACCESSIBLE VAN STALL:	1 STALL
ACCESSIBLE STALL:	1 STALL

PROJECT CONTACTS

OWNER
DR. NOOSHIN AND MR. JAHANSHAH (JOHN) DARVISH
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BELLEVUE, WA 98004
(425) 451-0404

ARCHITECT (PRIMARY CONTACT)
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(206) 728-9500 #113

LANDSCAPE ARCHITECT
GCH
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(206) 285 4422

STRUCTURAL ENGINEER
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(206) 957-3900

CIVIL ENGINEER
KPFF CONSULTING ENGINEERS
1601 5TH AVE, SUITE 1600
SEATTLE, WA 98101
CONTACT: ANDREW TRAN
(206) 622-5822

GEOTECHNICAL ENGINEER
PANGE0, INC.
3213 EASTLAKE AVE E, SUITE B
SEATTLE, WA 98102
CONTACT: SIEW TAN
(206) 262-0370

SURVEYOR
GEODIMENSIONS
17923 NE 127TH ST
REDMOND, WA 98052
CONTACT: KEN GREEN
(425) 853-6896

CONTRACTOR
CBI - CONSTANTINE BUILDERS, INC.
18466 BALINGER WAY NE
LAKE FOREST PARK, WA 98155
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SHEET INDEX

SHEET	DESCRIPTION
A-1.0	PROJECT INFORMATION AND CODE NOTES
A-1.1	GENERAL NOTES
A-1.2	PERSPECTIVE VIEWS
A-1.4	AREA CALCULATIONS
A-2.0	SITE PLAN
A-2.1	GROUND FLOOR PLAN
A-2.1a	TURNING TEMPLATE
A-2.2	OFFICE FLOOR PLAN
A-2.3	ROOF PLAN
A-3.0	BUILDING ELEVATIONS
L 101	SITE PLAN
L 102	TREE PROTECTION PLAN
L 103	PLANTING PLAN
L 104	PLANTING SCHEDULE
L 105	LANDSCAPE LIGHTING PLAN
C 000	CIVIL COVER SHEET
C 101	T.E.S.C. PLAN
C 201	GRADING AND STORM DRAINAGE PLAN
C 301	ROAD PLAN
C 302	SITE PLAN B
C 401	UTILITY PLAN
C 501	STREET LIGHTING PLAN

A-1.0

GENERAL NOTES

BEST MANAGEMENT PRACTICES

CONTRACTOR IS RESPONSIBLE FOR INITIATING, MONITORING AND MAINTAINING ON SITE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION TO PREVENT IMPACTS TO THE PUBLIC DRAINAGE SYSTEM AND DOWNSTREAM RESOURCES AND STOP POLLUTANTS FROM CONTAMINATING STORMWATER. ALL EXCAVATION AND FILL SHALL BE STORED AND PROTECTED SUCH AS TO PREVENT RUN OFF OF MATERIAL TO ADJACENT PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIRED SEPTIC AND/OR STORM WATER DETENTION SYSTEMS.

FLATWORK

UNLESS OTHERWISE NOTED EXTERIOR CONCRETE WALKWAYS AND DRIVES TO BE SMOOTH BROOM FINISH, SLOPE TO DRAIN, EXP. JOINT MATCH COLOR, MIX REQUIREMENTS AND JOINT LAYOUT FOR SIDEWALKS OF LOCAL MUNICIPALITY HAVING JURISDICTION.

MOISTURE PROTECTION

PRESSURE TREATED MATERIAL - PROVIDE PRESSURE TREATED LUMBER BETWEEN CONCRETE AND FRAMING.

FLASHING

FLASH ALL OPENINGS WITH A MINIMUM OF 26 GAUGE GALVANIZED STEEL TO ACCEPTABLE INDUSTRY STANDARDS. METAL COPING AT PARAPET TO BE A MINIMUM OF 22 GAUGE GALVANIZED STEEL.

FIRE PROTECTION

AUTOMATIC SPRINKLER - CONTRACTOR TO PREPARE PLANS FOR SPRINKLER SYSTEM DESIGN. PLANS MUST BE SUBMITTED TO AND APPROVED BY THE CITY AND THE ARCHITECT PRIOR TO INSTALLATION OF THE SPRINKLER SYSTEM.

INDICATE ON THE PLANS THAT THERE WILL BE ONE INCH OF CLEARANCE AROUND THE SPRINKLER RISER AT THE FLOOR PENETRATION FOR MOVEMENT.

PROVIDE A MINIMUM HEATING SOURCE IN THE SPRINKLER ROOM TO PROVIDE 40 DEGREE F DURING ALL WEATHER CONDITIONS. HYDRANTS, WATER SUPPLIES, AND FIRE DEPARTMENT ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO ANY CONSTRUCTION, UNLESS OTHERWISE APPROVED BY CODE OFFICIAL.

SMOKE DETECTORS

SHALL BE HARD WIRED TO BUILDING POWER AND SHALL HAVE BATTERY BACKUP.

FIRE EXTINGUISHERS

CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS PER CODE, LOCAL BUILDING OFFICIAL, AND FIRE MARSHAL.

EXIT SIGNS

CONTRACTOR TO PROVIDE ALL REQUIRED EMERGENCY EXIT SIGNAGE, PER ARCHITECT'S DRAWINGS AND BUILDING CODE. IN THE CASE OF A CONFLICT, BUILDING CODE SHALL GOVERN.

EMERGENCY LIGHTING

CONTRACTOR TO PROVIDE EMERGENCY LIGHTING SYSTEM AND ILLUMINATED EXIT SIGNAGE AS REVIEWED BY LOCAL BUILDING OFFICIALS AND FIRE MARSHAL.

HORNS & STROBES

CONTRACTOR TO PROVIDE EMERGENCY HORNS AND STROBES AS REVIEWED BY LOCAL BUILDING OFFICIALS AND FIRE MARSHAL.

BUILDING SIGNAGE

CONTRACTOR TO PROVIDE ALL SIGNAGE REQUIRED BY CODE INCLUDING AN ADDRESS ON FACE OF BUILDING, LETTER SIZED PER CODE. THIS IS TO INCLUDE VISUALLY IMPAIRED SIGNS FOR COMMON AREAS SUCH AS PUBLIC RESTROOMS, STAIRS, ELEVATORS, ETC.

GENERAL NOTES

ABBREVIATION LIST

DIENSIONS - USE ONLY PRINTED DIMENSIONS ON DRAWINGS. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK.
DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE OR CENTERLINE OF INTERIOR COLUMNS UNLESS NOTED OTHERWISE.

DRAWING ANNOTATIONS - REPETITIVE FEATURES MAY BE DRAWN AND/OR ANNOTATED ONLY ONCE, BUT SHALL BE PROVIDED BY CONTRACTOR AS IF DRAWN IN FULL. REPETITIVE ANNOTATIONS MAY BE CALLED OUT ONLY ONCE AND MAY BE INDICATED AS TYPICAL.

DISCREPANCIES - CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES OR CONFLICTS IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.
CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES OR CONFLICTS BETWEEN CONTRACT DOCUMENTS AND APPLICABLE CODES PRIOR TO PROCEEDING WITH WORK.

PROJECT SITE CONDITIONS - CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE WORK PRIOR TO CONTRACTING WITH THE OWNER TO PERFORM THE WORK.
CONTRACTOR SHALL VERIFY CONFORMANCE OF ACTUAL SOIL CONDITIONS WITH SOILS REPORT AND DESIGN ASSUMPTIONS.

JOB SITE SAFETY - THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS.
PERIODIC SITE VISITS PERFORMED BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION SAFETY PRECAUTIONS.
THE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

PERMITS - CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FOR THE WORK, EXCEPT FOR THE BUILDING PERMIT WHICH IS THE RESPONSIBILITY OF THE ARCHITECT.

WARRANTY REQUIRED - CONTRACTOR TO PROVIDE GUARANTEE ON ALL MATERIALS AND WORKMANSHIP (1) YEAR FROM DATE OF COMPLETION UNLESS NOTED OTHERWISE IN CONTRACT.

MECHANICAL ELECTRICAL PLUMBING - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES IN FRAMING PRIOR TO PROCEEDING WITH WORK.

SHOP DRAWINGS - SHOP DRAWINGS PRESENTED TO THE ARCHITECT ARE REVIEWED FOR DESIGN INTENT ONLY. THE CONTRACTOR IS TO REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO ARCHITECT OR STRUCTURAL ENGINEER.
SEE STRUCTURAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND CLARIFICATIONS REGARDING SHOP DRAWINGS.

CHANGES IN WORK - ALL REQUESTS FOR CHANGES TO THE APPROVED PLANS SHALL BE PREPARED BY THE PROJECT ARCHITECT AND SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. COPIES OF SUCH APPROVALS SHALL BE ON THE JOB SITE PRIOR TO COMMENCEMENT OF WORK.
THE ARCHITECT REQUIRES NO LESS THAN TWO WEEKS TO RESPOND TO ANY CONTRACTOR REQUESTS FOR INFORMATION OR CHANGE.
CONTRACTOR IS RESPONSIBLE FOR CUTTING FILLING AND PATCHING THAT MAY BE NECESSARY TO ACCOMMODATE CHANGES IN WORK AND TO COMPLETE THE WORK IN GENERAL.

SPECIAL INSPECTIONS - INSPECTIONS SHALL BE PERFORMED PER APPLICABLE CODE. THE PROGRAM SHALL INCLUDE SAMPLES OF INSPECTION REPORTS AND PROVIDE TIME LIMITS FOR SUBMISSION OF REPORTS.
THE JOB SUPERINTENDANT SHALL MAINTAIN A LIST OF THE SPECIAL INSPECTORS CONDUCTING INSPECTIONS ON THIS JOB. THE LIST SHALL INCLUDE THE NAME OF THE INSPECTOR, THE DATES AND TIMES PRESENT ON THE JOBS, AND TYPES OF INSPECTIONS COMPLETED.
THE JOB SUPERINTENDANT SHALL MAINTAIN AT THE JOB SHACK A LIST OF CERTIFIED WELDERS PERFORMING THE WORK ON THIS JOB. THE LIST SHALL INCLUDE THE NAMES OF THE WELDER, DATE OF EXPIRATION OF CERTIFICATIONS AND THE TYPE OF WELDING THE INDIVIDUAL IS QUALIFIED TO PERFORM.

CERTIFICATE OF OCCUPANCY - NO BUILDING OR PORTION OF BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY PUBLIC WORKS, PLANNING, FIRE MARSHAL, AND BUILDING OFFICIAL.
FINAL SIGNED REPORTS FROM ANY TESTING SHALL BE PRESENTED TO THE BUILDING OFFICIAL PRIOR TO THE FINAL INSPECTION FOR OCCUPANCY.

ABBREVIATION LIST

AB ANCHOR BOLT
ABV ABOVE
AC AIR CONDITIONING
ACT ADDITIONAL
ADT ADJUSTABLE
AFF ABOVE FINISH FLOOR
AGG AGGREGATE
ALT ALTERNATE
ALUM ALUMINUM
APPR APPROXIMATE
ARCH ARCHITECT/ARCHITECTURAL
ASPH ASPHALT
AVG AVERAGE
BD BOARD
BEL BELOW
BLDG BUILDING
BLK BLOCKING
BM BEAM
BO BY OTHERS
BOF BOTTOM OF FOOTING
BOT BOTTOM
BOW BOTTOM OF WALL
BRG BEARING
BSMT BASEMENT
BTWN BETWEEN
BUR BUILT UP ROOFING

CAB CABINET
CAP CAPACITY
CATV CABLE TELEVISION
CB CATCH BASIN
CFB CONCRETE FIBER BOARD
CIP CAST IN PLACE
CJ CONTROL JOINT
CL CENTER LINE
CLG CEILING
CLKG CAULKING
CLR CLEAR
CMU CONCRETE MASONRY UNIT
CNTR CENTER
CO CLEAN OUT
COL COLUMN
CONC CONCRETE
CONST CONSTRUCTION
CONT CONTINUOUS
CONTR CONTRACTOR
CPT CARPET
CRV CONTINUOUS RIDGE VENT
CSMT CASEMENT
CT CERAMIC TILE
CY CUBIC YARD

d PENNY
D DEEP
D DRYER
DB DOOR BUTTON
DBL DOUBLE
DIA DIAMETER
DIAG DIAGONAL
DIM DIMENSION
DN DOWN
DR DOOR
DS DOWNSPOUT (EXTERIOR)
DTL DETAIL
DISHWASHER
DWG DRAWING
DWR DRAWER

E EAST
EA EACH
EJ EXPANSION JOINT
EL ELEVATION
ELEC ELECTRIC
ELEV ELEVATION
ENCL ENCLOSURE
ENG ENGINEER
EQ EQUAL
EQUIP EQUIPMENT
EST EXPOSED PANLE
EW EACH WAY
EXIST EXISTING
EXT EXTERIOR

FB FLAT BAR
FD FLOOR DRAIN
FF FINISH FLOOR
FIN FINISH
FL/FLASH FLASHING
FLR FLOOR
FLUOR FLUORESCENT
FND FOUNDATION
FOC FACE OF CONCRETE
FOF FACE OF FINISH
FOS FACE OF STUD
FRMG FRAMING
FT FOOT/FEET
FTG FOOTING

GA GAUGE
GAL GALLON
GALV GALVANIZED
GFI GROUND FAULT INTERRUPTER
GL GLASS
GLB GLL/LAMINATED BEAM
GR GRADE
GWB GYPSUM WALL BOARD
GYP GYPSUM

H HEIGHT
HB HOSE BIBB
HC HOLLOW CORE
HD HEAVY DUTY
HDR HEADER
HDWD HARDWOOD
HDWR HARDWARE
HGR HANGER
HORZ HORIZONTAL
HR HOUR
HT HEIGHT
HWT HOT WATER TANK

ID INSIDE DIAMETER
IDS INTERIOR DOWNSPOUT
IN INCH
INSUL INSULATION
INT INTERIOR

JST JOIST
JOINT
KB KNOCK BOX
KD KILN DRIED
LAM LAMINATED
LB POUNDS
LF LINEAL FOOT
LH LEFT HAND
LT LIVE LOAD
LIGHT LIGHT
LIGHTING
MATL MATERIAL
MAX MAXIMUM
MB MACHINE BOLT
MC MEDICINE CABINET
MECH MECHANICAL
MEMB MEMBRANE
MFR MANUFACTURER
MIN MINIMUM
MIR MIRROR
MISC MISCELLANEOUS
MP METAL PANEL
MR METAL ROOFING
MS METAL SIDING
MTL METAL

NA NORTH
N NOT APPLICABLE
NIC NOT IN CONTRACT
NO NUMBER
NOM NOMINAL
NTS NOT TO SCALE
O/A OVERALL
OBSOBSOURE
OC ON CENTER
OD OUTSIDE DIAMETER
OH OVERFLOW DRAIN
OH OVERHEAD
OHG OVERHEAD GLAZING
OPNG OPENING
OPP OPPOSITE

PBD PARTICLE BOARD
PERF PERFORATED
PERP PERPENDICULAR
PF PANEL FASTENERS
PH PAPER HOLDER
PL PLATE
PL PROPERTY LINE
PLAM PLASTIC LAMINATE
PLYWD PLYWOOD
POL POLISHED
PR PAIR
PROP PROPOSED
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
PT PT
PTD PAINTED

QT QUARRY TILE
QTY QUANTITY
R RADIUS
R RISER
RD ROOF DRAIN
REF REFRIGERATOR
REINFC REINFORCING
REQD REQUIRED
RH RIGHT HAND
RJ ROOF JACK/VENT
RM ROOM
RO ROUGH OPENING
RV RIDGE VENT

S SOUTH
SB SETBACK
SB SAND BLAST
SC SOLID CORE
SCHD SCHEDULE
SF SQUARE FOOT
SHTL SHEET METAL
SHTHG SHEATHING
SIM SIMILAR
SPECS SPECIFICATIONS
SQ SQUARE
SS STAINLESS
SS STL STAINLESS STEEL
STD STANDARD
STL STEEL
STOR STORAGE
STRUC STRUCTURAL
SV SOFFIT VENT
SYM SYMBOL

T TREAD
TEL TELEPHONE
TEMP TEMPERED
TEMP TEMPERATURE
T&G TONGUE AND GROOVE
THK THICK
TO TOP OF
TOP OF PLATE
TOS TOP OF SLAB
TOW TOP OF WALL
TV TELEVISION
TYP TYPICAL

UNO UNLESS NOTED OTHERWISE
VCT VINYL COMPOSITION TILE
VER VERIFY
VERT VERTICAL
VERTICAL GRAIN

W WEST
W WATT
W WIDTH
W/ WITH
W/O WITHOUT
WOOD WOOD

WF WINDOW FRAMES
WG WINDOW GLAZING
WP WATERPROOF
WR WATER RESISTANT
WRB WATER RESISTANT BARRIER
WS WOOD SCREW
WT WEIGHT
WWM WELDED WIRE MESH

YD YARD

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DESIGN JHA

DRAWN KK

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DATE 03/29/13

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DESIGN REVIEW

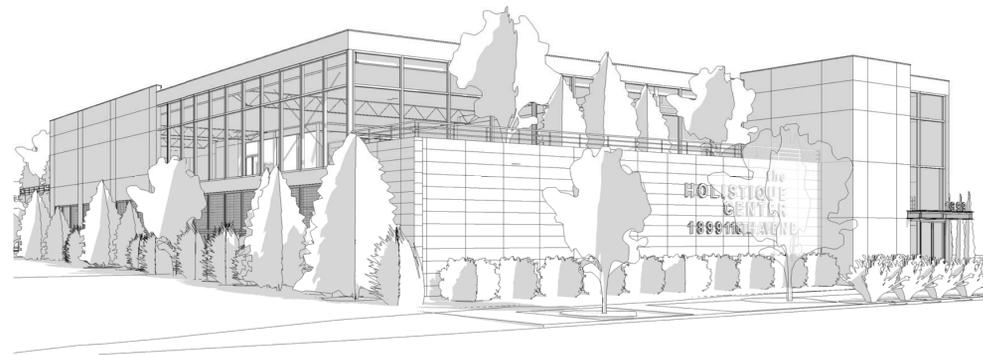
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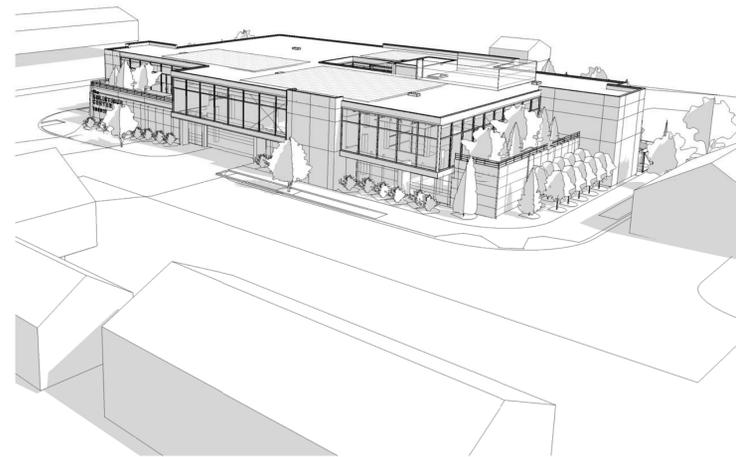
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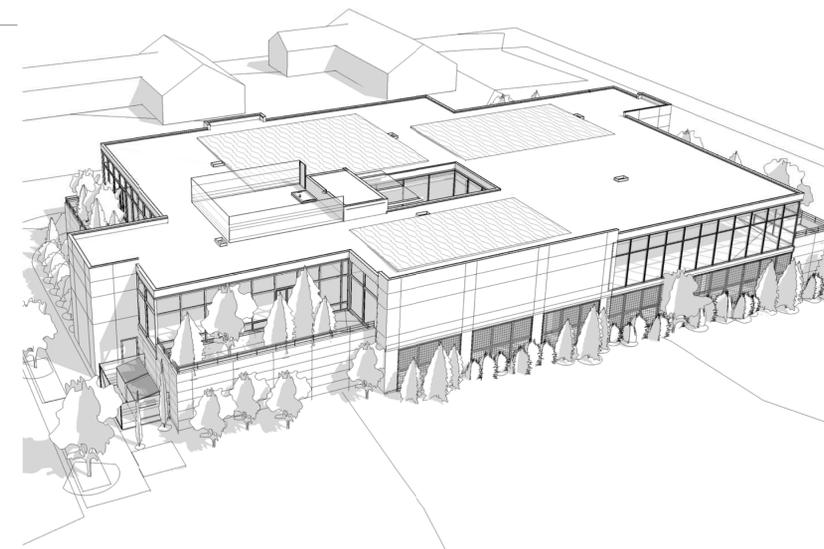
1 STREET VIEW FROM 116TH AND 19TH
NOT TO SCALE



2 STREET VIEW FROM SOUTHEAST
NOT TO SCALE



3 BIRDSEYE VIEW FROM NORTHWEST
NOT TO SCALE



4 BIRDSEYE VIEW FROM SOUTH
NOT TO SCALE



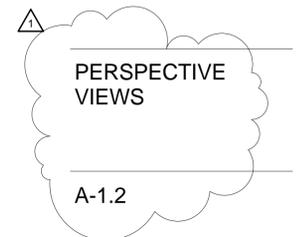
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DESIGN REVIEW



ALL BUILDING AREAS

Name	Area
OFFICE FLOOR	
HALLWAY	980 SF
SHAFT	20 SF
ELEC	115 SF
ELEV	81 SF
STAIR 2	145 SF
STAIR 1	193 SF
Common/Shaft/Utility	1535 SF
WEST DECK	517 SF
COURTYARD	530 SF
NORTH DECK	566 SF
EAST DECK	666 SF
SOUTH DECK	477 SF
Deck/Courtyard	2756 SF
MEDICAL OFFICE AREA A	6004 SF
MEDICAL OFFICE AREA B	5317 SF
Net Floor Area	11320 SF
OFFICE FLOOR	15611 SF

Name	Area
GROUND FLOOR	
ELEV	82 SF
STAIR 2	152 SF
MECHANICAL	155 SF
ELEVATOR ROOM	131 SF
STAIR 1	192 SF
STORAGE	81 SF
SHAFT	20 SF
Common/Shaft/Utility	812 SF

Name	Area
OPEN GARAGE	14339 SF
Parking Area	14339 SF
GROUND FLOOR	15151 SF

GROSS/NET BUILDING AREA PER B.C.C.

Name	Area
GROUND FLOOR	
ELEV	82 SF
STAIR 2	152 SF
MECHANICAL	155 SF
ELEVATOR ROOM	131 SF
STAIR 1	192 SF
STORAGE	81 SF
SHAFT	20 SF

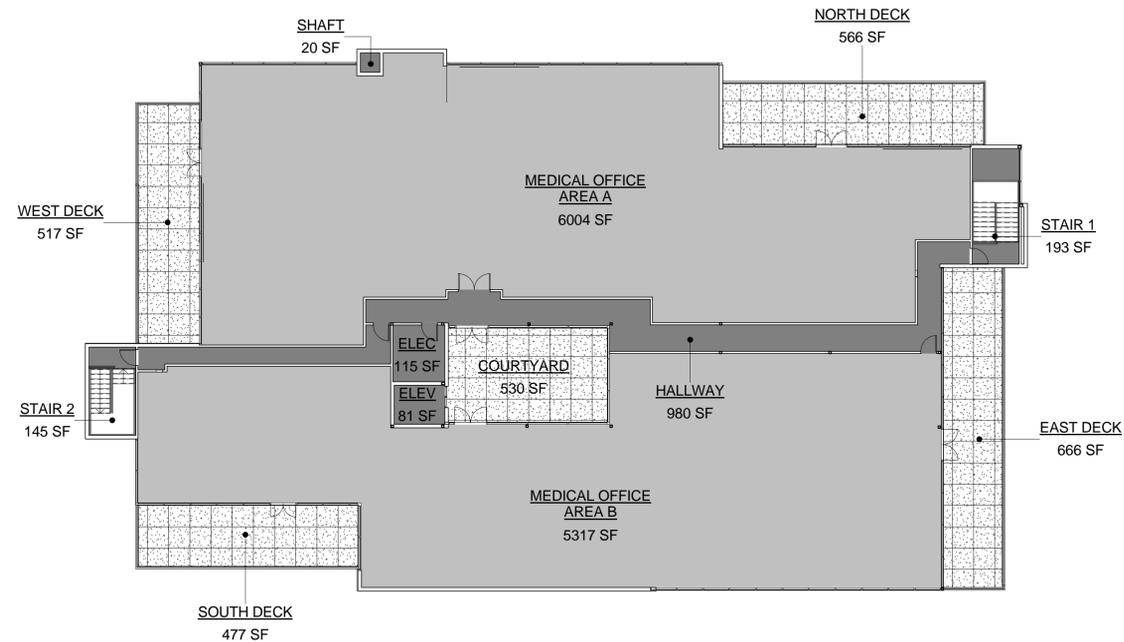
OFFICE FLOOR	
MEDICAL OFFICE AREA A	6004 SF
MEDICAL OFFICE AREA B	5317 SF
HALLWAY	980 SF
SHAFT	20 SF
ELEC	115 SF
ELEV	81 SF
STAIR 2	145 SF
STAIR 1	193 SF
Grand total	13667 SF

NET BUILDING AREA (B.C.C.) 11,321 SF

GROSS BUILDING AREA (B.C.C.) 13,667 SF

PERVIOUS LANDSCAPE AREAS AT GRADE

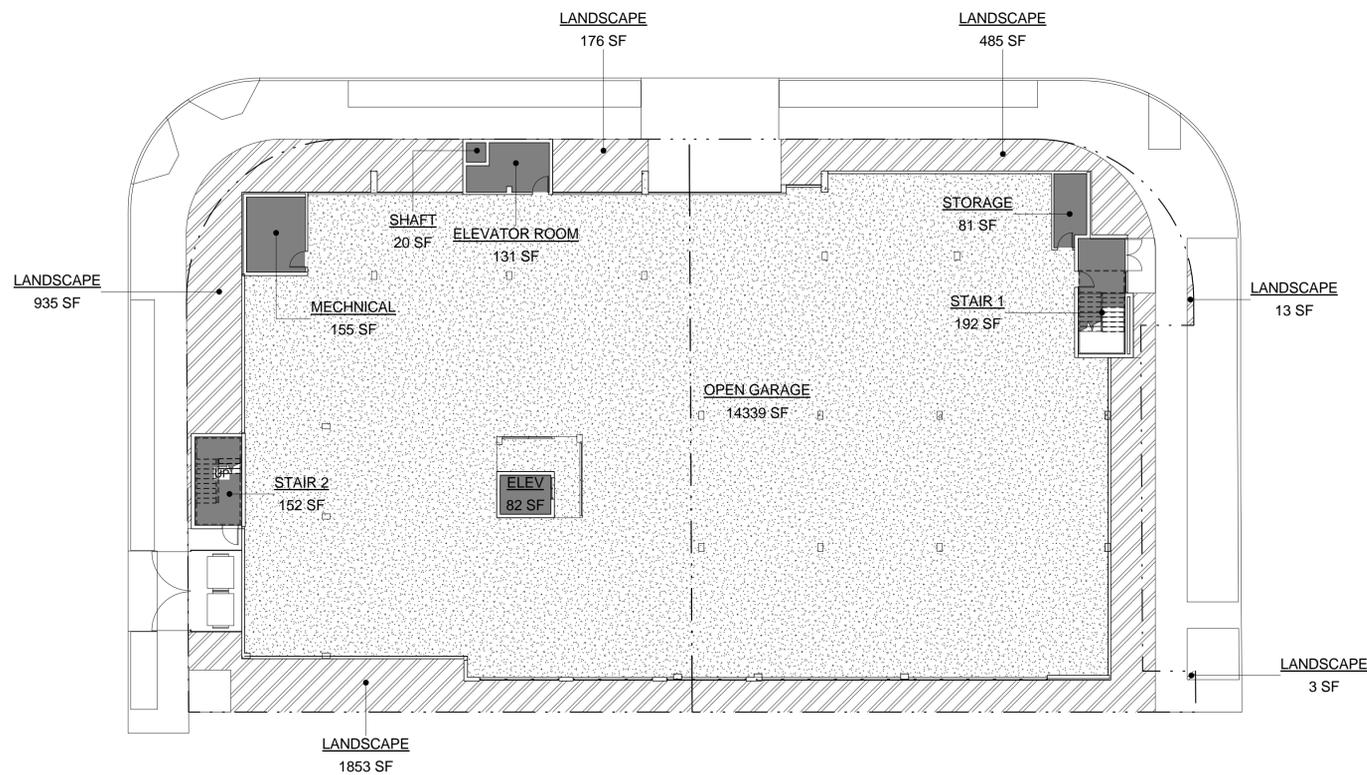
Name	Area
LANDSCAPE	1853 SF
LANDSCAPE	935 SF
LANDSCAPE	176 SF
LANDSCAPE	485 SF
LANDSCAPE	3 SF
LANDSCAPE	13 SF
Grand total	3465 SF



2 OFFICE FLOOR
SCALE 1/16" = 1'-0"

BUILDING AREAS

- Common/Shaft/Utility
- Deck/Courtyard
- Net Floor Area



1 GROUND FLOOR
SCALE 1/16" = 1'-0"

BUILDING AREAS

- Common/Shaft/Utility
- Parking Area
- Pervious Landscape Area



DESIGN Designer
DRAWN Author
CHECKED
DATE 03/29/13

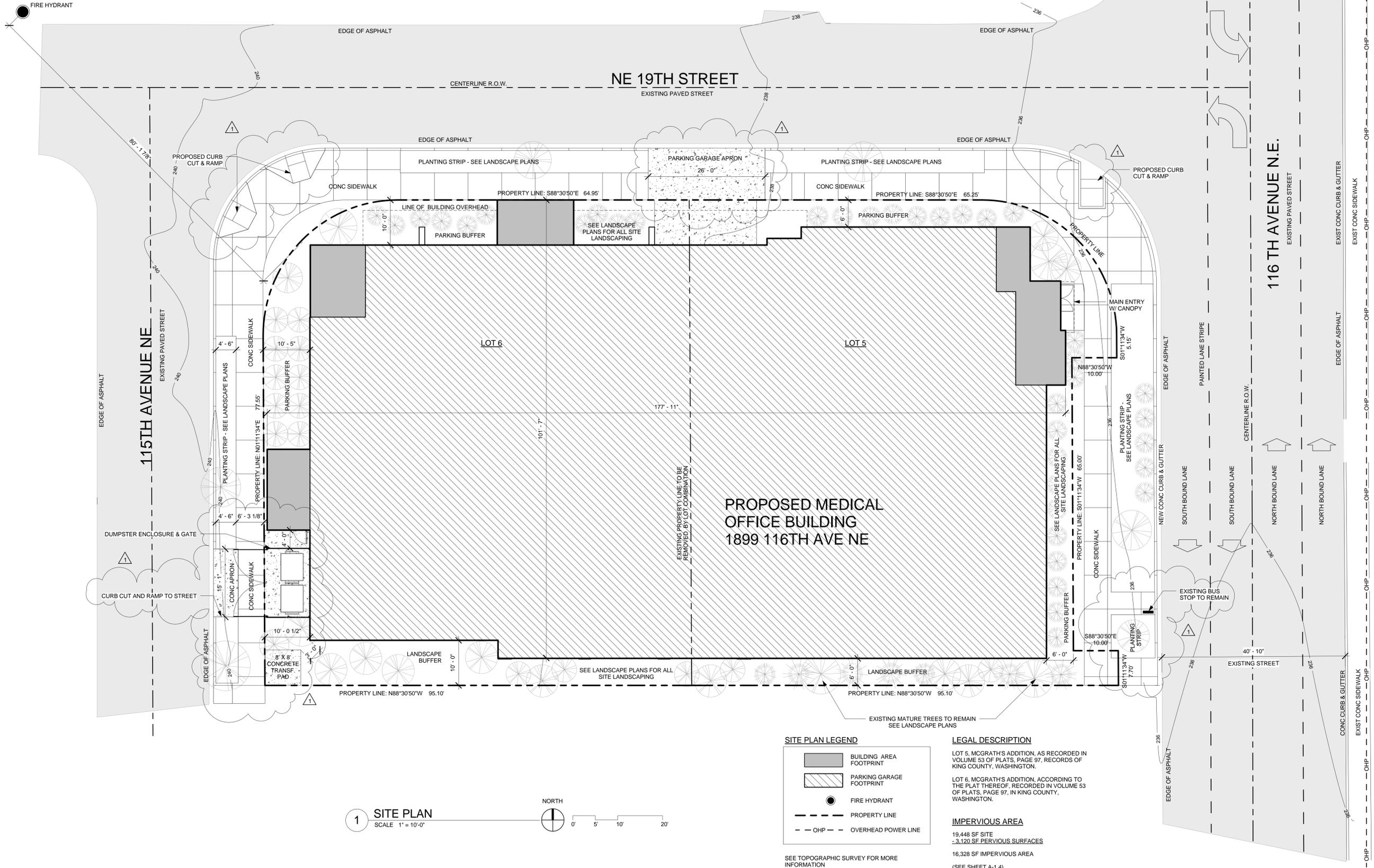
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DESIGN REVIEW

AREA CALCULATIONS



1 SITE PLAN
SCALE 1" = 10'-0"

SITE PLAN LEGEND

- BUILDING AREA FOOTPRINT
- PARKING GARAGE FOOTPRINT
- FIRE HYDRANT
- PROPERTY LINE
- OVERHEAD POWER LINE

LEGAL DESCRIPTION

LOT 5, MCGRATH'S ADDITION, AS RECORDED IN VOLUME 53 OF PLATS, PAGE 97, RECORDS OF KING COUNTY, WASHINGTON.

LOT 6, MCGRATH'S ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 53 OF PLATS, PAGE 97, IN KING COUNTY, WASHINGTON.

IMPERVIOUS AREA

19,448 SF SITE
- 3,120 SF PERVIOUS SURFACES

16,328 SF IMPERVIOUS AREA
(SEE SHEET A-1.4)



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SITE PLAN

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NE 19TH STREET
CENTERLINE R.O.W.

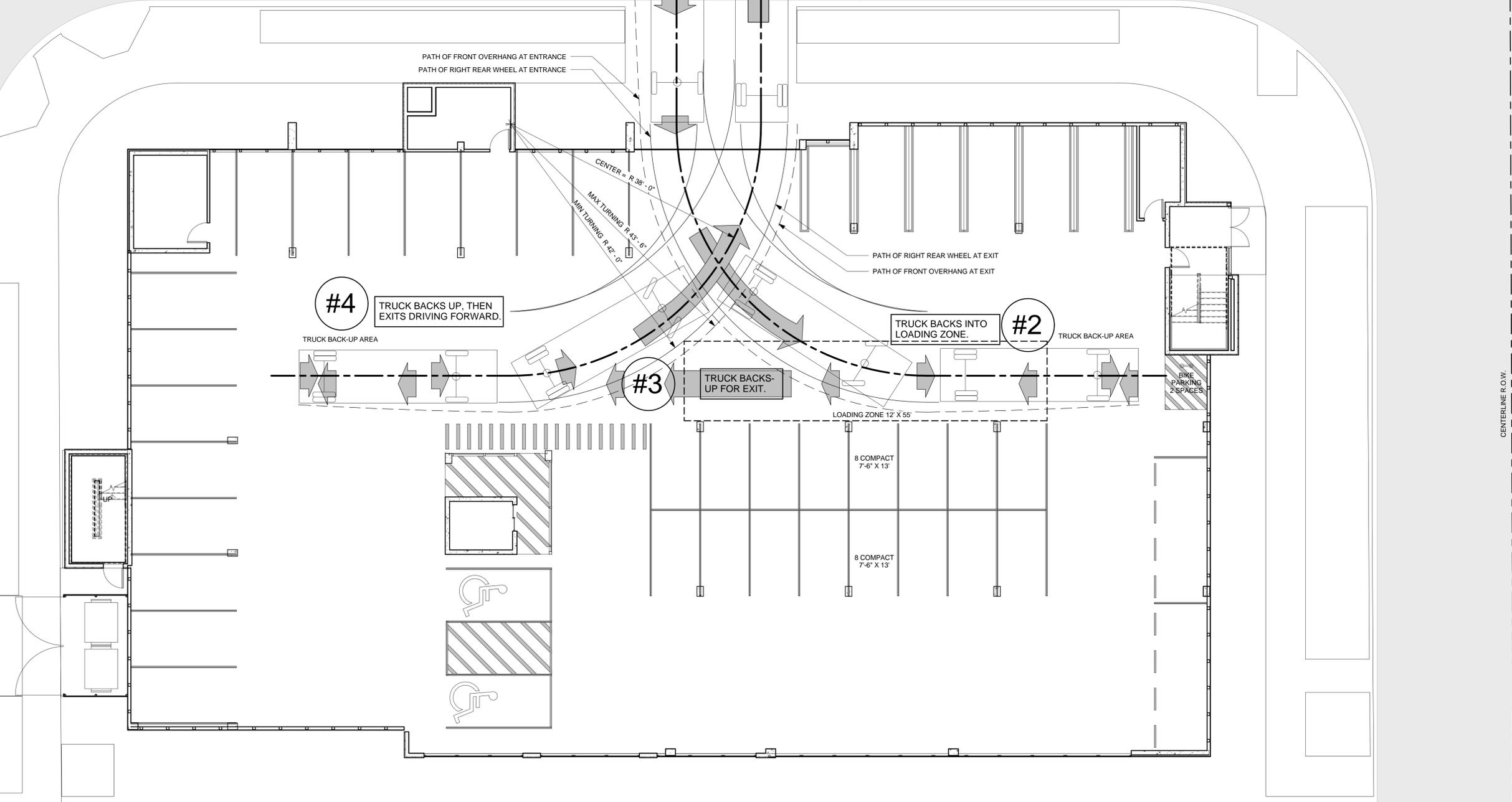
DELIVERY TRUCK ENTRANCE #1

TRUCK ENTERS PARKING GARAGE FROM STREET.

DELIVERY TRUCK DEPARTURE #5

TRUCK EXITS PARKING GARAGE.

116 TH AVENUE N.E.



#4 TRUCK BACKS UP, THEN EXITS DRIVING FORWARD.

TRUCK BACKS INTO LOADING ZONE. #2

#3 TRUCK BACKS-UP FOR EXIT.

TRUCK BACK-UP AREA

TRUCK BACK-UP AREA

LOADING ZONE 12' X 55'

8 COMPACT 7'-6\"/>

8 COMPACT 7'-6\"/>

BIKE PARKING 2 SPACES

PATH OF FRONT OVERHANG AT ENTRANCE
PATH OF RIGHT REAR WHEEL AT ENTRANCE

PATH OF RIGHT REAR WHEEL AT EXIT
PATH OF FRONT OVERHANG AT EXIT

CENTER = R 38' - 0"
MAX TURNING R 43' - 5"
MIN TURNING R 42' - 0"

1 DELIVERY TRUCK TURNING TEMPLATE
SCALE 1/8" = 1'-0"



3257 REGISTERED ARCHITECT
Stuart Silk
STUART TAYLOR SILK
STATE OF WASHINGTON

DESIGN Designer
DRAWN Author
CHECKED
DATE 06/03/13
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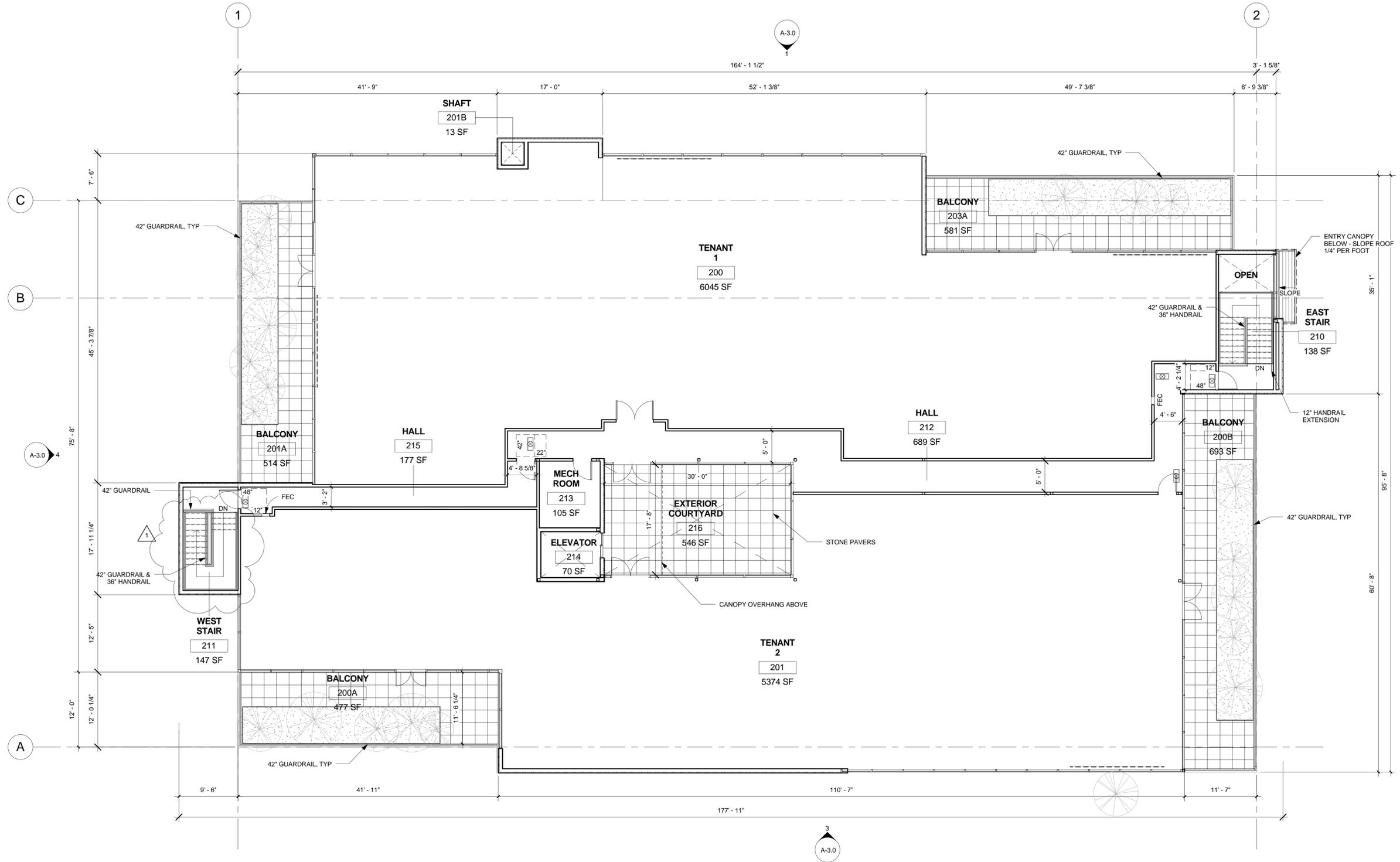
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DESIGN REVIEW

▲ TURNING TEMPLATE
A-2.1a



1 OFFICE FLOOR
SCALE 1/8" = 1'-0"



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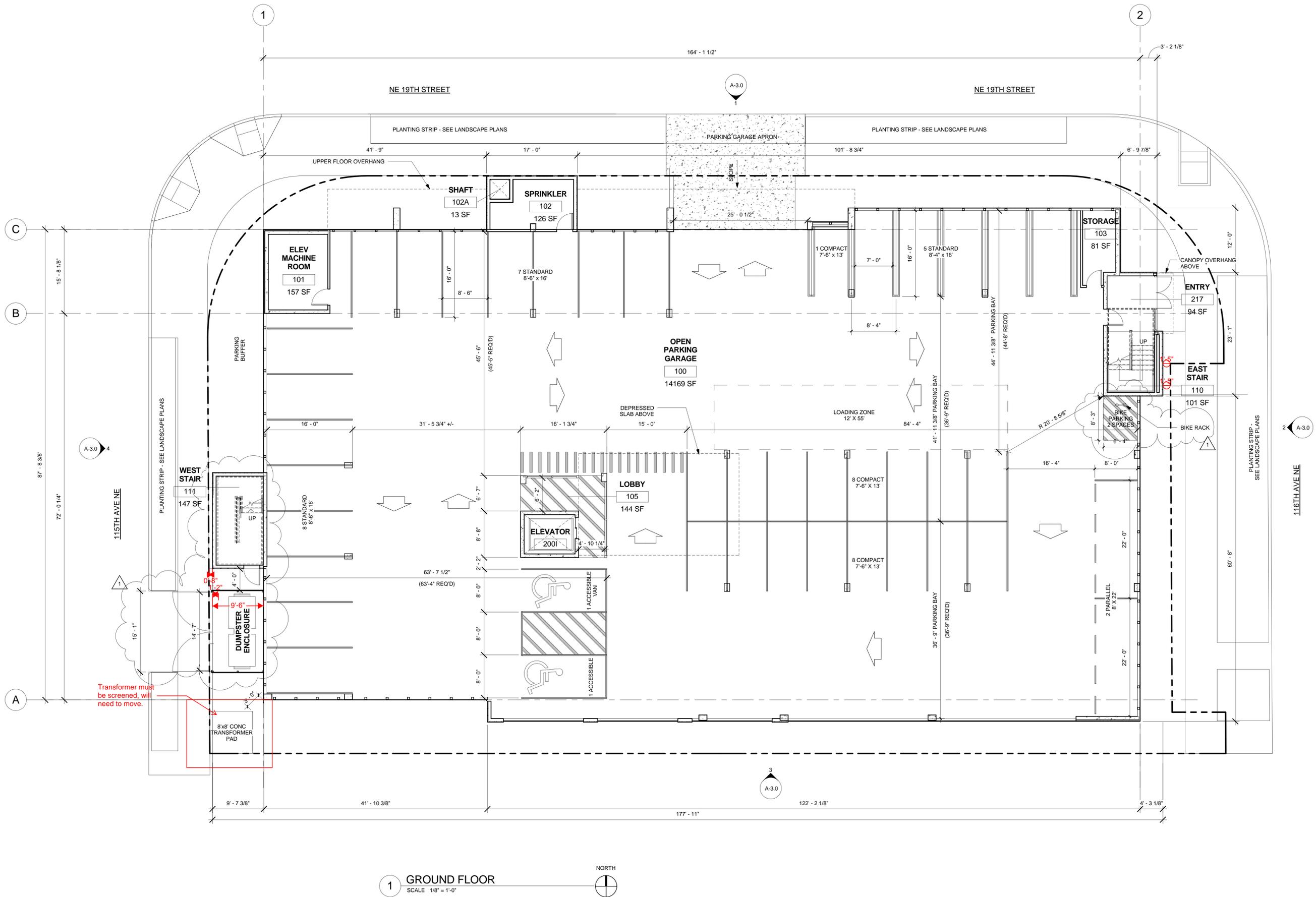
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DESIGN REVIEW

OFFICE FLOOR PLAN



1 GROUND FLOOR
 SCALE 1/8" = 1'-0"
 NORTH



DESIGN JHA
 DRAWN KK
 CHECKED
 DATE 03/29/13
 DESIGN REVIEW REVISIONS - 08/21/13

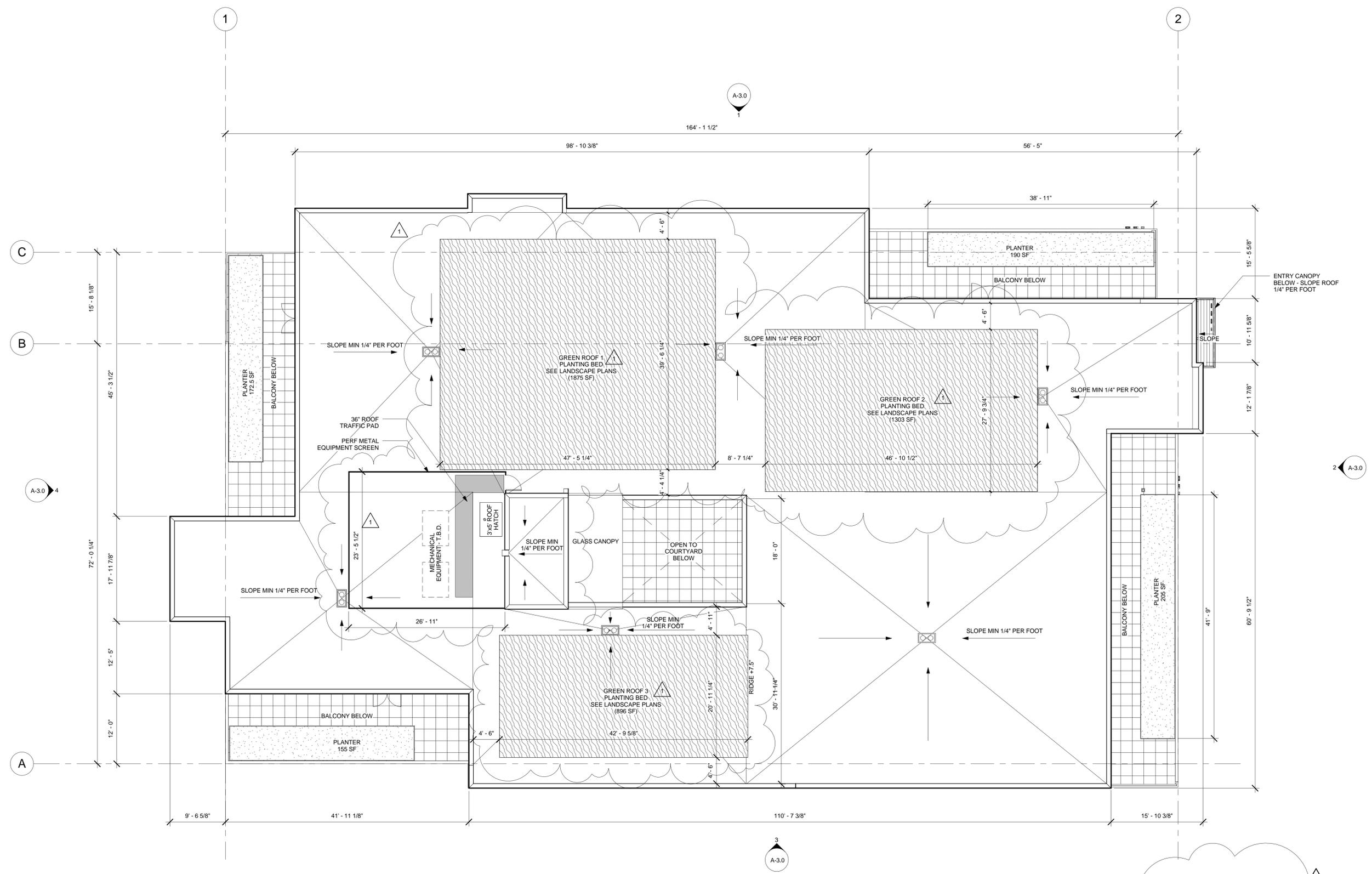
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NO.	DESCRIPTION

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DESIGN REVIEW
 GROUND FLOOR PLAN



1 ROOF PLAN
SCALE 1/8" = 1'-0"

PERVIOUS SURFACE AREAS	
GREEN ROOF 1	1875 SF
GREEN ROOF 2	1303 SF
GREEN ROOF 3	896 SF
TOTAL PERVIOUS SURFACES	4074 SF

PERVIOUS SURFACE AREA
NOT TO SCALE



DESIGN JHA
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DATE 03/29/13

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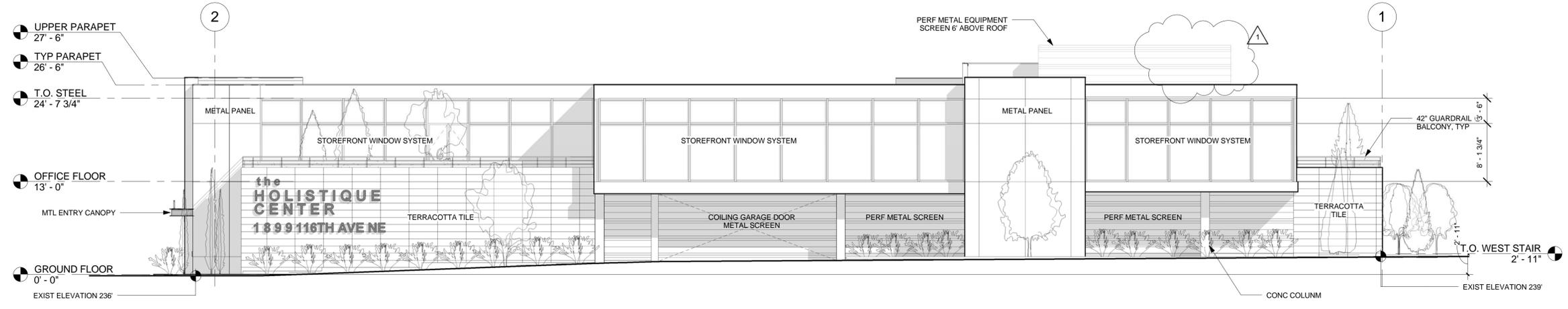
DESIGN REVIEW

ROOF PLAN

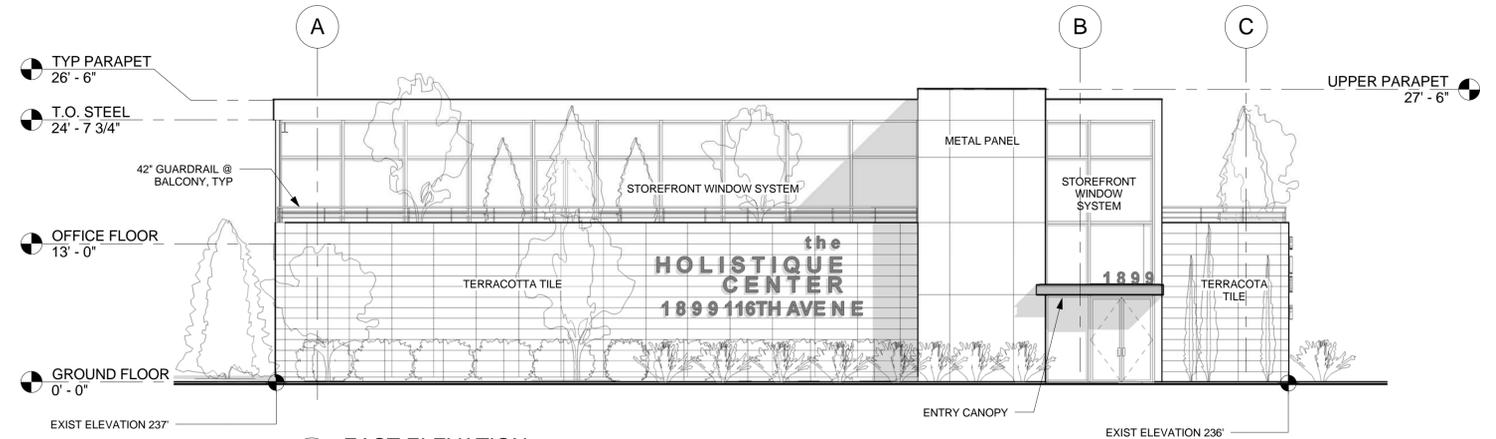
A-2.3

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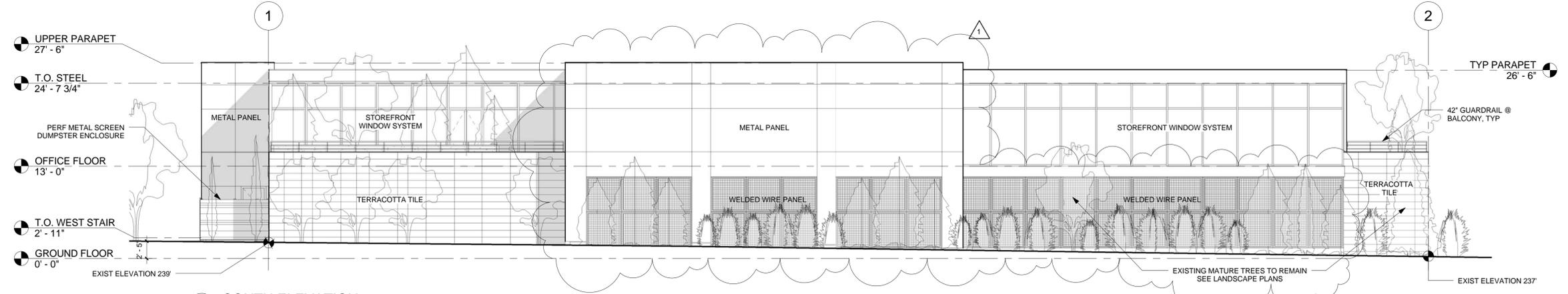
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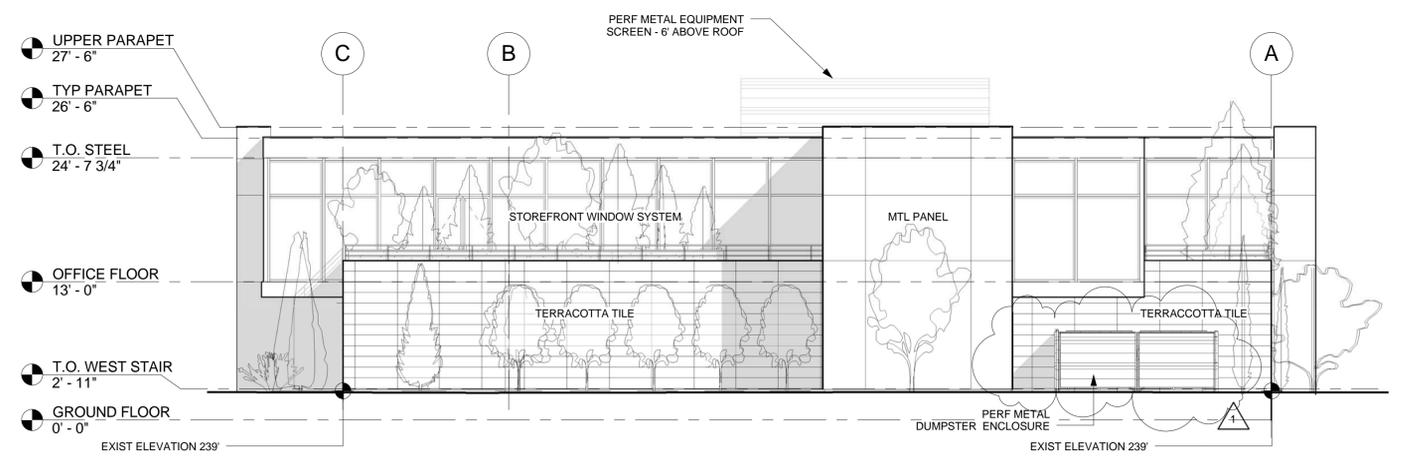
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



4 WEST ELEVATION
SCALE 1/8" = 1'-0"



DESIGN JHA
DRAWN KK
CHECKED
DATE 03/29/13

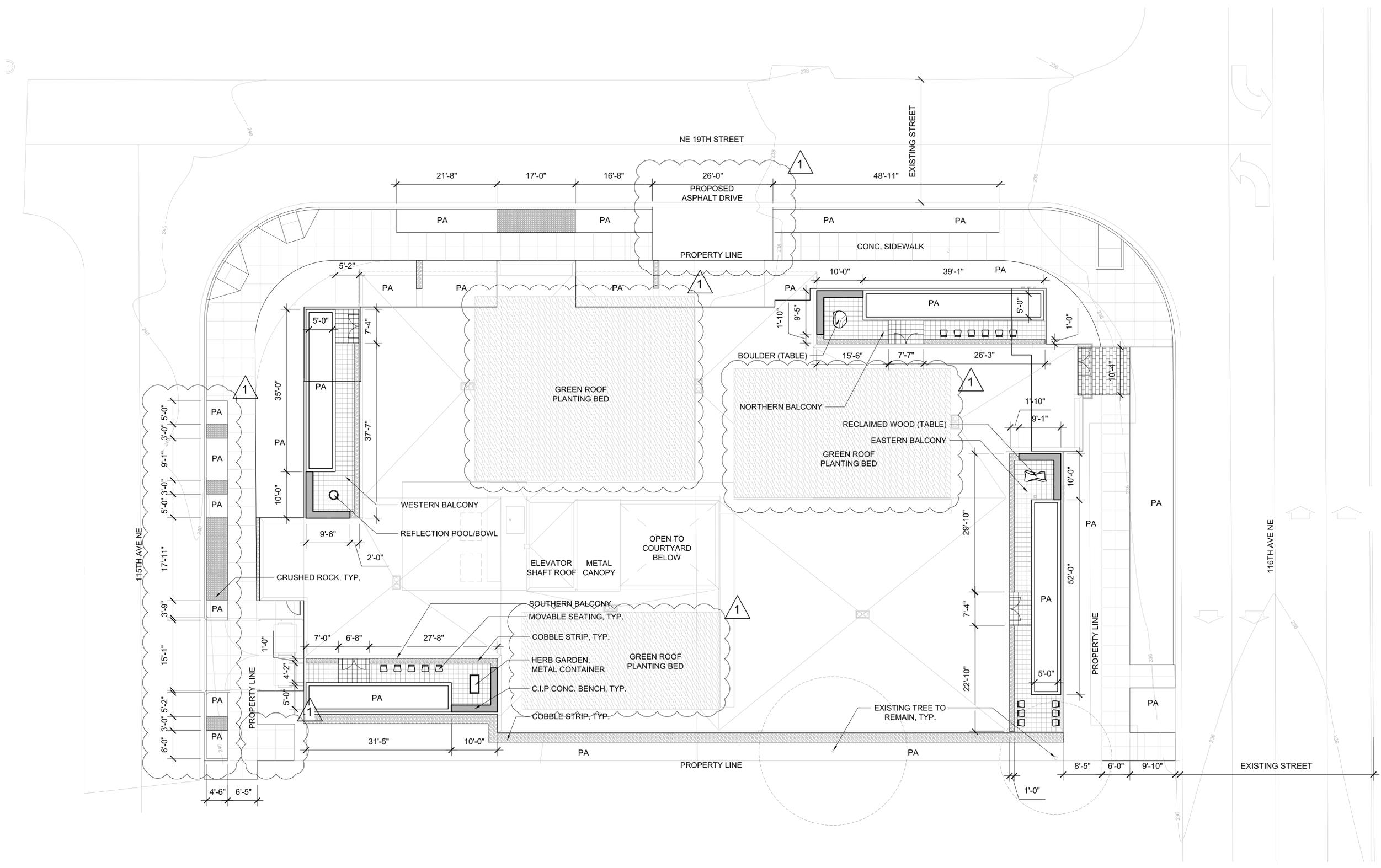
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BUILDING ELEVATIONS



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DATE	03/29/13

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GCH
geyer coburn hutchins

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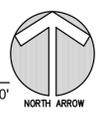
DESIGN REVIEW

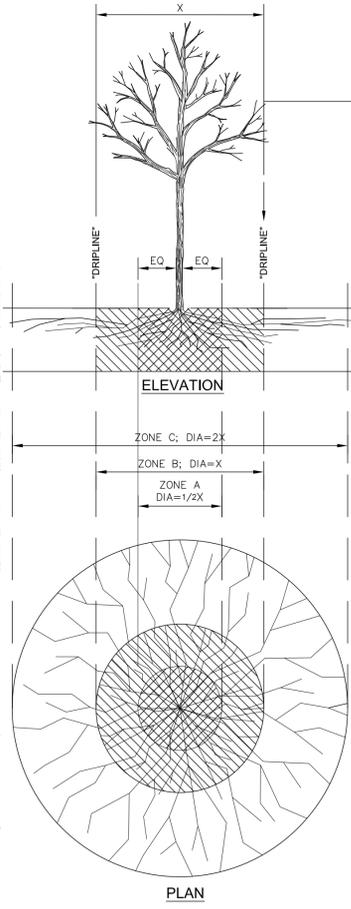
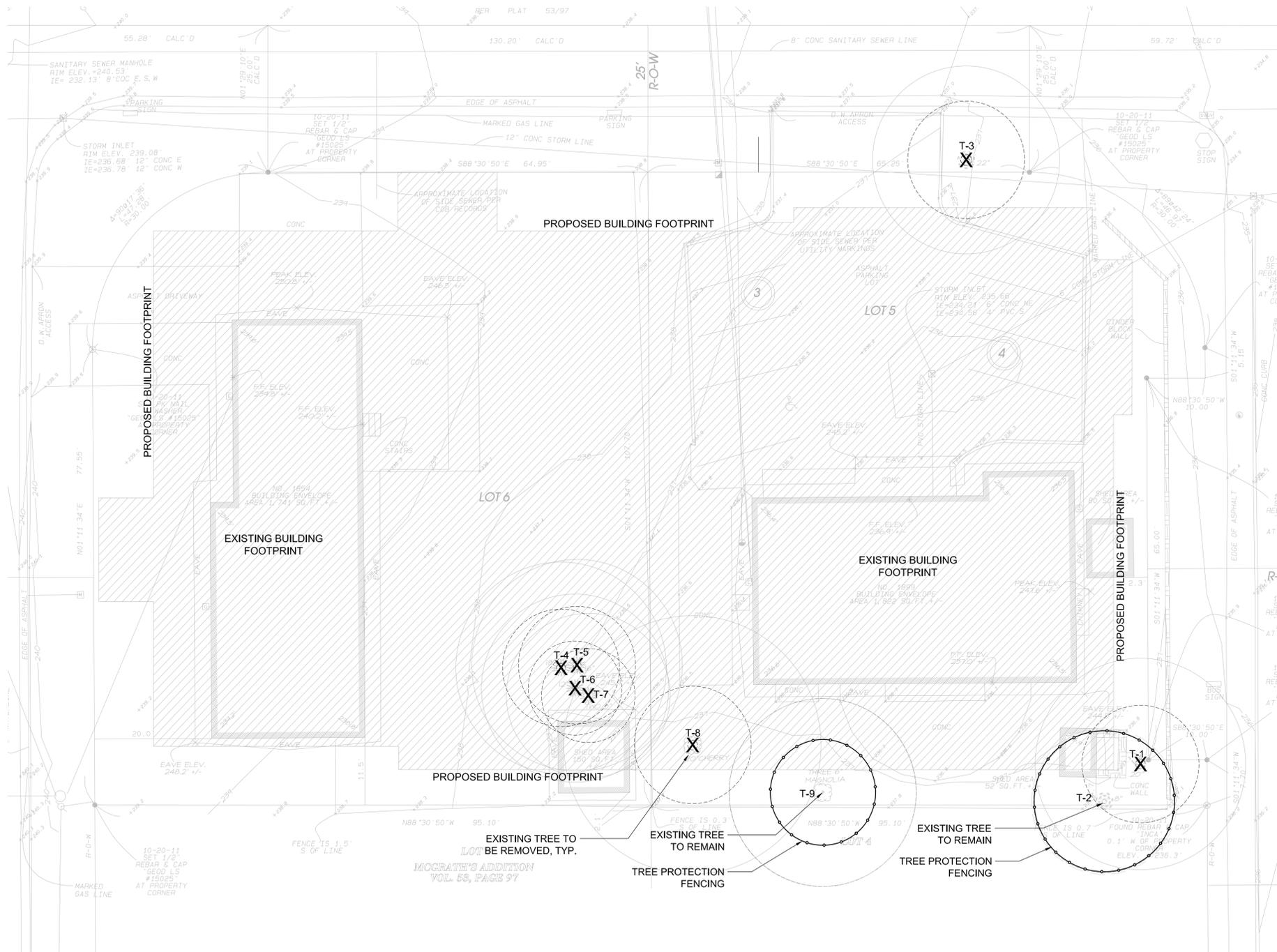
SITE PLAN

L101

LANDSCAPE SITE PLAN

Scale: 1'-0"=10'





- FENCING/ROOT PROTECTION**
CHAIN LINK FENCING TO BE PROVIDED AND MAINTAINED AT DRIPLINE
- ENGINEER'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN ZONE B. PERMISSION FOR USE/ACCESS REQUIRES SURFACE PROTECTION FOR ALL UNFENCED, UNPAVED SURFACES WITHIN ZONE B
- * SURFACE PROTECTION MEASURES**
- MULCH LAYER, 6"-8" DEPTH
 - 3/4" PLYWOOD
 - STEEL PLATES
- TRENCHING/EXCAVATION**
- ZONE A (CRITICAL ROOT ZONE)**
- NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE
 - SEVERANCE OF ROOTS LARGER THAN 2" DIA REQUIRES ENGINEER'S APPROVAL
 - TUNNELING REQUIRED TO INSTALL LINES 3'-0" BELOW GRADE OR DEEPER
- ZONE B (DRIPLINE)**
- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL. SURFACE PROTECTION MEASURES REQUIRED
 - TRENCHING ALLOWED AS FOLLOWS:
 - EXCAVATION BY HAND OR WITH HAND
 - DRIVEN TRENCHER MAY BE REQUIRED
 - LIMIT TRENCH WIDTH. DO NOT DISTURB ZONE A MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION
 - TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0"
- ZONE C (FEEDER ROOT ZONE)**
- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEERS APPROVAL. SURFACE PROTECTION MEASURES MAY BE REQUIRED
 - TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
 - MINIMIZE TRENCH WIDTH
 - MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION

1 TREE PROTECTION PLAN

2 TREE PROTECTION DETAIL

Scale: 1'-0"=10'

Scale: 1/4"=1'-0"

TREE INVENTORY TABLE

TREE	SPECIES	DIAMETER	TREES WITHIN PERIMETER	TREES WITHIN SITE INTERIOR	TREES TO BE REMOVED	TREES TO REMAIN
T-1	PINE	20"		20"	20"	
T-2	CEDAR	8"		8"		8"
T-3	CEDAR	22"	22"			
T-4	HEMLOCK	18"		18"	18"	
T-5	HEMLOCK	16"		16"	16"	
T-6	HEMLOCK	12"		12"	12"	
T-7	HEMLOCK	16"		16"	16"	
T-8	CHERRY	20"		20"	20"	
T-9	MAGNOLIA	18"		18"		18"
TOTAL			22"	128"	102"	22"

PERIMETER LANDSCAPE AREA TREE RETENTION REQUIREMENT 100% OF HEALTHY TREES
SITE INTERIOR TREE RETENTION REQUIREMENT, 15% OF DIAMETER INCHES 128 x 15% = 19.2"

**TOTAL SIGNIFICANT TREES ON SITE: 150*

NOTES:

- TREE PROTECTION ZONE TO BE 1.5 FEET FOR EVERY INCH OF DBH (6 FEET MIN.).
- WHERE TREE CANOPY INTERSECTS BUILDING FOOTPRINT ADJUSTMENTS TO FENCING WILL BE REQUIRED & APPROVED BY LANDSCAPE ARCHITECT. ANY NECESSARY BRANCH PRUNING SHALL BE MADE ONLY BY CERTIFIED ARBORIST.

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CHECKED
DATE 03/29/13

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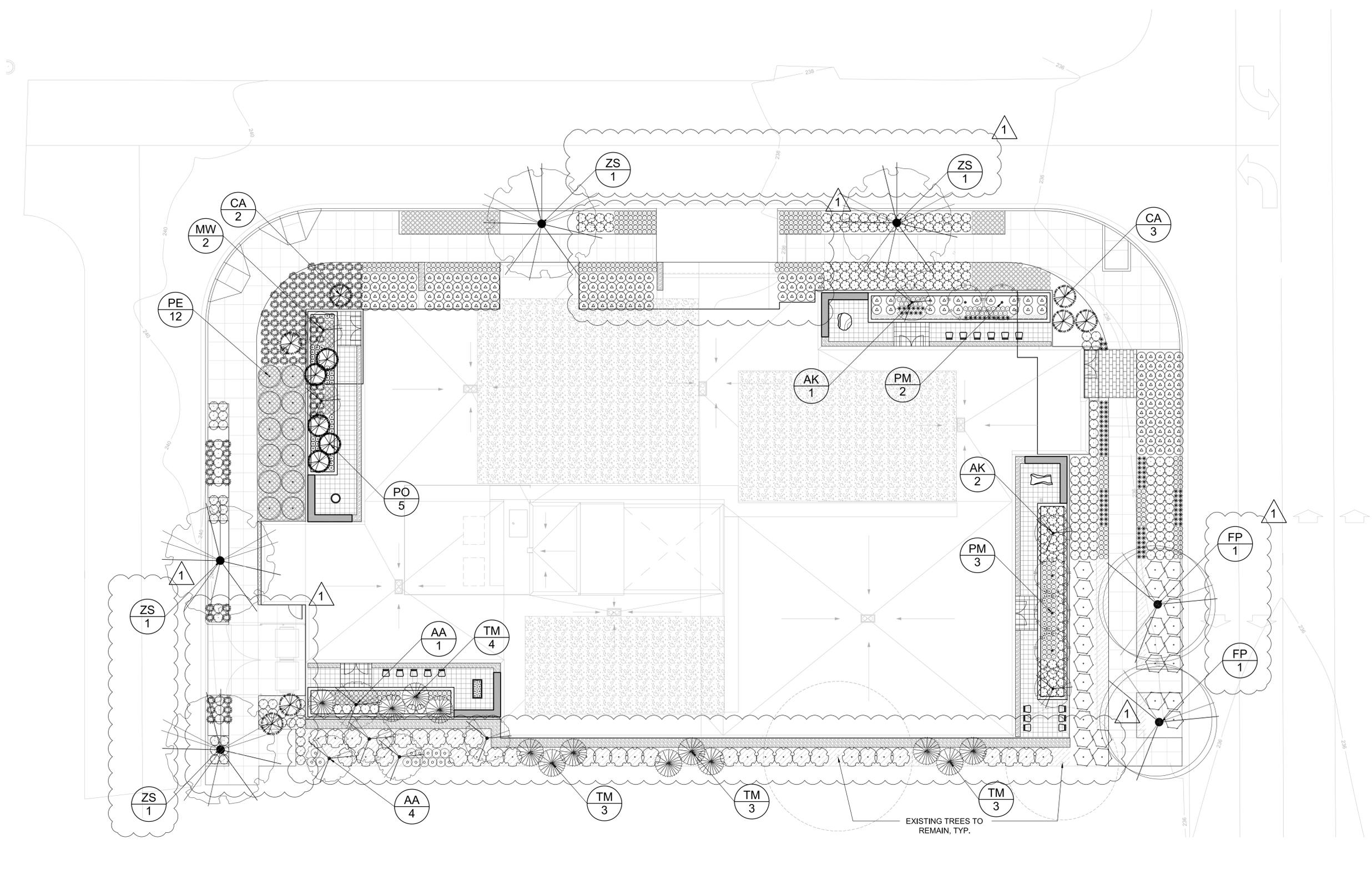
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DESIGN REVIEW

TREE PROTECTION PLAN



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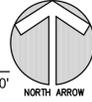
DESIGN REVIEW

PLANTING PLAN

L103

PLANTING PLAN

Scale: 1'-0"=10'



- NOTES:**
1. REFERENCE L104 FOR COMPLETE PLANTING SCHEDULE.
 2. LANDSCAPE PLANTING PLAN TO MEET CITY OF BELLEVUE "WATER EFFICIENT LANDSCAPING" REQUIREMENTS.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	AK	Acer palmatum `Katsura` / Katsura Japanese Maple	B & B	1.5"Cal		3
	AA	Amelanchier x grandiflora / Apple Serviceberry	B & B	1.5"Cal		5
	CA	Chamaecyparis nootkatensis `Green Arrow` / Nootka Cypress	B & B		8-10` HT. MIN.	7
	FP	Fraxinus pennsylvanica `Summit` / Summit Ash	B & B	2.5"Cal		2
	MW	Magnolia stellata `Waterlily` / Star Magnolia	B & B	1.5"Cal		2
	PO	Picea omorika / Serbian Spruce	B & B		8-10` HT. MIN.	5
	PM	Podocarpus macrophyllus / Yew Pine	B & B		8-10` HT. MIN.	5
	PE	Populus tremula `Erecta` / Columnar Swedish Aspen	B & B	2"Cal		12
	TM	Tsuga mertensiana / Mountain Hemlock	B & B		8-10` HT. MIN.	13
	ZS	Zelkova serrata `Village Green` / Sawleaf Zelkova	B & B	2.5"Cal		4

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY	SHRUBS
	BB	Berberis thunbergii `Bagatelle` / Red Barberry	1 gal	32	
	GS	Gaultheria shallon / Salal	2 gal	27	
	HF	Hemerocallis fulva / Orange Daylily	2 gal	126	
	HA	Heuchera americana `Amethyst Mist` / Purple Coral Bells	1 gal	12	
	LM	Liriope muscari / Lily Turf	1 gal	563	
	LS	Liriope spicata `Silver Dragon` / Creeping Lily Turf	1 gal	384	
	MA	Mahonia aquifolium / Oregon Grape	2 gal	35	
	NP	Nassella tenuissima `Pony Tails` / Mexican Feathergrass	1 gal	103	
	OP	Ophiopogon planiscapus `Nigrescens` / Black Mondo Grass	1 gal	110	
	PO2	Penstemon ovatus / Egg Leaf Beardtongue	1 gal	14	
	PM2	Polystichum munitum / Western Sword Fern	2 gal	175	
	RO	Rosmarinus officinalis / Rosemary	1 gal	8	
	VD	Viburnum davidii / David Viburnum	2 gal	128	

NOTES:

- LANDSCAPE PLANTING PLAN TO MEET CITY OF BELLEVUE "WATER EFFICIENT LANDSCAPING" REQUIREMENTS.
- PLANT SIZES AS SHOWN.

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	WP	Woodsia polystichoides / Holly Fern Woodsia	1 gal	42

GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	AE2	Arctostaphylos uva-ursi `Emerald Carpet` / Emerald Carpet Manzanita	flat	535
	AE	Asarum europaeum / European Wild Ginger	flat	30
	GR	Green Roof	sod	4,074 sf
	TL	Thymus x citriodorus / Lemon Thyme	flat	7

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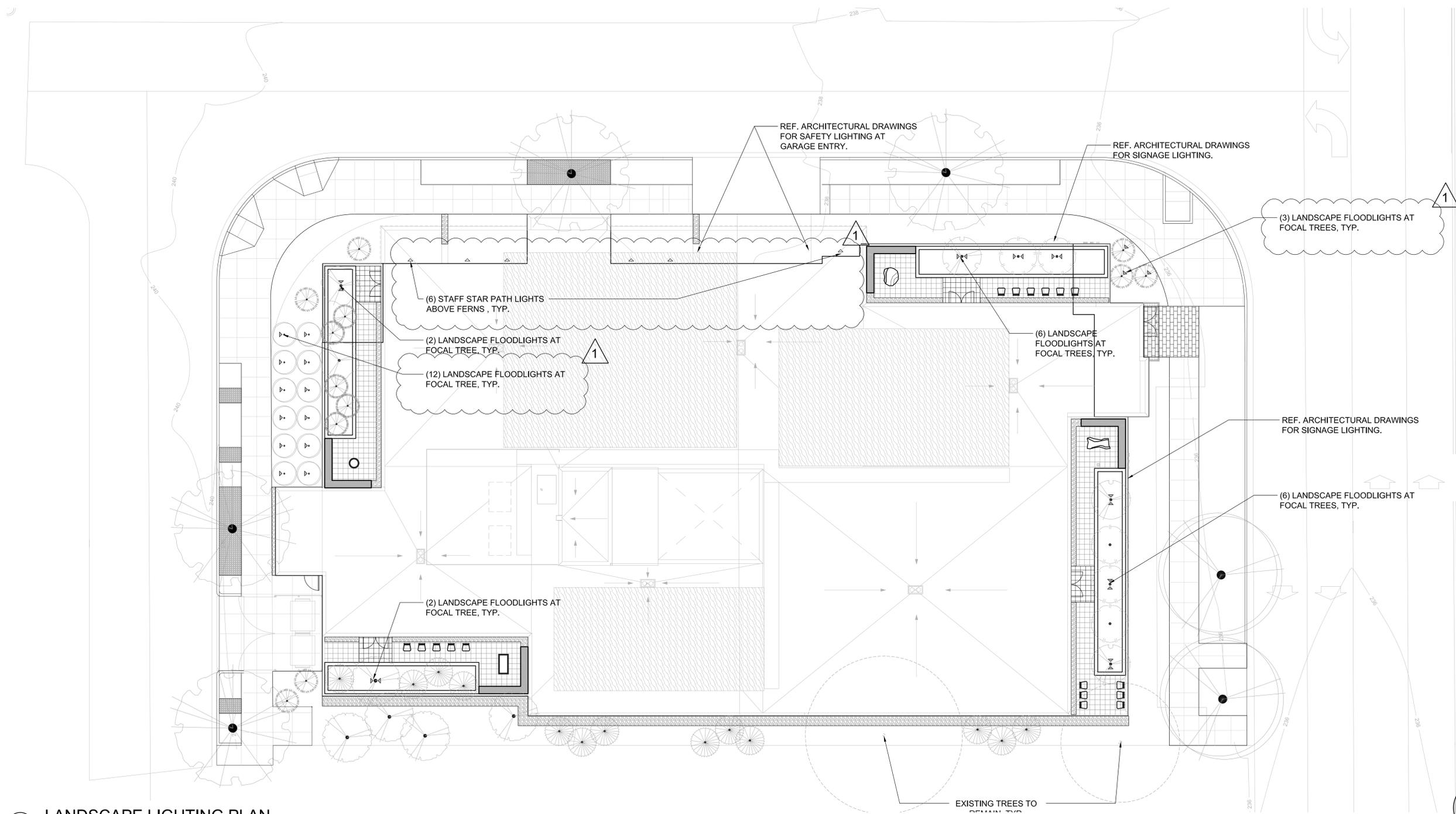
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PLANTING SCHEDULE



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LANDSCAPE LIGHTING PLAN

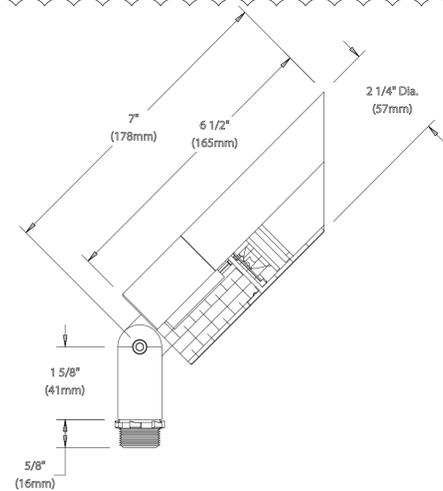
LANDSCAPE LIGHTING PLAN



Delta Star Tree Floodlight
by BK Lighting
www.bklighting.com



Staff Star-Style C Path light
by BK Lighting
www.bklighting.com



1

DARVISH MEDICAL

SE 1/4 OF THE NE 1/4 OF SEC. 29, TWP. 25N., RGE. 5E., W.M.

LEGAL DESCRIPTION

TAX PARCEL NO. 5328000025: LOT 5, MCGRATH'S ADDITION, AS RECORDED IN VOLUME 53 OF PLATS, PAGE 97, RECORDS OF KING COUNTY, WASHINGTON.

TAX PARCEL NO. 5328000030: LOT 6, MCGRATH'S ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 53 OF PLATS, PAGE 97, IN KING COUNTY, WASHINGTON.

METHOD OF SURVEY

INSTRUMENTATION FOR THIS SURVEY WAS A LEICA ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS KING COUNTY AND STATE STANDARDS SET BY WAC 332-130-090.

BEARING MERIDIAN

A BEARING OF N01°11'34"E BETWEEN CITY OF BELLEVUE HORIZONTAL STATION NO. 057R AND CITY OF BELLEVUE HORIZONTAL STATION NO. 0071, PER CITY OF BELLEVUE.

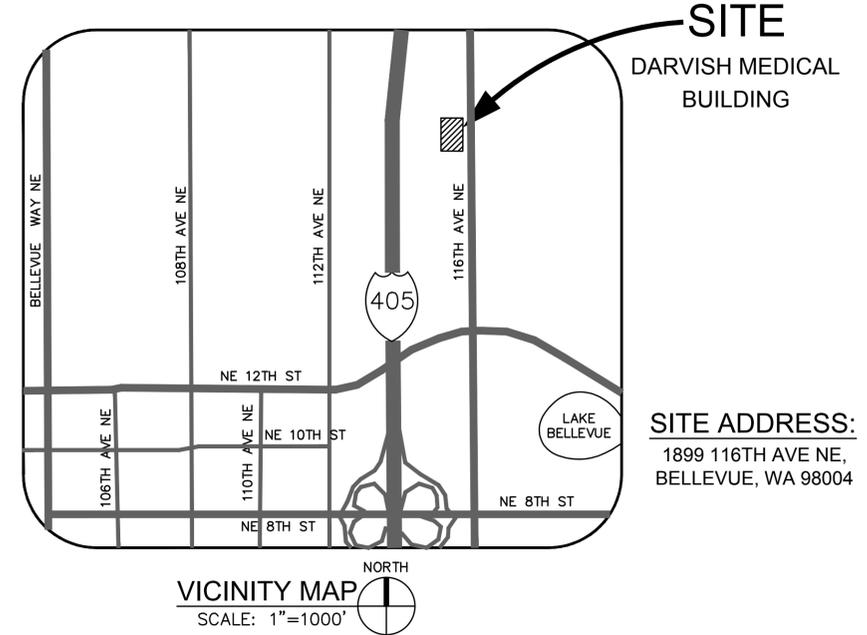
VERTICAL DATUM

CITY OF BELLEVUE BENCHMARK NO. 649

(NAVD 88)

(VISITED 10/20/2011) FOUND CONC MON W/1/4" NAIL IN CASE; TOP MON TO TOP RIM CASE 1.39 FEET, LOCATED ON CENTERLINE 116TH AVE NE-600 FEET +- NORTH OF INTERSECTION 116TH AVE NE & NE 12TH ST. ELEVATION = 210.68'

DRAWING INDEX	
SHEET #	DRAWING TITLE
C000	COVER SHEET
C101	T.E.S.C. PLAN
C201	GRADING AND STORM DRAINAGE PLAN
C301	ROAD PLAN
C302	SITE PLAN B
C401	UTILITY PLAN
C501	EXISTING LIGHT LEVEL ANALYSIS



SITE
DARVISH MEDICAL BUILDING

SITE ADDRESS:
1899 116TH AVE NE,
BELLEVUE, WA 98004

LEGEND:

EXISTING:

- ⊕ FOUND MONUMENT AS NOTED
- ⊗ SET PK NAIL AND SHINER AS NOTED
- ⊗ FOUND REBAR & CAP AS NOTED
- SET REBAR & CAP AS NOTED
- UTILITY POLE
- ⊠ CATCH BASIN
- ⊙ SANITARY SEWER MANHOLE
- * FINISHED FLOOR ELEVATION
- ⊠ ELECTRIC METER
- X SPOT ELEVATION
- WATER MANHOLE
- ⊕ FIRE HYDRANT
- HEAT PUMP
- GAS METER
- ⊕ WATER VALVE
- ⊠ IRRIGATION CONTROL VALVE
- GAS VALVE
- ELECTRIC VAULT
- ♿ HANDICAP PARKING SPACE
- SIDE SEWER CLEAN OUT
- TELEPHONE RISER
- TELEPHONE MANHOLE
- ▨ ASPHALT SURFACE
- ▨ RET. WALL
- ▨ CONC SURFACE
- ▨ STAIRS
- D.W. APRON DRIVEWAY ACCESS
- CONC CONCRETE
- R-O-W RIGHT-OF-WAY
- () RECORD AS NOTED
- ⑤ NUMBER OF PARKING SPACES
- OVERHEAD TELEPHONE
- PAINTED LANE STRIPE
- BUILDING LINE
- CENTERLINE OF ROAD
- OVERHEAD WIRES
- EAVES
- GUY WIRE
- DECIDUOUS TREE (NOT SHOWN TO SCALE)
TRUNK DIA SHOWN IN INCHES.
- CEDAR TREE (NOT SHOWN TO SCALE)
TRUNK DIA SHOWN IN INCHES.
- PINE TREE (NOT SHOWN TO SCALE)
TRUNK DIA SHOWN IN INCHES.
- HEMLOCK TREE (NOT SHOWN TO SCALE)
TRUNK DIA SHOWN IN INCHES.

PROPOSED:

- - - — PROPERTY LINE
- 185— CONTOUR LINE
- ⋯ GRADE BREAK
- — — PEDESTRIAN SIGHT LINE
- — — CONCRETE TRAFFIC CURB
- — — CONCRETE CURB AND GUTTER
- — — SAWCUT LINE
- ▨ CEMENT CONCRETE SIDEWALK
- ▨ ASPHALT PAVEMENT
- ▨ ASPHALT PAVEMENT OVERLAY
- ▨ LANDSCAPE RESTORATION/ PLANTING
(SEE LANDSCAPE PLANS)
- ▨ RAISED PLANTER ON STRUCTURE
- ⊠ TYPE 1 CATCH BASIN
- ⊠ TYPE 2 CATCH BASIN
- 8" SD → STORM DRAINAGE LINE W/ FLOW ARROW
- GAS — GAS SERVICE LINE
- W — WATER LINE
- ⊕ FIRE HYDRANT ASSEMBLY
- ⊠ WATER METER

ABBREVIATIONS:

- ⊕ AT
- APPROX. APPROXIMATE
- BOC BACK OF CURB
- BW GROUND ELEVATION AT BOTTOM OF WALL/ BACK OF WALK
- CB CATCH BASIN
- CO CLEAN OUT
- COB CITY OF BELLEVUE
- CL CLASS
- CMP CORRUGATED METAL PIPE
- CSBC CRUSHED SURFACING BASE COURSE
- CSTC CRUSHED SURFACING TOP COURSE
- DI DUCTILE IRON PIPE
- DIA DIAMETER
- DWG DRAWING
- ELEV ELEVATION
- EX/EXIST EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FOC FACE OF CURB
- FT FEET
- GD GRADE
- HMA HOT MIXED ASPHALT
- IE PIPE INVERT ELEVATION
- MAX MAXIMUM
- MIN MINIMUM
- NE NORTHEAST
- PL PROPERTY LINE
- POC POINT OF CONNECTION
- PVC POLYVINYL CHLORIDE
- RR RAILROAD
- SD STORM DRAIN
- SF SQUARE FEET
- SS SANITARY SEWER
- STA STATION
- STD STANDARD
- TC TOP OF CURB
- TESC TEMPORARY EROSION AND SEDIMENTATION CONTROL
- TW GROUND ELEVATION AT TOP OF WALL
- TYP TYPICAL
- W WATER
- W/ WITH

NOTES:

FOR GENERAL AND CITY OF BELLEVUE NOTES, SEE SHEETS C001 AND C002.

UTILITY GRID	#	F-5
PERMIT	#	13-111934 LD

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kurtp
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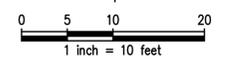
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D. SCHWARTZ	03/29/13
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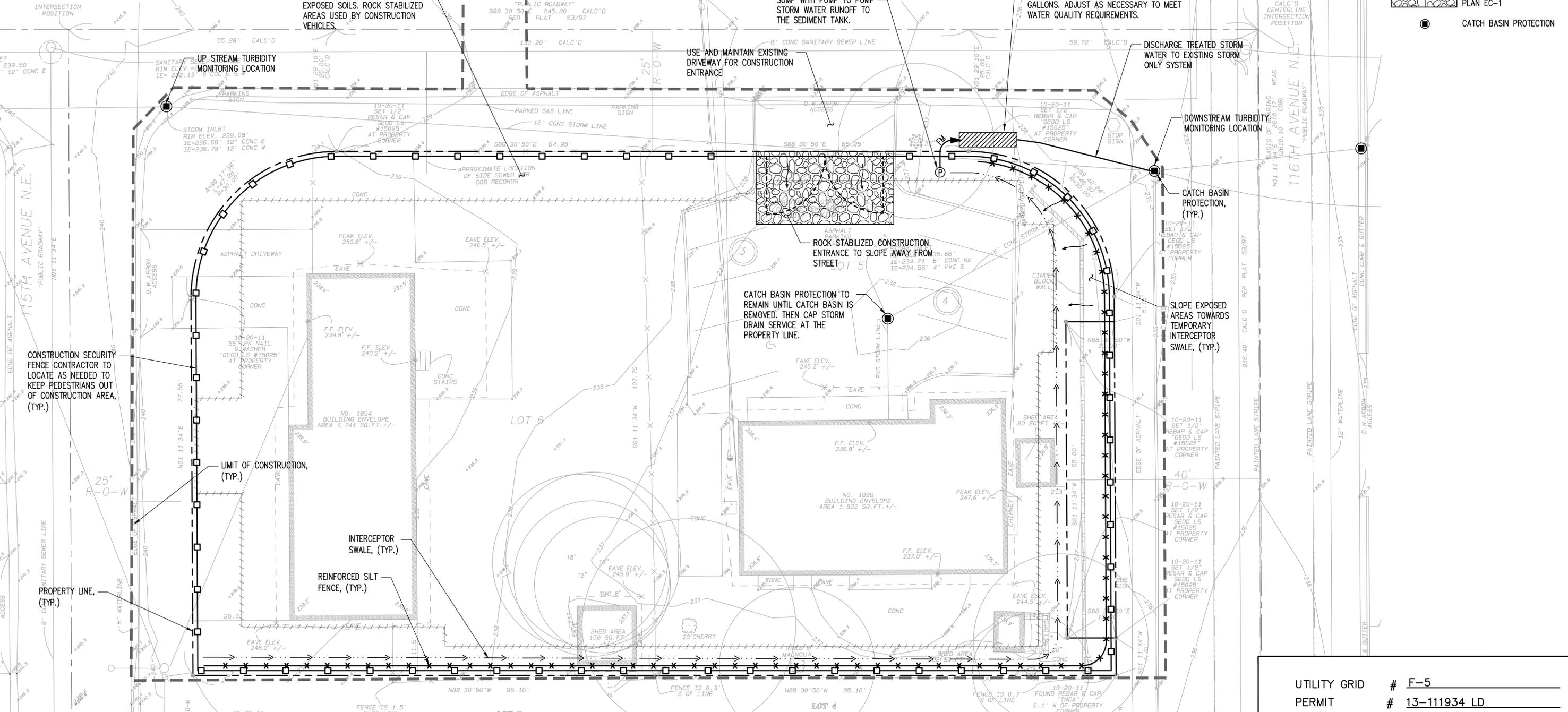
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COVER SHEET
SEC 29 TWP 25 RGE 5 SHT C000

- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY DEDICATION
 - CONSTRUCTION FENCE
 - CONSTRUCTION LIMIT
 - INTERCEPTOR SWALE
 - FM FORCE MAIN
 - ✕✕✕ REINFORCED SILT FENCE PER COB STD. DETAIL EC-S
 - TEMPORARY CONSTRUCTION ENTRANCE PER COB STD. PLAN EC-1
 - CATCH BASIN PROTECTION



VERTICAL DATUM: NAVD 1988
 BENCHMARKS: BELLEVUE STATION
 1365 AND 0887



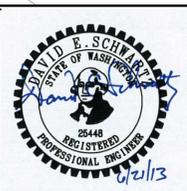
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T.E.S.C. PLAN

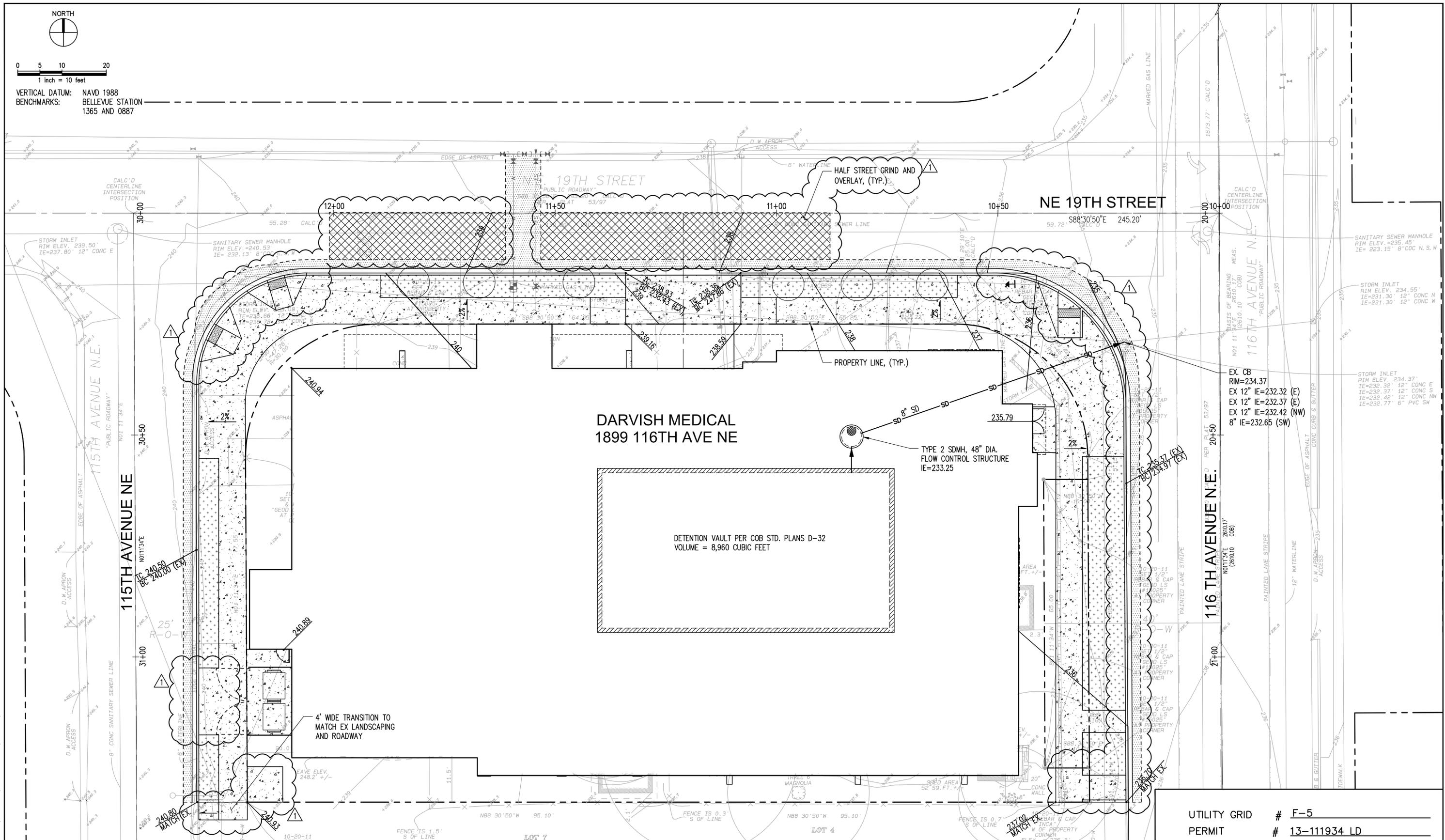
SEC 29 TWP 25 RGE 5 SHT C101

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 kurtp
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 X-DB-SV



0 5 10 20
1 inch = 10 feet

VERTICAL DATUM: NAVD 1988
BENCHMARKS: BELLEVUE STATION
1365 AND 0887



UTILITY GRID # F-5
PERMIT # 13-111934 LD

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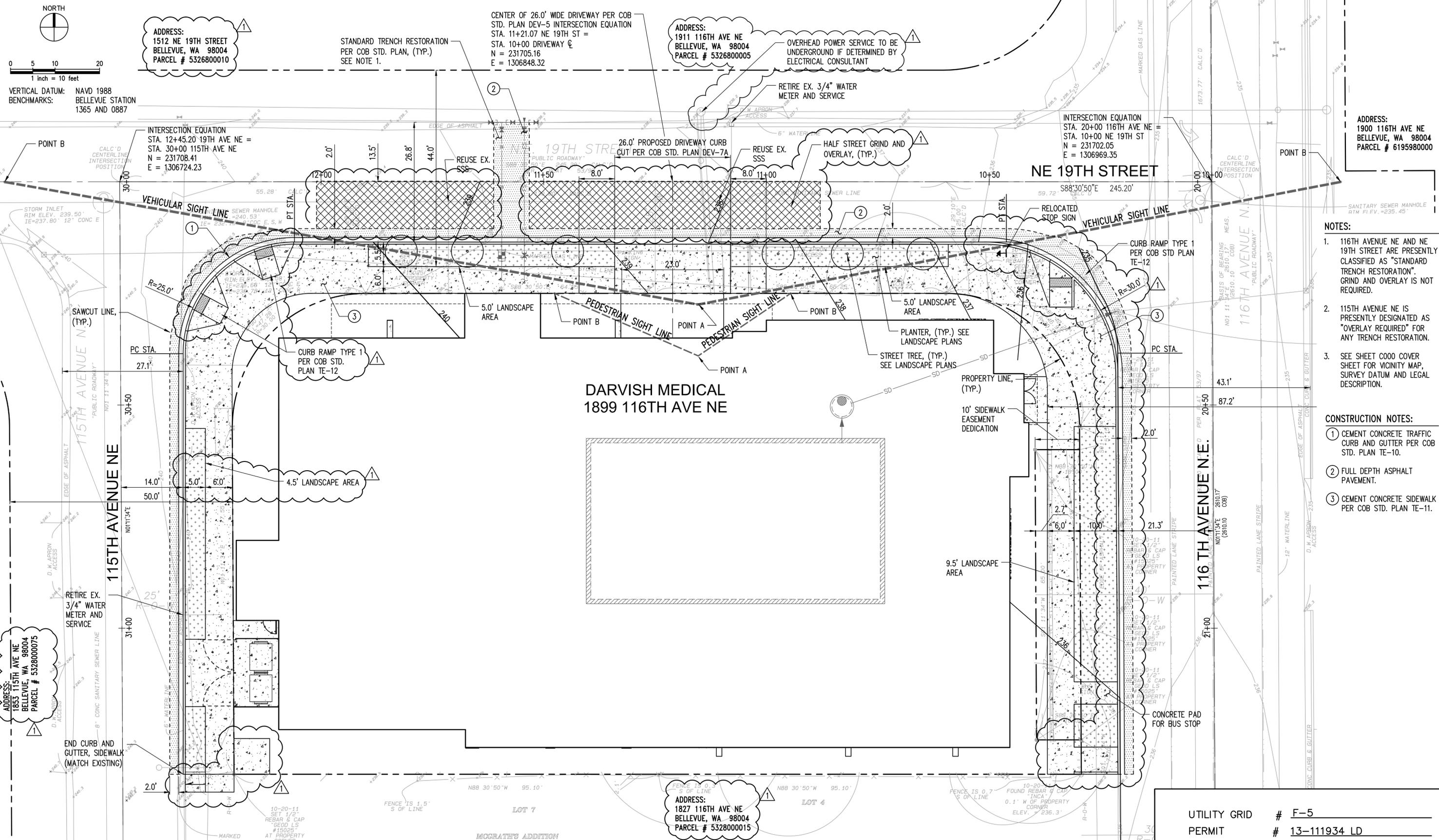
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GRADING AND STORM DRAINAGE PLAN

SEC 29 TWP 25 RGE 5 SHT C201

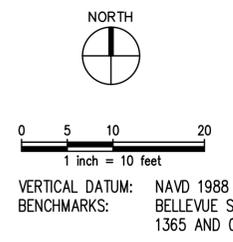
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 kurtj
 X-DB-SY X-DB-SP X-DB-AP-PRK X-DB-UT
 Xef Filemce X-DB-COB-1B X-DB-UT



ADDRESS:
1512 NE 19TH STREET
BELLEVUE, WA 98004
PARCEL # 5326800010

ADDRESS:
1911 116TH AVE NE
BELLEVUE, WA 98004
PARCEL # 5326800005

ADDRESS:
1900 116TH AVE NE
BELLEVUE, WA 98004
PARCEL # 6195980000



STANDARD TRENCH RESTORATION
PER COB STD. PLAN, (TYP.)
SEE NOTE 1.

CENTER OF 26.0' WIDE DRIVEWAY PER COB
STD. PLAN DEV-5 INTERSECTION EQUATION
STA. 11+21.07 NE 19TH ST =
STA. 10+00 DRIVEWAY C
N = 231705.16
E = 1306848.32

OVERHEAD POWER SERVICE TO BE
UNDERGROUND IF DETERMINED BY
ELECTRICAL CONSULTANT

RETIRE EX. 3/4" WATER
METER AND SERVICE

INTERSECTION EQUATION
STA. 20+00 116TH AVE NE =
STA. 10+00 NE 19TH ST
N = 231702.05
E = 1306969.35

INTERSECTION EQUATION
STA. 12+45.20 19TH AVE NE =
STA. 30+00 115TH AVE NE
N = 231708.41
E = 1306724.23

- NOTES:**
- 116TH AVENUE NE AND NE 19TH STREET ARE PRESENTLY CLASSIFIED AS "STANDARD TRENCH RESTORATION" GRIND AND OVERLAY IS NOT REQUIRED.
 - 115TH AVENUE NE IS PRESENTLY DESIGNATED AS "OVERLAY REQUIRED" FOR ANY TRENCH RESTORATION.
 - SEE SHEET C000 COVER SHEET FOR VICINITY MAP, SURVEY DATUM AND LEGAL DESCRIPTION.

- CONSTRUCTION NOTES:**
- CEMENT CONCRETE TRAFFIC CURB AND GUTTER PER COB STD. PLAN TE-10.
 - FULL DEPTH ASPHALT PAVEMENT.
 - CEMENT CONCRETE SIDEWALK PER COB STD. PLAN TE-11.

UTILITY GRID # F-5
PERMIT # 13-111934 LD

NO	DATE	BY	APPR	REVISIONS
1	6/21/13	ATT		DESIGN REVIEW REVISIONS

kpff Consulting Engineers
1601 Fifth Avenue, Suite 1600
Seattle, Washington 98101-3665
(206) 622-5822 Fax (206) 622-8130

Know what's below.
Call before you dig.
811
or
1-800-424-5555

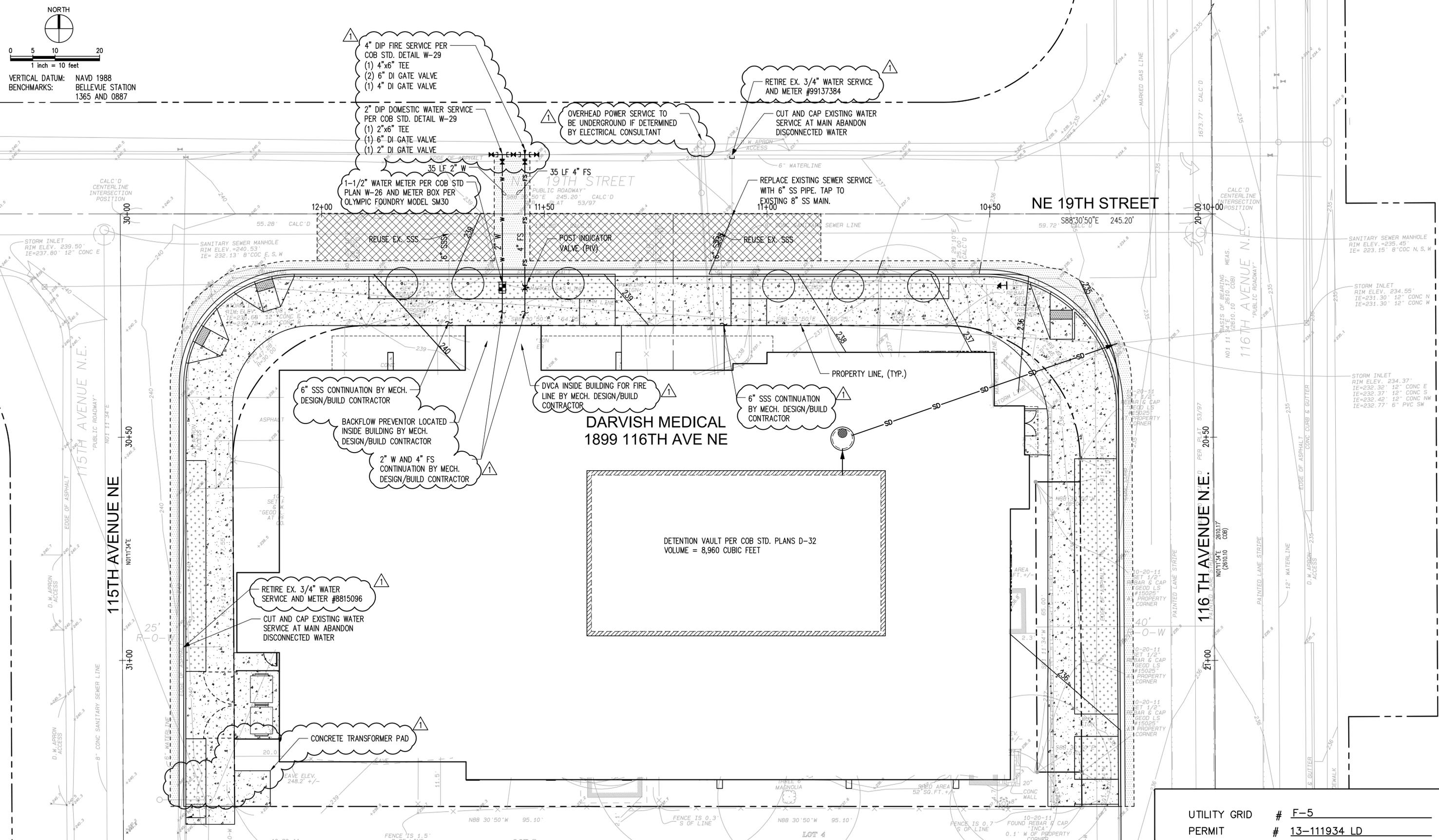
Approved By
NOT FOR CONSTRUCTION

A. TRAN	03/29/13
DESIGNED BY	DATE
K. PECK	03/29/13
DRAWN BY	DATE
D. SCHWARTZ	03/29/13
CHECKED BY	DATE

DARVISH MEDICAL
1899 116TH AVE NE,
BELLEVUE, WA 98004

SITE PLAN B
SEC 29 TWP 25 RGE 5 SHT C302

Jun 21, 2013 - 9:04am
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 kurtp
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 X-DB-SP X-DB-AP-PRG X-DB-UT
 X-DB-SP X-DB-UT
 X-DB-SP X-DB-UT



NORTH
 0 5 10 20
 1 inch = 10 feet
 VERTICAL DATUM: NAVD 1988
 BENCHMARKS: BELLEVUE STATION
 1365 AND 0887

NO	DATE	BY	APPR	REVISIONS
1	6/21/13	ATT		DESIGN REVIEW REVISIONS

Know what's below.
 Call before you dig.
811
 or
 1-800-424-5555



Approved By
 NOT FOR CONSTRUCTION

A. TRAN	03/29/13
DESIGNED BY	DATE
K. PECK	03/29/13
DRAWN BY	DATE
D. SCHWARTZ	03/29/13
CHECKED BY	DATE

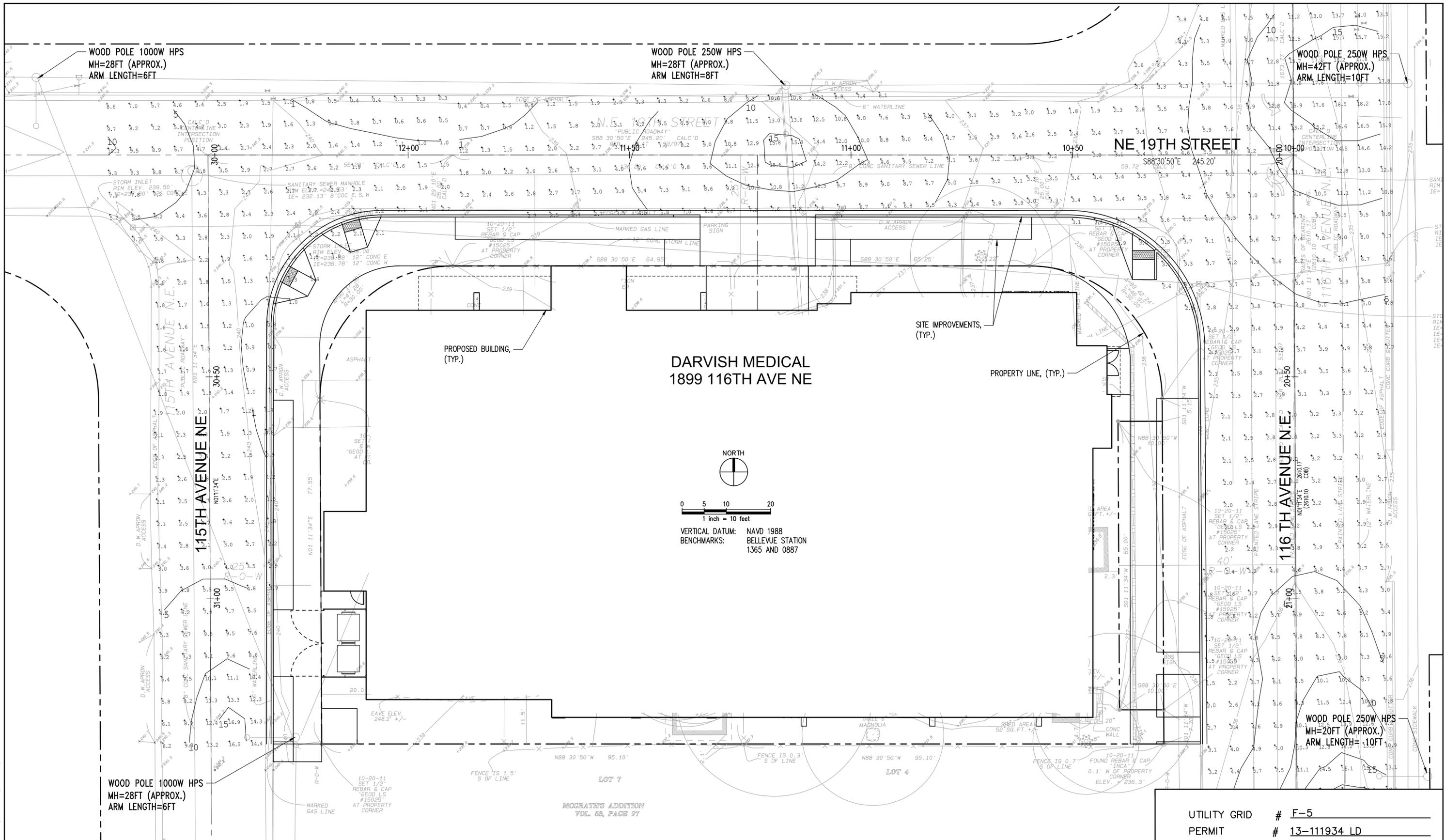
DARVISH MEDICAL
 1899 116TH AVE NE,
 BELLEVUE, WA 98004

UTILITY GRID # F-5
 PERMIT # 13-111934 LD

UTILITY PLAN

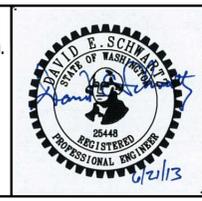
SEC 29 TWP 25 RGE 5 SHT C401

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NO	DATE	BY	APPR	REVISIONS
1	6/21/13	ATT		DESIGN REVIEW REVISIONS

Know what's below.
 Call before you dig.
811
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Approved By
NOT FOR CONSTRUCTION

A. TRAN 03/29/13
 DESIGNED BY DATE
 K. PECK 03/29/13
 DRAWN BY DATE
 D. SCHWARTZ 03/29/13
 CHECKED BY DATE

DARVISH MEDICAL
 1899 116TH AVE NE,
 BELLEVUE, WA 98004

EXISTING LIGHT LEVEL ANALYSIS

SEC 29 TWP 25 RGE 5 SHT C501

Attachment:

SEPA Checklist

Reviewed by
E Stead

ENVIRONMENTAL CHECKLIST

10/9/2009

Thank you in advance for your cooperation and adherence to these procedures. If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service). ..

INTRODUCTION

Purpose of the Checklist:

The State Environmental Policy Act (SEPA), Chapter 43.21c RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the City of Bellevue identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the City decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Answer the questions briefly, with the most precise information known, or give the best description you can. You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer or if a question does not apply to your proposal, write "do not know" or "does not apply." Giving complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the Planner in the Permit Center can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. Include reference to any reports on studies that you are aware of which are relevant to the answers you provide. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impacts.

Use of a Checklist for Nonproject Proposals: *A nonproject proposal includes plans, policies, and programs where actions are different or broader than a single site-specific proposal.*

For nonproject proposals, complete the Environmental Checklist even though you may answer "does not apply" to most questions. In addition, complete the Supplemental Sheet for Nonproject Actions available from Permit Processing.

For nonproject actions, the references in the checklist to the words *project*, *applicant*, and *property* or *site* should be read as *proposal*, *proposer*, and *affected geographic area*, respectively.

Attach an 8 1/2" x 11 vicinity map which accurately locates the proposed site.

Received
MAR 29 2013
Permit Processing

BACKGROUND INFORMATION

Property Owner: *Dr. Nooshin Darvish and Mr. Jahanshah Darvish*

Proponent:

Contact Person: *John Adams*

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: *2400 N. 45th Street, suite 200, Seattle, WA 98103*

Phone: *206-728-9500*

Proposal Title: *THE HOLISTIQUE CENTER*

Proposal Location: *1899 116th Ave. NE (and NE 19th Street)*

(Street address and nearest cross street or intersection) Provide a legal description if available. (see attached)

Please attach an 8 ½" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: One story medical clinic building over open parking garage located on grade.
2. Acreage of site: *19,448 SF total. ✓*
3. Number of dwelling units/buildings to be demolished: *2 buildings to be demolished ✓*
4. Number of dwelling units/buildings to be constructed: *1 building to be constructed*
5. Square footage of buildings to be demolished: *3,563 SF total.*
6. Square footage of buildings to be constructed: *13,775 SF (Gross) w/out parking total 128,062 sq. ft.*
7. Quantity of earth movement (in cubic yards): *111.25 cubic yards*
8. Proposed land use: *Medical Office*
9. Design features, including building height, number of stories and proposed exterior materials:
Total building height = 27'-0" above grade. Two story building: one story clinic above open parking. Exterior materials include; terracotta tile, metal panel and metal screen.
10. Other *Property located in BR-MO district.*

Estimated date of completion of the proposal or timing of phasing:

Fall 2014

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Geotechnical Report

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

No.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

City of Bellevue Design Review & Building Permit - 2 lots will need to be combined - Boundary Line Adjustment, SEPA Determination

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification

Preliminary plat map

Clearing & Grading Permit *← Not applied for yet.*

Plan of existing and proposed grading
Development plans

Building Permit (or Design
Review) Site plan
Clearing & grading plan

Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

b. What is the steepest slope on the site (approximate percent slope)?

2% slope.

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Soils are generally known to be fill / topsoil, silty sand, dense sand, and gravel.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No. See Geotechnical Report for more information.

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Structural fill will be required for foundations, footings and spoils. Structural fill for foundations and footings, and wall backfill will consist of imported free draining granular soils. On-site soils will be used for non-structural fill and landscape areas. ✓

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Erosion is not likely to occur as the area of excavation and earthwork will be contained and monitored in a confined lot. ✓

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Approximately 16,328 SF ✓

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Civil Engineer to design erosion and sediment control plan. ✓

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Emissions are unknown at this point. No emissions beyond normal construction activities are planned.

Traffic impacts will be reviewed by the Transportation Dept.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No off-site emissions known. ✓

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

No measures taken. ✓

3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)?

If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

None known. ✓

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

Not applicable. ✓

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

Not applicable. ✓

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

Not applicable. ✓

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

The proposal is not within a 100-year floodplain. ✓

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

None proposed. ✓

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

None known.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None known.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Water will be generated on roof top surfaces, balconies and patios. Collection is via downspouts and connected to public storm water systems.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

Not known.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Proposal includes "green roof" materials on roof top and planters at balconies and courtyard to reduce water generated on these surfaces.

4. Plants

- a. Check or circle types of vegetation found on the site:

deciduous tree: alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

shrubs

grass

pasture

crop or grain

wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?

All existing lawn and all existing trees, except two (2).

- c. List threatened or endangered species known to be on or near the site.

None known.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

1 existing deciduous and 1 existing cedar to remain. 2,162 SF of green roof on the proposed roof. Improve ROW with landscape area and trees. Proposed landscaping around building perimeter includes areas for trees & shrubs. Planters with small trees proposed for all balconies & courtyard.

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other:

None checked. Songbirds yes.

- b. List any threatened or endangered species known to be on or near the site.

None known.

- c. Is the site part of a migration route? If so, explain.

None known.

- e. Proposed measures to preserve or enhance wildlife, if any:

None proposed.

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Electric power will be used for heating, cooling and lighting and typical equipment for office use.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

None known.

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

Proposal includes high efficiency glazing, high value thermal insulation, high efficiency HVAC equipment, and energy efficient light fixtures.

Project will be required to meet building code requirements.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

None known.

- (1) Describe special emergency services that might be required.

None known.

- (2) Proposed measures to reduce or control environmental health hazards, if any.

None known.

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

None known. Noise from vehicular traffic on 116th Ave NE

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short term construction noise. Roof top HVAC units.

- (2) Proposed measures to reduce or control noise impacts, if any:

Proposal includes mechanical screening and low noise emitting roof top units.

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

The current use of the site includes a private Day Care Center and Medical Clinic. Adjacent properties include a Speech and Language Center, Acupuncture Clinic, Professional Center, Kindergarten, and a vacant lot to the south.

- b. Has the site been used for agriculture? If so, describe.

Not to our knowledge.

- c. Describe any structures on the site.

Two (2) one story wood framed structures, originally constructed as residences.

- d. Will any structures be demolished? If so, what?

All structures to be demolished.

- e. What is the current zoning classification of the site?

Bell-Red Medical Office (BR-MO)

- f. What is the current comprehensive plan designation of the site?

Policy S-BR-90 provides for office uses at the site and emphasis the use of medical offices.

- g. If applicable, what is the current shoreline master program designation of the site?

Not applicable.

- h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.

None.

- i. Approximately how many people would reside or work in the completed project?

Approximately 20 people would work at this site.

- j. Approximately how many people would the completed project displace?

A single daycare facility employing approximately five people would be displaced. The medical clinic on site will move in to the new building.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

None.

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

Submittal to City of Bellevue Design Review and Building Permit.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None. – Existing single family structures on site are now occupied by service uses and no longer serve as housing.

- c. Proposed measures to reduce or control housing impacts, if any:

None.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

Tallest part of proposed structure is 27'-0" above grade. The roof top mechanical enclosure is 31'-6" above grade. Principal materials include terracotta tile, glass, metal panels, and metal screen.

- b. What views in the immediate vicinity would be altered or obstructed?

*No significant views (mountains, water, skyline, etc.) exist on site.
Single story structures surrounding the site would be able to see the proposed building.*

- c. Proposed measures to reduce or control aesthetic impacts, if any:

None.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Exterior lighting will consist of down-lights at the building entry on 116th Ave NE. Wall mounted signage will be illuminated by back lighting or down-lighting. Light shields required.

Glare caused by sun reflection on glass will be mitigated on the east and west by balcony trees.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

Not to our knowledge.

- b. What existing off-site sources of light or glare may affect your proposal?

None known.

- c. Proposed measures to reduce or control light or glare impacts, if any:

ROW trees and building perimeter trees will protect all elevations from glare. Terracotta tile and metal panel walls are non-reflective materials.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

None in the immediate vicinity.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None known.

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

None known.

- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

None known.

- c. Proposed measures to reduce or control impacts, if any:

Not applicable.

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

116th Ave NE is the main ROW, with pedestrian access and a bus stop located at the SE corner of the property. NE 19th Street does not have sidewalks. The proposed pedestrian entrance is located off 116th Ave NE, and the proposed vehicle entry to the parking garage is located off NE 19th Street.

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

Yes. The bus stop is located at the SE corner of the property.

- c. How many parking spaces would the completed project have? How many would the project eliminate?

41 proposed parking spaces will replace the 12 current parking spaces on site.

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

The proposal provides sidewalks and planter strips along all three street frontages of the proposal. Sidewalks and planter strips will be within the public right-of-way. ✓

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

None.

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

We are providing parking for 41 vehicles. ITE 8th Ed. suggest a peak PM rate of 3.46 per 1000 sf of space, or 47.67 trip for Medical-Dental Office Building (720). ✓

g. Proposed measures to reduce or control transportation impacts, if any:

None anticipated.

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

None known.

b. Proposed measures to reduce or control direct impacts on public services, if any.

None proposed.

16. Utilities

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

All of the above are available except septic. ✓

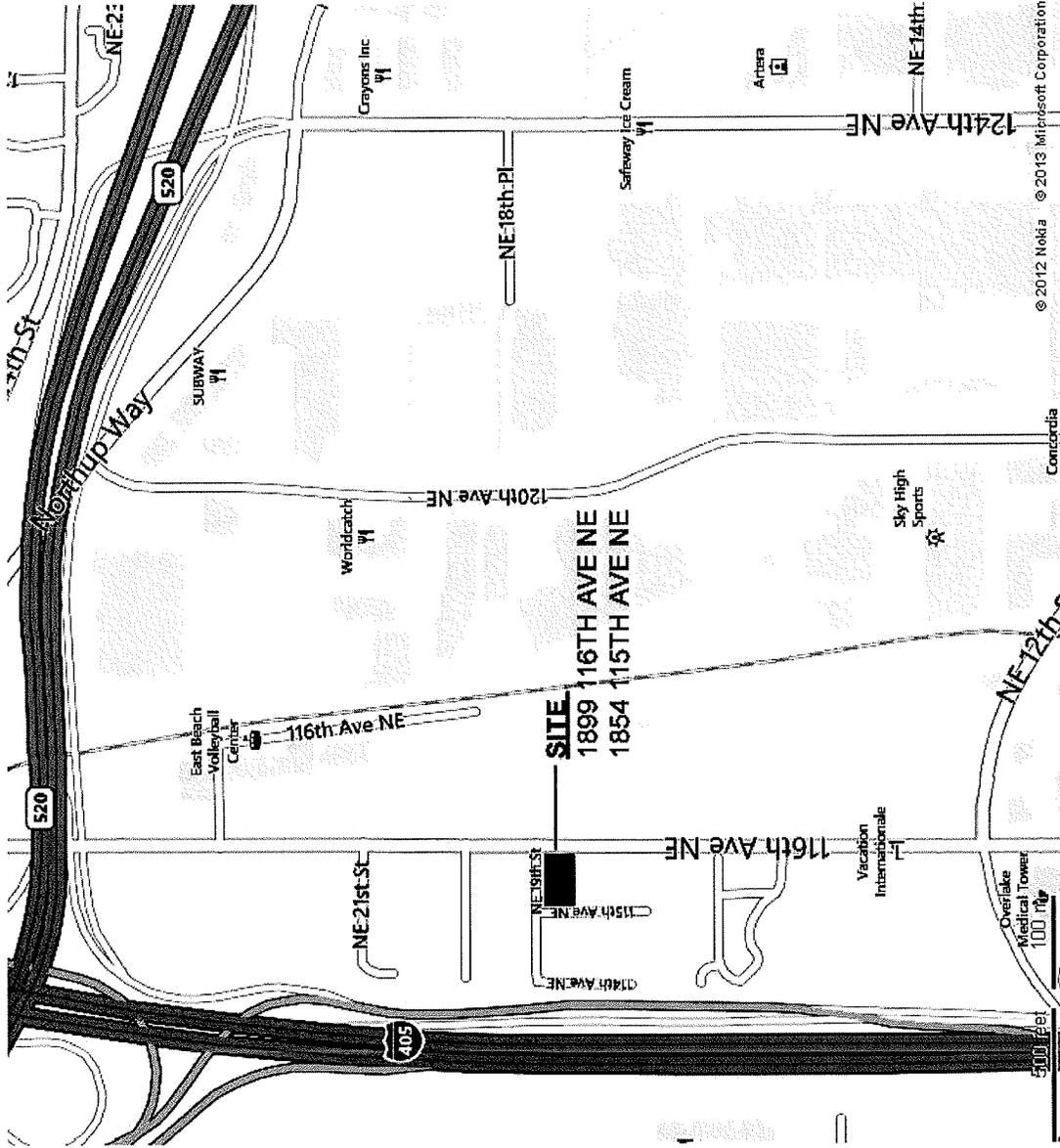
b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Electricity – Puget Sound Energy
Sewer – Bellevue Utilities
Gas – Puget Sound Energy
Phone – Century Link
Data – Comcast
Refuse – Rabanco
Water – Bellevue Utilities

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....
Date Submitted.....*29 MARCH 2013*



LEGAL DESCRIPTION

ADDRESS (TWO LEGAL PARCELS)

1899 116TH AVE NE, BELLEVUE, WA 98004 (LOT 5)
 1854 115TH AVE NE, BELLEVUE, WA 98004 (LOT 6)

TAX PARCEL NO.

5328000025 (LOT 5)
 5328000030 (LOT 6)

LEGAL DESCRIPTION

LOT 5, MCGRATH'S ADDITION, AS RECORDED IN VOLUME 53 OF PLATS, PAGE 97, RECORDS OF KING COUNTY, WASHINGTON.

LOT 6, MCGRATH'S ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 53 OF PLATS, PAGE 97, IN KING COUNTY, WASHINGTON.

LOT AREA

LOT 5 - 9,401 SF
 LOT 6 - 10,047 SF
19,448 SF TOTAL
 (PER SURVEY BY GEODIMENSIONS DATED 10/25/2011)

VICINITY MAP - Proposed Medical Office Building

1

NOT TO SCALE

Stuart Silk Architects
 the commercial studio

2400 N. 45th Street Seattle, WA 98103
 206.728.9500 www.stuartsilk.com

DARVISH MEDICAL
 1899 116TH AVE NE
 BELLEVUE, WA 98004

**DESIGN
 REVIEW**

**VICINITY MAP &
 LEGAL DESCRIPTION**

SEPA-1