



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 11511 MAIN ST., P.O. BOX 90012  
 BELLEVUE, WA 98009-9012

## DETERMINATION OF NON-SIGNIFICANCE

**PROPONENT:** Alan Foltz, Waterfront Construction

**LOCATION OF PROPOSAL:** 425 Shoreland Drive SE

**NAME & DESCRIPTION OF PROPOSAL:** Myhrvold Bulkhead Repair

Review of removal of an existing bulkhead and replacement with a battered rock wall, gravel beach, cove, and shoreline planting spanning the property frontage on Lake Washington.

**FILE NUMBER:** 13-107282-WE

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on 5/30/13
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

*[Handwritten Signature]*  
 Environmental Coordinator

5/16/2013  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

- State Department of Fish and Wildlife
- State Department of Ecology,
- Army Corps of Engineers
- Attorney General
- Muckleshoot Indian Tribe



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** Myhrvold Bulkhead Repair

**Proposal Address:** 425 Shoreland Drive SE

**Proposal Description:** Application for a Critical Areas Land Use Permit associated with removal of an existing vertical timber bulkhead and soldier piling to be replaced with a battered rock bulkhead, beach cove and gravel beach which spans the property located on Lake Washington. A Shoreline Exemption Letter (13-107282-WE) is associated with this approval.

**File Number:** 12-117676-LO

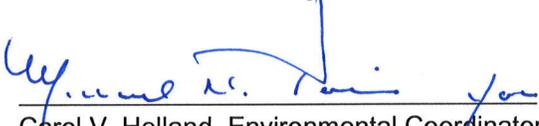
**Applicant:** Alan Foltz, Waterfront Construction Inc.

**Decisions Included:** Critical Areas Land Use Permit  
(Process II. 20.30P)

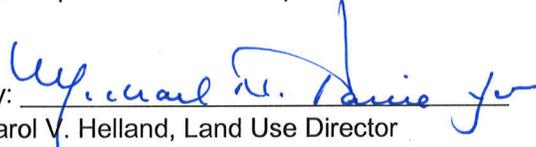
Shoreline Exemption Letter  
(13-107282-WE)

**Planner:** Reilly Pittman, Land Use Planner

**State Environmental Policy Act  
Threshold Determination:** Determination of Non-Significance

  
Carol V. Helland, Environmental Coordinator  
Development Services Department

**Director's Decision:** Approval with Conditions  
Michael A. Brennan, Director  
Development Services Department

By:   
Carol V. Helland, Land Use Director

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**Application Date:** March 14, 2013  
**Complete Application Date:** March 14, 2013  
**Notice of Application Date:** March 21, 2013  
**Decision Publication Date:** May 16, 2013  
**Appeal Deadline:** May 30, 2013

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For information on how to appeal a project proposal, visit the Permit Center at City Hall or call 425-452-6800. Appeal of the decision or SEPA Threshold Determination must be made to the City of Bellevue City Clerk's Office by 5 p.m. on the date noted above for the appeal deadline.

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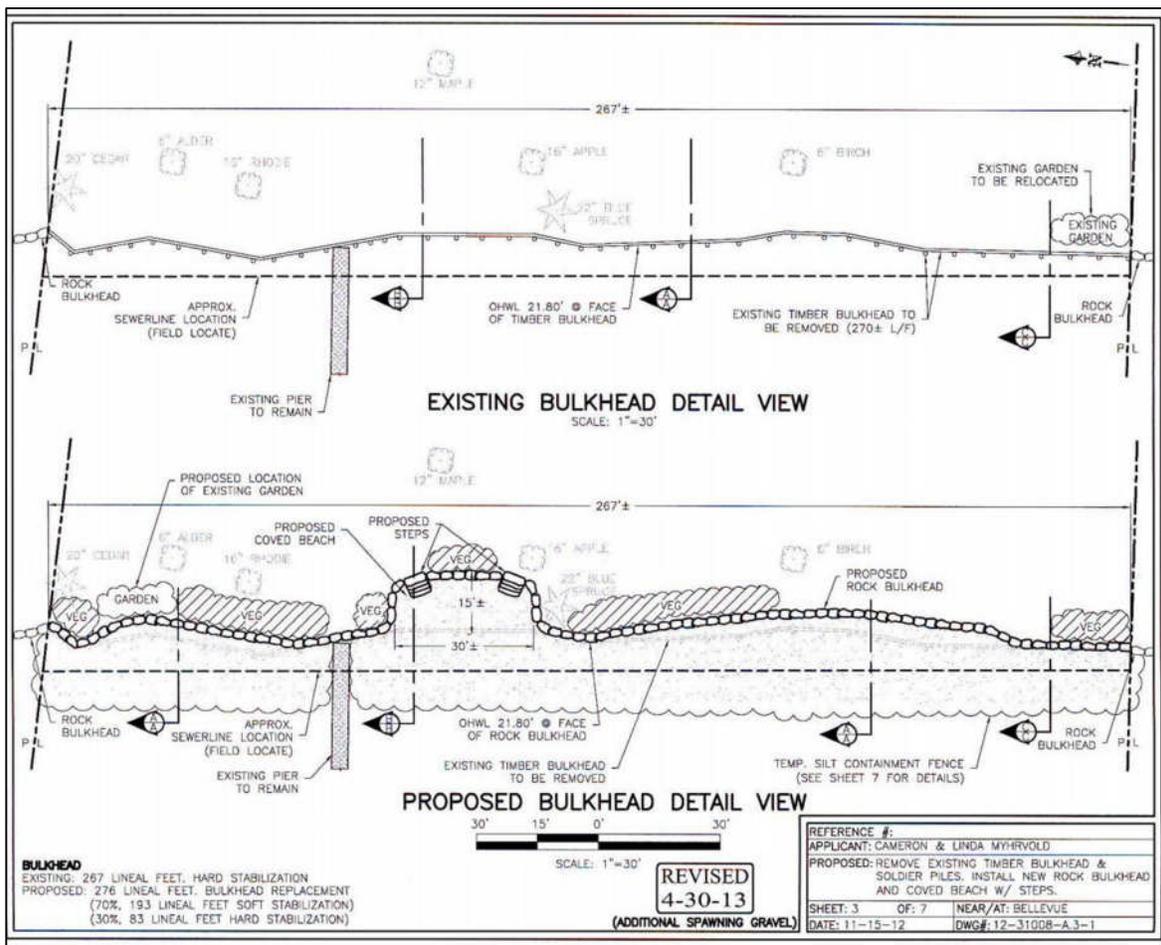
## Attachments

1. Site Plan – Enclosed
2. Biological Evaluation – In File
3. SEPA Environmental Checklist – In File
4. Permit forms and documents – In File

**I. Proposal Description**

The applicant proposes to remove an existing vertical timber bulkhead and replace it with a batter rock bulkhead, beach cove, and gravel beach. Shoreline planting totaling 1, 386 square feet is also proposed. The existing wall will be removed and the shoreline will be moved landward where a new battered rock wall will be constructed. A 30-foot wide by 15 feet long beach cove will be created along the shoreline. A gravel beach will be installed in front of the new bulkhead with 335 cubic yards of gravel spanning the lake frontage of the property. Figure 1 below show the existing shoreline and the proposed replacement.

**Figure 1**



**II. Site Description, Zoning, and Land Use**

**A. Site Description**

The project site is located at 425 Shoreland Drive SE in the Southwest Bellevue Subarea. The site is adjacent to Lake Washington and is surrounded by other residential properties. The property is developed with a house and associated improvements located on the western portion of the property near the lake. Most of the property consists of vegetated

steep slopes. See Figure 2 for existing site condition.

**Figure 2**



**B. Zoning**

The property is zoned R-1.8, single-family residential. The project is allowed in this zone.

**C. Land Use Context**

The property has a Comprehensive plan Land Use Designation of SF-L (Single Family Low Density). The project is consistent with this land use.

**D. Critical Areas On-Site**

**i. Shorelines**

Shorelines provide a variety of functions including shade, temperature control, water purification, woody debris recruitment, channel, bank and beach erosion, sediment delivery, and terrestrial-based food supply (Gregory et al. 1991; Naiman et al. 1993; Spence et al.1996).

Shorelines provide a wide variety of functions related to aquatic and riparian habitat, flood control and water quality, economic resources, and recreation, among others. Each function is a product of physical, chemical, and biological processes at work within the overall landscape. In lakes, these processes take place within an integrated system (ecosystem) of coupled aquatic and riparian habitats (Schindler and Scheuerell 2002). Hence, it is important to have an ecosystem approach which incorporates an understanding of shoreline functions and values.

**III. Consistency with Land Use Code Requirements:**

**A. Zoning District Dimensional Requirements:**

The proposal appears to be generally in conformance with the dimensional requirements of the R-1.8 zone. No structures or change to impervious surface are proposed.

**B. Critical Areas Overlay District LUC 20.25H**

The City of Bellevue Land Use Code Critical Areas Overlay District (LUC 20.25H) establishes performance standards and procedures that apply to development on any site which contains in whole or in part any portion designated as critical area, critical area buffer or structure setback from a critical area or buffer. The project area is within Lake Washington and is subject to the requirements of LUC 20.25E.080.E for replaced stabilization.

**i. Consistency with Shoreline Overlay District LUC 20.25E.080.E:**

Conformance with this section requires properties to use soft stabilization unless it is not technically feasible. Soft stabilization is the use of measures that use natural materials engineered to provide shoreline stabilization while mimicking or preserving the functions and values of the shoreline critical area. Hard stabilization is the use of structures like walls that use vertical or nearly vertical interfaces with the water. An applicant must demonstrate why

soft stabilization is not technically feasible due to site conditions, infrastructure location, cost, and erosion risk. Property owners can propose alternative stabilization measures through the critical areas report process of LUC 20.25H as has been done for this project. This proposal is unique as it proposes to place 335 cubic yards of gravel to create shallow habitat in front of a new battered rock bulkhead that is located further landward of the Ordinary High Water Mark than the current bulkhead. Placement of a gravel beach on this scale is not a common soft stabilization method in Bellevue. The battered rock bulkhead is a softer stabilization method than the existing vertical timber bulkhead; however the rockery is still a wall that will create a near vertical interface with the water that could be potentially avoided by battering the wall back at a shallower slope than proposed.

The stabilization proposed on this site includes both hard stabilization provided by the rock wall and soft elements provided by the gravel beach, cove, and planting. The owners have a desire to maintain some recreational space on their property which is predominantly encumbered by steep topography. The wave action along the lake makes the proposed wall verticality necessary to maintain the usable area that exists which is adjacent to the shoreline. The proposed wall also allows for existing significant vegetation along the shoreline to be retained and keeps the existing interface with the dock and stabilization on adjacent properties. The softer elements of the proposal include a new beach cove and gravel beach which spans the entire shoreline frontage. The existing location of the OHWM will be moved further landward and the gravel will create a shallower slope in front of the wall that will aid fish habitat and provide some refuge for juvenile salmon. The critical areas report process allows for proposals providing unique design not anticipated by the code. The placement of the proposed wall in combination with the gravel beach and shoreline planting will result in a shoreline with improved critical areas function and value exceeding that which currently exists. Placement of a gravel beach in front of a bulkhead is supported by the US Army Corps of Engineers and is one of their best management practices for shoreline stabilization.

The gravel beach and cove provide the bulk of the soft stabilization elements in this proposal. In order to ensure that the gravel beach remains and functions as designed the beach is required to be monitored and maintained for 5 years per LUC 20.25H.220. A monitoring plan shall be submitted as part of the clearing and grading permit that addresses how the gravel beach will be monitored, anticipated maintenance actions, contingency measures and establishes some performance standards to evaluate the gravel beach. The goal of the monitoring is to ensure that the beach erosion reaches equilibrium so that the gravel will remain on the property to function as intended for anticipated life of the design. The monitoring and maintenance period can be completed after three years if the monitoring shows the beach has reached equilibrium and meets the proposed performance standards. An assurance device will be required prior to issuance of the clearing and grading permit that is based on a cost estimate for monitoring the gravel beach installation. **See Section X for a related condition of approval.**

#### **IV. Public Notice and Comment**

Application Date:	March 14, 2013
Public Notice (500 feet):	March 21, 2013
Minimum Comment Period:	April 4, 2013

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin and Seattle Times on March 21, 2013. It was mailed to property owners within 500 feet of the project site. No comments were received.

#### **V. Summary of Technical Reviews**

##### **A. Clearing and Grading**

The Clearing and Grading Division of the Development Services Department has reviewed the proposed site development for compliance with Clearing and Grading codes and standards and approved the application.

#### **VI. State Environmental Policy Act (SEPA)**

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes are expected to mitigate potential environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

##### **A. Earth, Air, and Water**

Earth movement will result from removal of the existing bulkhead and the placement of the proposed rock bulkhead that will be further landward than the existing wall. Gravel fill will be placed in front of the new bulkhead to soften the shoreline and provide shallow habitat. Some disturbance of the lake bed will result. The site will be required to comply with the City's BMPs and sediment and erosion controls for clearing and grading as part of the clearing and grading permit.

##### **B. Animals**

The property is adjacent to Lake Washington which does support salmonid species, some of which are listed as threatened under the Endangered Species Act. The work will be done during the allowed construction window period and the result will be the improvement of the shoreline by providing shallow habitat.

**C. Plants**

Existing vegetation along the shoreline is retained and 1,386 square feet of native shoreline planting will be installed.

**D. Noise**

The site is adjacent to single-family residences whose residents are most sensitive to disturbance from noise during evening, late night and weekend hours when they are likely to be at home. Construction noise will be limited by the City's Noise Ordinance (Chapter 9.18 BCC) which regulates construction hours and noise levels. **See Section X for a related condition of approval.**

**VII. Changes to Proposal Due to Staff Review**

The applicant was required to provide more explanation regarding the proposed shoreline stabilization to show how the shoreline is being softened by the proposal and how other techniques would not be appropriate at this location.

**VIII. Decision Criteria**

**A. 20.25H.255. Critical Areas Report Decision Criteria**

**The Director may approve, or approve with modifications, a proposal to reduce the regulated critical area buffer on a site where the applicant demonstrates:**

- 1. The modifications and performance standards included in the proposal lead to levels of protection of critical area functions and values at least as protective as application of the regulations and standards of this code.**

The proposed bulkhead replacement provides critical area function and values at least as protective as that provided by the existing wall or required soft stabilization.

- 2. Adequate resources to ensure completion of any required restoration, mitigation and monitoring efforts;**

The gravel beach is required to be monitored for at least for five years with an option to end monitoring after three years. The monitoring is required to be guaranteed by an assurance device. **See Conditions of Approval in Section X of this report.**

- 3. The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site; and**

The modifications and performance measures in this proposal are not detrimental to the functions and values of the shoreline.

- 4. The resulting development is compatible with other uses and development in the same land use district.**

The project is a compatible use with the surrounding uses.

**B. 20.30P.140 Critical Area Land Use Permit Decision Criteria – Decision Criteria**

**The Director may approve, or approve with modifications an application for a Critical Area Land Use Permit if:**

**1. The proposal obtains all other permits required by the Land Use Code;**

The applicant must obtain approval of clearing and grading permit 13-107283-GH. The project must obtain any Federal and State Permits required and a copy of these approvals shall be submitted to the City to building permit issuance. **See Conditions of Approval in Section X of this report.**

**2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;**

The project uses the best available construction techniques and results in a reduction of the impact on critical areas and buffers.

**3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and ;**

As discussed in Section III of this report, the performance standards of LUC 20.25E are being met.

**4. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;**

The proposed activity does not impact public services or facilities.

**5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and**

The project is required to monitor and maintain the gravel beach per a five year monitoring plan to be submitted prior to issuance of the clearing and grading permit.

**6. The proposal complies with other applicable requirements of this code.**

As discussed in this report, the proposal complies with all other applicable requirements of the Land Use Code.

**IX. Conclusion and Decision**

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the Critical Areas Land Use Permit to replace the existing bulkhead as described in this report. **Approval of this Shoreline Substantial Development Permit does not constitute a permit for construction. A building permit is required and all plans are**

**subject to review for compliance with applicable City of Bellevue codes and standards.**

**Note - Expiration of Critical Area Permit Approval:** In accordance with LUC 20.30P.150, a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a building permit or other necessary development permits within one year of the effective date of the approval. LUC 20.30P.150 allows for a greater time period for expiration. The required monitoring and maintenance of the gravel beach may require more than one instance of gravel installation. In order to allow the required maintenance without further land use approval the expiration of this permit is extended to five years from the date of approval.

**X. Conditions of Approval**

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Applicable Ordinances	Contact Person
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC Title 20	Reilly Pittman, 425-452-4350
Noise Control- BCC 9.18	Reilly Pittman, 425-452-4350

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

**1. Clearing and Grading Permit Approval:** Approval of this Critical Areas Land Use Permit and Shoreline Substantial Development Permit does not constitute an approval of a development permit. Permit 13-107283-GH is required to be approved and issued. This permit has a maximum life of three years which can allow for future gravel maintenance of the beach. If monitoring lasts five years as required a subsequent clearing and grading permit may be required to maintain the beach. Applications for development permits must be submitted and approved. Plans submitted as part of subsequent permit applications shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140  
Reviewer: Reilly Pittman, Development Services Department

**2. Maintenance and Monitoring Plan:** The gravel beach is required to be maintained and monitored for five years. A plan is required to be submitted prior to issuance of the clearing and grading permit. The plan must include performance standards for the beach, anticipated maintenance, monitoring methods, contingencies. The plan must also include an annual report to Land Use staff regarding the status of the beach and

maintenance needed. If after three years the beach has reached equilibrium or is otherwise stable as defined in the plan to be submitted the monitoring can be discontinued.

Authority: Land Use Code 20.25H.220

Reviewer: Reilly Pittman, Development Services Department

- 3. Cost Estimate:** A cost estimate for the monitoring and maintenance of the gravel beach is required to be submitted prior to issuance of the clearing and grading permit in order to provide a basis for the required assurance device.

Authority: Land Use Code 20.25H.220

Reviewer: Reilly Pittman, Development Services Department

- 4. Assurance Device:** A maintenance surety is required to be submitted prior to issuance of the clearing and grading permit. The amount of the surety will be based on the cost estimate for the monitoring and maintenance. The surety will be in the amount of 100 percent of the cost estimate.

Authority: Land Use Code 20.25H.220

Reviewer: Reilly Pittman, Development Services Department

- 5. Land Use Inspection Required:** Inspection of complete shoreline is required to be completed by the Land Use Planner as part of the clearing and grading permit inspection process.

Authority: Land Use Code 20.25H.220

Reviewer: Reilly Pittman, Development Services Department

- 6. State and Federal Permits:** Any permits from the State or US Army Corps shall be obtained. All required permits and approvals must be received by the applicant and presented to the City prior issuance of the building permit. Potential permits under a JARPA include Hydraulic Permit Approval (HPA) and Section 401 Water Quality Certification from the State and Section 10 and Section 404 approvals from the US Army Corps of Engineers.

Authority: Land Use Code 20.25E.080

Reviewer: Reilly Pittman, Development Services Department

- 7. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless

Myhrvold Bulkhead Repair

13-109929-LO

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expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

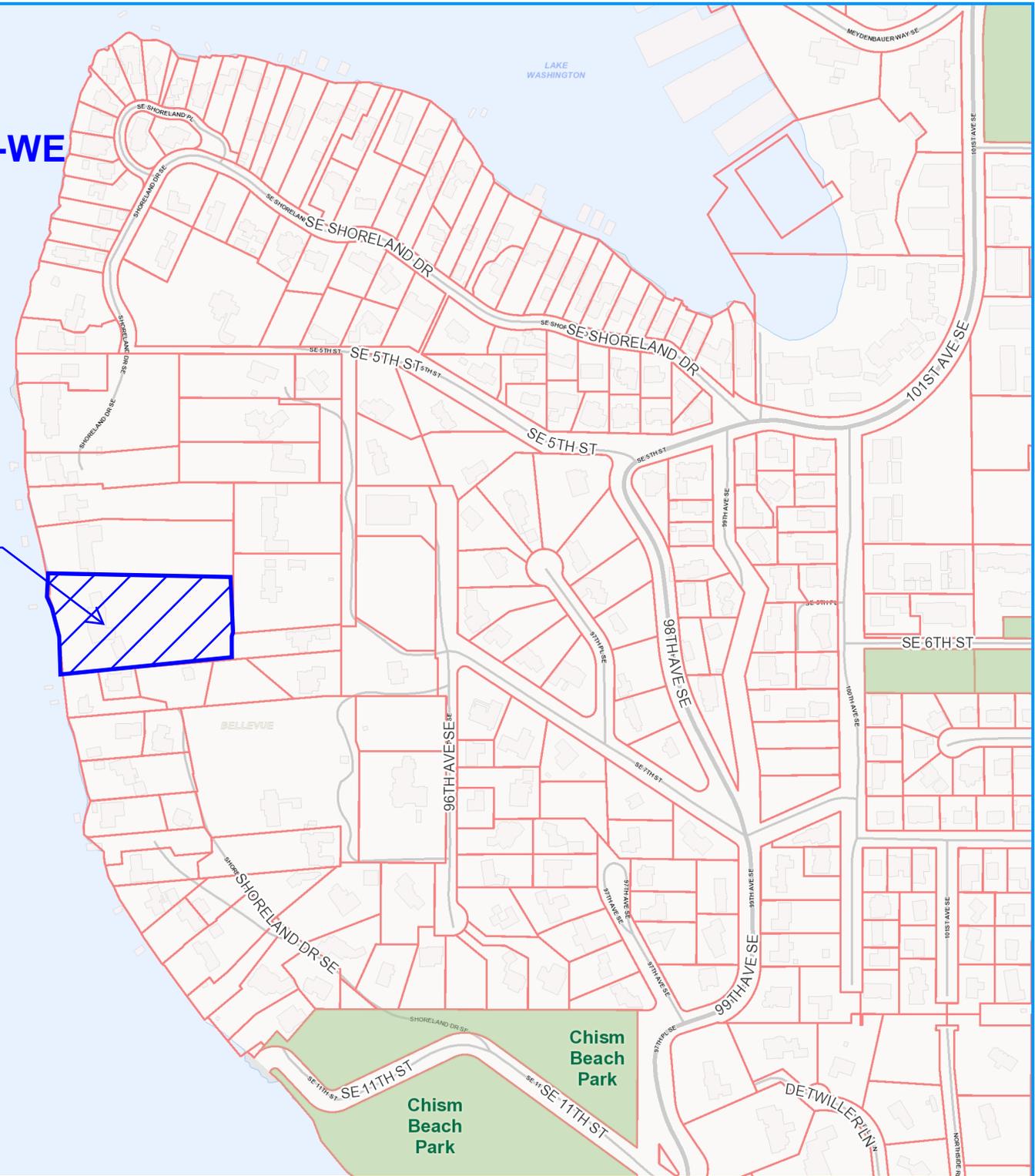
Authority: Bellevue City Code 9.18

Reviewer: Reilly Pittman, Development Services Department

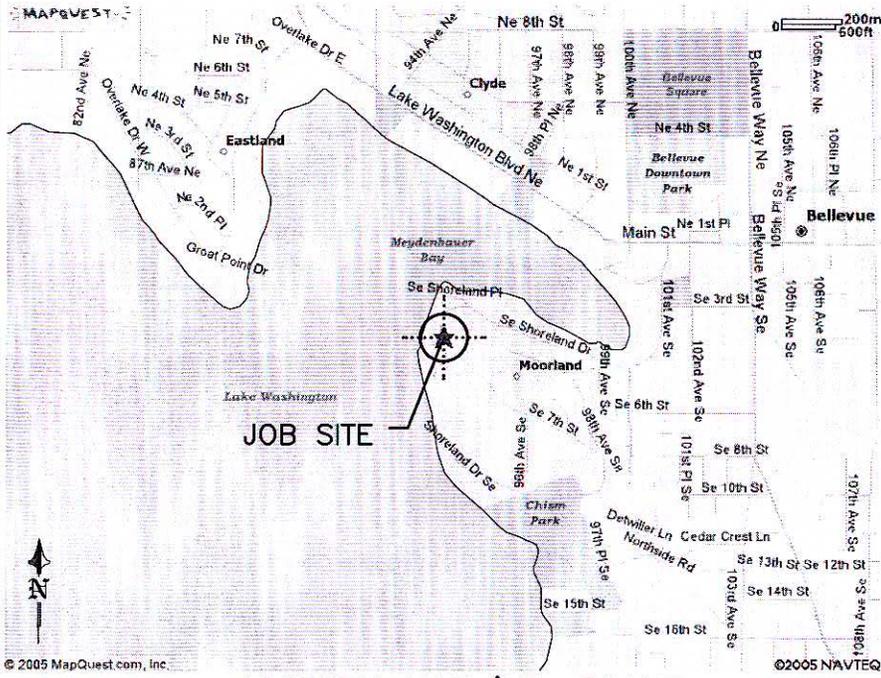
# Myhavold Bulkhead Repair

File Number:  
13-109929-LO and 13-107282-WE

Project Site  
425 Shoreland Drive SE



PROJECT DESIGNED BY:  
*Waterfront Construction Inc.*  
 THIS DOCUMENT IS **PROPRIETARY** PROPERTY OF WATERFRONT CONSTRUCTION INC., AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WATERFRONT CONSTRUCTION INC.



VICINITY MAP/NO SCALE

**LEGAL DESCRIPTION**

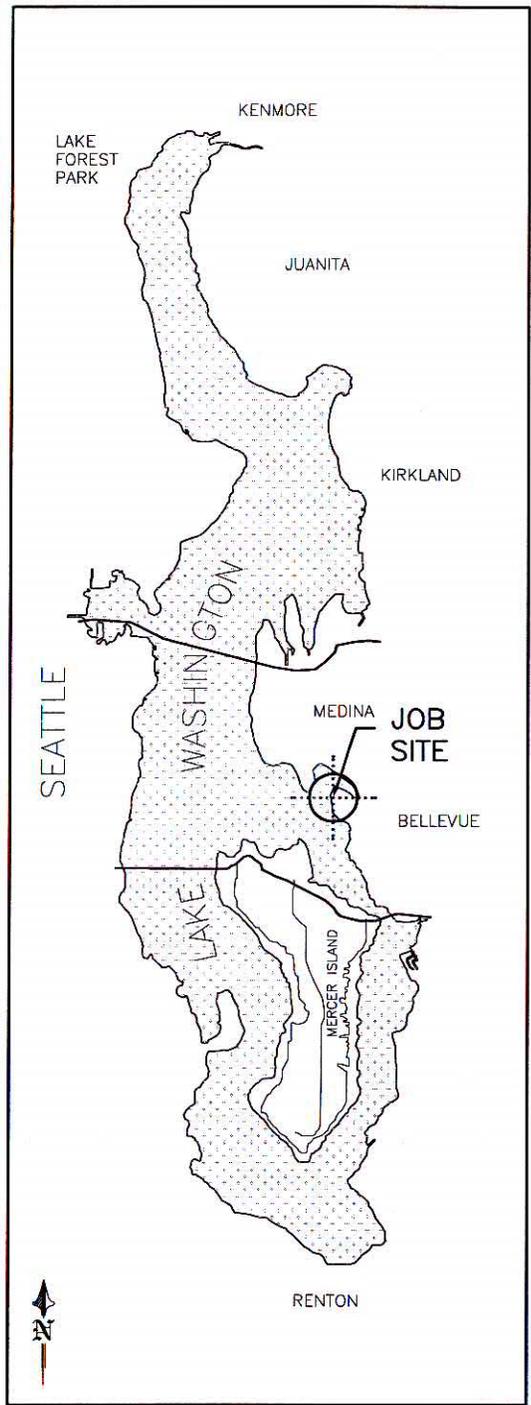
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 TAXLOT #: 562730 0197

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LAT: 47.604455 (47° 36' 16.04" N)  
 LONG: -122.214563 (122° 12' 52.43" W)

REVISED  
 4-30-13

(ADDITIONAL SPAWNING GRAVEL)



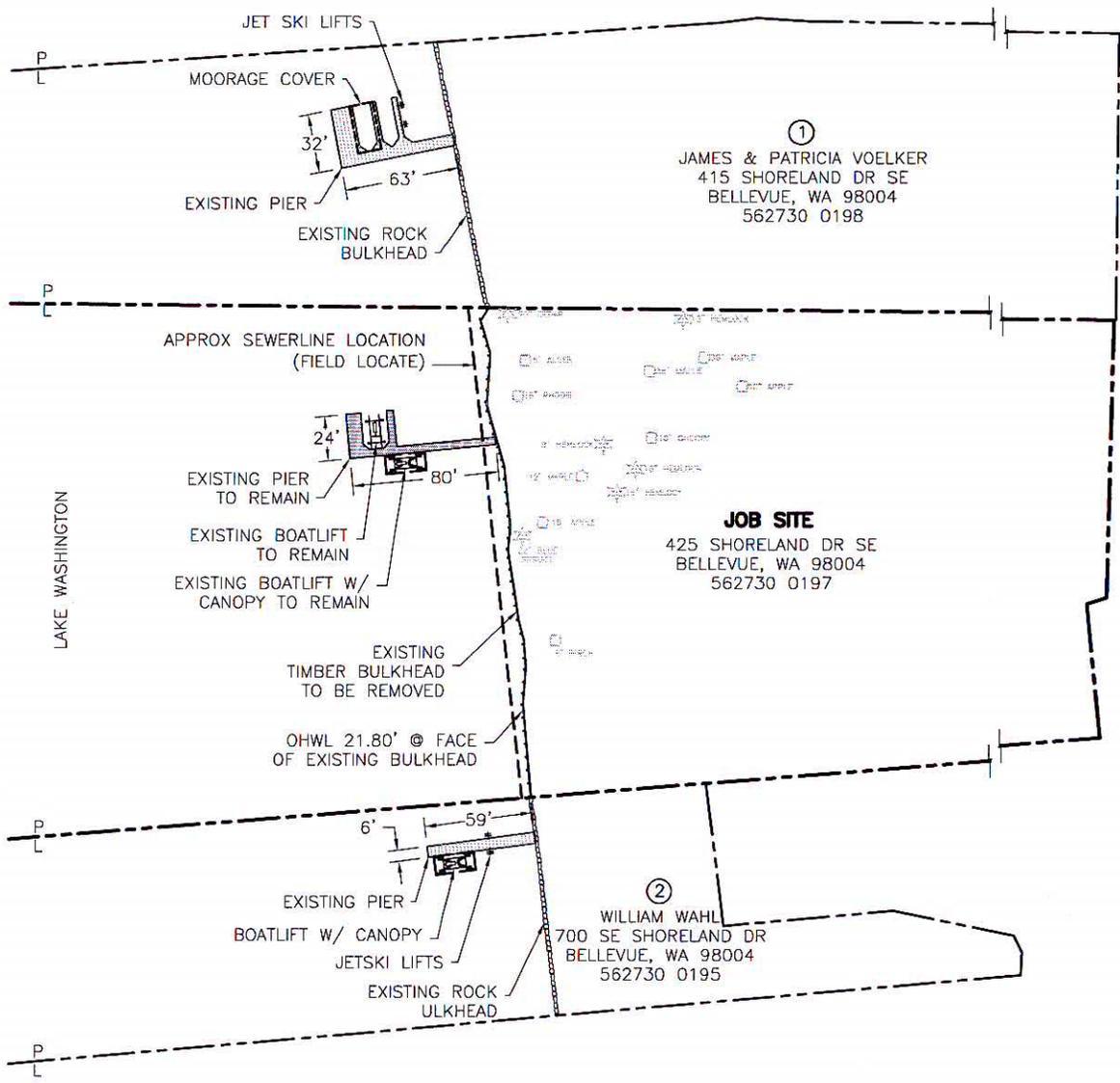
AREA MAP/NO SCALE

PURPOSE: RESTORE AND ENHANCE BANK STABILIZATION
DATUM: C.O.E. 0.0' EST 1919
ADJACENT OWNERS:
① JAMES & PATRICIA VOELKER 415 SHORELAND DR SE BELLEVUE, WA 98004
② WILLIAM WAHL 700 SE SHORELAND DR BELLEVUE, WA 98004

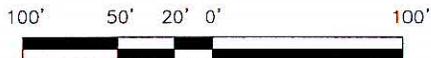
PROJECT NAME: MYHRVOLD
REFERENCE #:
SITE LOCATION ADDRESS:  425 SHORELAND DR SE BELLEVUE, WA 98004
DWG#: 12-31008-A.1-1

PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVERED BEACH W/ STEPS.		
IN: LAKE WASHINGTON		
NEAR: BELLEVUE		
COUNTY: KING	STATE: WA	
APPL BY: CAMERON & LINDA MYHRVOLD		
SHEET: 1	OF: 7	DATE: 11-15-12

PROJECT DESIGNED BY:  
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**PLOT PLAN**

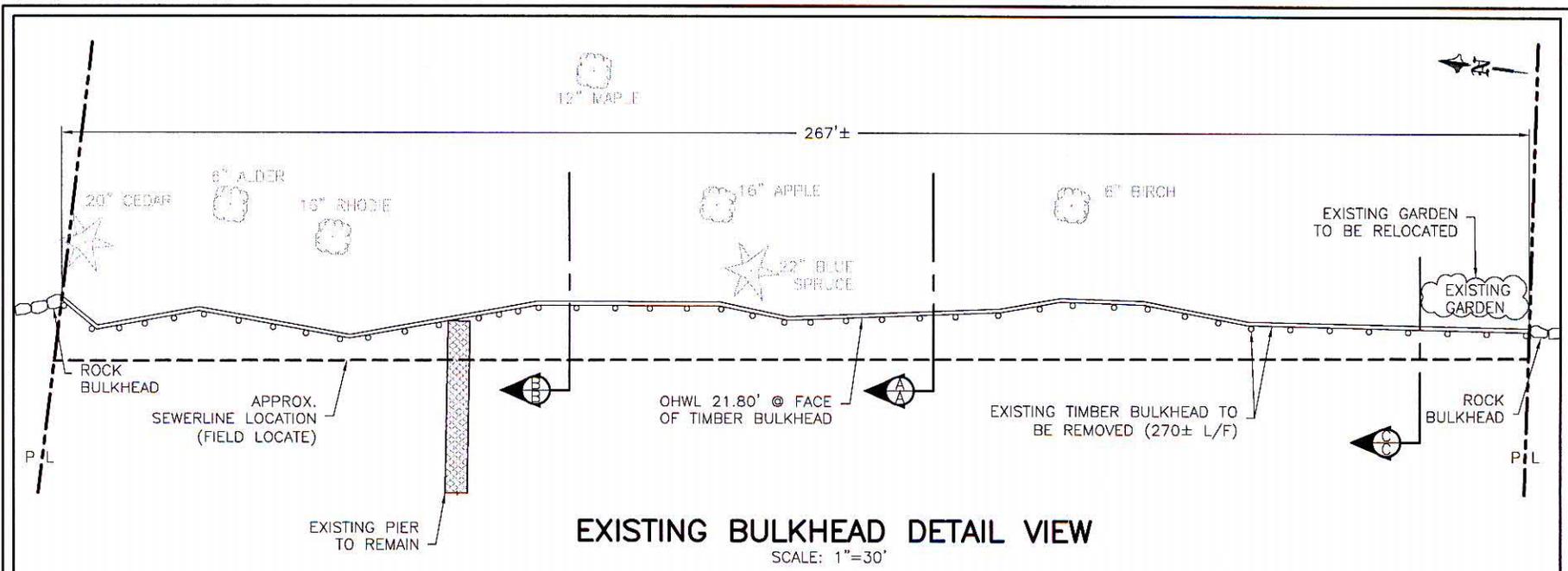


SCALE: 1"=100'

**REVISED**  
**4-30-13**

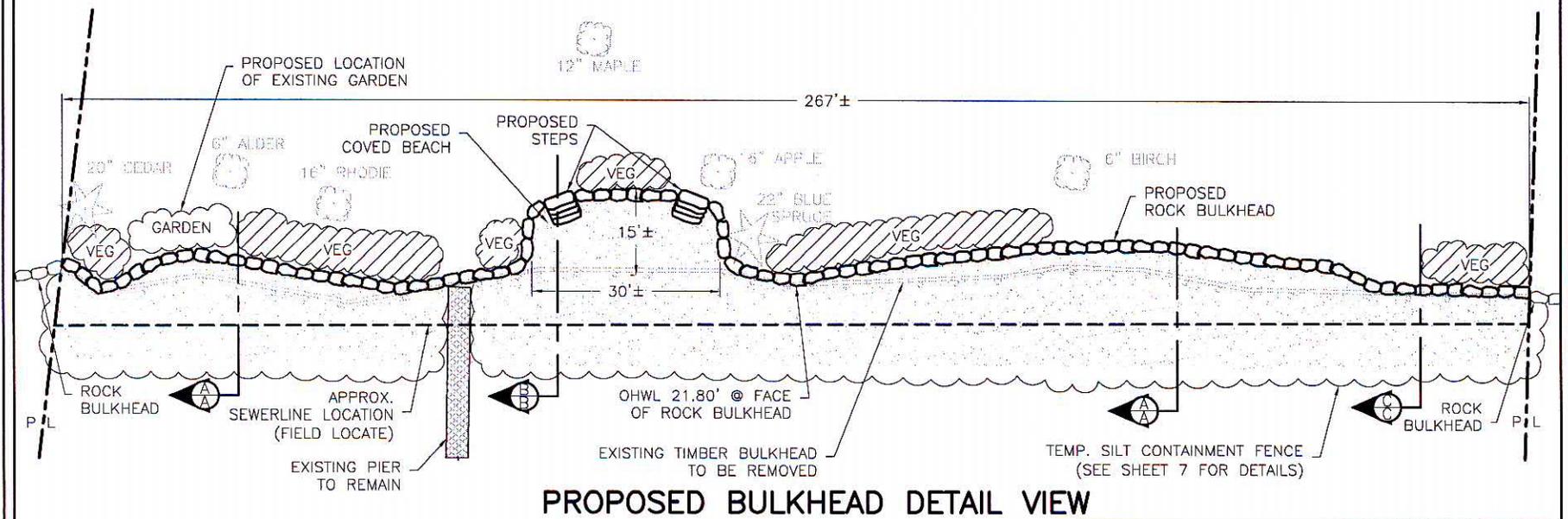
(ADDITIONAL SPAWNING GRAVEL)

REFERENCE #:		
APPLICANT: CAMERON & LINDA MYHRVOLD		
PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVED BEACH W/ STEPS.		
SHEET: 2	OF: 7	NEAR/AT: BELLEVUE
DATE: 11-15-12		DWG#: 12-31008-A.2-1

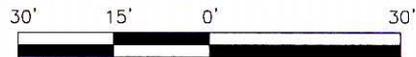


**EXISTING BULKHEAD DETAIL VIEW**

SCALE: 1"=30'



**PROPOSED BULKHEAD DETAIL VIEW**



SCALE: 1"=30'

**REVISED**  
**4-30-13**

(ADDITIONAL SPAWNING GRAVEL)

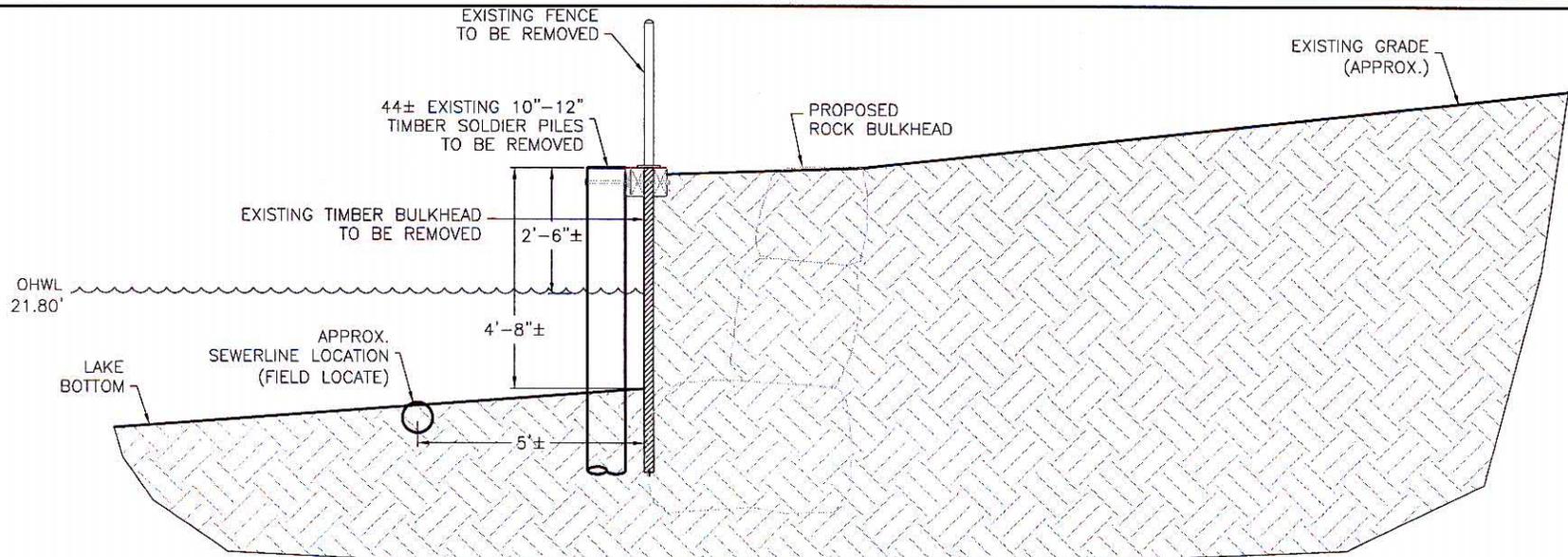
**BULKHEAD**  
EXISTING: 267 LINEAL FEET. HARD STABILIZATION  
PROPOSED: 276 LINEAL FEET. BULKHEAD REPLACEMENT  
(70%, 193 LINEAL FEET SOFT STABILIZATION)  
(30%, 83 LINEAL FEET HARD STABILIZATION)

REFERENCE #:		
APPLICANT: CAMERON & LINDA MYHRVOLD		
PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVERED BEACH W/ STEPS.		
SHEET: 3	OF: 7	NEAR/AT: BELLEVUE
DATE: 11-15-12	DWG#: 12-31008-A.3-1	

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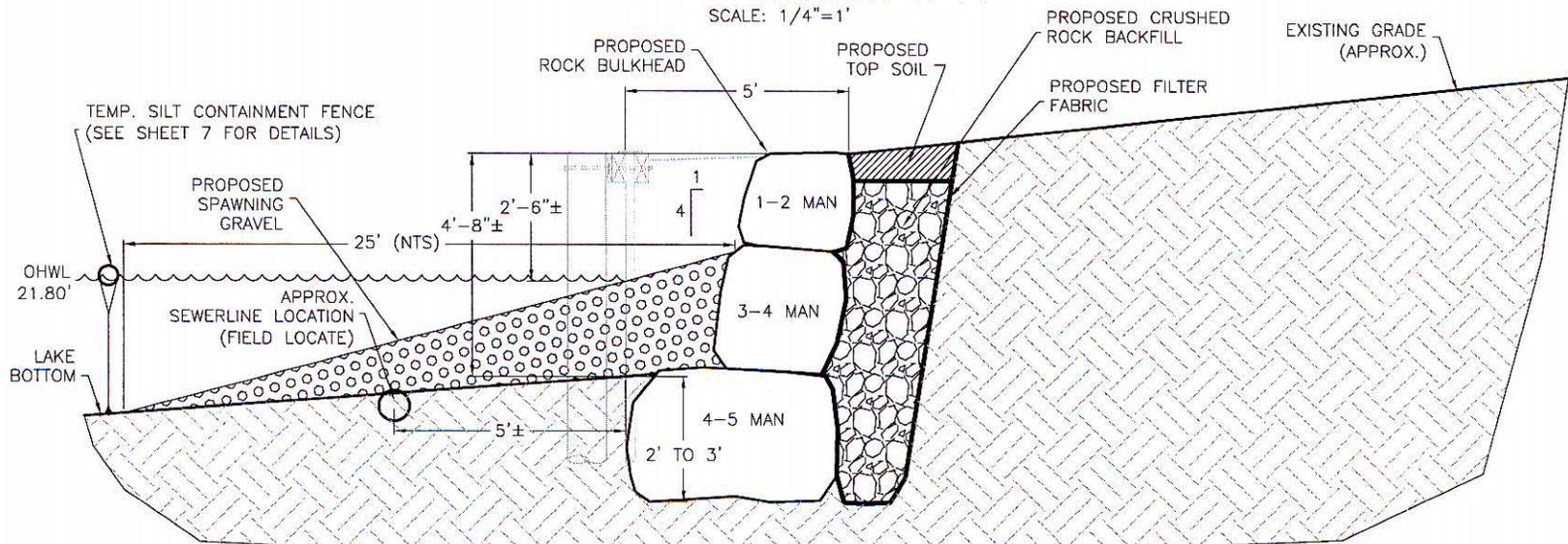
PROJECT DESIGNED BY: Waterfront Construction Inc.

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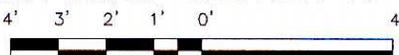


**EXISTING SECTION A-A**

SCALE: 1/4"=1'



**PROPOSED SECTION A-A**



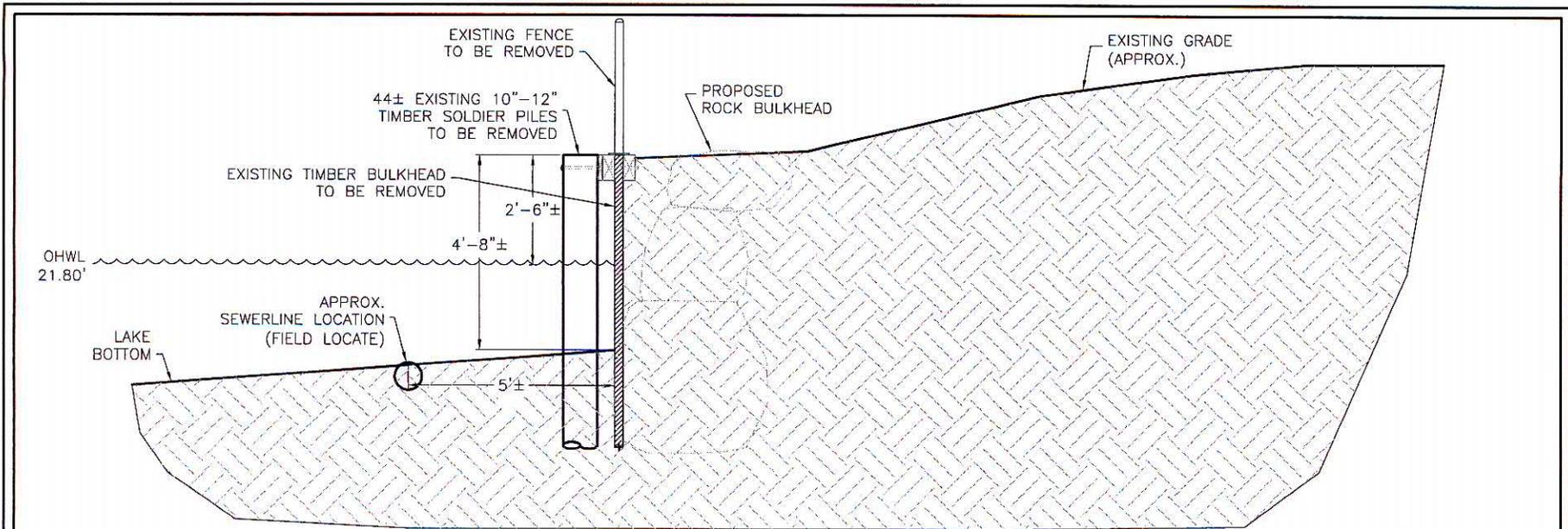
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**REVISED**  
**4-30-13**

(ADDITIONAL SPAWNING GRAVEL)

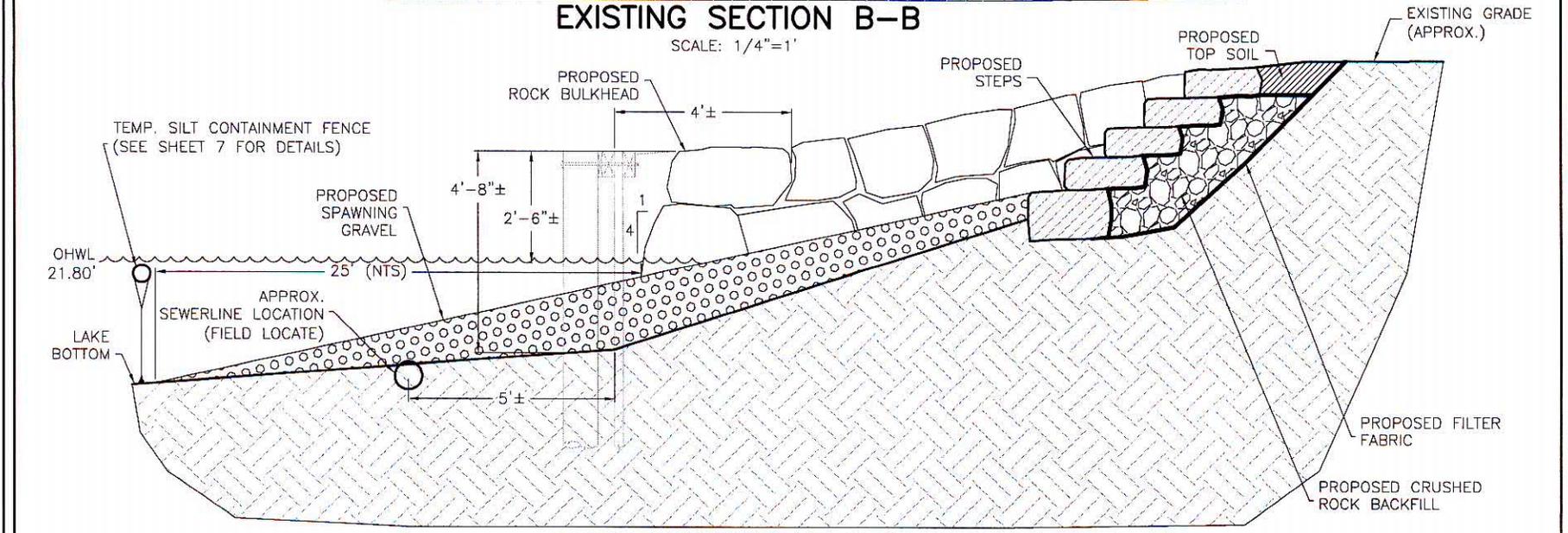
REFERENCE #:		
APPLICANT: CAMERON & LINDA MYHRVOLD		
PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVERED BEACH W/ STEPS.		
SHEET: 4	OF: 7	NEAR/AT: BELLEVUE
DATE: 11-15-12		DWG#: 12-31008-A.4-1

EXCAVATION		FILL	
TIMBER	98 C/Y	ROCK	300 C/Y
SOIL	379 C/Y	BACKFILL	160 C/Y
TOTAL=	477 C/Y	SOILS	17 C/Y
		SPAWNING GRAVEL	335 C/Y
		TOTAL=	812 C/Y



**EXISTING SECTION B-B**

SCALE: 1/4"=1'



**PROPOSED SECTION B-B**

EXCAVATION		FILL	
TIMBER	98 C/Y	ROCK	300 C/Y
SOIL	379 C/Y	BACKFILL	160 C/Y
TOTAL=	477 C/Y	SOILS	17 C/Y
		SPAWNING GRAVEL	335 C/Y
		TOTAL=	812 C/Y



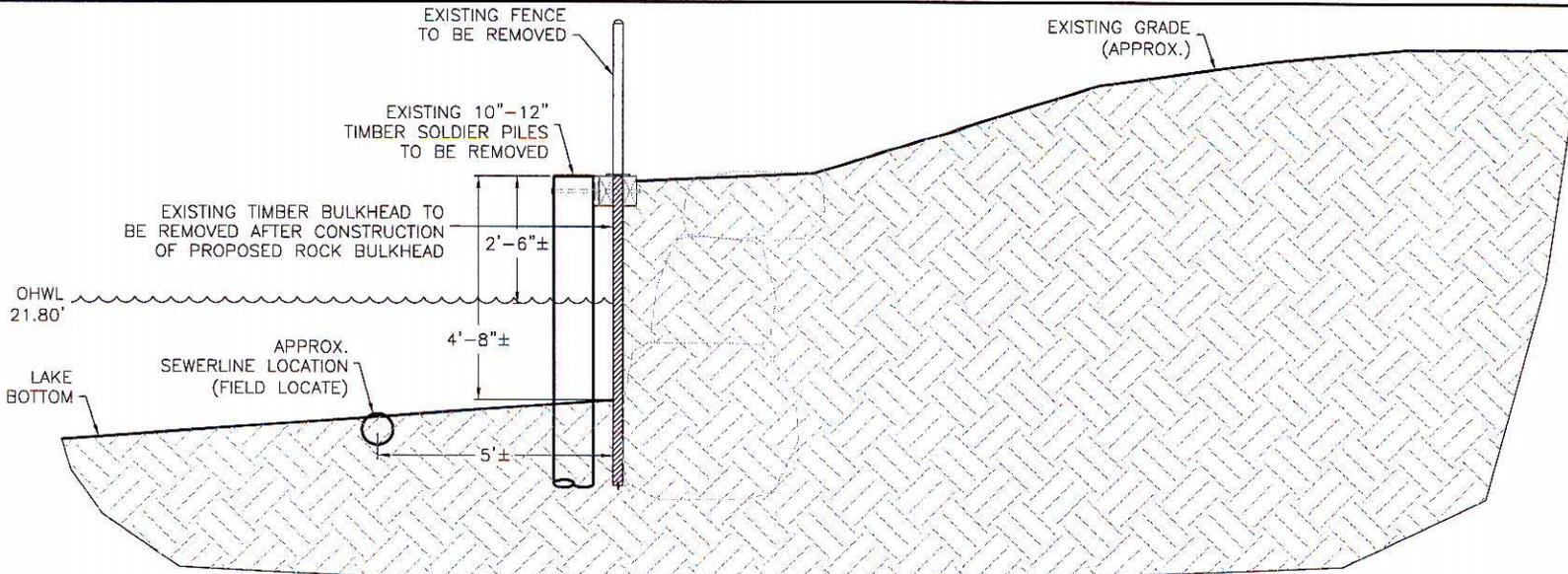
SCALE: 1/4"=1'

**REVISED**  
**4-30-13**

(ADDITIONAL SPAWNING GRAVEL)

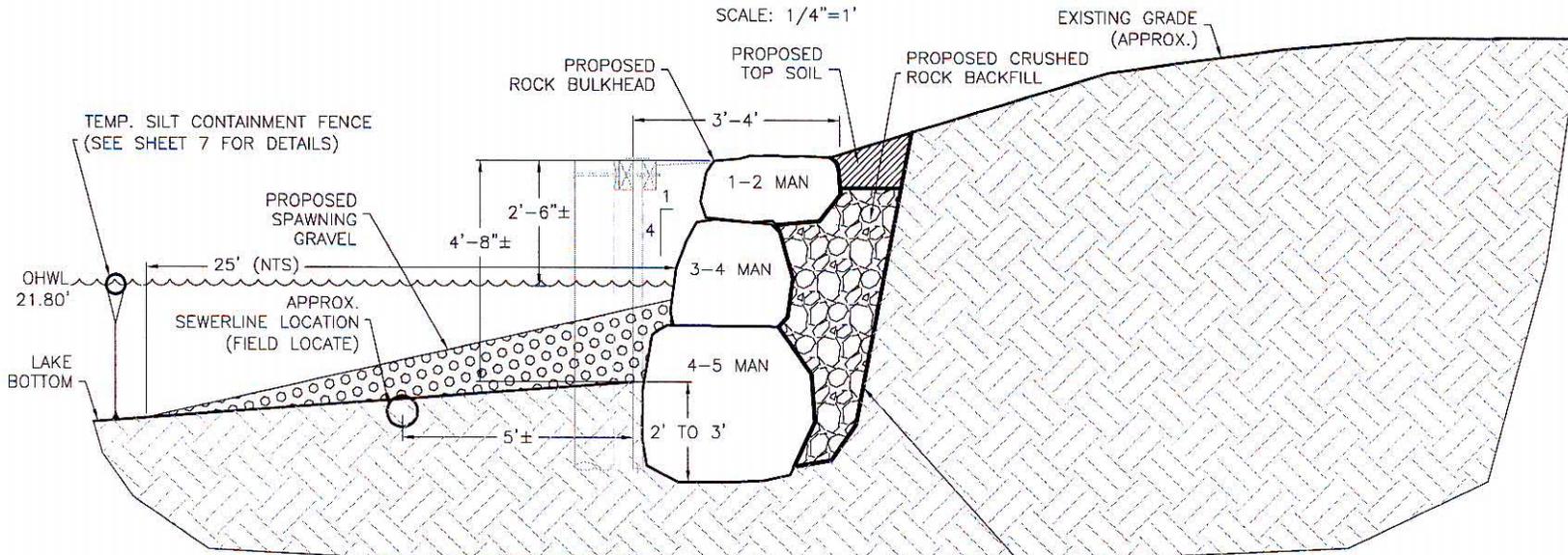
REFERENCE #:		
APPLICANT: CAMERON & LINDA MYHRVOLD		
PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVERED BEACH W/ STEPS.		
SHEET: 5	OF: 7	NEAR/AT: BELLEVUE
DATE: 11-15-12	DWG#: 12-31008-A,5-1	

PROJECT DESIGNED BY: Waterfront Construction Inc.  
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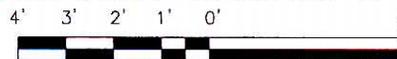
**EXISTING SECTION C-C**

SCALE: 1/4"=1'



**PROPOSED SECTION C-C**

PROPOSED FILTER FABRIC



SCALE: 1/4"=1'

**REVISED**  
**4-30-13**

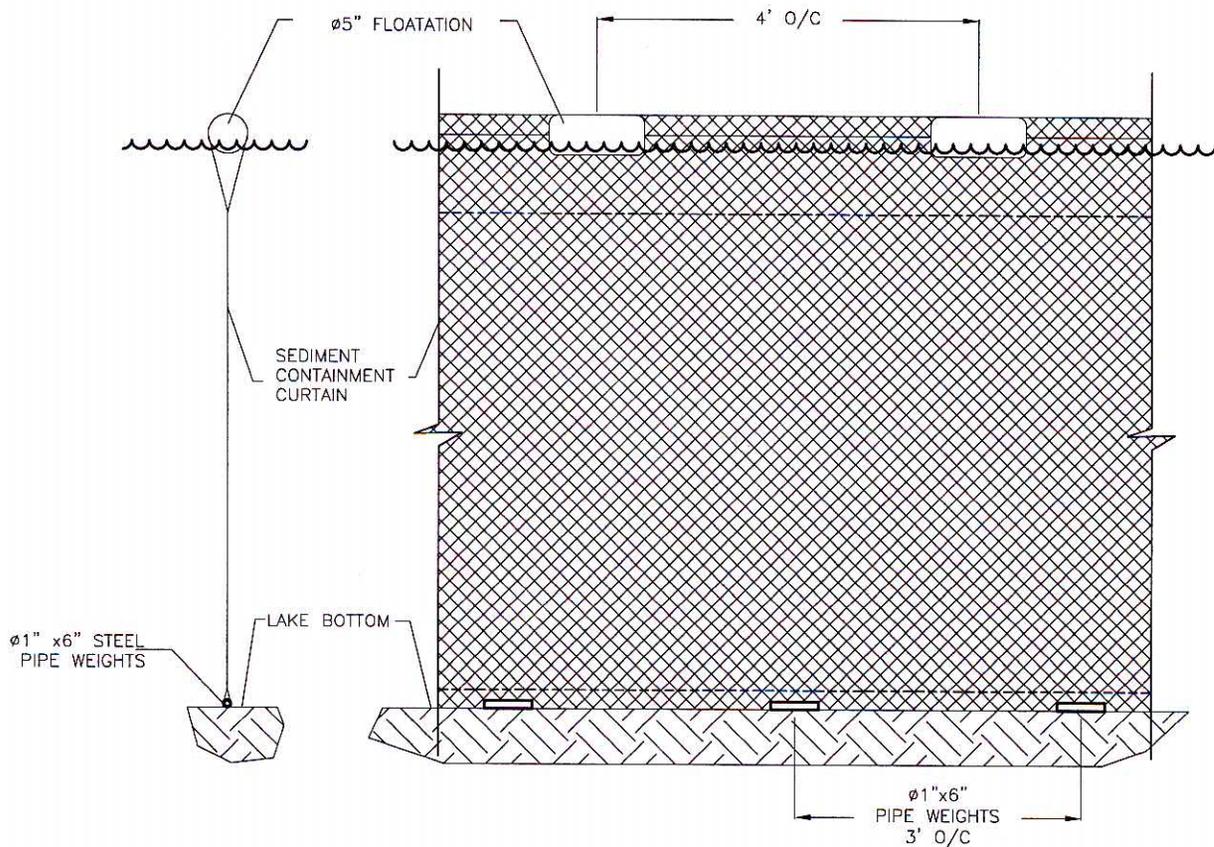
(ADDITIONAL SPAWNING GRAVEL)

EXCAVATION		FILL	
TIMBER	98 C/Y	ROCK BACKFILL	300 C/Y
SOIL	379 C/Y	SOILS	160 C/Y
TOTAL=	477 C/Y	SPAWNING GRAVEL	17 C/Y
		TOTAL=	335 C/Y
			812 C/Y

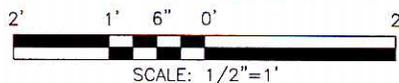
REFERENCE #:		
APPLICANT: CAMERON & LINDA MYHRVOLD		
PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVERED BEACH W/ STEPS.		
SHEET: 6	OF: 7	NEAR/AT: BELLEVUE
DATE: 11-15-12		DWG#: 12-31008-A.6-1

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PROJECT DESIGNED BY: Waterfront Construction Inc.



**TEMP. FLOATING SILT CONTAINMENT FENCE**



**REVISED**  
**4-30-13**

(ADDITIONAL SPAWNING GRAVEL)

REFERENCE #:		
APPLICANT: CAMERON & LINDA MYHRVOLD		
PROPOSED: REMOVE EXISTING TIMBER BULKHEAD & SOLDIER PILES. INSTALL NEW ROCK BULKHEAD AND COVERED BEACH W/ STEPS.		
SHEET: 7	OF: 7	NEAR/AT: BELLEVUE
DATE: 11-15-12	DWG#: 12-31008-A.7-1	

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