



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** Nokes Vegetation Management Plan

**Proposal Address:** 6555 170<sup>th</sup> PI SE

**Proposal Description:** The applicant requests a Critical Areas Land Use Permit for Vegetation Management within a steep slope critical area including the removal/topping of 5 Western hemlock trees and 7 Bigleaf maple trees, and native plant restoration of the cleared area. Trees were removed without permission associated with enforcement action # 12-128054-EA.

**File Number:** 13-111548-LO

**Applicant:** Kim Schademan, Schademan & Associates

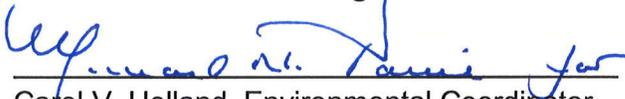
**Decisions Included:** Critical Areas Land Use Permit  
(Process II. LUC 20.30P)

**Planner:** Heidi Bedwell, Planner

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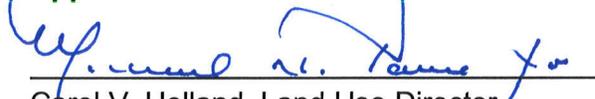
**State Environmental Policy Act  
Threshold Determination:**

**Determination of Non-Significance**

  
\_\_\_\_\_  
Carol V. Helland, Environmental Coordinator  
Development Services Department

**Director's Decision:**

**Approval with Conditions**

  
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Carol V. Helland, Land Use Director  
Development Services Department

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Application Date: March 21, 2013  
Notice of Application Publication Date: April 18, 2013  
Decision Publication Date: June 13, 2013  
Project/SEPA Appeal Deadline: June 27, 2013

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For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

## I. Proposal Description

The applicant is requesting a Critical Areas Land Use Permit approval to restore and manage vegetation within a Native Growth Protection Easement and Retained Vegetation Area. The proposal includes the installation of native plants and the removal and management of invasive weed species.

A permit is required because any vegetation removal within a geologic hazard critical area requires a Vegetation Management Plan approved through a Critical Areas Land Use permit per LUC 20.25H.055.C.3.i.vi.

## II. Consistency with Land Use Code Requirements:

### Vegetation Management Plan Performance Standards LUC 20.25H.055.C.3.v.i

#### (A) Is the Vegetation Management Plan prepared by a qualified professional?

Yes  or No

##### Describe:

Plan Preparer's Name: Kim Schademan  
Company: Schademan and Associates  
Address: 12330 NE 8<sup>th</sup> St., Suite 201, Bellevue, WA 98005  
Phone: 425-467-5800  
Email: [kim@schademan.com](mailto:kim@schademan.com)  
and  
Plan Preparer's Name: Peter P. Super  
Company: Evergreen Aquatic Resource Consultants  
Address: P.O. Box 1721 Issaquah 98027  
Phone: 425-677-7166  
Statement of Qualifications: Professional Wetland Scientist

#### (B) Does the Vegetation Management Plan include the following?

##### (1) A description of existing site conditions, including existing critical area functions and values;

Yes  or No

**Describe:** The primary function of the NGPA/RVA is to maintain slope stability and buffer development from steep slope geologic hazards. Additional functions include the protection of plant and wildlife habitat and maintaining aesthetic values.

##### (2) A site history;

Yes  or No

**Describe:** The total lot size is 0.64 acres and is zoned R-3.5 (single family residential). The project site was developed with a large single family residence, driveway, and formal landscaping in 2001. Development was part Highlands at Bellevue Plat finalized in 1999. The plat established a Native Growth Protection Easement (NGPE) and Retained Vegetation Area (RVA) on the site with the purpose of maintaining healthy trees and understory

conifer species and mature bigleaf maple and small diameter red alder. Non-native Himalayan blackberry is present in limited locations.

The management plan discusses the potential for habitat associated with species of local importance. Because of the uncertainty regarding distribution and habitat requirement in the local area, probably use is assumed to be low to non-existent based on the general suitability of the on-site habitat types.

**(6) Allowed work windows;**

Yes  or No

**Describe:** The owner plans to plant replacement trees and plants during spring, depending the issued date of the city's permit. It is recommended that the planting be postponed until fall to ensure successful establishment of plant material.

**(7) A clear delineation of the area within which clearing and other vegetation management practices are allowed under the plan; and**

Yes  or No

**Describe:** See Attachment B.

**(8) Short- and long-term management prescriptions, including characterization of trees and vegetation to be removed, and restoration and revegetation plans with native species, including native species with a lower growth habit. Such restoration and revegetation plans shall demonstrate that the proposed Vegetation Management Plan will not significantly diminish the functions and values of the critical area or alter the forest and habitat characteristics of the site over time.**

Yes  or No

**Describe:** See Attachment C for the details of the removal trees' species and location. See Attachment B for the proposed planting and monitoring plan. These replacement trees will provide erosion control function to stabilize the steep slope situation. It will also be beneficial for wildlife habitat functions.

**(C) Would any proposed tree removal result in a significant impact to habitat associated with species of local importance?**

Yes  or No

**Describe:** The limited amount of tree removal is not expected to have an impact to habitat associated with species of local importance.

**If yes, can the impacted function be replaced elsewhere within the management area subject to the plan?**

Yes  or No

**In no event may a tree or vegetation which is an active nest site for a species of local importance be removed pursuant to this subsection.**

undisturbed and limiting disturbance within these areas. See Attachment D for the recorded plat document.

**(3) A discussion of the plan objectives;**

Yes  or No

**Describe:** The general objective of the plan is to restore the NGPA/RVA functions and values impacted by the unpermitted tree removal. The management plan also includes the following specific goals and objectives:

Goals	Objectives
To restore on-site portions of NGPA and RVA impacted by tree and tree crown removal actions	To install and successfully establish 71 plantings within 4,879 square foot area
To minimize the general presence of noxious weed species within on-site portions of NGPA/RVA	To removal and control noxious weed species coverage within the 4,879 square foot area
To mitigate the temporal loss of canopy coverage and habitat structure loss	To provide habitat opportunity and value that would not exist with the full removal of felled trees and related limb and branch debris

**(4) A description of all sensitive features;**

Yes  or No

**Describe:** The site contains geologic hazard steep slopes as well as moderate levels of wildlife habitat features. See the attached management plan for a more detailed description.

**(5) Identification of soils, existing vegetation, and habitat associated with species of local importance present on the site;**

Yes  or No

**Describe:** Soils within and adjacent to the management area are mapped as Beausite gravelly sandy loam, 15 to 30 percent slopes. Beausite series soils are formed on glacial deposits and are made up of well-drained soils that are underlain by sandstone at a depth of 20 to 40 inches. On-site soils were generally a very dark brown sandy to gravelly sandy loam to a depth of 20 inches below the soil surface.

The existing vegetation is middle to late seral stage mixed forest. Dominant overstory species include large diameter Douglas-fir, Western Hemlock as an understory successional

**(D) Is the area under application subject to any applicable neighborhood restrictive covenants that address view preservation or vegetation management? The existence of and provisions of neighborhood restrictive covenants shall not be entitled to any more or less weight than other reports and materials in the record.**

Yes  or No

**If yes, describe:** No restrictive covenants for view preservation or vegetation management are known.

### III. Public Notice and Comment

Application Date:	March 21, 2013
Public Notice (500 feet):	April 18, 2013
Minimum Comment Period:	May 4, 2013

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on April 18, 2013. It was mailed to property owners within 500 feet of the project site. No comments have been received from the public as of the writing of this staff report.

### IV. State Environmental Policy Act (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The attached Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes are expected to mitigate potential environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

### V. Critical Areas Land Use Permit Decision Criteria LUC 20.30P.140

**The Director may approve or approve with modifications an application for a Critical Areas Land Use Permit if:**

**A. The proposal obtains all other permits required by the Land Use Code; and**

Yes  or No

**Describe:** The proposal is required to obtain a clearing and grading in critical areas (GH) permit prior to commencing work under this proposal.

- B. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer; and**

Yes  or No

**Describe:** The best available design and development technique resulting in the least impact to the critical area is to replace the lost trees with new, native trees and shrubs.

- C. The proposal incorporates the performance standards of Part 20.25H LUC to the maximum extent applicable; and**

Yes  or No

**Describe:** As discussed in Section II, the proposal has demonstrated compliance with the performance standards for vegetation management within a critical area.

- D. The proposal will be served by adequate public facilities including streets, fire protection, and utilities; and**

Yes  or No

**Describe:** The site is currently served by adequate public facilities. The proposal will not increase the need for public facilities on the site.

- E. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC 20.25H.210; except that a proposal to modify or remove vegetation pursuant to an approved Vegetation Management Plan under LUC 20.25H.055.C.3.i shall not require a mitigation or restoration plan; and**

Yes  or No

**Describe:** The proposal does included a restoration plan. The proposal also includes monitoring of the new plantings for a period of 3 years.

- F. The proposal complies with other applicable requirements of this code.**

Yes  or No

**Describe:** Demonstration of compliance with the other applicable requirements of the Bellevue City Code will be completed under the review of the required clearing and grading permit.

## **VI. Conclusion and Decision**

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the vegetation management plan within the steep slope critical area at the 4650 Somerset Ave SE.

**Note- Expiration of Approval:** In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a Clearing and Grading Permit or other necessary development permits within one year of the effective date of the approval.

## VII. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Janney Gwo, 425-452-6190
Land Use Code- BCC 20.25H	Heidi Bedwell, 425-452-4862
Noise Control- BCC 9.18	Heidi Bedwell, 425-452-4862

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

1. **Restoration for Areas of Temporary Disturbance:** A restoration plan is required to be submitted for review and approval by the City of Bellevue prior to the issuance of the Clearing and Grading Permit.

Authority: Land Use Code 20.25H.220.H  
Reviewer: Heidi Bedwell, Land Use

2. **Temporary Irrigation Required.** Unless otherwise noted in the Plan, temporary irrigation shall be provided to guarantee establishment of restoration planting over the first two summers following installation. The restoration area shall be mulched to ensure water retention and reduce invasive growth.

Authority: Land Use Code 20.25H.220.H  
Reviewer: Heidi Bedwell, Land Use

3. **Monitoring and Reporting Required.** To ensure establishment occurs and long-term viability is assured, a yearly monitoring report demonstrating compliance with performance standards in the Plan shall be submitted to the Development Services Department for a period of five years. This monitoring effort may be shortened at the discretion of the City based on early performance data and evidence that the installation is accordance with the approved vegetation management plan or as amended by the Development Services Department.

Authority: Land Use Code 20.25.H.210  
Reviewer: Heidi Bedwell, Land Use

4. **Rainy Season restrictions:** Due to the proximity to steep slope critical area, no clearing and grading activity may occur during the rainy season, which is defined as October 1 through April 30 without written authorization of the Development Services Department. Should approval be granted for work during the rainy season, increased erosion and sedimentation

measures, representing the best available technology must be implemented prior to beginning or resuming site work.

Authority: Bellevue City Code 23.76.093.A,  
Reviewer: Janney Gwo, Clearing and Grading

5. **Pesticides, Insecticides, and Fertilizers:** The applicant must submit as part of the required Clearing and Grading Permit information regarding the use of pesticides, insecticides, and fertilizers in accordance with the City of Bellevue's "Environmental Best Management Practices".

Authority: Land Use Code 20.25H.220.H  
Reviewer: Heidi Bedwell, Land Use

6. **Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18  
Reviewer: Heidi Bedwell, Land Use

7. **Recording of Restoration Areas:** Those parts of the site that include steep slope critical areas and their buffers shall be surveyed and marked in the field with permanent boundary markers noting their status as critical area and critical area buffer. The applicant shall record a site plan or other instrument noting that the provisions of 20.25H now or hereafter amended control use and development of the subject property.

Authority: Land Use Code 20.25H.030.B.1  
Reviewer: Heidi Bedwell, Development Services Department

Attachments:

- A. Environmental Checklist
- B. Restoration and Monitoring Plans
- C. Vegetation Management Plan prepared by Evergreen Aquatic Resource Consultants, LLC March 18, 2013
- D. Highlands at Bellevue



**ENVIRONMENTAL CHECKLIST**

3/18/13

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

**BACKGROUND INFORMATION**

Property Owner: **Susan Nokes**

Proponent: **Schademan & Associates, Inc.**

Contact Person: **Kim Schademan**

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: **12330 Northeast 8<sup>th</sup> Street, Suite 201**

Phone: **(425) 467-5800**

Proposal Title: **RVC Case #12-128054; 6555 170<sup>th</sup> Place SE Vegetation Management Plan**

Proposal Location:

(Street address and nearest cross street or intersection) Provide a legal description if available.

**6555 170<sup>th</sup> Place Southeast – Bellevue, Washington 98006**

**Nearest street intersection: 170<sup>th</sup> Place Southeast and Southeast 65<sup>th</sup> Place**

**Lot 9, Highlands at Bellevue, Volume 188 of Plats, Page 65 – King County, Washington**

Please attach an 8 ½" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description:

**Project includes restoration of impacts to existing Native Growth Protection Area (NGPA) easement and Retained Vegetation Area (RVA) easement related to recent unpermitted tree and tree crown removal**

**Bellevue Request for Voluntary Compliance Case #12-128054.**

2. Acreage of site: **0.64 acres**

3. Number of dwelling units/buildings to be demolished: **Does not apply.**

4. Number of dwelling units/buildings to be constructed: **Does not apply.**

5. Square footage of buildings to be demolished: **Does not apply.**

6. Square footage of buildings to be constructed: **Does not apply.**

7. Quantity of earth movement (in cubic yards): **Does not apply.**

8. Proposed land use: **Does not apply.**

9. Design features, including building height, number of stories and proposed exterior materials:

**Project includes the installation of 71 native plantings and non-native noxious weed control within 4,879 sf of on-site NGPA/RVA. Three (3) years of maintenance and monitoring is included.**

10. Other

**Does not apply.**

Estimated date of completion of the proposal or timing of phasing:

**The proposed restoration plan will be implemented immediately upon approval by the City of Bellevue. Once restoration plantings have been installed, plantings will be maintained and monitored for a period of three (3) years.**

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

**No.**

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

**Vegetation Management Plan, dated 3/18/2013 – prepared by Evergreen Aquatic Resource Consultants, LLC  
NGPA/RVA Restoration Plan, dated 3/18/2013 – Prepared by Evergreen Aquatic Resource Consultants, LLC**

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

**None known.**

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

**Critical Areas Land Use Permit – City of Bellevue  
Clearing & Grading Permit – City of Bellevue**

Please provide one or more of the following exhibits, if applicable to your proposal.  
(Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development  
Preliminary plat map
- Clearing & Grading Permit  
Plan of existing and proposed grading  
Development plans
- Building Permit (or Design Review)  
Site plan  
Clearing & grading plan
- Shoreline Management Permit  
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:  Flat  Rolling  Hill  Steep slopes  Mountains  Other

b. What is the steepest slope on the site (approximate percent slope)?

**Slopes within the site are locally greater than 40 percent.**

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

**Soils within and adjacent to the on-site NGPA/RVA are mapped as Beausite gravelly sandy loam, 15 to 30 percent slopes (BeD). Beausite series soils formed on glacial deposits and are made up of well-drained soils that are underlain by sandstone at a depth of 20 to 40 inches. On-site soils were generally a thick very dark brown (10YR 2/2) sandy to gravelly sandy loam. No prime farmland is present.**

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

**None known.**

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

**No filling and/or grading is proposed. Approximately 4 CY of mulch will be imported and placed within the site at the base of installed plants.**

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

**Under wet weather conditions, an extremely low potential exists for the off-site migration of soil during plant installation. Less than 250 sf of ground disturbance will occur during plant installation – primarily due to planting hole excavation.**

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

**Does not apply. Change to existing impervious surfacing is not proposed.**

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

**All temporary erosion and sediment control will be per City of Bellevue's Clearing and Grading Code, related Clearing and Grading Permit conditions, and all other applicable codes, ordinances, and standards. Ground surface disturbance will be extremely limited and dispersed within a native forest. The potential for erosion or the off-site migration of soils is extremely limited or non-existent.**

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

**Standard emissions may be temporarily present during the proposed restoration work due to vehicle trips to and from the site during implementation and future monitoring. The type and quantities of emissions will depend on the specific equipment used, but may include standard emissions such as gasoline and diesel exhaust fumes, carbon dioxide (CO<sub>2</sub>), and carbon monoxide (CO). Any emissions are expected to be minor, short-term, and limited in duration.**

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

**There are no known sources of emissions or odors that may affect the proposal..**

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

**Vehicles will utilize standard emission control devices required by law.**

### 3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

**No surface water body is located on or in the immediate vicinity of the site.**

(2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

**Does not apply.**

(3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

**Does not apply.**

(4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

**The proposed does not require surface water withdrawals or diversions.**

(5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

**The proposed does not lie within a 100-year floodplain.**

(6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

**The proposal does not involve discharge of waste materials to surface waters.**

b. Ground

(1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

**Groundwater will not be withdrawn. No water will be discharged to ground water.**

(2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

**Does not apply.**

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

**Existing site runoff characteristics will not be modified or altered by the proposed project.**

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

**Does not apply.**

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

**Does not apply.**

#### 4. Plants

- a. Check or circle types of vegetation found on the site:

deciduous tree: alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

shrubs

grass

pasture

crop or grain

wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation

**A detailed description of vegetation within the site is presented in the Vegetation Management Plan – dated March 18, 2013, prepared by Evergreen Aquatic Resource Consultants, LLC.**

- b. What kind and amount of vegetation will be removed or altered?

**Existing Himalayan blackberry will be controlled using hand tools and removed from the site.**

- c. List threatened or endangered species known to be on or near the site.

**No threatened or endangered plant species are known to be on or near the site.**

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

**71 native plantings comprising a mix of trees, shrubs, and groundcover are proposed and described in detail on the proposed restoration plan.**

#### 5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, (songbirds), other:

Mammals: deer, bear, elk, beaver, other: (misc. small mammals)

Fish: bass, salmon, trout, herring, shellfish, other:

**Wildlife use of the project site is unknown. Upland portions of the project site may be utilized by small mammals and passerine birds accustomed to suburban neighborhood environments.**

b. List any threatened or endangered species known to be on or near the site.

**No threatened or endangered animal species are known to be on or near the site.**

c. Is the site part of a migration route? If so, explain.

**The site may be utilized as a migratory corridor for small mammals, passerine birds, and pileated woodpecker.**

d. Proposed measures to preserve or enhance wildlife, if any:

**The proposed project enhances wildlife through the removal of non-native/noxious weeds, the installation of native plant species, and the leaving of recent tree and tree crown debris within the NGPA/RVA.**

## 6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

**No energy will be required for the completed project.**

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

**The project would not affect the potential use of solar use by adjacent properties.**

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

**None.**

## 7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

**While extremely minor, there is a potential risk from the hazards associated with vehicles and general construction practices during implementation of the restoration plan. Spills of machine fluids, risk of fire or explosion, and other similar and normal hazards will exist during construction phases of the project. After construction, environmental health hazards will not be present.**

(1) Describe special emergency services that might be required.

**In the event of a construction emergency, local fire, aid, or rescue services or personnel may be required.**

(2) Proposed measures to reduce or control environmental health hazards, if any.

**Sound construction techniques, equipment maintenance, and safety best management**

**practices will be utilized during construction phases.**

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

**There is no known noise that exists within the local area that may affect the project.**

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

**The completed project will not result in a short- or long-term noise increases.**

- (3) Proposed measures to reduce or control noise impacts, if any:

**Construction will occur only between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for federal holidays or as otherwise authorized or limited by the City of Bellevue.**

**8. Land and Shoreline Use**

- a. What is the current use of the site and adjacent properties?

**The current use of the site and adjoining parcels is residential.**

- b. Has the site been used for agriculture? If so, describe.

**The site has not been used for agriculture.**

- c. Describe any structures on the site.

**Two-story single-family residence.**

- d. Will any structures be demolished? If so, what?

**No.**

- e. What is the current zoning classification of the site?

**R-3.5 (single-family, 3.5 dwelling units per acre)**

- f. What is the current comprehensive plan designation of the site?

**SF-M (single-family, medium density)**

- g. If applicable, what is the current shoreline master program designation of the site?

**Does not apply.**

- h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.

**The site contains steep slope geologic hazards.**

- i. Approximately how many people would reside or work in the completed project?

**No people would reside or work in the completed project.**

j. Approximately how many people would the completed project displace?

**No people will be displaced by the completed project.**

k. Proposed measures to avoid or reduce displacement impacts, if any:

**Does not apply.**

i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

**A vegetation management plan (including restoration plan) has been prepared to address City of Bellevue critical area performance standards. The primary purpose of the project is to bring the site into full conformance after unpermitted tree removal.**

## 9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

**No housing units will be provided by the project.**

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

**No housing units will be eliminated by the project.**

c. Proposed measures to reduce or control housing impacts, if any:

**Does not apply.**

## 10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

**No structures are proposed as part of this project.**

b. What views in the immediate vicinity would be altered or obstructed?

**Views in the immediate vicinity will not be altered or obstructed. As the proposed vegetation matures, views will not be obstructed to a degree greater than what existed prior to the unpermitted tree removal.**

c. Proposed measures to reduce or control aesthetic impacts, if any:

**None.**

## 11. Light and Glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

**No light or glare will be produced by the proposed project.**

b. Could light or glare from the finished project be a safety hazard or interfere with views?

**Does not apply.**

- c. What existing off-site sources of light or glare may affect your proposal?

**There are no known off-site sources of light or glare that could affect the proposal.**

- d. Proposed measures to reduce or control light or glare impacts, if any:

**None.**

## 12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

**There are no designated or informal recreational opportunities within the vicinity of the proposed project.**

- b. Would the proposed project displace any existing recreational uses? If so, describe.

**Does not apply.**

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

**None.**

## 13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

**There are no known places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site.**

- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

**There are no known landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.**

- c. Proposed measures to reduce or control impacts, if any:

**None.**

## 14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

**The project site is served by 170<sup>th</sup> Place Southeast, an improved right-of-way. No change is proposed to the existing access configuration.**

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

**No. 0.5 miles.**

c. How many parking spaces would the completed project have? How many would the project eliminate?

**Does not apply.**

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

**The proposal does not require new roads, streets, or improvements to existing roads or streets.**

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

**The project will not use or occur in the immediate vicinity of water, rail, or air transportation.**

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

**The completed project will not generate vehicular trips.**

g. Proposed measures to reduce or control transportation impacts, if any:

**None proposed.**

**15. Public Services**

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

**The project will not result in an increased need for public services.**

b. Proposed measures to reduce or control direct impacts on public services, if any.

**None proposed.**

**16. Utilities**

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

**No utilities are proposed.**

**Signature**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....

Date Submitted.....

**No. 0.5 miles.**

- c. How many parking spaces would the completed project have? How many would the project eliminate?

**Does not apply.**

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

**The proposal does not require new roads, streets, or improvements to existing roads or streets.**

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

**The project will not use or occur in the immediate vicinity of water, rail, or air transportation.**

- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

**The completed project will not generate vehicular trips.**

- g. Proposed measures to reduce or control transportation impacts, if any:

**None proposed.**

#### 15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

**The project will not result in an increased need for public services.**

- b. Proposed measures to reduce or control direct impacts on public services, if any.

**None proposed.**

#### 16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

**No utilities are proposed.**

#### Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature..... *Kim Schadenman* ..... PRESIDENT ..... SCHADEMAN & ASSOC. INC.  
Date Submitted.....

# NGPA/RVA RESTORATION PLAN

## REQUEST FOR VOLUNTARY COMPLIANCE CASE # 12-128054 6555 170TH PLACE SOUTHEAST - BELLEVUE, WASHINGTON



Wetland Delineation  
Mitigation Design  
Mitigation Monitoring

**Evergreen Aquatic  
Resource Consultants, LLC**

PO BOX 1721  
ISSAQUAH, WASHINGTON 98027  
TEL - (425) 677-7166  
FAX - (866) 584-3244  
WWW.EVERGREENARC.COM

**NGPA/RVA RESTORATION PLAN**  
6555 170th Place Southeast - Bellevue, Washington

Prepared For: **Schademan & Associates, Inc.**  
12330 Northeast 8th Street, Suite 201  
Bellevue, Washington 98005

NO. DATE NOTES

DATE: 03/18/2013  
JOB NUMBER: 13001

**COVERSHEET**

SHEET:

**1 OF 5**

### COMPLIANCE MONITORING AND MAINTENANCE PLAN

**PURPOSE OF AND NEED FOR PLAN**

THE PURPOSE OF THIS RESTORATION PLAN IS TO ADDRESS CITY OF BELLEVUE RESTORATION REQUIREMENTS. CITY OF BELLEVUE REQUEST FOR VOLUNTARY COMPLIANCE CASE # 12-128054.

**CRITICAL AREAS PRESENT**

STEEP SLOPE HAZARD LOCATED WITHIN DESIGNATED NATIVE GROWTH PROTECTION AREA (NGPA). DESIGNATED RETAINED VEGETATION AREA (RVA)

**RESTORATION PLAN GOALS, OBJECTIVES, AND PERFORMANCE STANDARDS**

THE GENERAL OBJECTIVE OF THIS PLAN IS TO RESTORE NGPA/RVA FUNCTIONS AND VALUES IMPACTED BY RECENT UNPERMITTED TREE REMOVAL. SPECIFIC RESTORATION PLAN GOALS, OBJECTIVES, AND SUCCESS STANDARDS ARE OUTLINED IN TABLE 1 (BELOW). THE GOALS AND OBJECTIVES OF THIS PLAN ARE CONSIDERED ACHIEVED WHEN THE PERFORMANCE STANDARDS ARE SATISFIED.

**COMPLIANCE MONITORING PLAN**

AS-BUILT

FOLLOWING COMPLETION OF THE WORK SHOWN ON THIS PLAN, A QUALIFIED PROFESSIONAL SHALL PREPARE AN AS-BUILT OF THE COMPLETED WORK. THE AS-BUILT SHALL SUMMARIZE THE COMPLETED RESTORATION WORK AS WELL AS ANY DEVIATIONS FROM THE APPROVED RESTORATION PLAN. IN ADDITION, A MINIMUM OF TWO (2) PERMANENT PHOTO POINTS SHALL BE ESTABLISHED TO PHOTOGRAPHICALLY DOCUMENT REPRESENTATIVE CONDITIONS WITHIN THE PLANTING AREA. THE AS-BUILT AND BASELINE PHOTOGRAPHS SHALL BE SUBMITTED TO THE CITY OF BELLEVUE NO LATER THAN 30 DAYS FROM THE DATE THAT THE WORK SHOWN ON THIS PLAN HAS BEEN COMPLETED.

ANNUAL COMPLIANCE MONITORING

FOLLOWING ACCEPTANCE OF THE AS-BUILT BY THE CITY BELLEVUE, ANNUAL COMPLIANCE MONITORING SHALL BE COMPLETED FOR A PERIOD OF THREE (3) YEARS. ANNUAL COMPLIANCE MONITORING SHALL BE COMPLETED BY A QUALIFIED PROFESSIONAL AND SHALL COMPRISE A SITE INVESTIGATION IN AUGUST OR SEPTEMBER AND REPORTING TO THE CITY OF BELLEVUE BY NOVEMBER 30 OF EACH MONITORING YEAR.

**MONITORING SHALL COMPRISE A QUANTITATIVE ASSESSMENT OF CONDITIONS WITHIN THE PLANTING AREA FOR PURPOSES OF EVALUATING THE CURRENT YEAR'S SUCCESS STANDARDS. AT THE TIME OF EACH MONITORING, THE FOLLOWING INFORMATION SHALL BE COLLECTED WITHIN THE PLANTING AREA AND ASSESSED RELATIVE TO THE SUCCESS STANDARDS ESTABLISHED FOR THE PROJECT:**

- THE CONDITION OF INSTALLED PLANT STOCK INCLUDING SURVIVORSHIP, HEALTH, AND VIGOR. THE RATIONALE FOR POOR CONDITIONS, IF PRESENT, WILL BE DETERMINED.
- THE SPECIES COMPOSITION OF AND AREAL COVERAGE PROVIDED BY NOXIOUS WEED SPECIES.

A DIRECT COUNT INVENTORY AND ASSESSMENT OF ALL INSTALLED PLANT STOCK SHALL BE USED TO EVALUATE PLANT STOCK CONDITIONS. SPECIES COMPOSITION AND AREAL COVERAGE BY NOXIOUS WEEDS SHALL BE ASSESSED USING SAMPLE PLOTS OR TRANSECTS.

IN ADDITION TO FIELD DATA COLLECTION, PHOTOGRAPHS OF THE PLANTING AREA SHALL BE TAKEN FROM THE PERMANENT PHOTO POINTS ESTABLISHED DURING THE AS-BUILT.

THE RESULTS OF EACH COMPLIANCE MONITORING ASSESSMENT SHALL BE SUMMARIZED IN A WRITTEN REPORT AND SUBMITTED TO THE CITY OF BELLEVUE NO LATER THAN NOVEMBER 30 OF THE RESPECTIVE MONITORING YEAR.

**CONTINGENCY PLAN**

SHOULD ANY COMPLIANCE MONITORING ASSESSMENT REVEAL THAT THE SUCCESS STANDARDS FOR THE RESPECTIVE YEAR ARE NOT SATISFIED, THE PERMITTEE SHALL WORK WITH THE CITY OF BELLEVUE TO DEVELOP A CONTINGENCY PLAN TO ADDRESS THE DEFICIENCY(IES). CONTINGENCY PLANS CAN INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ACTIONS:

- ADDITIONAL PLANT INSTALLATION;
- EROSION CONTROL;
- HERBIVORY PROTECTION;
- MODIFICATION TO ANY IRRIGATION REGIME; AND/OR
- PLANT SUBSTITUTIONS OF TYPE, SIZE, QUANTITY, AND LOCATION

**MAINTENANCE PLAN**

THIS SECTION PROVIDES A GENERAL OVERVIEW OF THE MAINTENANCE PROGRAM NECESSARY TO ENSURE THE SUCCESS STANDARDS ESTABLISHED FOR THIS RESTORATION PLAN ARE SATISFIED.

**NOXIOUS WEED CONTROL**

FOLLOWING PLANT INSTALLATION AND AT REGULAR INTERVALS DURING THE COMPLIANCE MONITORING PERIOD, NOXIOUS WEED CONTROL SHALL OCCUR ON A SPOT TREATMENT BASIS WITHIN THE PLANTING AREA.

TARGET NOXIOUS WEED SPECIES SHALL INCLUDE THE FOLLOWING: ALL CLASS "A", "B", AND "C" NOXIOUS WEEDS IDENTIFIED ON THE LATEST KING COUNTY NOXIOUS WEED LIST AS WELL AS THE FOLLOWING ADDITIONAL SPECIES: ENGLISH IVY (*HEDERA HELIX*), ENGLISH HOLLY (*ILEX AQUIFOLIUM*), KNOTWEED (*POLYGONUM SPP.*), HIMALAYAN BLACKBERRY (*RUBUS ARMENIACUS*), AND CUTLEAF (EVERGREEN) BLACKBERRY (*R. LACINIATUS*).

NOXIOUS WEED CONTROL WORK SHALL CONSIST OF THE CUTTING AND REMOVAL FROM THE SITE OF ALL NOXIOUS WEED SPECIES STEMS, CANES, RUNNERS, SHOOTS, SEED PODS, FRUITING BODIES, AND LEAVES PER THE FOLLOWING METHODS:

- HAND PULLING.
- MANUALLY CUTTING USING MACHETES, LOPPERS, AND/OR CLIPPERS.

DURING ALL NOXIOUS WEED CONTROL WORK, EXISTING OR PLANTED NATIVE VEGETATION SHALL BE PROTECTED FROM DAMAGE.

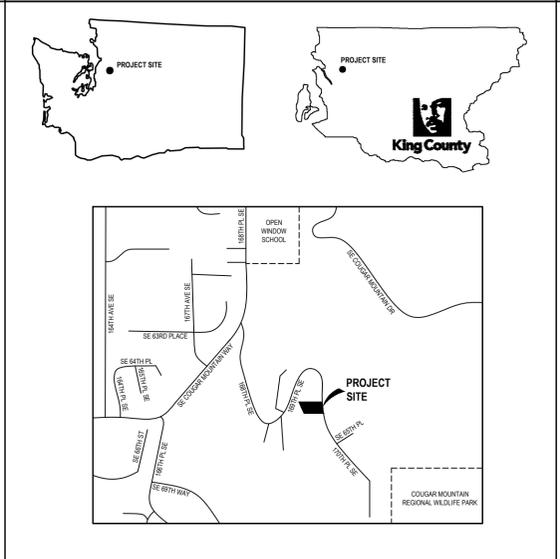
**GENERAL MAINTENANCE**

INSTALLED PLANTS SHALL BE MAINTAINED AT REGULAR INTERVALS DURING THE COMPLIANCE MONITORING PERIOD TO PROMOTE THE SUCCESSFUL ESTABLISHMENT AND VIGOROUS GROWTH OF THE INSTALLED PLANT STOCK.

GENERAL MAINTENANCE SHALL INCLUDE:

- WEEDING THE BASE OF EACH INSTALLED PLANT.
- RE-APPLYING BARK MULCH TO MAINTAIN A 6" MINIMUM APPLIED THICKNESS.
- THE PRUNING OF INSTALLED PLANTS TO REMOVE DEAD WOOD AND PROMOTE VIGOROUS PLANT GROWTH AND PROPER FORM.
- THE REPLACEMENT OF PLANTS THAT APPEAR TO BE IN DISTRESS AND/OR DISEASED.
- THE REMOVAL OF TRASH, LITTER, AND/OR OTHER NON-DECOMPOSING DEBRIS.

### VICINITY MAP



**DIRECTIONS TO PROJECT SITE:**

SITE ADDRESS: 6555 170TH PLACE SOUTHEAST  
BELLEVUE, WASHINGTON 98006

LATITUDE: 47.5429  
LONGITUDE: -121.1141

KING COUNTY TAX PARCEL NO. 3303850090

FROM BELLEVUE CITY HALL (450 110TH AVENUE NORTHEAST - BELLEVUE, WASHINGTON 98004):

TAKE NORTHEAST 4TH STREET EAST. MERGE ONTO INTERSTATE 405 SOUTH TOWARD RENTON CONTINUE SOUTH FOR APPROXIMATELY 3 MILES. EXIT VIA COAL CREEK PARKWAY (EXIT 10). TURN LEFT ONTO COAL CREEK PARKWAY. CONTINUE SOUTHEAST FOR APPROXIMATELY 1.2 MILES. TURN LEFT ONTO FOREST DRIVE SOUTHEAST. CONTINUE EAST FOR APPROXIMATELY 2.1 MILES. TURN LEFT ONTO LAKEMONT BOULEVARD SOUTHEAST. TAKE 1ST RIGHT ONTO SE COUGAR MOUNTAIN WAY. TURN RIGHT ONTO 168TH PLACE SOUTHEAST. 168TH PLACE SOUTHEAST TURNS INTO 169TH PLACE SE. 169TH PLACE SOUTH BECOMES 170TH PLACE SOUTHEAST. PROJECT SITE IS ON RIGHT, NEAR THE TOP OF THE HILL.

### PROJECT SITE LEGAL DESCRIPTION

LOT 9, HIGHLANDS AT BELLEVUE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 188 OF PLATS, PAGES 65 THROUGH 73, IN KING COUNTY, WASHINGTON.

### CONSTRUCTION SEQUENCE

- REQUEST AND ATTEND PRE-CONSTRUCTION MEETING WITH OWNER AND CITY OF BELLEVUE INSPECTOR(S).
- CLEARLY MARK THE OUTER LIMITS OF THE PLANTING AREA.
- AS NECESSARY, INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PER CITY OF BELLEVUE REQUIREMENTS (SEE CITY OF BELLEVUE GRADING PERMIT).
- CONTROL BLACKBERRY AND REMOVE BLACKBERRY CUTTINGS FROM SITE.
- INSTALL NATIVE PLANTS (SEE SHEET 4 AND SHEET 5).
- PLACE MULCH AT BASE OF INSTALLED PLANTS (SEE SHEET 4).
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
- CLEAN-UP AND DEMOBILIZE FROM SITE.
- REQUEST AND ATTEND FINAL INSPECTION.
- OWNER TO COMPLETE AS-BUILT AND SUBMIT TO CITY OF BELLEVUE WITHIN 30 DAYS FROM THE DATE THE RESTORATION WORK IS COMPLETE.
- OWNER TO COMPLETE THREE (3) YEARS OF COMPLIANCE MONITORING AND MAINTENANCE.

**CALL 2 WORKING  
DAYS BEFORE YOU DIG  
1-800-424-5555**  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

UTILITY LOCATIONS AND CHARACTERISTICS SHOWN ON THESE DRAWINGS, IF ANY, ARE BASED ON THE FIELD LOCATION OF THE APPARENT SURFACE EVIDENCE OF EXISTING STRUCTURES. THE UNDERGROUND ROUTING AND CONDITION OF BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED. ADDITIONAL UTILITY LOCATION AND MAPPING MAY BE REQUIRED. FIELD LOCATE, VERIFY DEPTH OF, AND ADEQUATELY PROTECT ALL UTILITIES PRIOR TO THE START OF WORK.

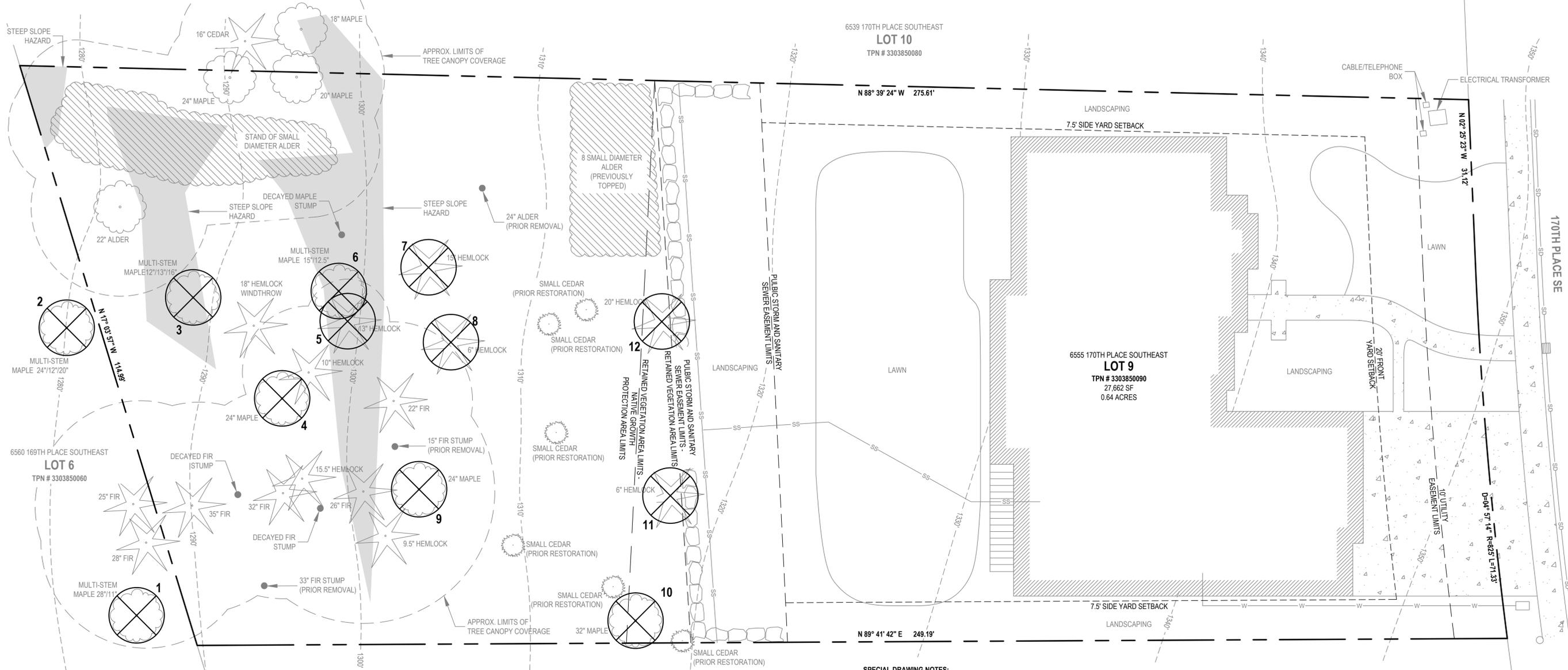
### SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVERSHEET
2	SITE PLAN
3	PLANTING PLAN & DETAILS
4	PLANTING SPECIFICATIONS
5	TEMPORARY EROSION & SEDIMENT CONTROL PLAN

**TABLE 1 - RESTORATION PLAN GOALS, OBJECTIVES, & PERFORMANCE STANDARDS**

GOAL:	OBJECTIVE:	PERFORMANCE STANDARD(S):
TO RESTORE ON-SITE PORTIONS OF NGPA AND RVA RECENTLY IMPACTED BY TREE AND TREE CROWN REMOVAL ACTIONS.	TO INSTALL AND SUCCESSFULLY ESTABLISH 71 NATIVE PLANTINGS WITHIN 4,879 SF OF PER APPROVED PLANTING PLAN.	100% SURVIVAL BY INSTALLED PLANT STOCK AFTER THE FIRST GROWING SEASON. 80% SURVIVAL BY INSTALLED PLANT STOCK AFTER THE THIRD GROWING SEASON.
TO MINIMIZE THE GENERAL PRESENCE OF NOXIOUS WEED SPECIES WITHIN ON-SITE PORTIONS OF NGPA AND RVA RECENTLY IMPACTED BY TREE AND TREE CROWN REMOVAL ACTIONS.	TO REMOVE AND CONTROL NOXIOUS WEED SPECIES COVERAGE WITHIN 4,879 SF OF RESTORED NGPA AND RVA.	<b>SUCCESS STANDARD:</b> LESS THAN 10% COVERAGE BY ALL CLASS "A", "B", AND "C" NOXIOUS WEEDS IDENTIFIED ON THE LATEST KING COUNTY NOXIOUS WEED LIST AS WELL AS THE FOLLOWING ADDITIONAL SPECIES: ENGLISH IVY ( <i>HEDERA HELIX</i> ), ENGLISH HOLLY ( <i>ILEX AQUIFOLIUM</i> ), KNOTWEED ( <i>POLYGONUM SPP.</i> ), HIMALAYAN BLACKBERRY ( <i>RUBUS ARMENIACUS</i> ), AND CUTLEAF (EVERGREEN) BLACKBERRY ( <i>R. LACINIATUS</i> ).
TO MITIGATE THE TEMPORAL LOSS OF CANOPY COVERAGE AND HABITAT STRUCTURE LOSS.	TO PROVIDE HABITAT OPPORTUNITY AND VALUE THAT WOULD NOT EXIST WITH FULL REMOVAL OF FELLED TREES AND RELATED LIMB AND BRANCH DEBRIS.	<b>SUCCESS STANDARD:</b> DO NOT REMOVE FELLED TREES, TOPPED TREES, AND CROWN REMOVAL DEBRIS.

A PORTION OF THE NORTH HALF OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. - KING COUNTY, WASHINGTON



**CALL 2 WORKING DAYS BEFORE YOU DIG**  
**1-800-424-5555**  
 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

**SPECIAL DRAWING NOTES:**

**NATIVE GROWTH PROTECTION AREA (NGPA) RESTRICTIONS - PER PLAT MAP:**

DEDICATION OF NATIVE GROWTH PROTECTION AREAS (NGPA) ESTABLISHES, ON ALL PRESENT AND FUTURE OWNERS AND USERS OF THE LAND, AN OBLIGATION TO LEAVE UNDISTURBED ALL TREES AND OTHER VEGETATION WITHIN THE AREA, FOR THE PURPOSE OF PREVENTING HARM TO THE PROPERTY AND THE ENVIRONMENT, INCLUDING BUT NOT LIMITED TO CONTROLLING SURFACE WATER RUNOFF AND EROSION, MAINTAINING SLOPE STABILITY, BUFFERING AND PROTECTING PLANTS AND ANIMAL HABITAT, EXCEPT FOR THE REMOVAL OF DISEASED OR DYING VEGETATION WHICH PRESENTS A HAZARD OR IMPLEMENTATION OF AN ENHANCEMENT PLAN REQUIRED OR APPROVED BY THE CITY. ANY WORK, INCLUDING REMOVAL OF DEAD, DISEASED, OR DYING VEGETATION, IS SUBJECT TO PERMIT REQUIREMENTS OF CITY OF BELLEVUE CODES. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENFORCE THE REQUIREMENTS, TERMS, AND CONDITIONS OF THIS RESTRICTION BY ANY METHOD AVAILABLE UNDER LAW. THE OBLIGATION TO ENSURE THAT ALL TERMS OF THE NGPA ARE MET IS THE RESPONSIBILITY OF THE UNDERLYING LANDOWNER.

**RETAINED VEGETATION AREA (RVA) RESTRICTIONS - PER PLAT MAP:**

DEDICATION OF RETAINED VEGETATION AREAS (RVA) ESTABLISHES, ON ALL PRESENT AND FUTURE OWNERS AND USERS OF THE LAND, AN OBLIGATION TO LEAVE EXISTING HEALTHY TREES AND UNDERSTORY UNDISTURBED AND LIMITS LANDSCAPING OR OTHER ALTERATION TO REMOVAL OF NUISANCE UNDERSTORY (SUCH AS BLACKBERRIES) AND REPLACEMENT WITH NATIVE OR COMPATIBLE SPECIES WITH A GROWTH HABIT AT MATURITY COMPARABLE TO NATIVE VEGETATION, FOR THE PURPOSE OF PREVENTING HARM TO PROPERTY AND THE ENVIRONMENT, INCLUDING BUT NOT LIMITED TO CONTROLLING SURFACE WATER RUNOFF AND EROSION, MAINTAINING SLOPE STABILITY, BUFFERING AND PROTECTING PLANTS AND ANIMAL HABITAT AND FOR AESTHETIC AND OTHER PURPOSES. ANY WORK, INCLUDING LANDSCAPING OR REMOVAL OF DEAD, DISEASED, OR DYING VEGETATION, IS SUBJECT TO PERMIT REQUIREMENTS OF CITY OF BELLEVUE CODES. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENFORCE THE REQUIREMENTS, TERMS, AND CONDITIONS OF THIS RESTRICTION BY ANY METHOD AVAILABLE UNDER LAW. THE OBLIGATION TO ENSURE THAT ALL TERMS OF THE RVA ARE MET IS THE RESPONSIBILITY OF THE UNDERLYING LANDOWNER.

DRAWING NOTES		TREE REMOVAL SUMMARY				LEGEND		SITE INFORMATION	
1. THE INFORMATION SHOWN ON THIS DRAWING REPRESENTS THE RESULTS OF WORK COMPLETED ON MARCH 4, 2013 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL EXISTING CONDITIONS AT THAT TIME.	5. PROPERTY LIMIT AND EASEMENT DIMENSIONING IS PER THE "HIGHLANDS AT BELLEVUE" PLAT MAP ON FILE WITH KING COUNTY UNDER INSTRUMENT NO. 9902100758. DO NOT USE THIS DRAWING TO DETERMINE OWNERSHIP AND/OR ENCROACHMENT.	<b>TREE NO.</b>	<b>SPECIES</b>	<b>DIAMETER</b>	<b>DESCRIPTION</b>		EXISTING CONIFER TREE (SPECIES AND DIAMETER NOTED)	<b>ADDRESS:</b>	6555 170TH PLACE SOUTHEAST
2. CAUTION: UTILITY LOCATIONS AND CHARACTERISTICS SHOWN ON THESE DRAWINGS, IF ANY, ARE BASED ON THE FIELD LOCATION OF THE APPARENT SURFACE EVIDENCE OF EXISTING STRUCTURES. THE UNDERGROUND ROUTING AND CONDITION OF BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED. ADDITIONAL UTILITY LOCATION AND MAPPING MAY BE REQUIRED. FIELD LOCATE, VERIFY DEPTH OF, AND ADEQUATELY PROTECT ALL UTILITIES PRIOR TO THE START OF ANY WORK.	6. EVERGREEN AQUATIC RESOURCE CONSULTANTS, LLC DOES NOT REPRESENT OUR MAPPING WORK AS A LAND SURVEY NOR DO WE REPRESENT THAT THIS DRAWING IS OF SUFFICIENT QUALITY THAT IT COULD BE CONSIDERED A SUBSTITUTE FOR A LAND SURVEY WHERE REQUIRED BY LAW OR OTHERWISE. SHOULD A LAND SURVEY BE REQUIRED, WE RECOMMEND CONSULTING WITH A PROFESSIONAL LAND SURVEYOR (PLS) LICENSED IN THE STATE OF WASHINGTON. DO NOT USE THIS DRAWING FOR SURVEYING PURPOSES.	1	BIGLEAF MAPLE	28"11" (MULTI-STEM)	100% OF LIVE CROWN REMOVED		EXISTING DECIDUOUS TREE (SPECIES AND DIAMETER NOTED)	<b>PARCEL NO.:</b>	3303850090
3. CAUTION: THIS DRAWING WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS, RESTRICTIONS, AND OTHER ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN.	7. STEEP SLOPE HAZARDS SHOWN WERE TRACED FROM ONLINE GIS DATA ACQUIRED FOR THE PROJECT SITE FROM WWW.NWMAPS.NET.	2	BIGLEAF MAPLE	24"12"20" (MULTI-STEM)	100% OF LIVE CROWN REMOVED		DECIDUOUS TREE OR CROWN REMOVED (SPECIES AND DIAMETER NOTED)	<b>LAND SQ FT:</b>	27,682 SQUARE FEET
4. CAUTION: THIS DRAWING DEPICTS FEATURES PRESENT WITHIN OR THAT MAY OTHERWISE AFFECT THE PROJECT SITE USING INFORMATION COMPILED FROM MULTIPLE SOURCES. ALTHOUGH THE INFORMATION USED TO PREPARE THIS DRAWING IS BELIEVED TO BE RELIABLE, IN SOME CASES THE ACCURACY OF THE INFORMATION USED COULD NOT BE CONFIRMED.	8. TOPOGRAPHIC CONTOURS SHOWN WERE TRACED FROM ONLINE GIS DATA ACQUIRED FOR THE PROJECT SITE FROM WWW.KINGCOUNTY.GOV.	3	BIGLEAF MAPLE	12"13"16" (MULTI-STEM)	100% OF LIVE CROWN REMOVED		CONIFEROUS TREE OR CROWN REMOVED (SPECIES AND DIAMETER NOTED)	<b>ACREAGE:</b>	0.64 ACRES
		4	BIGLEAF MAPLE	24" (SINGLE-STEM)	100% OF LIVE CROWN REMOVED		RESTORATION PLANTINGS RELATED TO 2002 TREE REMOVAL (REFERENCE: CITY OF BELLEVUE TRACKING NO. 02-116162GB)	<b>NEIGHBORHOOD:</b>	THE PINNACLE
		5	WESTERN HEMLOCK	13" HEMLOCK	CROWN TOPPED		EXISTING STUMP RELATED TO PRIOR TREE REMOVAL	<b>ZONING:</b>	R-3.5 (SINGLE-FAMILY RESIDENTIAL; 3.5 DWELLING UNITS PER ACRE)
		6	BIGLEAF MAPLE	15"12.5" (MULTI-STEM)	100% OF LIVE CROWN REMOVED		APPROXIMATE LIMITS OF EXISTING TREE CROWN CANOPY COVERAGE	<b>SETBACKS:</b>	FRONT YARD - 20 FEET 2 SIDE YARDS - 15 FEET REAR YARD - 25 FEET
		7	WESTERN HEMLOCK	15"	COMPLETE REMOVAL		EXISTING ROCKERY	<b>CRITICAL AREAS:</b>	STEEP SLOPE HAZARDS
		8	WESTERN HEMLOCK	6"	COMPLETE REMOVAL		STEEP SLOPE HAZARD (PER NWMAPS.NET)	<b>NGPA/RVA:</b>	PRESENT (SEE SPECIAL DRAWING NOTES - THIS SHEET)
		9	BIGLEAF MAPLE	24"	100% OF LIVE CROWN REMOVED				
		10	BIGLEAF MAPLE	32"	100% OF LIVE CROWN REMOVED				
		11	WESTERN HEMLOCK	6"	COMPLETE REMOVAL				
		12	WESTERN HEMLOCK	20"	COMPLETE REMOVAL				
		<b>NOTES:</b>							
		1. LOGS FROM TREE REMOVAL AND LIMBS/BRANCHES FROM TREE CROWN REMOVAL REMAIN ON-SITE WHERE THEY FELL.							
		2. NO FURTHER TREE OR TREE CROWN REMOVAL IS PROPOSED.							

**Evergreen Aquatic Resource Consultants, LLC**  
 PO BOX 1721  
 ISSAQUAH, WASHINGTON 98027  
 TEL - (425) 677-7166  
 FAX - (866) 584-3244  
 WWW.EVERGREENARC.COM

**NGPA/RVA RESTORATION PLAN**  
 6555 170th Place Southeast - Bellevue, Washington  
 Prepared For: Schademan & Associates, Inc.  
 12330 Northeast 8th Street, Suite 201  
 Bellevue, Washington 98005

**SITE PLAN**

DATE: 03/18/2013  
 JOB NUMBER: 13001

SHEET: **2** OF **5**





**CITY OF BELLEVUE CLEARING AND GRADING STANDARD NOTES**

1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING EROSION CONTROL STANDARD DETAILS (EC-1 THROUGH EC-23), DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES AND GEOGRID REINFORCED MODULAR BLOCK WALLS, MUST BE STAMPED BY A PROFESSIONAL ENGINEER.

2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

3. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

4. THE AREA TO BE CLEARED AND GRADED MUST FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING AND GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.

5. A REINFORCED SILT FENCE MUST BE INSTALLED IN ACCORDANCE WITH COB EC-5 AND SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING AND GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.

6. A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED PER CLEARING & GRADING STANDARD DETAIL EC-1 OR EC-2. THIS PAD MUST REMAIN IN PLACE UNTIL PAVING IS INSTALLED.

7. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.

8. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.

9. TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ARE REQUIRED.

- PRESERVE NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR.
- PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH MATERIALS, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR.
- INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL.
- INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ONSITE.

10. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE UNIFORM BUILDING CODE.

11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.

12. TURBIDITY MONITORING MAY BE REQUIRED AS A CONDITION OF CLEARING AND GRADING PERMIT APPROVAL. IF REQUIRED, TURBIDITY MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR. MONITORING MUST CONTINUE DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN-OFF BY THE CLEARING AND GRADING INSPECTOR.

13. ANY PROJECT THAT IS SUBJECT TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING AND GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE PCD DIRECTOR. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30TH, AS DEFINED IN SECTION 23.76.093A OF THE CLEARING AND GRADING CODE.



Wetland Delineation  
Mitigation Design  
Mitigation Monitoring

**Evergreen Aquatic  
Resource Consultants, LLC**

PO BOX 1721  
ISSAQUAH, WASHINGTON 98027  
TEL - (425) 677-7166  
FAX - (866) 584-3244  
WWW.EVERGREENARC.COM

**NGPA/RVA RESTORATION PLAN**

6555 170th Place Southeast - Bellevue, Washington

Prepared For: Schademan & Associates, Inc.  
12330 Northeast 8th Street, Suite 201  
Bellevue, Washington 98005

NO. DATE NOTES

DATE: 03/XX/2013  
JOB NUMBER: 13001

**TEMP. EROSION &  
SEDIMENT  
CONTROL PLAN**

SHEET:

**5 OF 5**



**DESCRIPTION OF PROPOSED WORK:**

1. STAGE PLANT MATERIALS, HAND TOOLS, AND EQUIPMENT FROM TRUCKS PARKED ON CONCRETE DRIVEWAY.
2. TRANSPORT PLANT MATERIALS AND HAND TOOLS TO PLANTING AREA USING DESIGNATED ACCESS AREA AND NON-MOTORIZED EQUIPMENT (E.G., WHEELBARROW).
3. HAND REMOVAL OF BLACKBERRIES FROM EASTERN PORTION OF PLANTING AREA.
4. DISTRIBUTE PLANT MATERIALS WITHIN PLANTING AREA AND INSTALL BY HAND.
5. CLEAN-UP AND RESTORE ACCESS/STAGING AREA TO PRE-EXISTING CONDITIONS.

**DURATION OF PROPOSED WORK:**

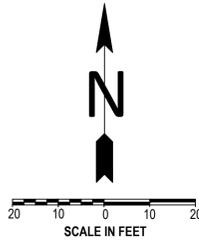
1 TO 2 DAYS.

**PROPOSED TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES:**

BASED ON THE SCOPE OF THE PROPOSED WORK AS WELL AS DURATION, NO SPECIFIC TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE PROPOSED.

**CALL 2 WORKING  
DAYS BEFORE YOU DIG**  
**1-800-424-5555**  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

UTILITY LOCATIONS AND CHARACTERISTICS SHOWN ON THIS DRAWING, IF ANY, ARE BASED ON THE FIELD LOCATION OF THE APPARENT SURFACE EVIDENCE OF EXISTING STRUCTURES. THE UNDERGROUND ROUTING AND CONDITION OF BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED. ADDITIONAL UTILITY LOCATION AND MAPPING MAY BE REQUIRED. FIELD LOCATE, VERIFY DEPTH OF, AND ADEQUATELY PROTECT ALL UTILITIES PRIOR TO THE START OF WORK.



March 18, 2013  
Project No. 13001



Schademan & Associates, Inc.  
12330 Northeast 8<sup>th</sup> Street, Suite 201  
Bellevue, Washington 98005

PO BOX 1721  
ISSAQUAH, WASHINGTON 98027

TEL: (425) 677-7166  
FAX: (866) 584-2750  
WWW.EVERGREENARC.COM

**Regarding:   Vegetation Management Plan  
6555 170<sup>th</sup> Place Southeast – Bellevue, Washington  
Lot 9, Highlands at Bellevue, Volume 188 of Plats, Page 65 – King County, WA**

Kim:

Evergreen Aquatic Resource Consultants, LLC is pleased to present this letter describing a proposed plan for vegetation management within the above-referenced site. Bellevue Land Use Code (LUC) Chapter 20.25H.055.C.3.i.vi permits vegetation restoration within geologic hazard areas using an approved “Vegetation Management Plan”. This letter provides the necessary information to demonstrate that the restoration proposed within the western portion of the site complies with the performance standards established by LUC Chapter 20.25H.055.C.3.i.vi. We understand that this letter and associated restoration plan will be used to obtain the necessary permits from the City of Bellevue to bring the site into full compliance with applicable critical areas regulations.

## **PROJECT SITE**

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Address: 6555 170<sup>th</sup> Place Southeast – Bellevue, Washington  
King County Tax Parcel Number: 3303850090  
Legal Description: Lot 9, Highlands at Bellevue, Volume 188 of Plats, Page 65 – King County, WA

The project site is an irregularly shaped 0.64 acre residentially zoned parcel located west of 170<sup>th</sup> Place Southeast within the Pinnacle neighborhood of Bellevue, Washington. The site is located in the northwest quarter section of Section 25, Township 24 North, Range 5 East, W.M.. The site has street frontage on 170<sup>th</sup> Place Southeast, along the eastern property line.

The project site and adjoining parcels are developed and residential in nature. A large single-family residence, driveway, and formal landscaped areas exist within the eastern half of the site. The western half of the site is protected either within a portion of a Native Growth Protection Area (NGPA) easement or a portion of a Retained Vegetation Area (RVA) easement. Current zoning for the project site is R-3.5 (single-family residential, 3.5 dwelling units per acre).

## **CRITICAL AREAS**

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A Request for Voluntary Compliance (RVC) was issued by the City of Bellevue on December 20, 2012 under Case #12-128054 for the “...removal or topping of approximately twelve (12) or more

trees from the Native Growth Protection Area (NGPA) or from the Retained Vegetation Area (RVA) without the proper permits...”<sup>1</sup>.

Steep slope geologic hazards are mapped within and adjacent to the project site. The on-site portions of these hazards are contained within the on-site portion of the NGPA easement. The mapped steep slope areas and the NGPA easement extend off-site to the north, south, and west.

Geologic hazards are regulated by the City of Bellevue as “critical areas” under Bellevue LUC Chapter 20.25H (Critical Areas Overlay District). LUC Chapter 20.25H.VII establishes the standards and procedures that apply to development on any site that contains in whole or in part any portion of a geologic hazard.

## MANAGEMENT AREA OVERVIEW

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The management area for the proposed restoration is limited to the 4,879 square foot (sf) on-site portion of the NGPA/RVA shown on Sheet 3 of the restoration plan. The proposed vegetation management activities allow for only the replanting of specific native trees and shrubs as well as the maintenance of installed native plantings for a period of three (3) years. No further tree or tree crown removal is proposed or allowed by the restoration plan. Any existing fallen timber, limbs, and branches will remain on-site to provide wildlife habitat as coarse woody debris.

The on-site portion of the NGPA/RVA easement comprises a middle to late seral stage mixed forest. Dominant overstory species include large diameter Douglas-fir (*Pseudotsuga menziesii*) measuring 25 inches to 35 inches in diameter at breast height (dbh). Western hemlock (*Tsuga heterophylla*) is present in limited quantities as an understory successional conifer species. Mature bigleaf maple (*Acer macrophyllum*) is common within conifer canopy openings and exists as either multi-stem groupings or large diameter individual stems. The crowns of all bigleaf maple have been removed. Stands of small diameter red alder (*Alnus rubra*) exist in both the northwest corner of the on-site NGPA/RVA as well as the northeast corner of the NGPA/RVA immediately adjacent to the existing rockery.

Understory species within the on-site NGPA/RVA include vine maple (*A. circinatum*), Indian plum (*Oemleria cerasiformis*), and red elderberry (*Sambucus racemosa*), with occasional salmonberry (*Rubus spectabilis*), peafruit (cluster) rose (*Rosa pisocarpa*), and devil’s club (*Oplopanax horridus*) in canopy openings. Groundcover includes dense western swordfern (*Polystichum munitum*) and Oregon grape (*Mahonia nervosa*), with occasional salal (*Gaultheria shallon*).

Non-native plant or weed species are limited within the on-site portion of the NGPA/RVA to the area located immediately adjacent to the southeast corner of the NGPA/RVA. The species present includes only low density Himalayan blackberry (*R. armeniacus*).

Topography within the on-site NGPA/RVA extends from approximately 1,280 feet along the western limits to 1,320 feet along to the eastern limits, with aspect being to the west. The effective canopy coverage provided by the mature conifers is localized and moderately high where present.

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<sup>1</sup> Request for Voluntary Compliance Case # 12-128054. Issued to Susan Nokes on December 20, 2012 by the City of Bellevue Development Services – Code Compliance.

Soils within and adjacent to the management area are mapped as Beausite gravelly sandy loam, 15 to 30 percent slopes (BeD)<sup>2</sup>. Beausite series soils are formed on glacial deposits and are made up of well-drained soils that are underlain by sandstone at a depth of 20 to 40 inches<sup>3</sup>. On-site soils were generally a very dark brown (10YR 2/2) sandy to gravelly sandy loam to a depth of 20 inches below the soil surface.

After completing a detailed inventory and analysis of the recent tree removal activities, it was determined that 12 trees had been cut down or had their crown's removed within the NGPA/RVA. A summary of tree removal and trimming is presented in Table 1 (below). The location of each affected tree is shown on Sheet 2 of the restoration plan. A representative photograph of conditions within the NGPA/RVA after tree removal is presented in Figure 1 (below).

**Table 1 – Tree Removal Summary**

QUANTITY	SPECIES	DIAMETER	DESCRIPTION
4	Western hemlock ( <i>Tsuga heterophylla</i> )	6" to 20"	Complete removal – log and limbs/branches remain on-site.
1	Western hemlock ( <i>Tsuga heterophylla</i> )	13"	Crown topped – top remains on-site.
7	Bigleaf maple ( <i>Acer macrophyllum</i> )	11" to 32"	100% of live crown removed – limbs/branches remain on-site. Trees exist as multi-stem clumps or large diameter single stems.
<b>12 – Total</b>			

**Figure 1 – Photographs of Recent Tree Removal**



<sup>2</sup> <http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>

<sup>3</sup> Snyder, D., Gale, P. and Pringle, R. 1973. Soil survey: King County area Washington. United States Department of Agriculture Soil Conservation Service in cooperation with Washington Agricultural Experiment Station.

## FUNCTION AND VALUE

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The primary function of the NGPA/RVA is to maintain slope stability and buffer development from steep slope geologic hazards. Secondary functions include protecting plant and wildlife habitat and maintaining aesthetic values such as a “green” backdrop for surrounding development.

The on-site NGPA/RVA presents an intact native forest community characterized by a moderately dense, multi-layered canopy that has very limited coverage by non-native or noxious weed species. Edge habitat is high due to the mix of tree species and the proximity to developed areas along the limits of the NGPA/RVA. Snags are not currently present; however a moderate amount of fallen woody debris exists due the prior and recent tree removal activities. On-site habitat likely provides seasonal foraging opportunities and escape cover for small mammals and passerine birds accustomed to suburban environments.

General habitat suitability within the NGPA/RVA is moderated by the relatively narrow width of the NGPA/RVA, surrounding residential development, and the general lack of undisturbed connections to wetlands, streams, lakes, or other large tracts of upland habitat.

The on-site NGPA/RVA does not contain streams and/or wetlands and does not provide habitat unique to the project site and/or the local vicinity. Avian nesting and/or roost sites are not present.

## SPECIES OF LOCAL IMPORTANCE

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The Washington State Department of Fish and Wildlife (WDFW) does not map the known occurrence of Priority Habitats and Species (PHS) within the project site and/or immediate vicinity. Although the project site exists within the known range of numerous fish, wildlife, and avian species identified by LUC 20.25H.150 as “species of local importance”, the likelihood that the project site provides habitat potential or opportunities for these species is low due to general habitat conditions that exist on-site, the lack of streams or wetlands within or adjacent to the project site, and the distance from the project site to large freshwater lakes and/or marine shorelines. Based on the known distribution and habitat requirements for the species of local importance listed in LUC 20.25H.150, Table 2 (below) summarizes the species having the highest potential to utilize on-site habitat types.

**Table 2 – Species of Local Importance Utilization of NGPA/RVA**

SPECIES	GENERAL DISTRIBUTION IN KING COUNTY	POTENTIAL FOR USE OF PROJECT SITE	EXPECTED USE (IF PRESENT)
Pileated woodpecker ( <i>Dryocopus pileatus</i> )	Throughout	Low	Migratory corridor or limited foraging

The Pileated woodpecker (*Dryocopus pileatus*) is one of the largest woodpeckers found in North America and is commonly referred to as a “keystone habitat modifier” because it creates nesting cavities used by other forest wildlife species. Preferential habitat for Pileated woodpecker includes old-growth conifer forests or second-growth conifer forests with large snags and fallen trees. Nest tree characteristics can be variable, but generally include large diameter hard conifer snags with intact bark and broken tops and/or live conifer trees with dead tops. Roost trees are typically

characterized by hollow trees or trees having vacated nest cavities. Prey species include carpenter and thatching ants, beetle larvae, termites, and other insects associated with large diameter dead or decaying wood. Because of a lack of large diameter snags and decaying wood, potential use of the project site by Pileated woodpeckers is low and, if present, would be limited to use as a migratory corridor or for limited foraging.

In addition to the species listed in Table 2, western big-eared bat (*Plecotus townsendii*), Keen's myotis (*Myotis keenii*), long-legged myotis (*Myotis volans*), and long-eared myotis (*Myotis evotis*) distribution is thought to range from limited to widespread throughout the western United States. In any case, distribution is not thought to be abundant and little is known regarding the specific habitat requirements for these species. Because of the uncertainty regarding distribution and habitat requirements in the local area, it is hard to predict utilization of the project site by these species. As such, the probable use is assumed to be low to non-existent based on the general suitability of the on-site habitat types.

## VEGETATION MANAGEMENT PLAN COMPONENTS

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The primary purpose of the proposed vegetation management is to replant areas impacted by the recent tree and tree crown removal. A detailed restoration plan as well as three (3) years of maintenance and monitoring is proposed to ensure the restored vegetation is successfully established. Specific goals, objectives, and performance standards for the restoration plan are described in detail on Sheet 1 of the plan and outlined below:

### Short-Term Objectives:

- Increase native plant density and mitigate the temporal loss of tree canopy coverage by installing native plants within the management area per an approved planting plan.
- Reduce the presence of and minimize the opportunity for noxious weed species expansion within the management area by removing the limited amount of Himalayan blackberry located in the southeastern corner of the management area.
- Maintain existing habitat characteristics within the management area by leaving in place existing debris piles and topped trees.

### Long-Term Objectives:

- Successfully establish installed native plant species and minimize noxious weed species to help maintain slope stability and existing wildlife habitat functions. The long-term objectives will be considered achieved when the following has occurred:
  - 80 percent survival by installed plants after the third year following installation.
  - Less than 10 percent coverage within the management area by Himalayan blackberry.

The proposed restoration plan includes site specific application of the following restoration design standards outlined within The City of Bellevue's *Critical Areas Handbook*:

- Installation of plant species consistent with those outlined in the "Geological Hazards Planting Templates". To ensure successful establishment, all proposed plant species are recommended for use in geologic hazard areas and/or are present within the management area or on adjoining contiguous portions of the NGPA/RVA.

- Use of appropriate size and form for installed plant stock. Two (2) gallon containerized nursery-grown plant stock is proposed for use. The specified form and size have larger rooting systems than 1 gallon plants of the same species and are less prone to transplant shock than bare root or five (5) gallon plants of the same species.
- Use of appropriate plant spacing. Proposed tree spacing is 9 feet O.C. for trees, 6 feet O.C. for shrubs, 4 feet O.C. for groundcover. To provide horizontal separation between trees and developed portions of the site, dense shrubs and groundcovers will be installed within the eastern 10 feet of the NGPA/RVA.
- Removal of invasive species. Although not widespread on-site, Himalayan blackberry will be controlled.
- Use of appropriate notes and details to guide plan implementation.

A detailed maintenance, monitoring, and contingency plan is described on Sheet 1 of the restoration plan. Maintenance is proposed for a period of three years and includes weeding and pruning of the installed plants to ensure successful establishment and vigorous growth. Monitoring is proposed for a period of three years and includes annual vegetation assessments and reporting to the City of Bellevue. The contingency plan binds the landowner to work with the City of Bellevue to ensure that the proposed restoration is a success.

Table 3 (below) presents a cost estimate for installation of the restoration plan. Table 4 (below) presents a cost estimate for three years of maintenance and monitoring.

**Table 3 – Installation Cost Estimate**

DESCRIPTION	UNIT PRICE	UNIT	QUANTITY	COST
Material/Labor: 2 gal containerized plant	\$20	Each	71	\$1,420.00
Material arborist chips (delivered to site)	\$45	CY	4.5	\$202.50
Labor: arborist chips	\$25	Hr	16	\$400.00
Labor: noxious weed removal	\$25	Hr	8	\$200.00
<b>Subtotal</b>				<b>\$2,222.50</b>
Mobilization (10%)				\$222.25
<b>Grand Total</b>				<b>\$2,444.75</b>

**Table 4 – Maintenance & Monitoring Cost Estimate**

DESCRIPTION	UNIT PRICE	UNIT	QUANTITY	COST
Labor – Maintenance (Year 1)	\$25	Hr	16	\$400
Labor – Maintenance (Year 2)	\$25	Hr	16	\$400
Labor – Maintenance (Year 3)	\$25	Hr	16	\$400
Monitoring	\$720	Each	3	\$2,160
<b>Total</b>				<b>\$3,360</b>

Function and Value Improvement

Table 5 (next page) describes how the proposed vegetation restoration will result in the improvement of existing NGPA/RVA functions and values

**Table 5 – Function and Value Improvement**

FUNCTION	EXISTING CONDITIONS	PROPOSED MODIFICATION	FUNCTIONAL IMPROVEMENT
<b>Maintain slope stability and buffer development from steep slope geologic hazards</b>	NGPA/RVA exists on-site. 12 trees removed or otherwise altered.	No further tree removal is proposed. Existing fallen timber and limbs to remain on-site. Installation of 71 native plantings, including tree replacement at a ratio greater than 3:1.	<b>Improved</b> Fallen timber and limbs will intercept rainfall and the root systems of the proposed native plantings will bind soil particles. Proposed tree species will advance site toward a conifer forest similar to that existing in adjoining NGPA/RVA.
<b>Protect plant and wildlife habitat</b>	Tree removal has resulted in openings in tree canopy coverage and the loss of vertical habitat structure.	No further tree removal proposed. Existing fallen timber and limbs to remain on-site. Installation of 71 native plantings, including tree replacement at a ratio greater than 3:1. Blackberry will be controlled to prevent spread.	<b>Improved</b> Fallen timber and limbs will provide habitat for wildlife. Installed plants will replace lost canopy coverage and lost vertical habitat structure. Native plantings will provide food and seed source to local area.
<b>Maintenance of a “green” backdrop for surrounding development</b>	Tree removal has resulted in openings in tree canopy coverage.	No further tree removal proposed. Installation of 71 native plantings, including tree replacement at a ratio greater than 3:1.	<b>Improved</b> Proposed tree species will advance site toward conifer forest similar to that existing in adjoining NGPA/RVA.

**CLOSURE**

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I trust that this letter meets your present needs. If you have any questions regarding the information presented in this letter or require additional assistance with this project, please do not hesitate to call me at (425) 677-7166 or email me a [psuper@evergreenarc.com](mailto:psuper@evergreenarc.com).

Sincerely,

**Evergreen Aquatic Resource Consultants, LLC**



Peter P. Super  
Professional Wetland Scientist



# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON

**OWNER'S CERTIFICATE AND DEDICATION**  
 PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF INTEREST IN THE LAND HEREBY SUBDIVIDED, DECLARE THIS PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SUBDIVISION MADE HEREBY AND DEDICATE TO THE PUBLIC FOREVER ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE. WE DEDICATE THE USE FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH PUBLIC HIGHWAY PURPOSES AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS SHOWN IN THE REASONABLE GRADING OF SAID STREETS AND AVENUES. WE FURTHER DEDICATE TO THE USE OF THE PUBLIC ALL THE EASEMENTS AND TRACTS SHOWN ON THIS PLAT FOR ALL PUBLIC PURPOSES AS INDICATED, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACE, UTILITIES, AND TRAILWAYS. WE HEREBY DEDICATE TO THE PUBLIC ALL TRACTS IDENTIFIED ON THIS PLAT AS BEING PUBLIC PURPOSES OR TRACTS AND EASEMENTS OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.  
 FURTHER, WE WAIVE FOR OURSELVES, OUR HEIRS AND ASSIGNS, AND ANY PERSON OR ENTITY DERIVING TITLE FROM THE UNDERSIGNED ANY AND ALL CLAIMS FOR DAMAGES AGAINST THE CITY OF BELLEVUE AND ITS SUCCESSORS AND ASSIGNS WHICH MAY BE OCCASIONED TO THE ADJACENT LANDS OF THIS SUBDIVISION BY THE ESTABLISHMENT, CONSTRUCTION, OR MAINTENANCE OF ROADS AND/OR DRAINAGE SYSTEMS WITHIN THIS SUBDIVISION.  
 THIS SUBDIVISION, DEDICATION, WAIVER OF CLAIMS IS MADE WITH FREE CONSENT AND IN ACCORDANCE WITH OUR DESIRES.  
 IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS.  
 FINKBERG HIGHLANDS AT BELLEVUE, A WASHINGTON LIMITED LIABILITY COMPANY  
 BY: John A. Wilson TITLE: PRESIDENT  
 BANK OF AMERICA NATIONAL TRUST AND SAVINGS ASSOCIATION, DBA SEAFIRST BANK  
 BY: Richard K. Wilson TITLE: Vice President  
 KING COUNTY  
 BY: Ram Baranwal TITLE: Director

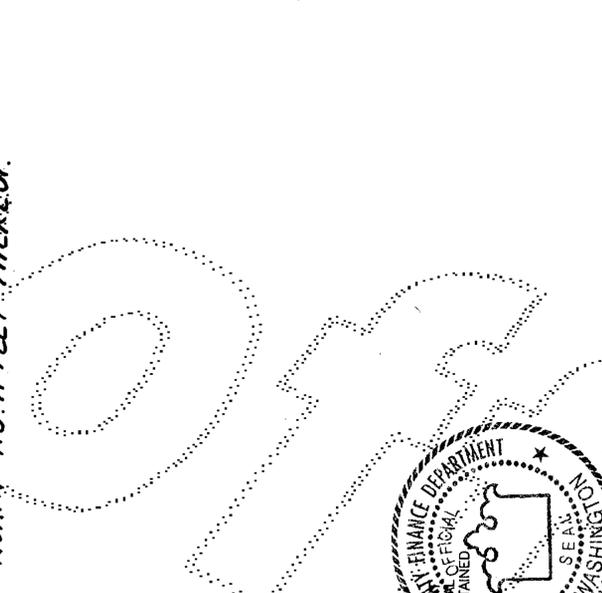
**APPROVALS**  
 DEPARTMENT OF TRANSPORTATION  
 APPROVAL WITH RESPECT TO STREETS, ALLEYS, AND RIGHTS-OF-WAY FOR ROADS, PATHS, AND SLOPES.  
 EXAMINED AND APPROVED: THIS 3rd DAY OF February, 19 99, A.D.  
James H. Hinkle  
 TRANSPORTATION ENGINEER  
 BELLEVUE UTILITIES DEPARTMENT  
 APPROVAL WITH RESPECT TO WATER, SEWER, AND DRAINAGE SYSTEMS.  
 EXAMINED AND APPROVED THIS 3rd DAY OF February, 19 99, A.D.  
John A. Wilson  
 UTILITY ENGINEER  
 DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT  
 EXAMINED AND APPROVED THIS 9 DAY OF February, 19 99, A.D.  
John A. Wilson  
 DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT  
 DEPARTMENT OF FINANCE  
 I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS AND ALL SPECIAL ASSESSMENTS ON THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS OR FOR OTHER PUBLIC USE ARE PAID IN FULL THIS 3rd DAY OF February, 19 99.  
John A. Wilson  
 CHIEF TREASURER  
 BELLEVUE CITY COUNCIL  
 EXAMINED AND APPROVED THIS 9th DAY OF February, 19 99, A.D.  
John A. Wilson  
 MAYOR  
 Mayor Henry G. Sanner ATTEST: CITY CLERK  
 KING COUNTY DEPARTMENT OF ASSESSMENTS  
 EXAMINED AND APPROVED THIS 10TH DAY OF February, 19 99, A.D.  
Scott Noble  
 KING COUNTY ASSESSOR  
 ACCOUNT NUMBER 252405-9205/1046/0039  
 KING COUNTY FINANCE DIVISION CERTIFICATE  
 I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID; THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION; AND THAT ALL SPECIAL ASSESSMENTS TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS, ALLEYS, OR FOR OTHER PUBLIC USE ARE PAID IN FULL.  
Scott Noble  
 KING COUNTY ASSESSOR  
 DEPUTY KING COUNTY ASSESSOR  
John E. Edwards  
 DEPUTY  
 February 10, 1999  
 MANAGER, FINANCE DIVISION

**SURVEY INSTRUMENTATION**  
 SURVEYING PERFORMED IN CONJUNCTION WITH THIS PLAT UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES:  
 10" TOTAL STATION MAINTAINED TO MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY WAC-332-130-100.  
 PROCEDURE USED: FIELD TRAVERSE WITH ACCURACY MEETING OR EXCEEDING THE REQUIREMENTS OF WAC-332-130-090 AND THE CITY OF BELLEVUE.

**LEGAL DESCRIPTION CONT'D**  
 PARCEL "A" (CONT'D)  
 TOGETHER WITH THE WEST 205 FEET OF THE NORTHWEST QUARTER OF THE NE QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. IN KING COUNTY, WASHINGTON, EXCEPT THE NORTH 710.91 FEET THEREOF.

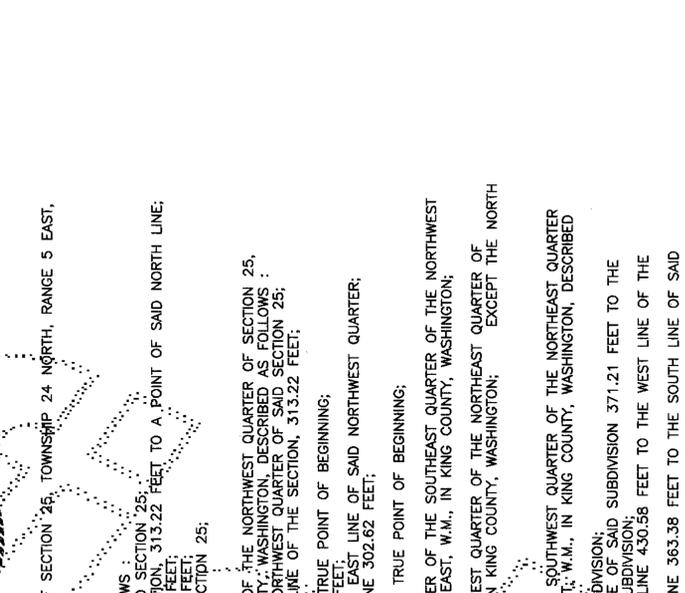
**ACKNOWLEDGMENTS**  
 STATE OF WASHINGTON } SS  
 COUNTY OF KING }  
 ON THIS 1st DAY OF February, 19 99, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, PERSONALLY APPEARED John A. Wilson TO ME, KNOWN TO ME TO BE PRESIDENT OF THE COMPANY THAT EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID COMPANY FOR THE USES AND PURPOSES THEREIN MENTIONED AND ON OATH STATED THAT he WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT.  
 IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND DATE ABOVE WRITTEN.  
Donna Rea  
 Notary Public  
 State of Washington  
 DONNA REA  
 My Appointment Expires Dec 28, 2001  
 TITLE: \_\_\_\_\_  
 MY COMMISSION EXPIRES: 12-28-2001

**LEGAL DESCRIPTION**  
 PARCEL A  
 THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 EXCEPT PUBLIC ROADS;  
 AND EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 25;  
 THENCE SOUTH 15°30' EAST A DISTANCE OF 103.18 FEET;  
 THENCE SOUTH 32°40' EAST A DISTANCE OF 245.41 FEET;  
 THENCE DUE EAST TO THE CENTER LINE OF SAID SECTION 25;  
 THENCE NORTH TO THE POINT OF BEGINNING;  
 AND EXCEPT THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 THENCE NORTH 85°23'56" WEST ALONG THE NORTH LINE OF THE SECTION, 313.22 FEET;  
 THENCE SOUTH 31°09'24" EAST 103.18 FEET;  
 THENCE CONTINUING SOUTH 31°09'24" EAST 189.84 FEET;  
 THENCE SOUTH 07°53'38" WEST 148.62 FEET TO THE EAST LINE OF SAID NORTHWEST QUARTER;  
 THENCE NORTH 88°22'09" WEST 257.62 FEET;  
 THENCE NORTH 01°53'38" EAST 470.61 FEET TO THE TRUE POINT OF BEGINNING;  
 TOGETHER WITH THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 TOGETHER WITH THE NORTHWEST QUARTER OF THE SOUTH-EAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 250 FEET OF THE EAST 430.38 FEET THEREOF;  
 AND EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:  
 THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTH-EAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION;  
 THENCE NORTH 07°43'32" EAST ALONG THE EAST LINE OF SAID SUBDIVISION 371.21 FEET TO THE SOUTH LINE OF THE NORTH 250.00 FEET OF SAID SUBDIVISION;  
 THENCE SOUTH 89°58'48" WEST ALONG SAID SOUTH LINE 430.58 FEET TO THE WEST LINE OF THE EAST 430.38 FEET OF SAID SUBDIVISION;  
 THENCE SOUTH 01°43'32" WEST ALONG SAID WEST LINE 363.38 FEET TO THE SOUTH LINE OF SAID SUBDIVISION;  
 THENCE SOUTH 88°58'40" EAST 430.41 FEET TO THE POINT OF BEGINNING.  
 (SEE CONTINUATION ABOVE)  
 PARCEL B  
 THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTH-EAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION;  
 THENCE NORTH 07°43'32" EAST ALONG THE EAST LINE OF SAID SUBDIVISION 371.21 FEET TO THE SOUTH LINE OF THE NORTH 250.00 FEET OF SAID SUBDIVISION;  
 THENCE SOUTH 89°58'48" WEST ALONG SAID SOUTH LINE 430.58 FEET TO THE WEST LINE OF THE EAST 430.38 FEET OF SAID SUBDIVISION;  
 THENCE SOUTH 01°43'32" WEST ALONG SAID WEST LINE 363.38 FEET TO THE SOUTH LINE OF SAID SUBDIVISION;  
 THENCE SOUTH 88°58'40" EAST 430.41 FEET TO THE POINT OF BEGINNING.



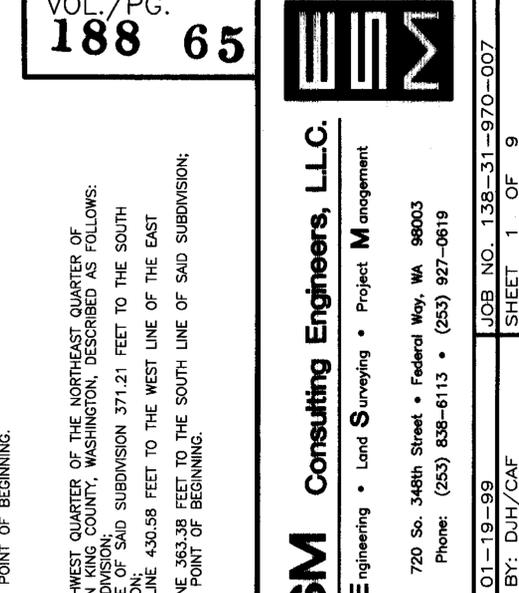
**ACKNOWLEDGMENTS**  
 STATE OF WASHINGTON } SS  
 COUNTY OF KING }  
 ON THIS 2nd DAY OF January, 19 99, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, PERSONALLY APPEARED John A. Wilson TO ME, KNOWN TO ME TO BE Vice President OF THE ASSOCIATION THAT EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID ASSOCIATION FOR THE USES AND PURPOSES THEREIN MENTIONED AND ON OATH STATED THAT he WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT.  
 IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND DATE ABOVE WRITTEN.  
John A. Wilson  
 Notary Public  
 State of Washington  
 JOHN A. WILSON  
 My Appointment Expires Dec 28, 2001  
 TITLE: \_\_\_\_\_  
 MY COMMISSION EXPIRES: 12-28-2001

**LEGAL DESCRIPTION**  
 PARCEL A  
 THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 EXCEPT PUBLIC ROADS;  
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 THENCE DUE EAST TO THE CENTER LINE OF SAID SECTION 25;  
 THENCE NORTH TO THE POINT OF BEGINNING;  
 AND EXCEPT THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 THENCE NORTH 85°23'56" WEST ALONG THE NORTH LINE OF THE SECTION, 313.22 FEET;  
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 THENCE CONTINUING SOUTH 31°09'24" EAST 189.84 FEET;  
 THENCE SOUTH 07°53'38" WEST 148.62 FEET TO THE EAST LINE OF SAID NORTHWEST QUARTER;  
 THENCE NORTH 88°22'09" WEST 257.62 FEET;  
 THENCE NORTH 01°53'38" EAST 470.61 FEET TO THE TRUE POINT OF BEGINNING;  
 TOGETHER WITH THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 TOGETHER WITH THE NORTHWEST QUARTER OF THE SOUTH-EAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 250 FEET OF THE EAST 430.38 FEET THEREOF;  
 AND EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:  
 THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTH-EAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION;  
 THENCE NORTH 07°43'32" EAST ALONG THE EAST LINE OF SAID SUBDIVISION 371.21 FEET TO THE SOUTH LINE OF THE NORTH 250.00 FEET OF SAID SUBDIVISION;  
 THENCE SOUTH 89°58'48" WEST ALONG SAID SOUTH LINE 430.58 FEET TO THE WEST LINE OF THE EAST 430.38 FEET OF SAID SUBDIVISION;  
 THENCE SOUTH 01°43'32" WEST ALONG SAID WEST LINE 363.38 FEET TO THE SOUTH LINE OF SAID SUBDIVISION;  
 THENCE SOUTH 88°58'40" EAST 430.41 FEET TO THE POINT OF BEGINNING.  
 (SEE CONTINUATION ABOVE)  
 PARCEL B  
 THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTH-EAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
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 THENCE SOUTH 01°43'32" WEST ALONG SAID WEST LINE 363.38 FEET TO THE SOUTH LINE OF SAID SUBDIVISION;  
 THENCE SOUTH 88°58'40" EAST 430.41 FEET TO THE POINT OF BEGINNING.



**SURVEYOR'S CERTIFICATE**  
 I, MICHAEL R. BOWEN, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF WASHINGTON; THAT THIS PLAT OF "HIGHLANDS AT BELLEVUE" IS A TRUE AND CORRECT REPRESENTATION OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION; THAT ALL CENTERLINE MONUMENTS WILL BE ACCURATELY SET AND ALL LOT AND TRACT CORNERS WILL BE STAKED CORRECTLY ON THE GROUND AS THE PUBLIC IMPROVEMENTS ARE COMPLETED; AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF ALL PLATTING REGULATIONS.  
Michael R. Bowen  
 MICHAEL R. BOWEN  
 P.L.S. NO. 29294  
 SUPERINTENDENT OF RECORDS  
 RECORDING NO. 9902100758  
 FILED FOR RECORD AT THE REQUEST OF THE CITY OF BELLEVUE THIS 10th DAY OF February, 19 99 A.D., AT 10:00 MINUTES PAST 2:00 P.M. AND; RECORDED IN VOLUME 111 OF PLATS, PAGES 23-23, RECORDS OF KING COUNTY, WASHINGTON.  
 DIVISION OF RECORDS AND ELECTIONS  
John Wood  
 MANAGER  
 RECORDING NO. 9902100758  
 DRAWING NAME: 13831970\PLATS\HB-FP1  
 CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PSPSE 95-7452

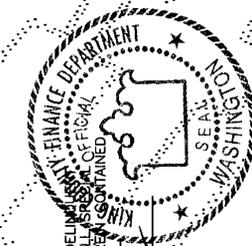
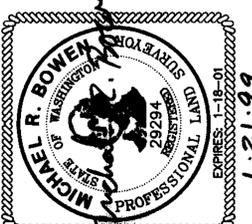
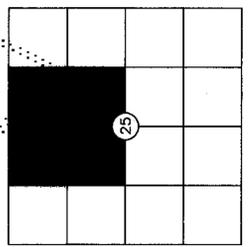
**SURVEYOR'S CERTIFICATE**  
 I, MICHAEL R. BOWEN, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF WASHINGTON; THAT THIS PLAT OF "HIGHLANDS AT BELLEVUE" IS A TRUE AND CORRECT REPRESENTATION OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION; THAT ALL CENTERLINE MONUMENTS WILL BE ACCURATELY SET AND ALL LOT AND TRACT CORNERS WILL BE STAKED CORRECTLY ON THE GROUND AS THE PUBLIC IMPROVEMENTS ARE COMPLETED; AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF ALL PLATTING REGULATIONS.  
Michael R. Bowen  
 MICHAEL R. BOWEN  
 P.L.S. NO. 29294  
 SUPERINTENDENT OF RECORDS  
 RECORDING NO. 9902100758  
 FILED FOR RECORD AT THE REQUEST OF THE CITY OF BELLEVUE THIS 10th DAY OF February, 19 99 A.D., AT 10:00 MINUTES PAST 2:00 P.M. AND; RECORDED IN VOLUME 111 OF PLATS, PAGES 23-23, RECORDS OF KING COUNTY, WASHINGTON.  
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**ESM Consulting Engineers, LLC.**  
 Civil Engineering • Land Surveying • Project Management  
 720 So. 348th Street • Federal Way, WA 98003  
 Phone: (253) 838-6113 • (253) 927-0619  
 DATE: 01-19-99  
 DRAWN BY: DJH/CAF  
 JOB NO. 138-31-970-007  
 SHEET 1 OF 9



88-8-7 ULL

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON

## NATIVE GROWTH PROTECTION AREA (NGPA)

DEDICATION OF NATIVE GROWTH PROTECTION AREAS (NGPA) ESTABLISHES, ON ALL PRESENT AND FUTURE OWNERS AND USERS OF THE LAND, AN OBLIGATION TO LEAVE UNDISTURBED ALL TREES AND OTHER VEGETATION WITHIN THE AREA, FOR THE PURPOSE OF PREVENTING HARM TO THE PROPERTY AND THE ENVIRONMENT, INCLUDING BUT NOT LIMITED TO CONTROLLING SURFACE WATER RUNOFF AND EROSION, MAINTAINING SOPE STABILITY, BUFFERING AND PROTECTING PLANTS AND ANIMAL HABITAT, EXCEPT FOR THE REMOVAL OF DISEASED OR DYING VEGETATION WHICH PRESENTS A HAZARD OR IMPEDIMENT TO AN ENHANCED PLAN REQUIRED OR APPROVED BY THE CITY. ANY WORK OR IMPLEMENTATION OF AN ENHANCED PLAN REQUIRED OR APPROVED BY THE CITY, PERMIT REQUIREMENTS REMOVAL OF BELLEVUE. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO ENFORCE THE REQUIREMENTS, TERMS, AND CONDITIONS OF THIS RESTRICTION BY ANY METHOD AVAILABLE UNDER THE LAW. THE OBLIGATION TO ENSURE THAT ALL TERMS OF THE NGPA ARE MET IS THE RESPONSIBILITY OF THE UNDERLYING OWNER.

## RETAINED VEGETATION AREA (RVA)

DEDICATION OF RETAINED VEGETATION AREAS (RVA) ESTABLISHES, ON ALL PRESENT AND FUTURE OWNERS AND USERS OF THE LAND, AN OBLIGATION TO LEAVE EXISTING HEALTHY TREES AND UNDERSTORY UNDISTURBED AND LIMITS CUTTING AND REMOVAL OF NATIVE OR COMPATIBLE SPECIES WITH GROWTH HABIT AT NATURALLY COMPARABLE TO NATIVE VEGETATION. FOR THE PURPOSE OF PREVENTING HARM TO PROPERTY AND THE ENVIRONMENT, INCLUDING BUT NOT LIMITED TO CONTROLLING SURFACE WATER RUNOFF AND EROSION, MAINTAINING SOPE STABILITY, BUFFERING AND PROTECTING PLANTS AND ANIMAL HABITAT AND FOR AESTHETIC AND OTHER PURPOSES, ANY WORK INCLUDING LANDSCAPING OR REMOVAL OF DEAD, DISEASED, OR DYING VEGETATION, IS SUBJECT TO PERMIT REQUIREMENTS OF CITY OF BELLEVUE CODES. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENFORCE THE REQUIREMENTS, TERMS, AND CONDITIONS OF THIS RESTRICTION BY ANY METHOD AVAILABLE UNDER THE LAW. THE OBLIGATION TO ENSURE THAT ALL TERMS OF THE RVA ARE MET IS THE RESPONSIBILITY OF THE UNDERLYING OWNER.

## LANDSCAPE BUFFER AREA (LBA)

DEDICATION OF LANDSCAPE BUFFER AREAS (LBA) ESTABLISHES, ON ALL PRESENT AND FUTURE OWNERS AND USERS OF THE LAND, AN OBLIGATION TO MAINTAIN AND MANAGE ALL TREES AND OTHER VEGETATION WITHIN THE AREA IN ACCORDANCE WITH THE LANDSCAPE BUFFER MANAGEMENT PLAN AS PROMULGATED AND AMENDED BY THE HIGHLANDS AT BELLEVUE HOMEOWNERS ASSOCIATION FOR THE PURPOSE OF RETAINING AND REPLACING NATIVE AND COMPATIBLE TREE AND OTHER SPECIES TO STANDARDS SET BY THE HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION HAS THE RIGHT TO ENFORCE THE REQUIREMENTS, TERMS, AND CONDITIONS OF THIS RESTRICTION BY ANY METHOD AVAILABLE UNDER THE LAW. THE CITY OF BELLEVUE IS NOT OBLIGATED TO ENFORCE THIS RESTRICTION, STANDARD CITY CLEAR AND GRADE REGULATIONS APPLY. THE OBLIGATION TO ENSURE THAT ALL TERMS OF THE LBA ARE MET IS THE RESPONSIBILITY OF THE UNDERLYING OWNER.

## TRAILS

EASEMENTS DEDICATED AS TRAILS ARE FOR NON-MOTORIZED PUBLIC USE AND CONVEY TO THE PUBLIC BENEFICIAL INTEREST WITHIN THE EASEMENT TRAILS WITHIN THE EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO MAINTAIN PUBLIC TRAILS AND TO ENFORCE THE REQUIREMENTS, TERMS AND CONDITIONS OF THE EASEMENT.

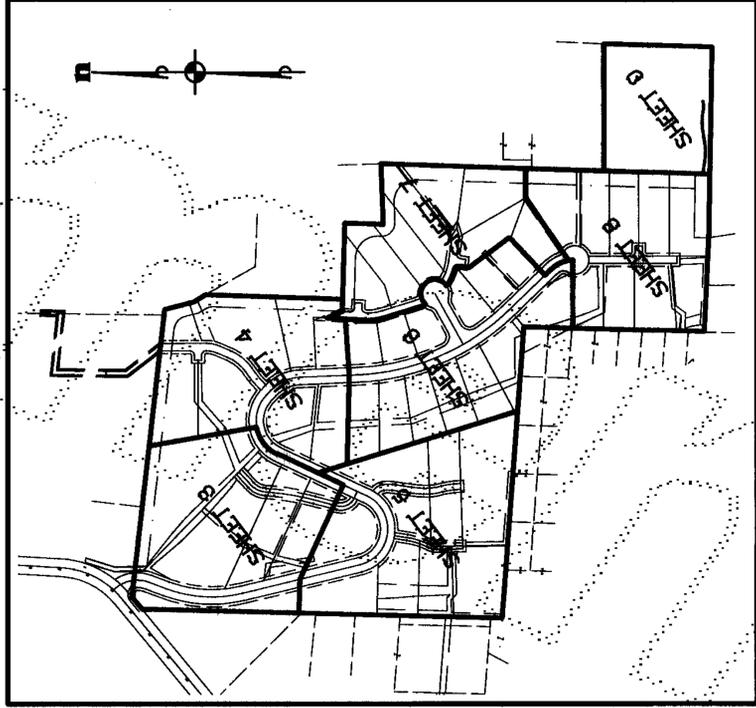
## NOTES

- LEGAL DESCRIPTION, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS ARE FROM PACIFIC NORTHWEST TITLE COMPANY OF WASHINGTON, INC. PLAT CERTIFICATE ORDER NO. 344976 DATED MAY 15 1998 AND SUPPLEMENTAL REPORTS DATED OCTOBER 15 1998 THROUGH JANUARY 15 1999. THIS SURVEY RESULT IS NOT TO BE USED FOR ANY OTHER PURPOSES UNLESS SPECIFICALLY NOTED OTHERWISE. THIS MAP HAS WHOLLY RELIED ON THE ABOVE REFERENCED TITLE REPORT TO PREPARE THIS SURVEY AND THEREFORE QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THE BOUNDARY AS SHOWN HEREON IS BASED UPON THAT RECORD OF SURVEY BY TRAD ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON.
- AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO PUGET SOUND ENERGY TO PROVIDE GAS AND ELECTRIC POWER, U.S. WEST TELEPHONE COMPANY TO PROVIDE TELEPHONE SERVICE, FOR CABLE TELEVISION AND CITY OF BELLEVUE FOR WATER AND SEWER, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, UNDER AND UPON THE EXTERIOR TO FEET, PARALLEL WITH AND ADJOINING THE STREET FRONTAGE (OF PUBLIC STREETS) OF ALL LOTS AND TRACTS, IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN UNDERGROUND DISTRIBUTION SYSTEMS WITH NECESSARY AGENTS AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THIS SERVICE UPON THE PROPERTY AND LOTS FOR THE PURPOSES HEREIN STATED. THESE EASEMENTS ENTERED UPON THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION BY THE UTILITY ALSO HEREBY GRANTED IS THE RIGHT TO USE ALL PUBLIC STREET AND ROAD RIGHTS OF WAY FOR THE SAME PURPOSES. NO LINES OR WIRES FOR THE TRANSMISSION OF ELECTRIC CURRENT OR FOR TELEPHONE USE, CABLE TELEVISION, FIRE OR POLICE SIGNALS, OR FOR OTHER PURPOSES, SHALL BE PLACED UPON ANY LOT UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO A BUILDING. ADDITIONALLY, SIDEWALKS SHALL BE PERMITTED IN SAID 10' FOOT EASEMENT.
- TRACT A IS CONVEYED TO THE OWNERS OF LOTS 41, 42 AND 43 UPON THE RECORDING OF THIS PLAT. SAID LOTS SHARE AN EQUAL AND UNDIVIDED INTEREST IN THE OWNERSHIP AND MAINTENANCE OF SAID TRACT A, SUBJECT TO EASEMENTS FOR INGRESS, EGRESS, AND FOR PUBLIC STORM DRAINAGE, SANITARY SEWER (ONLY FOR THAT PORTION DEPICTED ON SHEET 4), WATER AND ALL UTILITIES.
- TRACT B IS CONVEYED TO THE OWNERS OF LOTS 34-40, INCLUSIVE, UPON THE RECORDING OF THIS PLAT. SAID LOTS SHARE AN EQUAL AND UNDIVIDED INTEREST IN THE OWNERSHIP AND MAINTENANCE OF SAID TRACT B, SUBJECT TO EASEMENTS FOR INGRESS, EGRESS, AND FOR PRIVATE STORM DRAINAGE, SANITARY SEWER, PUBLIC WATER AND ALL UTILITIES.
- TRACT C IS CONVEYED TO THE OWNERS OF LOTS 27-33, INCLUSIVE, UPON THE RECORDING OF THIS PLAT. SAID LOTS SHARE AN EQUAL AND UNDIVIDED INTEREST IN THE OWNERSHIP AND MAINTENANCE OF SAID TRACT C, SUBJECT TO EASEMENTS FOR INGRESS, EGRESS, AND FOR PUBLIC STORM DRAINAGE, PRIVATE SANITARY SEWER, PUBLIC WATER AND ALL UTILITIES.
- TRACT D IS CONVEYED TO THE OWNERS OF LOTS 16-23, INCLUSIVE, UPON THE RECORDING OF THIS PLAT. SAID LOTS SHARE AN EQUAL AND UNDIVIDED INTEREST IN THE OWNERSHIP AND MAINTENANCE OF SAID TRACT D, SUBJECT TO EASEMENTS FOR INGRESS, EGRESS, AND FOR PUBLIC STORM DRAINAGE, SANITARY SEWER, WATER AND ALL UTILITIES.
- TRACT E IS OWNED AND MAINTAINED BY KING COUNTY.
- TRACT F IS DEDICATED TO CITY OF BELLEVUE UTILITY DEPARTMENT FOR STORM DRAIN DETENTION AND ASSOCIATED MAINTENANCE. THE STORM DRAIN DETENTION FACILITY IS THE RESPONSIBILITY OF THE CITY OF BELLEVUE. AN EASEMENT IS GRANTED TO THE HOMEOWNERS ASSOCIATION FOR THE INSTALLATION AND MAINTENANCE OF MASSIVE TREE AND LANDSCAPING.
- THE PRIVATE ROADS CONTAINED WITHIN THE PRIVATE INGRESS, EGRESS AND UTILITIES EASEMENTS SHOWN ON LOTS 1-6, INCLUSIVE, AND ON LOTS 44-48, INCLUSIVE, SHALL BE MAINTAINED BY THE OWNERS OF THESE LOTS. EASEMENT A BY LOTS 1-3, EASEMENT B BY LOTS 4-6 AND EASEMENT C BY LOTS 44-48.
- SUBJECT TO EXCEPTIONS AND RESERVATIONS CONTAINED IN DEEDS FILED UNDER RECORDING NOS. 3487835 AND 4603801, SAID INSTRUMENTS RESERVED FROM THE LANDS CONVEYED ALL COAL, OIL, PETROLEUM, GAS AND MINERALS OF EVERY NATURE WHATSOEVER IN SAID LANDS, AND ALL EASEMENTS AND RIGHTS NECESSARY FOR THE EXPLORATION, OBTAINING AND REMOVAL OF SAID COAL, OIL, PETROLEUM, GAS AND MINERALS. SEE SAID INSTRUMENTS FOR FURTHER RESERVATIONS.
- SUBJECT TO AN AGREEMENT AND THE TERMS AND CONDITIONS THEREOF REGARDING A CONTRACT FOR REIMBURSEMENT UNDER MUNICIPAL WATER AND SEWER FACILITIES ACT PER INSTRUMENT FILED UNDER RECORDING NO. 8908300615.
- SUBJECT TO THOSE AGREEMENTS AND THE TERMS AND CONDITIONS THEREOF REGARDING THE CONSTRUCTION OF STORM SEWER AND SANITARY SEWER LINES TO CITY OF BELLEVUE STANDARDS CONCURRENT WITH THE DEVELOPMENT OF THE SITE, PER INSTRUMENTS FILED UNDER RECORDING NOS. 9701170243, 9701170244, 9701170245 AND 9701170246.
- SUBJECT TO AN AGREEMENT AND THE TERMS AND CONDITIONS THEREOF REGARDING ACCESS TRACT COSTS, SANITARY SEWER, AND FRONTAGE IMPROVEMENTS PER INSTRUMENT FILED UNDER RECORDING NO. 9716020720.
- SET 1/2" REBAR AND CAP (ESM INC. I.S. NO. 15661/28281) AT ALL REAR CORNERS. SET CONCRETE NAIL IN CURB AT THE SIDE LOT LINES PRODUCED TO AN INTERSECTION WITH THE CURB LINE AND/OR 1/2" REBAR AND CAP AT ALL FRONT CORNERS.
- THE CITY OF BELLEVUE SHALL ASSIGN INDIVIDUAL ADDRESSES TO THE PRINCIPAL ENTRANCE OF EACH LOT AT THE TIME OF BUILDING PERMIT APPLICATION.
- SUBJECT TO AN EASEMENT AND THE TERMS AND CONDITIONS CONTAINED IN THAT DOCUMENT FILED UNDER RECORDING NO. 5734408, SAID EASEMENT IS FOR CABLE AND ROADWAY PURPOSES. THE DESCRIPTION CONTAINED IN SAID DOCUMENT IS NOT SUFFICIENT TO DETERMINE THE EXACT LOCATION OF THE EASEMENT.
- SUBJECT TO AN EASEMENT AND THE TERMS AND CONDITIONS CONTAINED IN THAT DOCUMENT FILED UNDER RECORDING NO. 9810071510, SAID EASEMENT IS FOR ACCESS AND UTILITIES AND IS DEPICTED ON SHEET 6, OF 9 HEREIN.
- SUBJECT TO THE EXCEPTIONS AND RESERVATIONS CONTAINED IN THAT DEED FILED UNDER RECORDING NO. 323311 SAID INSTRUMENT RESERVES ALL COAL AND MINERAL RIGHTS, GRANTS RIGHTS OF INGRESS AND EGRESS, GRANTS RIGHTS TO LAY WATER PIPES AND RUN POLE LINES AND THE RIGHT OF INGRESS AND EGRESS OVER NEIGHBORING AREAS.
- DURING THE BUILDING PERMIT STAGE FOR EACH LOT LISTED HERE A PROFESSIONAL ENGINEER QUALIFIED IN THE FIELD OF GEOTECHNICAL ENGINEERING SHOULD INSPECT THE EXPOSED FOUNDATION SUBGRADE AND THE PROPOSED FOUNDATION DESIGN. DURING THIS INSPECTION THE ENGINEER IS TO VERIFY THAT THE FOUNDATION SYSTEM WILL BE SUPPORTED ON SUITABLE SOIL SUBGRADE. THIS INSPECTION IS REQUIRED FOR THE FOLLOWING LOTS: 1, 2, 8 THROUGH 16, 19 AND 42.
- NO FENCES SHALL BE CONSTRUCTED WITHIN WILDLIFE CORRIDORS.

22) Tract A crosses the Wildlife Corridor and N.G.P.A., therefore prior to any physical alteration of this Tract's land across the Corridor and N.G.P.A., design for an underpass for Wildlife shall be submitted to the City of Bellevue for its review and approval.

## KEY TO MAP PAGES

SCALE: 1" = 300'



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188 66



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DATE: 01-19-99

DRAWN BY: DJH/CAF

JOB NO. 138-31-970-007

SHEET 2 OF 9



EXPIRES 1-18-01

1-21-99

DRAWING NAME: 138\31\970\ PLOTS\ HB-FP2

CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PSPSE 95-7452

66-2-99

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON

NOTE: THE BOUNDARY AS SHOWN HEREON IS BASED UPON THAT RECORD OF SURVEY BY TRIAD ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON.

BASIS OF HORIZONTAL DATUM:  
HELD BEARING OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 25 AS DERIVED FROM CITY OF BELLEVUE AND 53 (91) COORDINATES AT THE NORTH QUARTER CORNER OF THE NORTHWEST CORNER OF SAID SECTION 25 PER THE RECORDED SURVEY FILED UNDER RECORDING NO. 9712229002

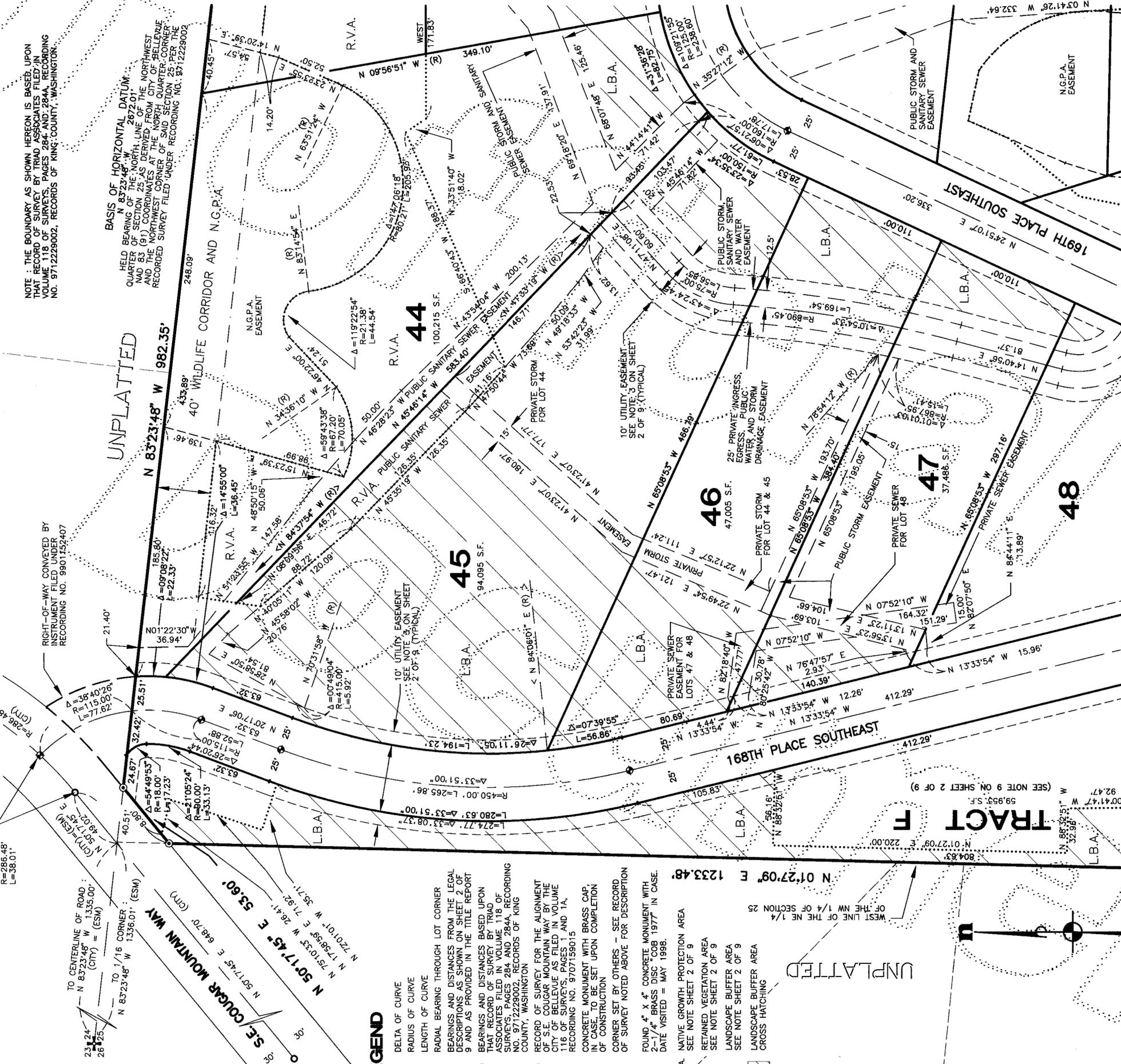
RIGHT-OF-WAY CONVEYED BY INSTRUMENT FILED UNDER RECORDING NO. 9901152407

UNPLATTED

N 85°23'48" W 982.35'

40' WILDLIFE CORRIDOR AND N.G.P.A.

N 85°23'48" W 982.35'



## LEGEND

- Δ DELTA OF CURVE
- R RADIUS OF CURVE
- L LENGTH OF CURVE
- (R) RADIAL BEARING THROUGH LOT CORNER
- (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEET 2 OF 9 AND AS PROVIDED IN THE TITLE REPORT
- (ESM) BEARINGS AND DISTANCES BASED UPON THAT RECORD OF SURVEY BY TRIAD ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON
- (CITY) RECORD OF SURVEY FOR THE ALIGNMENT OF S.E. COUGAR MOUNTAIN WAY BY THE CITY OF BELLEVUE AS FILED IN VOLUME 116 OF SURVEYS, PAGES 1 AND 1A, RECORDING NO. 9707159015
- ◆ CONCRETE MONUMENT WITH BRASS CAP IN CASE TO BE SET UPON COMPLETION OF CONSTRUCTION
- CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION
- FOUND 4" X 4" CONCRETE MONUMENT WITH 2-1/4" BRASS DISC \*COB 1977\* IN CASE DATE VISITED = MAY 1998.
- N.G.P.A. NATIVE GROWTH PROTECTION AREA SEE NOTE SHEET 2 OF 9
- R.V.A. RETAINED VEGETATION AREA SEE NOTE SHEET 2 OF 9
- L.B.A. LANDSCAPE BUFFER AREA SEE NOTE SHEET 2 OF 9
- ▨ LANDSCAPE BUFFER AREA CROSS HATCHING

UNPLATTED

TRACT F

168TH PLACE SOUTHEAST

169TH PLACE SOUTHEAST

SCALE: 1" = 60'



DRAWING NAME: 138,311,970, PLOTS\HB-PP3

CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PPSPE 95-7452



SEE SHEET 5 OF 9

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DRAWN BY: DJH/CAF SHEET 3 OF 9



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SEE SHEET 4 OF 9

MM 8-8-99

# HIGHLANDS AT BELLEVUE

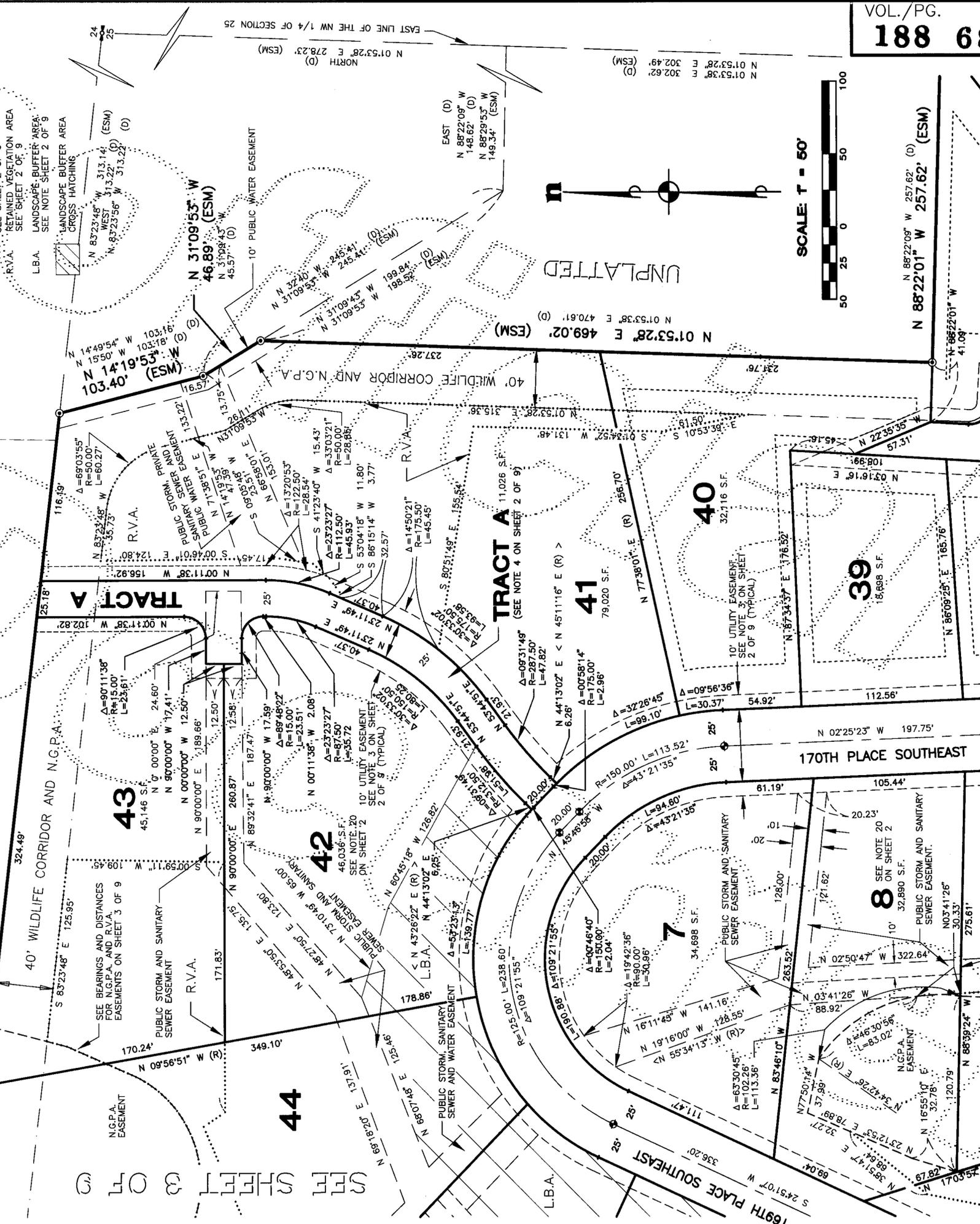
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CITY OF BELLEVUE, KING COUNTY, WASHINGTON

## LEGEND

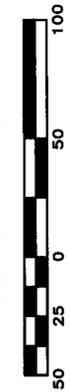
- Δ DELTA OF CURVE
- R RADIUS OF CURVE
- L LENGTH OF CURVE
- (R) RADIAL BEARING THROUGH LOT CORNER
- (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEET 2 OF 9 AND AS PROVIDED IN THE TITLE REPORT
- (ESM) BEARINGS AND DISTANCES BASED UPON ASSOCIATED RECORDS OF SURVEY BY TRADITIONAL RECORDS FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON
- ☉ CONCRETE MONUMENT WITH BRASS CAP, IN CASE, TO BE SET UPON COMPLETION OF CONSTRUCTION
- CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION
- N.G.P.A. NATIVE GROWTH PROTECTION AREA SEE SHEET 2 OF 9
- R.V.A. RETAINED VEGETATION AREA SEE SHEET 2 OF 9
- L.B.A. LANDSCAPE BUFFER AREA SEE NOTE SHEET 2 OF 9
- ▨ CROSS HATCHING

**BASIS OF HORIZONTAL DATUM :**  
HELD BEARING OF THE NORTH LINE OF THE QUARTER OF SECTION 25 DERIVED FROM THE NORTHWEST AND THE NORTHWEST CORNER OF THE QUARTER CORNER RECORDED SURVEY FILED UNDER RECORDING NO. 9712229002

N 83°23'48" W 982.35'



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SEE SHEET 6 OF 9

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DRAWING NAME : 138\31\370\ PLOTS\ HB-PP4  
CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PPSF 95-7452

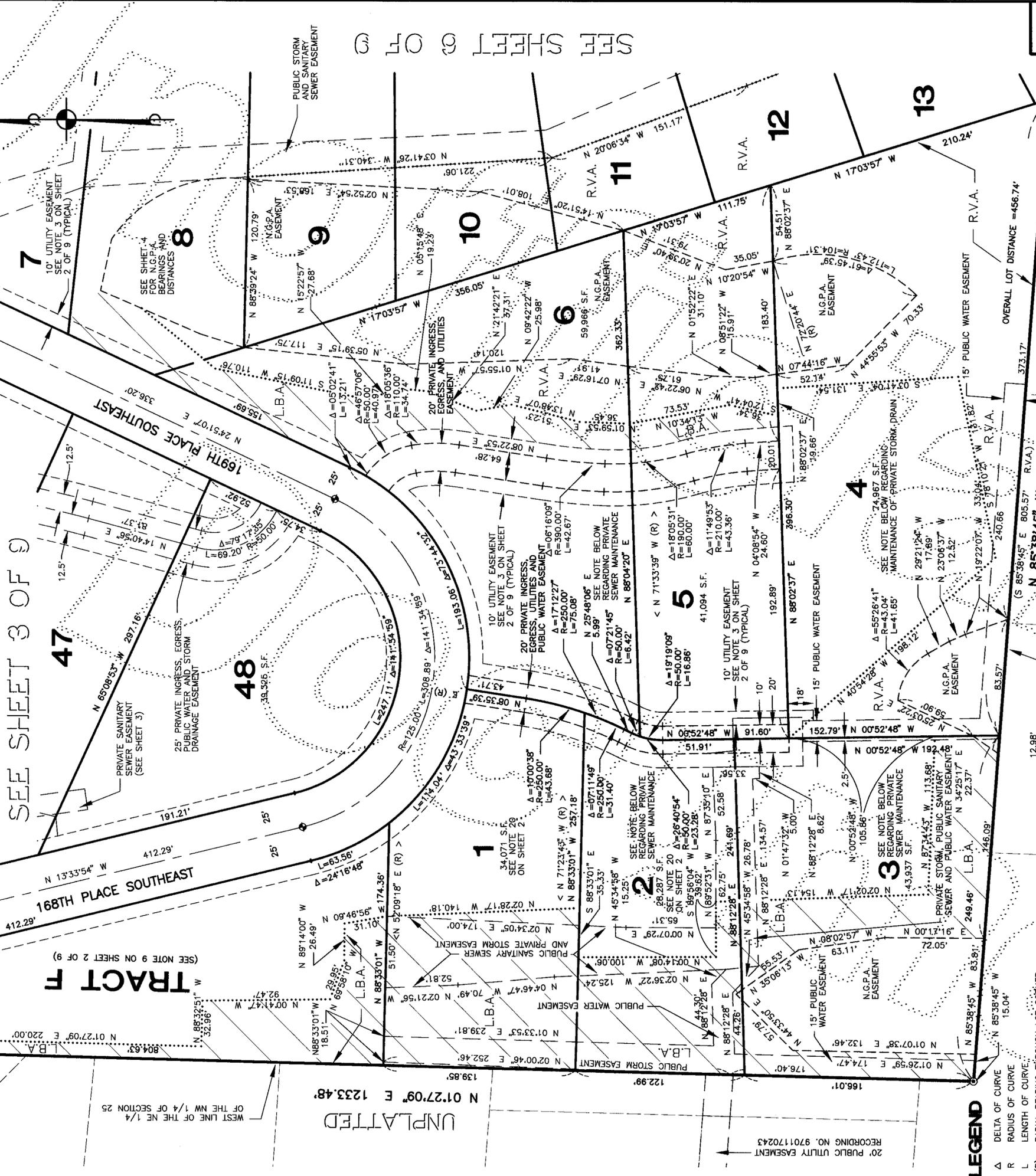
DATE: 02-08-99  
DRAWN BY: DJH/CAF  
JOB NO. 138-31-970-007  
SHEET 4 OF 9

688244

10' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 9. MAINTENANCE OF PRIVATE STORM DRAINAGE IMPROVEMENTS SHALL BE THE SOLE RESPONSIBILITY OF LOT 9.

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON



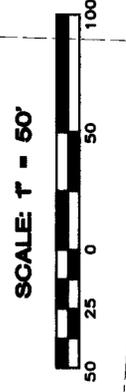
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DRAWN BY: DJH/CAF SHEET 5 OF 9



1-21-99

**NOTES** REGARDING PRIVATE SEWER AND STORM DRAINAGE  
THOSE PRIVATE STORM DRAINAGE FACILITIES LOCATED WITHIN THE SOUTHWEST PORTION OF LOT 5 WHICH ARE FOR THE SOLE BENEFIT OF LOT 4 SHALL BE MAINTAINED BY SAID LOT 4.  
THOSE PRIVATE SEWER FACILITIES LOCATED WITHIN THE NORTHEAST PORTION OF LOT 3 WHICH ARE FOR THE SOLE BENEFIT OF LOT 4 SHALL BE MAINTAINED BY SAID LOT 4.  
THOSE PRIVATE SEWER FACILITIES LOCATED WITHIN THE EASTERN PORTION OF LOT 2 WHICH ARE FOR THE SOLE BENEFIT OF LOT 6 SHALL BE MAINTAINED BY SAID LOT 6.

**LEGEND**  
 Δ DELTA OF CURVE  
 R RADIUS OF CURVE  
 L LENGTH OF CURVE  
 (R) RADIAL BEARING THROUGH LOT CORNER  
 (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEETS 2 OF 9 AND AS PROVIDED IN THE TITLE REPORT.  
 (ESM) BEARINGS AND DISTANCES BASED UPON THAT RECORD OF SURVEY BY TRIAD ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON  
 CONCRETE MONUMENT WITH BRASS CAP IN CASE TO BE SET UPON COMPLETION OF CONSTRUCTION  
 CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION  
 N.G.P.A. NATIVE GROWTH PROTECTION AREA  
 R.V.A. RETAINED VEGETATION AREA  
 L.B.A. LANDSCAPE BUFFER AREA  
 SEE NOTE SHEET 2 OF 9  
 SEE SHEET 2 OF 9  
 LANDSCAPE BUFFER AREA  
 CROSS HATCHING

SEE SHEET 3 OF 9

SEE SHEET 6 OF 9

TRACT F  
(SEE NOTE 9 ON SHEET 2 OF 9)

169TH PLACE SOUTHEAST

168TH PLACE SOUTHEAST

UNPLATTED

UNPLATTED

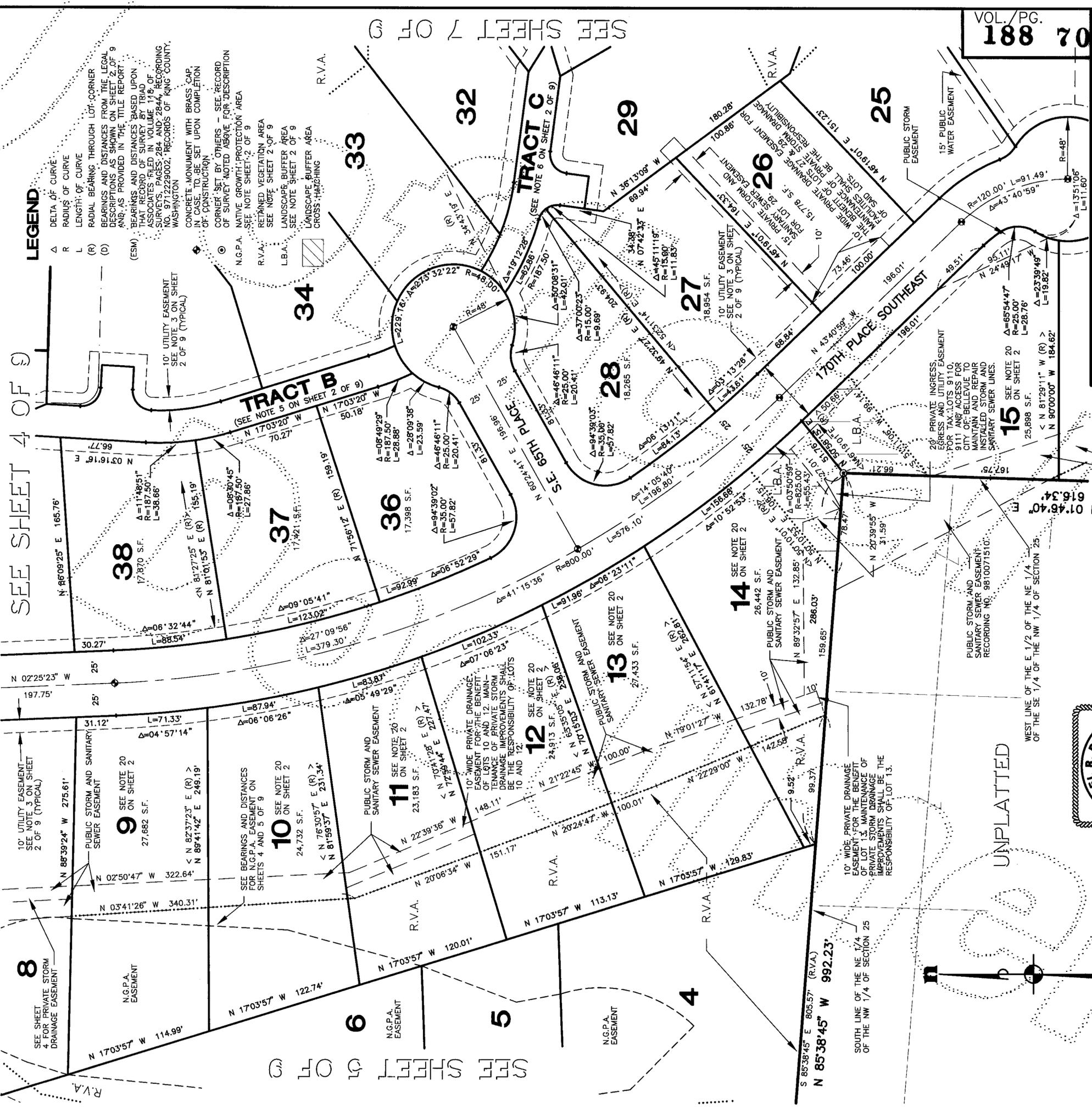
WEST LINE OF THE NE 1/4 OF SECTION 25

SOUTH LINE OF THE NE 1/4 OF THE NW 1/4 OF SECTION 25

DRAWING NAME: 138\31\970\PLOTS\HB-FPS  
**CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PSPSE 95-7452**

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON



## LEGEND

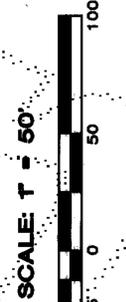
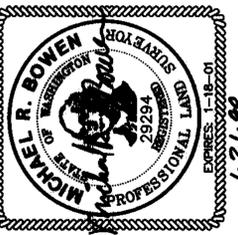
- Δ DELTA OF CURVE
- R RADIUS OF CURVE
- L LENGTH OF CURVE
- (R) RADIAL BEARING THROUGH LOT-CORNER
- (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEET 2, OF 9 AND AS PROVIDED IN THE TITLE REPORT
- (ESM) BEARINGS AND DISTANCES BASED UPON ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON
- CONCRETE MONUMENT WITH BRASS CAP, IN CASE TO BE SET UPON COMPLETION OF CONSTRUCTION
- ⊙ CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION OF SURVEY
- N.G.P.A. NATIVE GROWTH PROTECTION AREA
- R.V.A. RETAINED VEGETATION AREA
- L.B.A. LANDSCAPE BUFFER AREA
- ▨ LANDSCAPE BUFFER AREA
- ▨ LANDSCAPE BUFFER AREA
- ▨ CROSS-HATCHING



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SHEET	6 OF 9



DRAWING NAME : 138\31\970\PLOTS\HB-FP6  
CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PSPSE 95-7452  
EXPIRES 1-18-01  
1-21-99

SEE SHEET 3 OF 9  
PUBLIC STORM AND SANITARY SEWER EASEMENT - SEE SHEET 8 OF 9 FOR TIES TO LOT

UNPLATTED

SCALE 1" = 50'

DRAWING NAME : 138\31\970\PLOTS\HB-FP6

CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PSPSE 95-7452

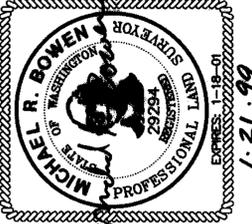
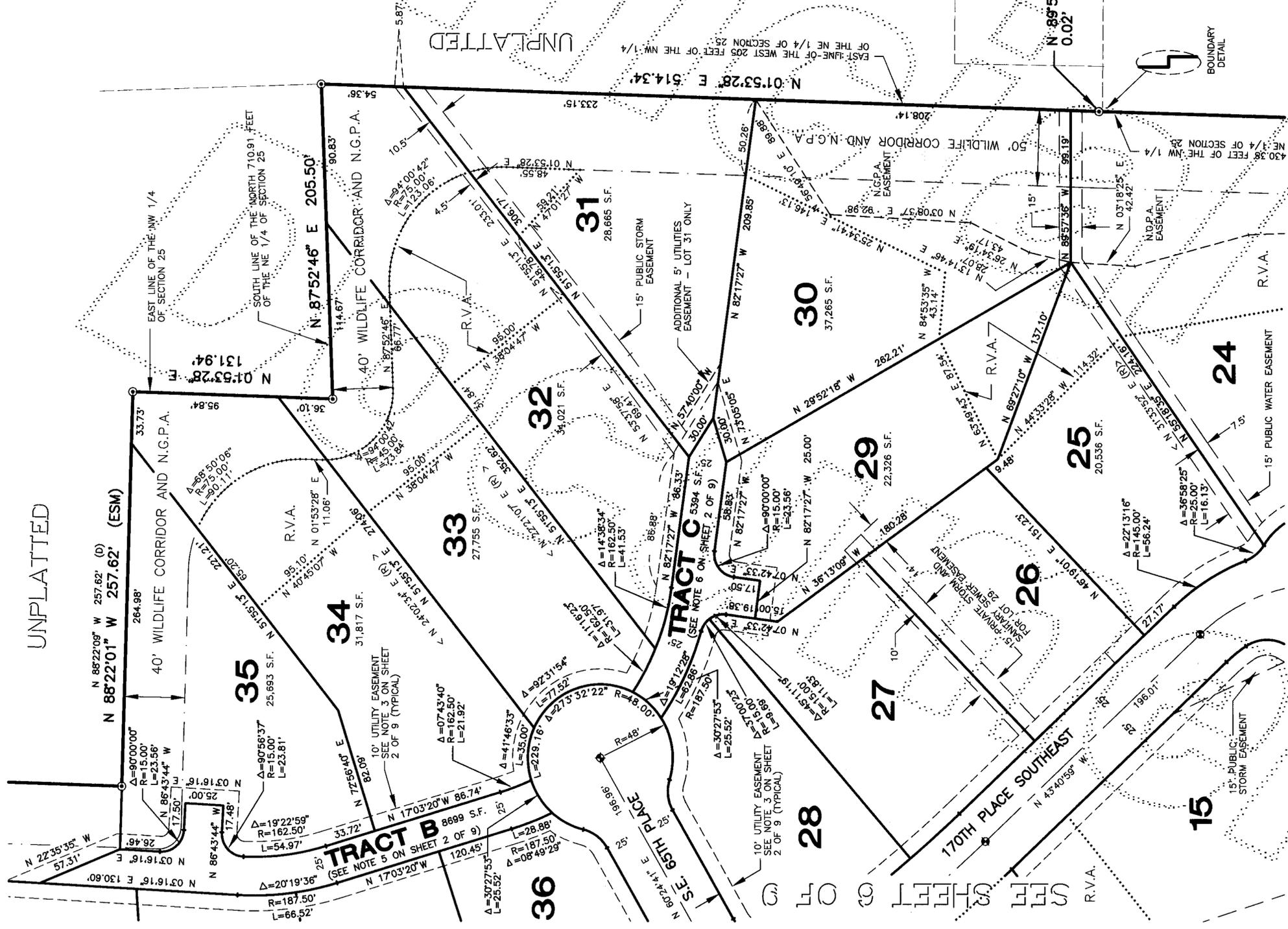
EXPIRES 1-18-01  
1-21-99

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON

UNPLATTED

- LEGEND**
- Δ DELTA OF CURVE
  - R RADIUS OF CURVE
  - L LENGTH OF CURVE
  - (R) RADIAL BEARING THROUGH LOT CORNER
  - (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEET 2 OF 9 AND AS PROVIDED IN THE TITLE, REPORT AND ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON
  - (ESM) CONCRETE MONUMENT WITH BRASS CAP IN CASE TO BE SET UPON COMPLETION OF CONSTRUCTION
  - ☉ CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION
  - N.G.P.A. NATIVE GROWTH PROTECTION AREA
  - R.V.A. RETAINED VEGETATION AREA



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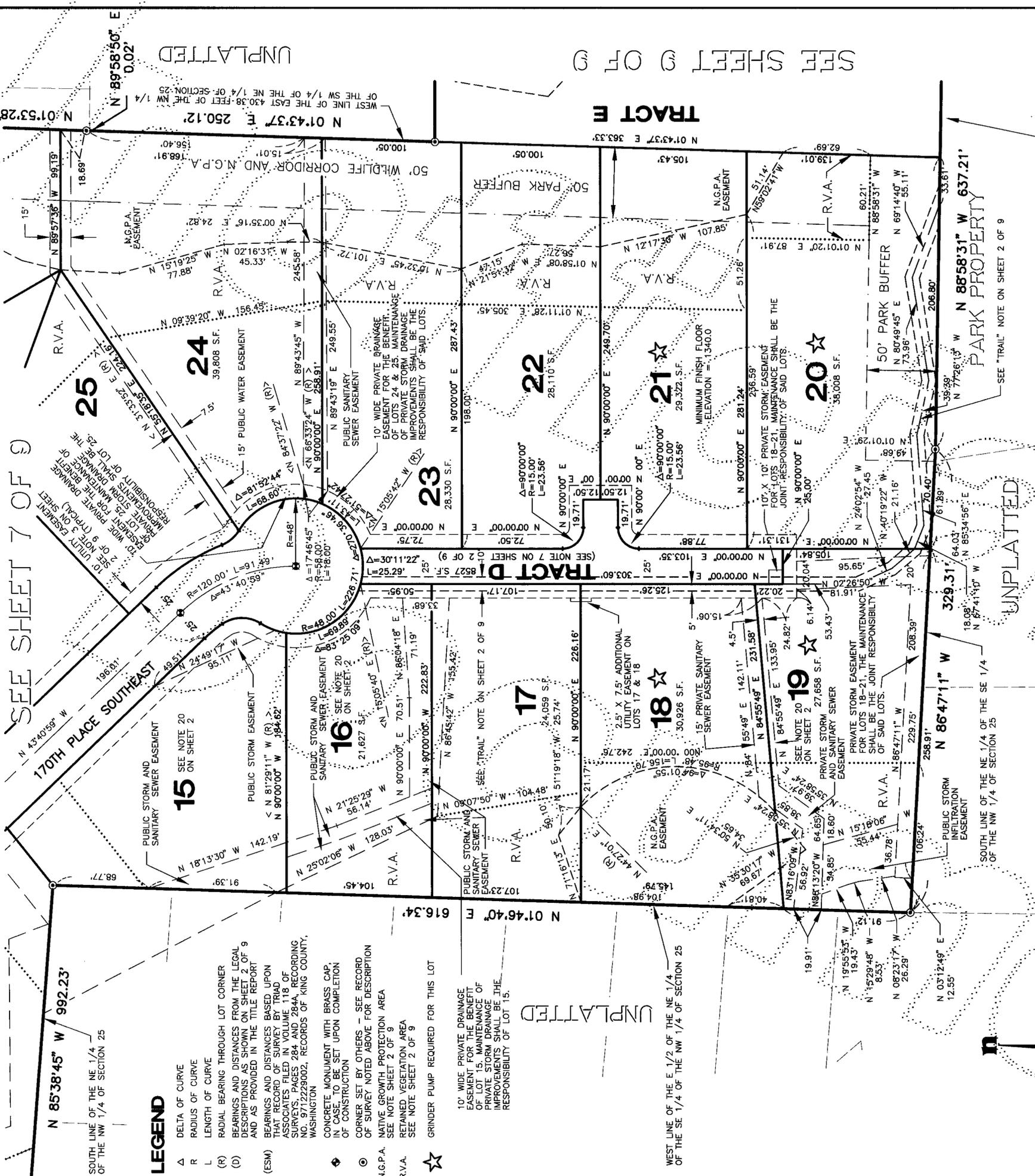
JOB NO. 138-31-970-007  
SHEET 7 OF 9

SEE SHEET 8 OF 9

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON

SEE SHEET 7 OF 9



## LEGEND

- Δ DELTA OF CURVE
- R RADIUS OF CURVE
- L LENGTH OF CURVE
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- (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEET 2 OF 9 AND AS PROVIDED IN THE TITLE REPORT
- (ESM) BEARINGS AND DISTANCES BASED UPON THAT RECORD OF SURVEY BY TRIAD ASSOCIATES FILED IN VOLUME 118 OF SURVEYS, PAGES 284 AND 284A, RECORDING NO. 9712229002, RECORDS OF KING COUNTY, WASHINGTON
- ◆ CONCRETE MONUMENT WITH BRASS CAP, TO BE SET UPON COMPLETION OF CONSTRUCTION
- ⊙ CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION
- N.G.P.A. NATIVE GROWTH PROTECTION AREA
- R.V.A. RETAINED VEGETATION AREA
- ☆ GRINDER PUMP REQUIRED FOR THIS LOT

10' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 15. MAINTENANCE OF DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF LOT 15.

WEST LINE OF THE E 1/2 OF THE NE 1/4 OF SECTION 25  
OF THE SE 1/4 OF THE NW 1/4 OF SECTION 25

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## BASIS OF VERTICAL DATUM

ORIGINATING BENCHMARK - CITY OF BELLEVUE BENCHMARK NO. 232  
P.K. NAIL WITH CITY OF BELLEVUE DISC #808 AT THE SOUTHEAST  
CORNER OF THE INTERSECTION OF S.E. COUGAR MOUNTAIN WAY AND  
166TH WAY S.E. ELEVATION = 1001.94



SCALE: 1" = 50'



DRAWING NAME : 138\31\970\ PLOTS\ HB-PP8  
CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PFPSE 95-7452

DATE: 01-19-99  
DRAWN BY: DJH/CAF

JOB NO. 138-31-970-007  
SHEET 8 OF 9

728-2890

SEE SHEET 9 OF 9

TRACT E

PARK PROPERTY

SEE "TRAIL" NOTE ON SHEET 2 OF 9

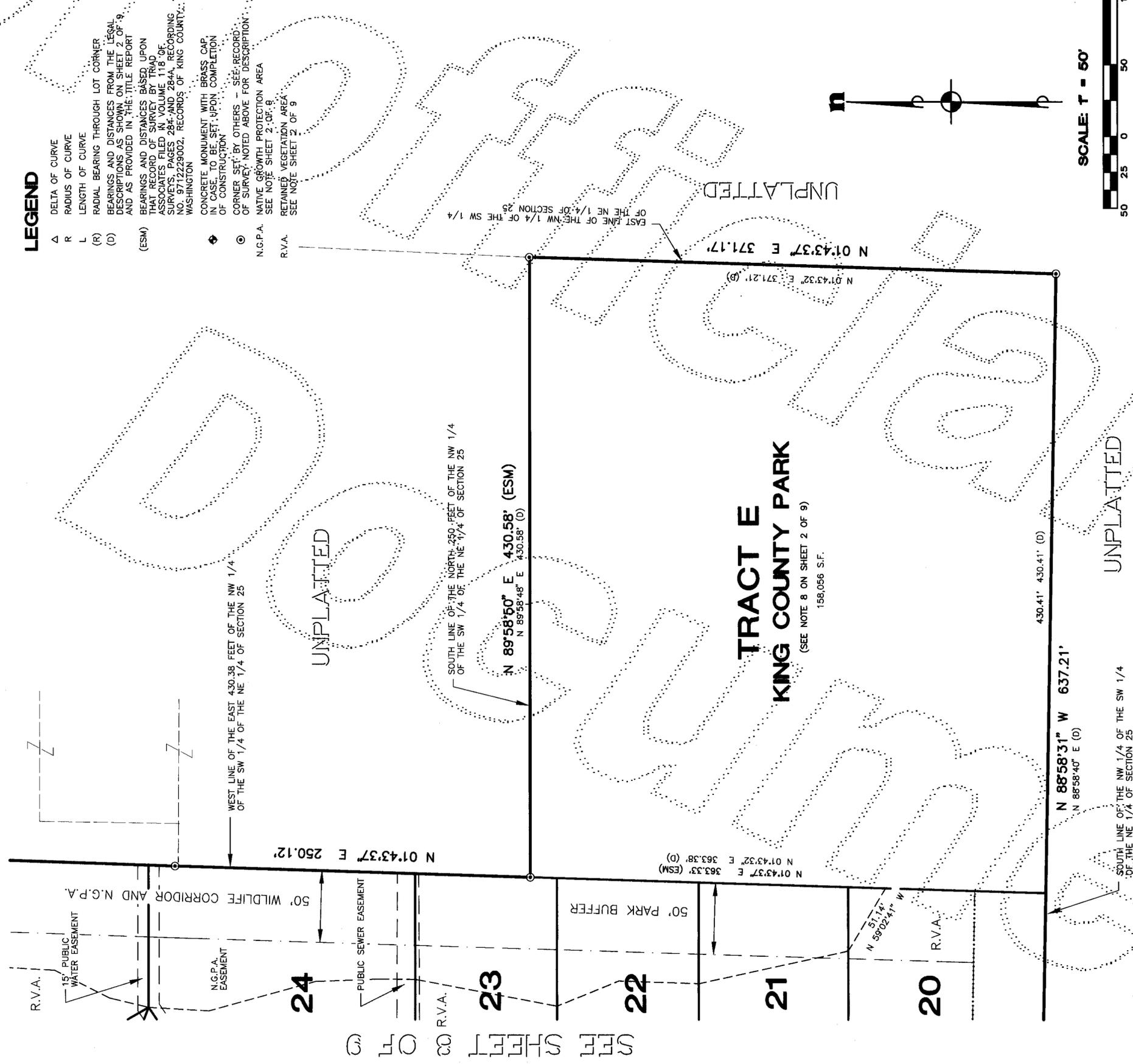
UNPLATTED

UNPLATTED

UNPLATTED

# HIGHLANDS AT BELLEVUE

A PORTION OF THE NORTH HALF OF SECTION 25, TWP. 24 N., RGE. 5 E., W.M.  
CITY OF BELLEVUE, KING COUNTY, WASHINGTON



## LEGEND

- Δ DELTA OF CURVE
- R RADIUS OF CURVE
- L LENGTH OF CURVE
- (R) RADIAL BEARING THROUGH LOT CORNER
- (D) BEARINGS AND DISTANCES FROM THE LEGAL DESCRIPTIONS AS SHOWN ON SHEET 2 OF 9 AND AS PROVIDED IN THE TITLE REPORT
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- ⊙ CORNER SET BY OTHERS - SEE RECORD OF SURVEY NOTED ABOVE FOR DESCRIPTION. SEE NOTE SHEET 2 OF 9
- N.G.P.A. NATIVE GROWTH PROTECTION AREA. SEE NOTE SHEET 2 OF 9
- R.V.A. RETAINED VEGETATION AREA. SEE NOTE SHEET 2 OF 9

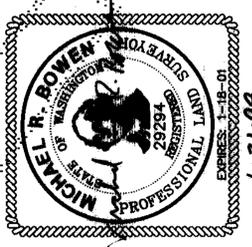
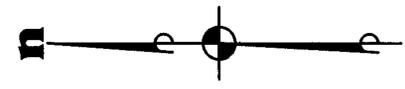
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SHEET 9 OF 9



6-21-99

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CITY OF BELLEVUE APPLICATION NOS. PP 89-2866 AND PPSF 95-7452