



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** Lake Hills McTavish Trail Extension

**Proposal Address:** 12250 SE 9<sup>th</sup> Place

**Proposal Description:** Application for Land Use Approval of a Shoreline Substantial Development Permit for City of Bellevue Parks to improve the southern shoulder of the east-bound Lake Hills Connector to provide a paved shoulder, curb and new 6 foot-wide trail. All work is within existing, improved right of way. The project area is within 200 feet wetlands associated with Lake Washington which is a shoreline of the state and requires approval under the Shoreline Management Act.

**File Number:** 13-103862-WG

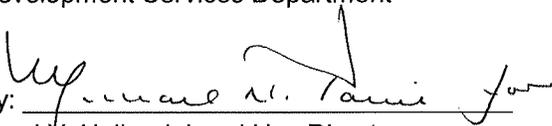
**Applicant:** Geoff Bradley, COB Parks and Community Services

**Decisions Included:** Shoreline Substantial Development Permit  
(Process II. 20.30R)

**Planner:** Reilly Pittman, Land Use Planner

**State Environmental Policy Act  
Threshold Determination:** Exempt per WAC 197-11-800(2)

**Director's Decision:** Approval with Conditions  
Michael A. Brennan, Director  
Development Services Department

By:   
Carol V. Helland, Land Use Director

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**Application Date:** January 4, 2013  
**Notice of Application Date:** January 17, 2013  
**Decision Publication Date:** March 28, 2013  
**Substantial Development Permit Appeal:** April 18, 2013 (21-days from publication date)

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For information on how to appeal a project proposal, visit the Permit Center at City Hall or call 425-452-6800. Appeal of the Shoreline Substantial Development Permit must be made to the Washington State Shoreline Hearings Board (contact the project planner for more information on how to file an appeal with the Shoreline Hearings Board).

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**Attachments**

1. Project Plans – Enclosed
2. Permit forms and documents – In File

**I. Proposal Description**

City of Bellevue Parks proposes to widen the southern shoulder of the Lake Hills Connector to be eight feet in total width and construct a six foot wide asphalt and woodchip path abutting the shoulder. This project is listed as T-304 in the City's Pedestrian and Bike Plan of potential improvements. The project will required removal and placement of fill material and some grading within the right of way. The work is within the jurisdiction of the Shoreline Management Act and requires approval of a Shoreline Substantial Development Permit.

**II. Site Description, Zoning, and Land Use**

**A. Site Description**

The project site is located along the southern edge of the Lake Hills Connector and begins near the intersection of SE 8<sup>th</sup> Street and the Lake Hills Connector. The project will cross over Kelsey Creek and is adjacent to Category I wetlands however the work is within existing improved and maintained right of way and is not impacting critical areas. **See Figure 1 for existing site condition.**

**Figure 1**



**B. Zoning**

The project area is within City right of way and is surrounded by residentially zoned

properties and public open space.

### **C. Land Use Context**

The property has a Comprehensive plan Land Use Designation of SF-L (Single Family Low Density). Construction of a boatlift is consistent with single-family land uses.

### **D. Critical Areas On-Site and Regulations**

#### **i. Shorelines**

Shorelines provide a variety of functions including shade, temperature control, water purification, woody debris recruitment, channel, bank and beach erosion, sediment delivery, and terrestrial-based food supply (Gregory et al. 1991; Naiman et al. 1993; Spence et al. 1996).

Shorelines provide a wide variety of functions related to aquatic and riparian habitat, flood control and water quality, economic resources, and recreation, among others. Each function is a product of physical, chemical, and biological processes at work within the overall landscape. In lakes, these processes take place within an integrated system (ecosystem) of coupled aquatic and riparian habitats (Schindler and Scheuerell 2002). Hence, it is important to have an ecosystem approach which incorporates an understanding of shoreline functions and values.

### **III. Consistency with Land Use Code Requirements:**

#### **A. Zoning District Dimensional Requirements:**

The dimensional requirements found in LUC 20.20.010 do not apply to this project as no structure on land is proposed to be constructed.

#### **B. Shoreline Overlay District LUC 20.25E:**

The City of Bellevue Land Use Code LUC 20.25E.080.R establishes performance standards and procedures that apply to construction of roads in the Shoreline Overlay District.

#### **i. Road and Railroad Designs and Construction Regulations:**

- 1. Construction of new railroad corridors in the Shoreline Overlay District is prohibited. Repair and reconstruction of existing facilities is permitted.**

No railroad construction is proposed.

- 2. Development of pedestrian and bicycle pathways within the Shoreline Overlay District shall avoid those areas which are too fragile for normal trail construction. When development design is shown to mitigate adverse impacts, it may be permitted.**

The proposed pedestrian trail and widened shoulder are proposed within the

improved right of way and are not located in fragile or environmentally sensitive areas.

- 3. New parking facilities within the Shoreline Overlay District shall not be permitted over water or within the shoreline critical area buffer. Provisions must be made to control and cleanse surface water runoff from parking areas in order to comply with state water quality standards.**

No parking areas are proposed. 3,431 square feet of planting is proposed which will improve storm water filtration prior to runoff from the trail reaching wetlands. The project is subject to the compliance with the 2005 Department of Ecology Stormwater Management Manual for Western Washington.

- 4. Parking facilities shall be set back a sufficient distance from the ordinary high water mark so as not to require the creation or protection of such parking facilities by shoreline protective measures.**

No parking facility is proposed.

- 5. Roads, railroads and trails proposed or located in the shoreline critical area and shoreline critical area buffer shall comply with the requirements of LUC 20.25H.055.**

No improvements are proposed within the shoreline critical area or buffer.

#### **IV. Public Notice and Comment**

Application Date:	January 4, 2013
Public Notice (500 feet):	January 17, 2013
Minimum Comment Period:	February 18, 2013

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin and Seattle Times on January 17, 2013. It was mailed to property owners within 500 feet of the project site. No comments were received.

#### **V. Summary of Technical Reviews**

##### **A. Clearing and Grading**

The Clearing and Grading Division of the Development Services Department has reviewed the proposed site development for compliance with Clearing and Grading codes and standards and approved the application.

##### **B. Utilities**

The Utilities Department has reviewed the proposed site development for compliance with Utility codes and standards and approved the application.

**VI. State Environmental Policy Act (SEPA)**

The project is exempt from SEPA review per WAC 187-11-800(2) which exempt construction of minor road improvements where capacity is not significantly increased and new right of way is not required. The proposed improvements will widen the paved shoulder and install a paved trail adjacent to the shoulder within the improved right of way.

**VII. Changes to Proposal Due to Staff Review**

No changes were proposed.

**VIII. Decision Criteria**

**LUC 20.30R.155.B Shoreline Substantial Development Permit – Decision Criteria**

The Director may approve, or approve with modifications if:

- 1. The applicant has carried the burden of proof and produced evidence sufficient to support the conclusion that the application merits approval or approval with modifications;**

The applicant has demonstrated that the proposal is in conformance with required performance standards in the Land Use Code for work within the Shoreline Overlay District.

- 2. The applicant has demonstrated that the proposal complies with the applicable decision criteria of the Bellevue City Code;**

As discussed in this staff report, the proposal complies with all applicable decision criteria.

- 3. The applicant has demonstrated that the proposal is consistent with the policies and procedures of the Shoreline Management Act and the provisions of Chapter 173-14 WAC and the Master Program.**

The proposal complies with the policies of the Shoreline Management Act and Chapter 173-14 WAC of the Master Program.

**IX. Conclusion and Decision**

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the construction to widen the existing shoulder to be a full eight feet wide and install a paved six foot wide trail adjacent to the shoulder. **Approval of this Shoreline Substantial Development Permit does not constitute a permit for construction. A clearing and grading permit is required and all plans are subject to review for compliance with applicable City of Bellevue codes and standards.**

**Note- Expiration of Approval:** In accordance with LUC 20.30R.175, the Shoreline Substantial Development Permit automatically expires and is void if the applicant fails to file for a building permit or other necessary development permit and fails to make substantial progress towards completion of the project within two years of the effective date of the Shoreline Substantial Development Permit unless the applicant has received an extension for the Shoreline Substantial Development Permit pursuant to LUC 20.30R.180.

Permit authorization expires finally, despite substantial progress, five years after the effective date of the Shoreline Substantial Development Permit unless the applicant has received an extension pursuant to LUC 20.30R.180

**X. Conditions of Approval**

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Applicable Ordinances	Contact Person
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Utilities – BCC Title 24	Mark Dewey, 425-452-6179
Land Use Code- BCC Title 20	Reilly Pittman, 425-452-4350
Noise Control- BCC 9.18	Reilly Pittman, 425-452-4350

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

- 1. Clearing and Grading Permit Required:** Approval of this Shoreline Substantial Development Permit does not constitute an approval of a clearing and grading permit. Permit 13-103860-GD is required to be issued. Plans submitted as part of the permit application shall be consistent with the activity permitted under this approval.

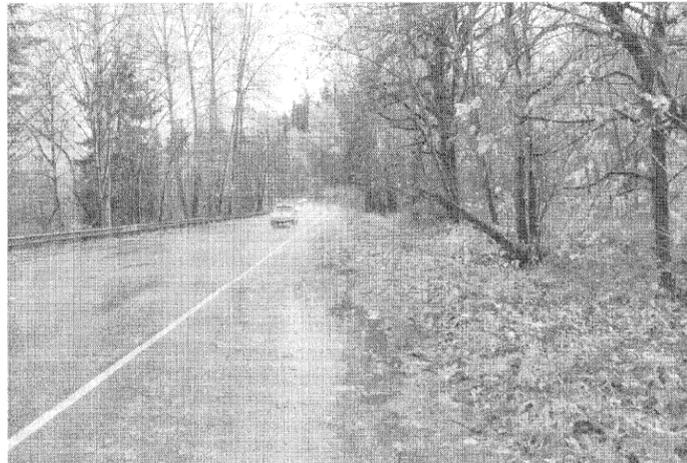
Authority: Land Use Code 20.30P.140  
Reviewer: Reilly Pittman, Development Services Department

- 2. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18  
Reviewer: Reilly Pittman, Development Services Department

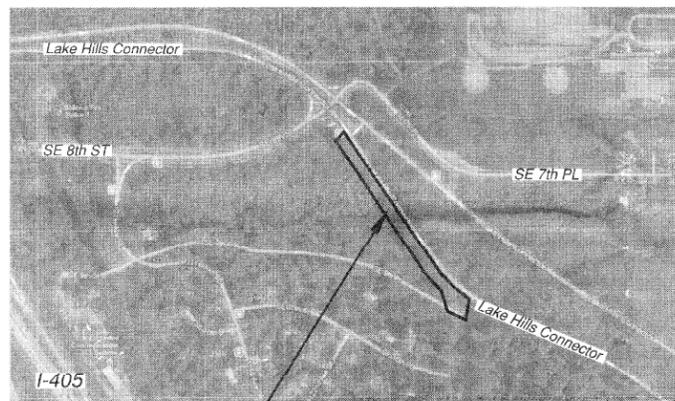
# Lakehills McTavish Trail Extension

# City of Bellevue, WA



## EXISTING CONDITIONS

LOOKING SOUTH ALONG LAKE HILLS CONNECTOR



## PROJECT LOCATION VICINITY MAP

## CONSTRUCTION NOISE NOTES:

Construction noise outside the allowable hours is prohibited per BCC 9.18.040. To be considered a violation, the construction-related noise must be audible across a property line or at least 75 feet from the source. Any violation is a civil infraction and the City may assess a monetary penalty to the individual creating the noise. The penalties are:

- A warning will be issued if no construction noise violation has been committed by the same person within the previous two years at any location within the City.
- A citation will be issued and a \$125 fine imposed if one previous violation has been committed by the same person within the previous two years at any location within the City.
- A citation will be issued and a \$250 fine imposed if two or more previous violation have been committed by the same person within the previous two years at any location within the City.

### FOR ALL COMMERCIAL, MULTI-FAMILY, AND NEW SINGLE-FAMILY HOMES:

#### Construction-related noise is allowed:

- 7 am to 6 pm on weekdays
- 9 am to 6 pm on Saturdays

#### Construction-related noise is not allowed:

- Outside of allowable hours
- Legal holidays
- Sundays

## CLEARING AND GRADING STANDARD NOTES:

1. All clearing & grading construction must be in accordance with City of Bellevue (COB) Clearing & Grading Code; Clearing & Grading Erosion Control Standard Details (EC-1 through EC-23); Development Standards; Land Use Code; Uniform Building Code; permit conditions; and all other applicable codes, ordinances, and standards. The design elements within these plans have been reviewed according to these requirements. Any variance from adopted erosion control standards is not allowed unless specifically approved by the City of Bellevue Department of Planning & Community Development (PCD) prior to construction.
2. A copy of the approved plans must be on-site during construction. The applicant is responsible for obtaining any other required or related permits prior to beginning construction.
3. All locations of existing utilities have been established by field survey or obtained from available records and should, therefore, be considered only approximate and not necessarily complete. It is the sole responsibility of the contractor to independently verify the accuracy of all utility locations and to discover and avoid any other utilities not shown which may be affected by the implementation of this plan.
4. The area to be cleared and graded must be flagged by the contractor and approved by the clearing & grading inspector prior to beginning any work on the site.
5. A reinforced silt fence must be installed in accordance with COB EC-5 and located as shown on the approved plans or per the clearing & grading inspector, along slope contours and down slope from the building site.
6. Clearing will be limited to the areas within the approved disturbance limits. Exposed soils must be covered at the end of each working day when working from October 1st through April 30th. From May 1st through September 30th, exposed soils must be covered at the end of each construction week and also at the threat of rain.
7. Any excavated material removed from the construction site and deposited on property within the City limits must be done in compliance with a valid clearing & grading permit. Locations for the mobilization area and stockpiled material must be approved by the clearing & grading inspector at least 24 hours in advance of any stockpiling.
8. To reduce the potential for erosion of exposed soils, or when rainy season construction is permitted, the following Best Management Practices (BMPs) are required: Preserve natural vegetation for as long as possible or as required by the clearing & grading inspector. Protect exposed soil using plastic (EC-14), erosion control blankets, straw or mulch (COB Guide to Mulch Materials, Rates, and Use Chart), or as directed by the clearing & grading inspector. Install catch basin inserts as required by the clearing & grading inspector or permit conditions of approval. Install a temporary sediment pond, a series of sedimentation tanks, temporary filter vaults, or other sediment control facilities. Installation of exposed aggregate surfaces requires a separate effluent collection pond on-site.
10. Final site grading must direct drainage away from all building structures at a minimum 2% slope, per the Uniform Building Code, if applicable.
11. The contractor must maintain a sweeper on-site during earthwork and immediately remove soil that has been tracked onto paved areas as result of construction.
12. A public information sign listing 24-hour emergency phone numbers for the city and the contractor may be provided to the applicant at the time the clearing & grading permit is issued. The applicant must post the sign at the project site in full view of the public and the contractors, and it must remain posted until final sign-off by the clearing & grading inspector.
13. Turbidity monitoring may be required as a condition of clearing & grading permit approval. If required, turbidity monitoring must be performed in accordance with the approved turbidity monitoring plan and as directed by the clearing & grading inspector. Monitoring must continue during site (earthwork) construction until the final sign-off by the clearing & grading inspector.
14. Any project that is subject to Rainy Season Restrictions will not be allowed to perform clearing & grading activities without written approval from the PCD director. The rainy season extends from November 1st through April 30th, as defined in section 23.76.093A of the Clearing & Grading Code.

## CALCULATIONS:

### PROJECT AREA:

Existing roadway including shoulders:	26,766 square feet (will remain unchanged)
Estimated area of improvements:	10,270 square feet
Total:	37,036 square feet

### IMPERVIOUS SURFACES:

New asphalt to create 8' shoulder:	+1,351 square feet
New asphalt path (6' width):	+4,518 square feet
New woodchip or asphalt path:	+720 square feet
Total Net Gain:	6,589 square feet

### ESTIMATED AREA OF DISTURBANCE/IMPROVEMENTS:

New asphalt path:	4,518 square feet
New asphalt patch to 8':	1,351 square feet
(Saw-cut 6"-8" width to create clean edge + add'l 1' to create consistent 8' width shoulder)	
New woodchip or asphalt path:	720 square feet
New planting area:	3,431 square feet
Potential construction staging area:	250 square feet
Total:	10,270 square feet

### MITIGATION:

Total area impacted by Kelsey D wetland 110' buffer: 0 square feet  
 (Wetland buffer limited by developed ROW of both Lake Hills Connector and SE 9th Place)  
 COB 20.25H.105.C.1 requires minimum 6:1 buffer mitigation ratio.  
 0 sq ft of wetland buffer mitigation required  
 3,431 sq ft new planting area provided

## GENERAL NOTES:

1. All construction must be in accordance with the City of Bellevue's Development Standards; the City of Bellevue's Engineering and Utility Standards; the Bellevue City Code; the Uniform Building Code; permit conditions; and all other applicable codes, ordinances, standards and policies. Applicable installation details are incorporated by reference to Bellevue's Engineering and Utilities published Standards. All applicable erosion control measures must be taken.
2. A copy of the approved plans must be on-site whenever construction is in progress.
3. The Contractor is responsible for obtaining any mechanical, electrical or other required permits prior to beginning construction.
4. All locations of existing utilities have been established by field survey or obtained from available records and should, therefore, be considered approximate only and not necessarily complete. It is the sole responsibility of the contractor (1) to independently verify the accuracy of all utility locations and (2) to discover and avoid any other utilities not shown which may be affected by the implementation of this plan. Note that no existing utilities have been researched or verified in any areas between proposed work limits up to, and including, the staging area.
5. Site shall be restored to better or equal condition in any areas affected by this work.
6. Scheduling: All work shall be coordinated with Owner to achieve minimal disturbance to roadway operation.
7. Contractor shall have proven experience in similar projects and be thoroughly familiar with City of Bellevue applicable standards and codes prior to commencement of work.
8. This layout is diagrammatic. Contractor shall coordinate exact location of points of connection to existing systems with Owner prior to beginning any work.
9. Prior to commencing work, the Contractor, the City's Inspectors and the Owner's Representatives shall meet on the site to review existing site conditions. Logistical items will be determined at the pre-construction meeting and subsequent construction meetings, including the specific locations and methods to be used for staging, trail closure locations and timing, fencing materials, and coordination of boardwalk and trail work with Western Wood Structure Bridge work (NIC). The Contractor is to coordinate with Owner's representative on all construction logistical items not explicitly described in the drawings and specifications.

## PROJECT DESCRIPTION:

Contracted work includes: site preparation, environmental protection, earthwork and drainage, construction of approximately 5,536 square feet of new asphalt path and 770 linear feet of extruded concrete curb, construction of approx. 720 square feet of new gravel path, 22 cubic yards of mulch and topsoil, approx. 916 linear feet of new split rail fence, restoration planting, and site restoration and clean up. Note that much of the proposed work occurs in, or close to, the Lake Hills Connector right-of-way; permits and safety measures shall be the responsibility of the contractor. For technical questions, call Barker Landscape Architects, (John) 206-783-2870.

## CONTACTS:

**Client:**  
 Bellevue Parks and Community Services  
 Jim Bennett  
 Project Manager  
 450 110th Ave. NE, P.O. Box 90012  
 Bellevue, WA. 98009  
 tel: (425) 452-4321

### Landscape Architect:

Barker Landscape Architects  
 Contact: Nicolas Morin  
 1514 NW 52nd Street.  
 Seattle, WA 98107  
 phone 206-783-2870  
 fax 206-783-8312  
 nicolas@barkerla.com

### Surveyor:

Lovell-Sauerland Surveyors  
 Contact: Jeff Treiber  
 19217 36th Ave West, Suite 106  
 Lynnwood, WA 98036  
 phone 425-775-1591  
 jefft@lsaengineering.com

## DRAWING INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 TESC / DEMO
- 4 GRADING / LAYOUT
- 5 PLANTING PLAN
- 6 DETAILS
- 7 DETAILS
- 8 DETAILS and NOTES
- 9 ADD ALT #1: CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN - CSWPPP (As needed and required by City of Bellevue permitting)

NO.	DATE	BY	APPR.	REVISIONS

Approved By	
TRANSPORTATION DESIGN MANAGER	DATE
PROJECT MANAGER	DATE

City of Bellevue  
 Transportation Department

BARKER LANDSCAPE ARCHITECTS  
 1514 NW 52nd St.  
 Seattle, WA 98107  
 tel: 206-783-2870  
 fax: 206-783-3212

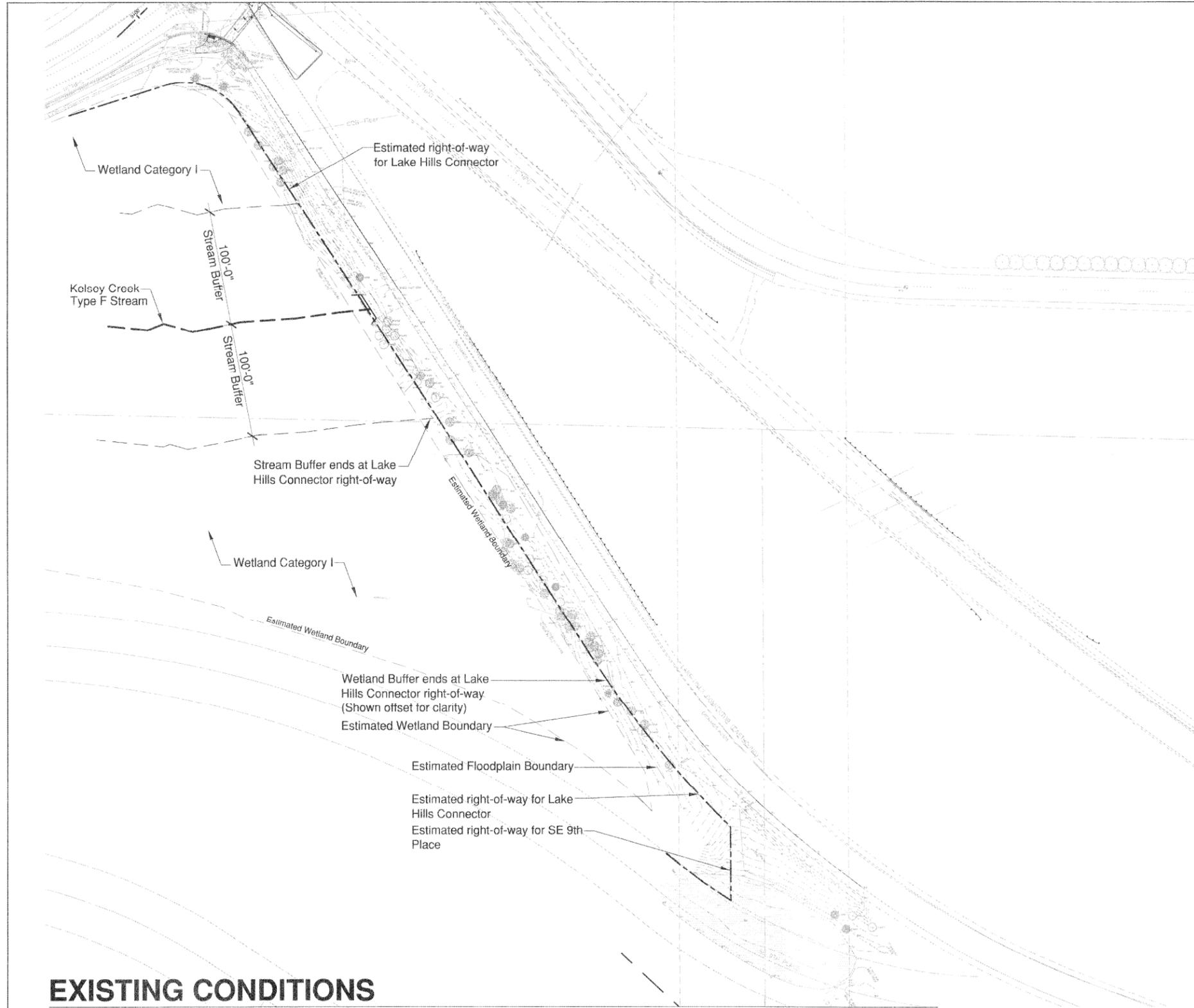
Lake Hills McTavish Trail Extension  
 Lake Hills Connector  
 Bellevue, WA 98008

COVER SHEET

SHT 1 OF

Revised JAN 04 2013 Permit Processing

13-103802-WG



**LEGEND**

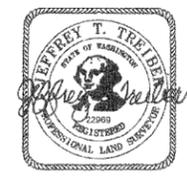
○ SMH	SEWER MANHOLE	○ UP	UTILITY POLE
□ CBM	CATCH BASIN MANHOLE	○ GP	GUY ANCHOR POLE
□ CB	CATCH BASIN	□ EB	ELECTRICAL BOX
○ YD	YARD DRAIN	□ TBR	TELEPHONE PEDESTAL
○ SC	STORM DRAIN CLEANOUT	□ CATV	CABLE TV BOX
○ SSC	SANITARY SEWER CLEANOUT	□ PV	POWER VAULT
WV	WATER VALVE	○ LW	LUMINAIRE
○ FH	FIRE HYDRANT	○ LU	AREA LIGHT
○ ICV	IRRIGATION CONTROL VALVE	○ GA	GUY ANCHOR
○ WS	WATER SPIGOT	H/C	HANDICAP RAMP
○ BO	WATER BLOW-OFF	○ SN	SIGN AS NOTED
○ WM	WATER METER	—X—X—	FENCE AS NOTED
○ SP	SPRINKLER	○ MB	MAILBOX
○ GV	GAS VALVE	○ B	BOLLARD
○ GM	GAS METER	○ R	ROCKERY
—SD—	STORM SEWER LINE	○ WFL	WETLAND FLAG
—SS—	SANITARY SEWER LINE	○ T	TREE AS NOTED
—W—	WATER LINE	■	ASPHALTIC CONCRETE PAVEMENT
—E—	ELECTRICAL LINE	□	CEMENT CONCRETE PAVEMENT
—T—	TELEPHONE LINE		
—G—	NATURAL GAS LINE		
—OH—	OVERHEAD UTILITY LINES		

**BENCH MARK**  
 CITY OF BELLEVUE BENCHMARK 131, BEING THE SOUTH BOLT ON THE SIGNAL POLE IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF SE 8TH STREET AND LAKE HILLS CONNECTOR.  
 ELEVATION : 35.606  
 DATUM : NAVD 1988  
 TBM 1 : MAG NAIL IN SIDEWALK AS SHOWN HEREON  
 ELEVATION : 34.96  
 TBM 2 : MAG NAIL IN ASPHALT AS SHOWN HEREON  
 ELEVATION : 33.03  
 TBM 3 : MAG NAIL IN ASPHALT AS SHOWN HEREON  
 ELEVATION : 48.00

**UTILITY NOTE**  
 THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS APPROXIMATE ONLY. THIS SURVEY DOES NOT PURPORT TO SHOW THE LOCATION OF ALL UTILITIES. THE OWNER SHOULD CONTACT THE PURVEYORS OF ALL UTILITIES IN THE AREA TO DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES ON AND ADJACENT TO THE PROPERTY.

**BASIS OF BEARINGS**  
 THE CALCULATED BEARING BETWEEN CITY OF BELLEVUE CONTROL POINTS 2849 AND 2848, BEING S 41°38'57" W.  
 DATUM: NAD83/91

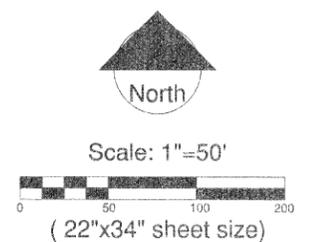
PTN OF THE SE1/4, SW1/4 OF SECTION 33, T.25N., R.5E., W.M.  
 AND  
 PTN OF THE NE1/4, NW1/4 AND THE NW1/4, NE 1/4 OF SECTION 4, T.24N., R.5E., W.M.  
 CITY OF BELLEVUE  
 KING COUNTY, WASHINGTON



<b>LSA</b> Lovell-Sauerland & Associates, Inc. Engineers/Surveyors/Planners/Development Consultants				SHEET
19217 36th Avenue W., Suite 106 • Lynnwood, WA 98036 e-mail: info@lsaengineering.com • web: lsaengineering.com (425)775-1591				1
DRAWN D.V.W.	CHECKED J.T.T.	DATE 11-09-2012	SCALE 1"=20'	FILE NO. 5390-0-12
				of 1

**EXISTING CONDITIONS**

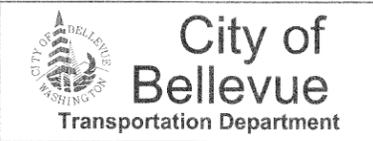
Survey Data Source: Lovell-Sauerland & Associates, Inc survey dated 11-09-12  
 Floodplain Data Source: City of Bellevue GIS  
 Wetland Data Source: City of Bellevue GIS  
 Kelsey Creek Alignment Source: City of Bellevue GIS  
 Lake Hills Connector right-of-way Source: City of Bellevue



NO.	DATE	BY	APPR.	REVISIONS

Approved By

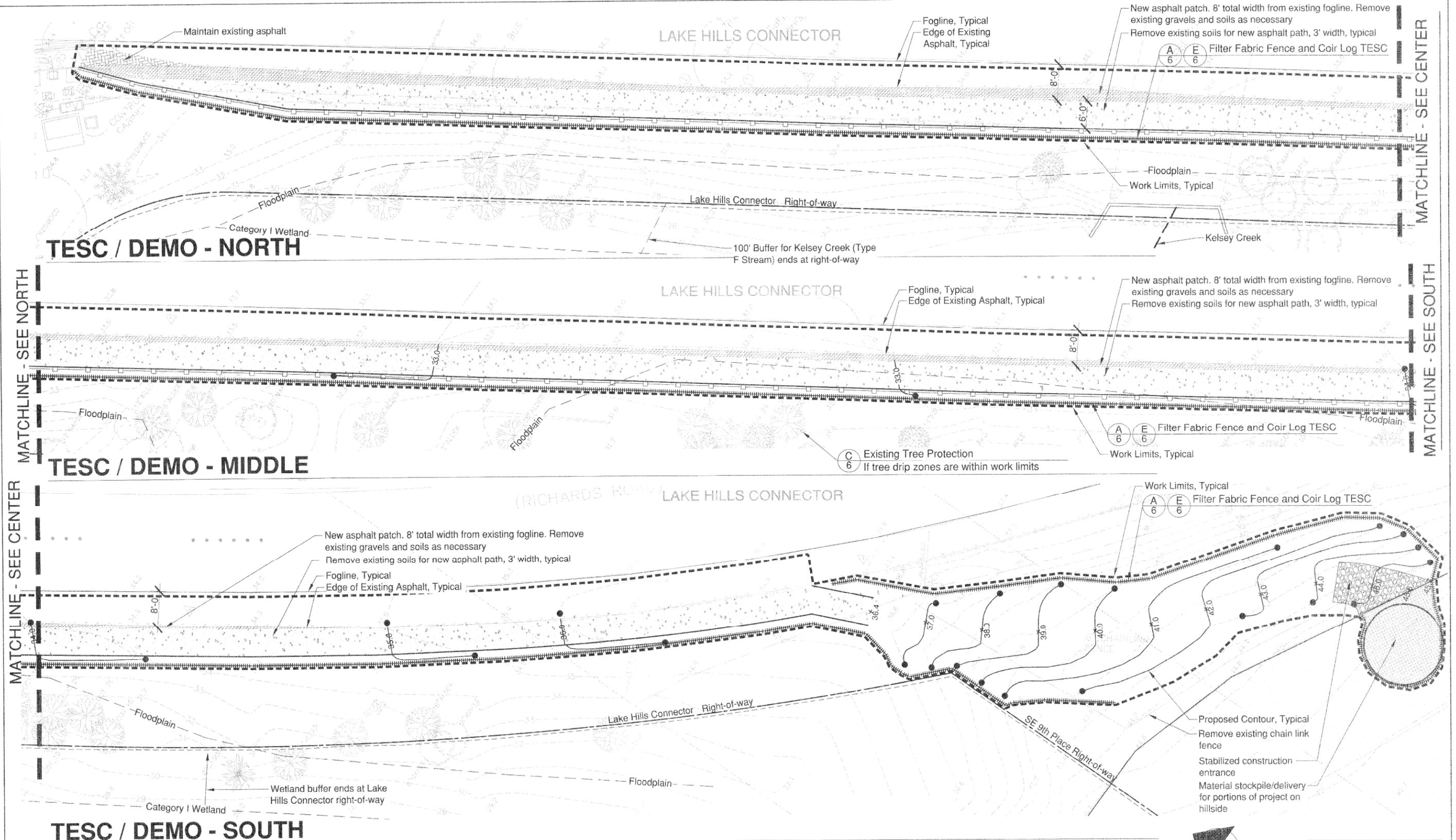
TRANSPORTATION DESIGN MANAGER	DATE	JV/NW DESIGNED BY	10/30/12
PROJECT MANAGER	DATE	JV/NW DRAWN BY	10/30/12
	DATE	JB CHECKED BY	10/30/12
	DATE		



**BARKER LANDSCAPE ARCHITECTS**  
 1514 NW 52nd St.  
 Seattle, WA 98107  
 tel: 206.783.2870  
 fax: 206.783.3212

**Lake Hills McTavish Trail Extension**  
**Lake Hills Connector**  
**Bellevue, WA 98008**

**EXISTING CONDITIONS**  
 SHEET 2 OF 1  
 JAN 01 2013  
 Penix Processing



**TESC / DEMO - NORTH**

**TESC / DEMO - MIDDLE**

**TESC / DEMO - SOUTH**

NOTE: SEE TESC/DEMO NOTES ON SHEET 8

NO.	DATE	BY	APPR.	REVISIONS

Approved By

TRANSPORTATION DESIGN MANAGER DATE

PROJECT MANAGER DATE

JVNM DESIGNED BY 10/30/12 DATE

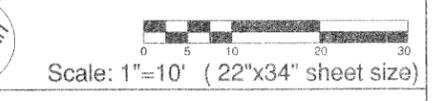
JA/IL DRAWN BY 10/30/12 DATE

JB CHECKED BY 10/30/12 DATE



**BARKER LANDSCAPE ARCHITECTS**  
1514 NW 52nd St.  
Seattle, WA 98107  
tel: 206.783.2870  
fax: 206.783.3212

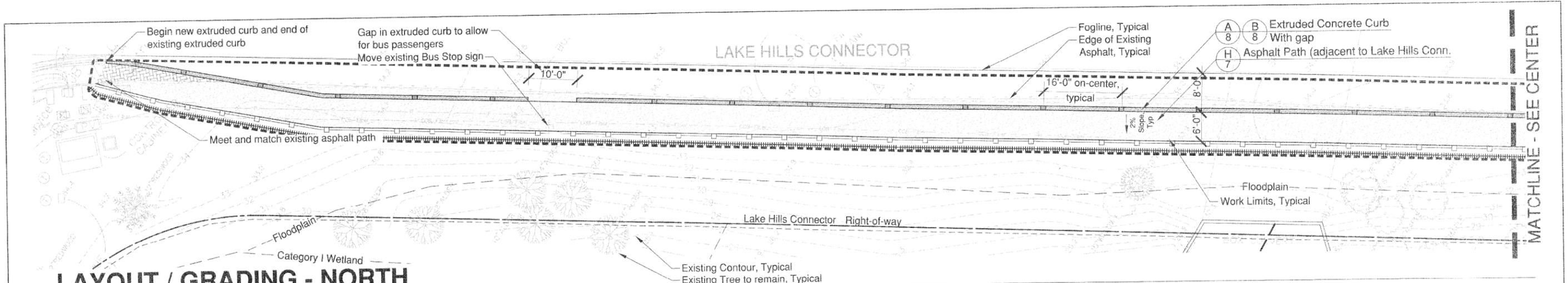
**Lake Hills McTavish Trail Extension**  
**Lake Hills Connector**  
**Bellevue, WA 98008**



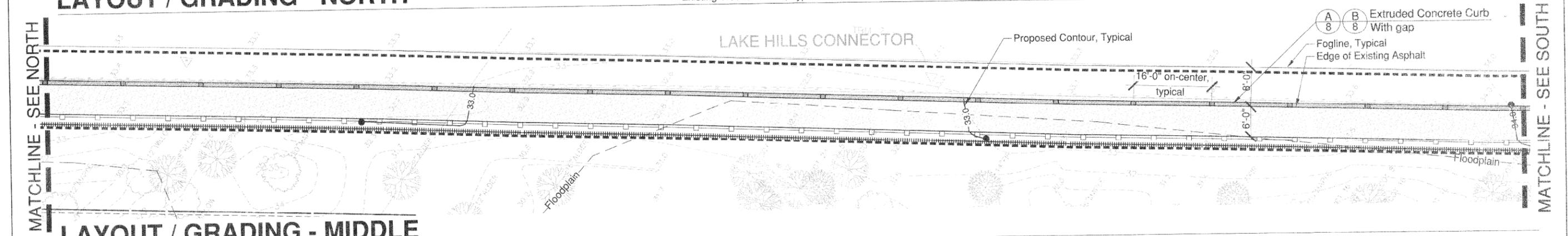
**TESC/DEMO**

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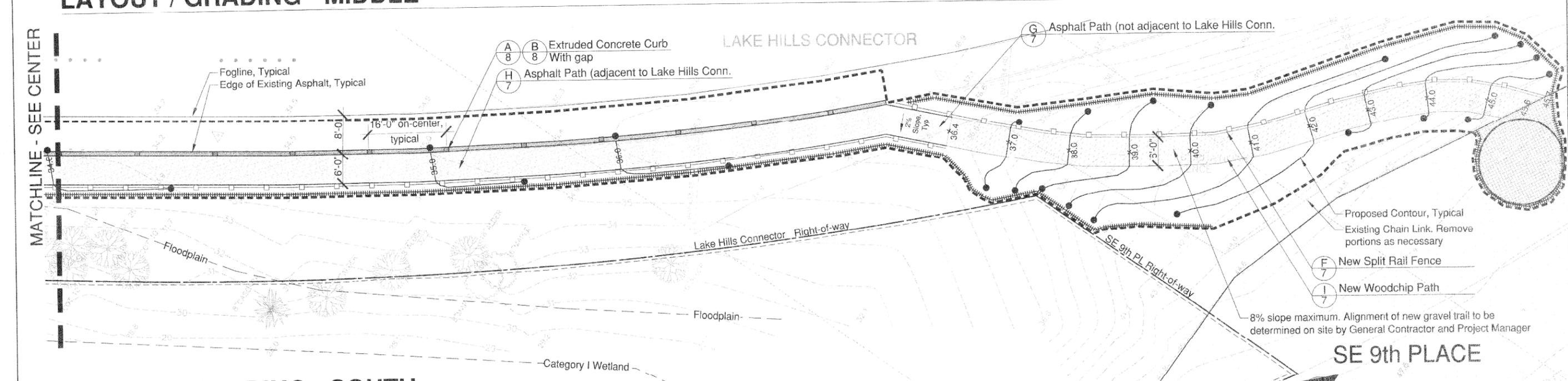
Received JAN 04 2013 Permit Processing



**LAYOUT / GRADING - NORTH**



**LAYOUT / GRADING - MIDDLE**



**LAYOUT / GRADING - SOUTH**

NOTE: SEE CLEARING AND GRADING NOTES ON SHEET 1

NO.	DATE	BY	APPR.	REVISIONS

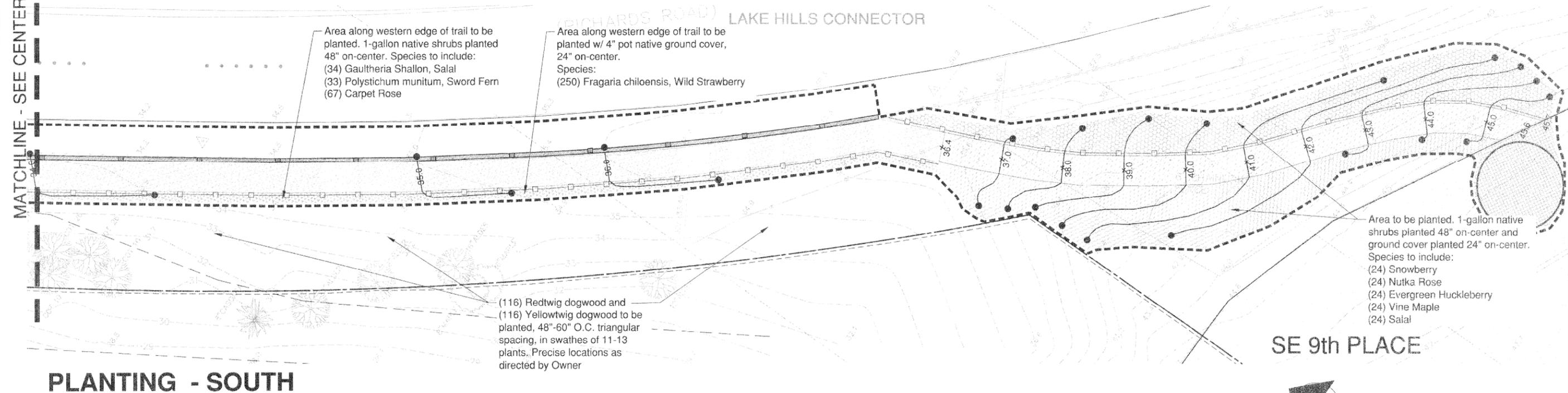
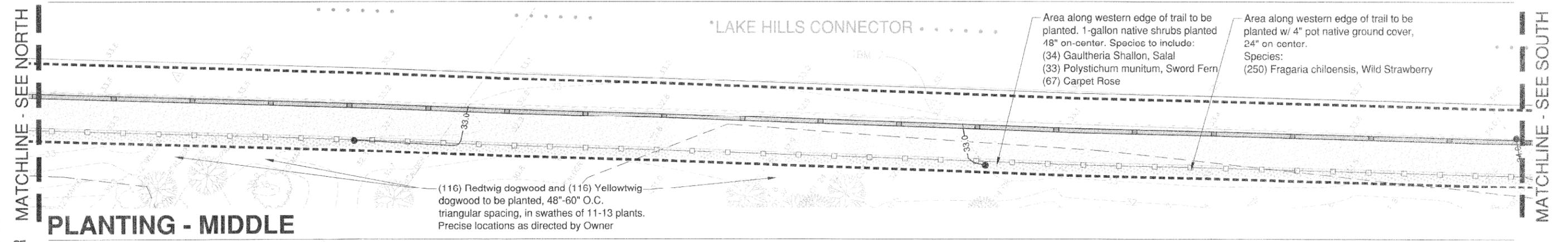
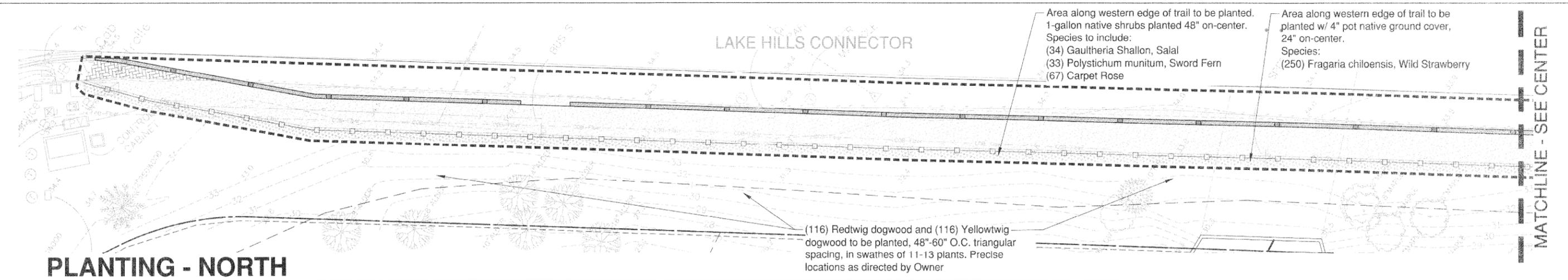
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TRANSPORTATION DESIGN MANAGER	DATE	DESIGNED BY	DATE
PROJECT MANAGER	DATE	DRAWN BY	DATE
	DATE	CHECKED BY	DATE

**City of Bellevue**  
Transportation Department

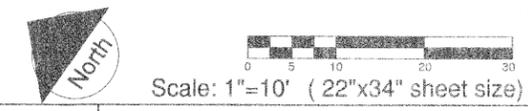
**BARKER LANDSCAPE ARCHITECTS**  
1514 NW 52nd St.  
Seattle, WA 98107  
tel: 206.783.2870  
fax: 206.783.3212

**Lake Hills McTavish Trail Extension**  
**Lake Hills Connector**  
**Bellevue, WA 98008**

**LAYOUT & GRADING**  
SH-1 4 OF 4  
Received JAN 8 2013  
Permit Processing



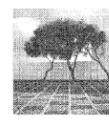
NOTE: SEE PLANTING NOTES ON SHEET 8



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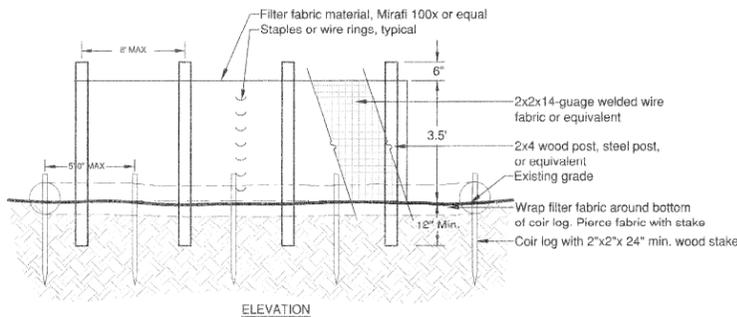
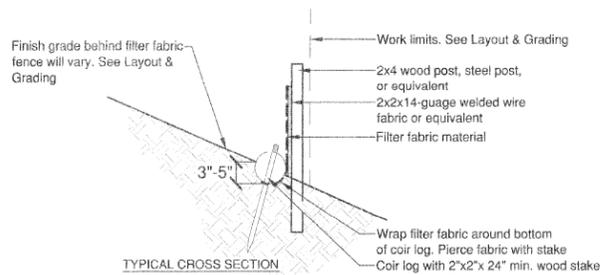
Approved By	
TRANSPORTATION DESIGN MANAGER	DATE
PROJECT MANAGER	DATE


**City of Bellevue**  
 Transportation Department


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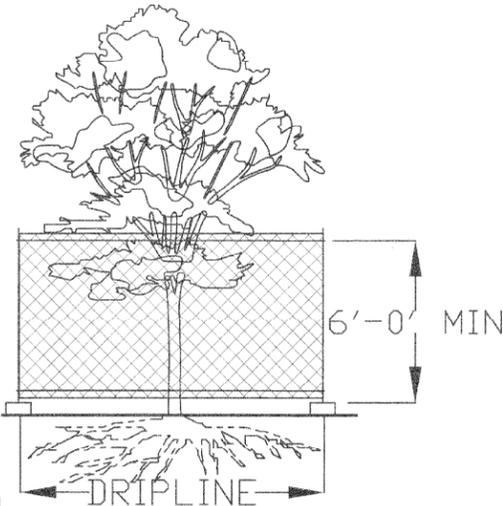
**PLANTING PLAN**  
 SHEET 5 OF 5  
 Received JAN 04 2013  
 Permit Processing



- NOTES**
1. Prefab fences allowed if reinforced and approved by the city clearing and grading inspector.
  2. Fence shall not be installed on slopes steeper than 2:1.
  3. Joints in filter fabric shall be overlapped 6 inches at post.
  4. Use staples, wire rings, or equivalent to attach fabric to fence.
  5. Remove sediment when it reaches 1/3 fence height.
  6. Location of fencing shall be as shown on approved plans or as directed by the city.

**A FILTER FABRIC FENCING**  
NTS

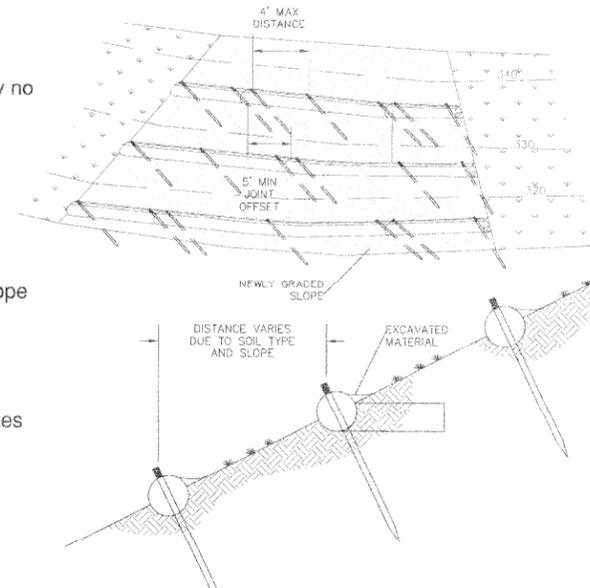
**NOTES:**  
**Tree Protection During Construction**  
A six foot-high temporary chainlink fence shall be placed at dripline of tree to be saved, or a distance of 15' from the trunk, whichever is greater. The fence shall completely encircle the tree(s). Install fence posts using pier blocks only. avoid driving posts or stakes into major roots. Fencing may extend beyond dripline or 15' if plan design allows. Owner may permit alternative fencing methods if site prohibits installation of pier blocks (steep slopes, soft soils, etc.).



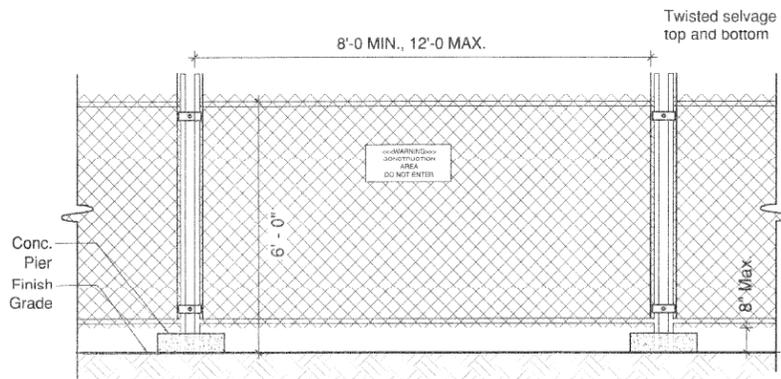
**Treatment of Roots Exposed During Construction**  
For roots over 1" in diameter damaged during construction; make a clean, straight cut to remove damaged portion of root. all exposed roots shall be temporarily covered with damp burlap to prevent drying, and covered with soil as soon as possible. Work within protection fence shall be done manually. No excavation, stockpiling of materials, vehicular traffic, or storage of equipment or machinery shall be allowed within the limit of the fencing.

**C TREE PROTECTION FENCING**  
NTS

- NOTES:**
1. Joints must be offset by no less than five feet.
  2. Rolls shall be aligned parallel to elevation contours, wherever possible.
  3. Hydroseed or mulch slope for additional erosion control.
  4. See additional info in Clearing & Grading Notes

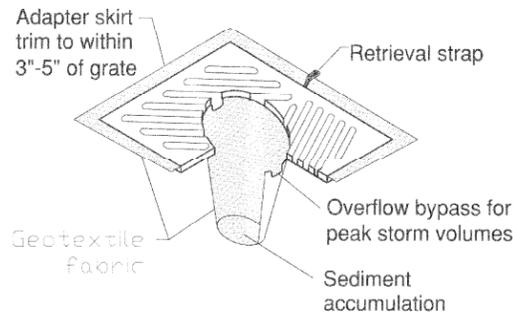


**E COIR LOG**  
NTS



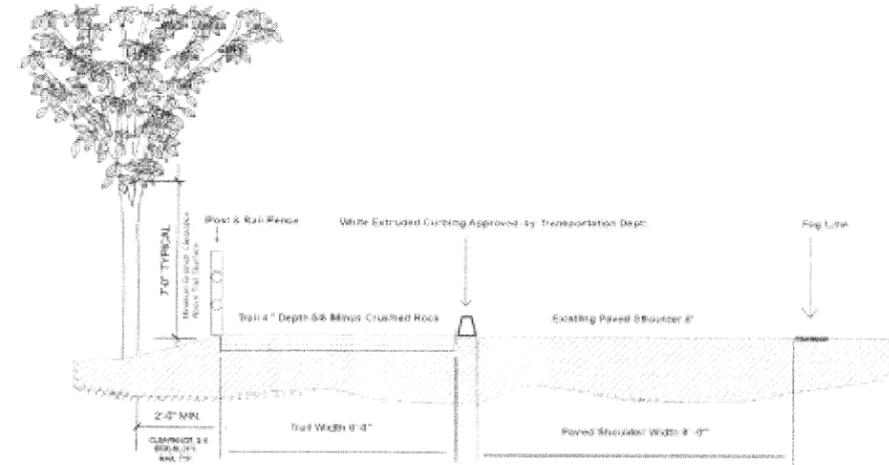
- Notes:**
1. Chain link fabric to be min. 11 gauge, galvanized. No rusted or excessively malformed fabric.
  2. Fence bases shall be of sufficient weight and/or spread to adequately support each panel.
  3. Panel-to-panel connections shall be made at a min. Two locations per connection unless otherwise approved.
  4. Provide construction warning signage 50' o.c. Along fencing installation.

**B CONSTRUCTION FENCING**  
NTS



- NOTES:**
1. Insert shall be installed prior to clearing and grading activity, or upon placement of a new catch basin.
  2. Sediment shall be removed from the unit when it becomes half full.
  3. Sediment removal shall be accomplished by removing the insert, emptying, and re-inserting it into the catch basin.

**D CATCH BASIN FILTER SOCK INSERT**  
NTS



Separated Gravel Trail Dimension and Material Option

**F TRAIL - SECTION (ADJACENT TO LAKE HILLS CONNECTOR)**  
NTS

NO.	DATE	BY	APPR.	REVISIONS

Approved By	
TRANSPORTATION DESIGN MANAGER	DATE
PROJECT MANAGER	DATE

JV/NM DESIGNED BY	10/30/12	DATE
JV/NM DRAWN BY	10/30/12	DATE
JB CHECKED BY	10/30/12	DATE



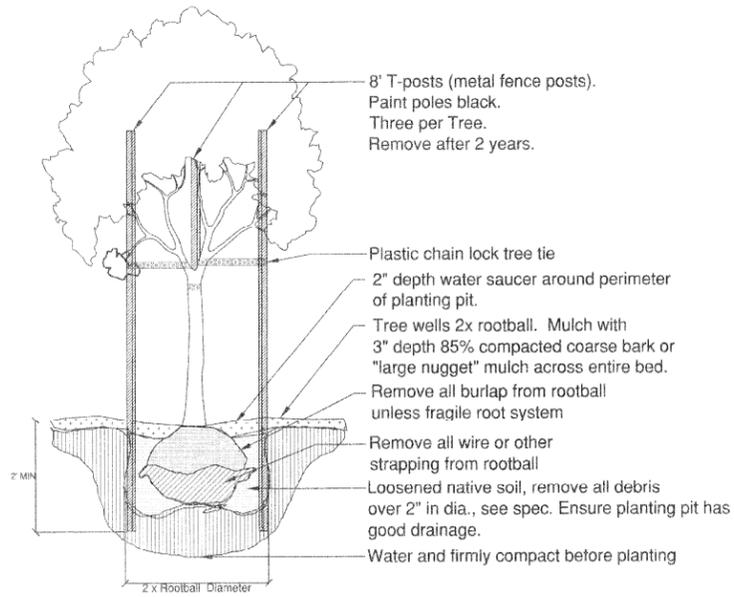
**BARKER LANDSCAPE ARCHITECTS**  
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**Lake Hills McTavish Trail Extension**  
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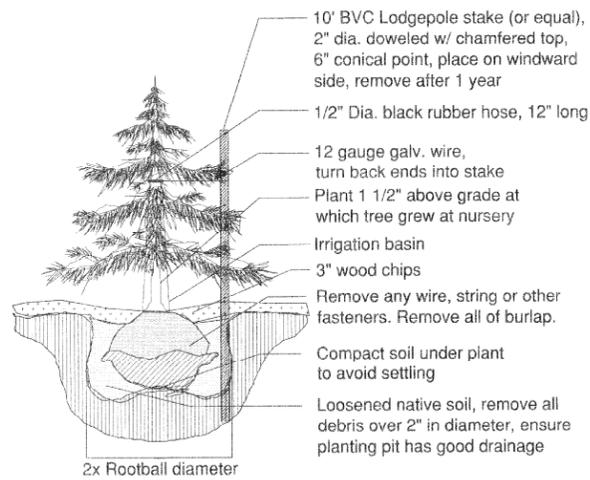
**DETAILS**

SHEET 6 OF 9

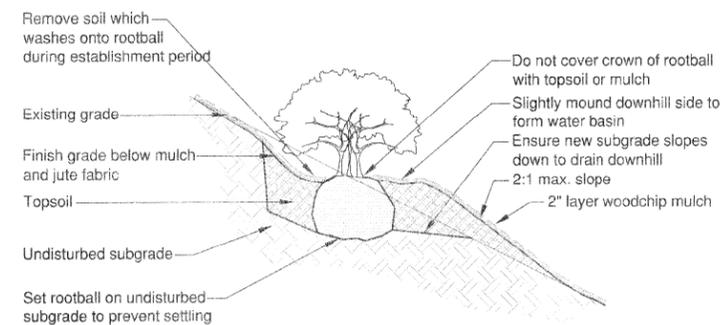
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JAN 8 2013  
Permit Processing



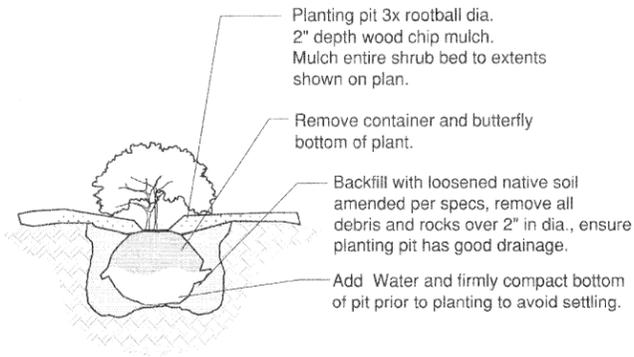
**A** DECIDUOUS TREE PLANTING  
NTS



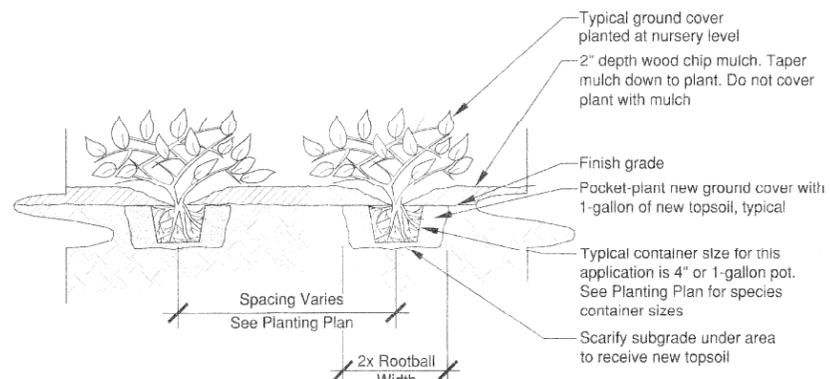
**B** EVERGREEN TREE PLANTING  
NTS



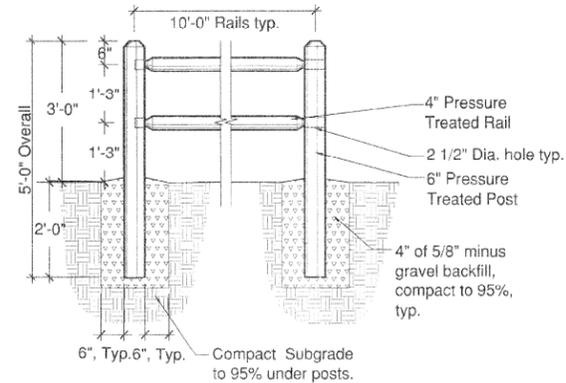
**C** HILLSIDE SHRUB PLANTING  
NTS



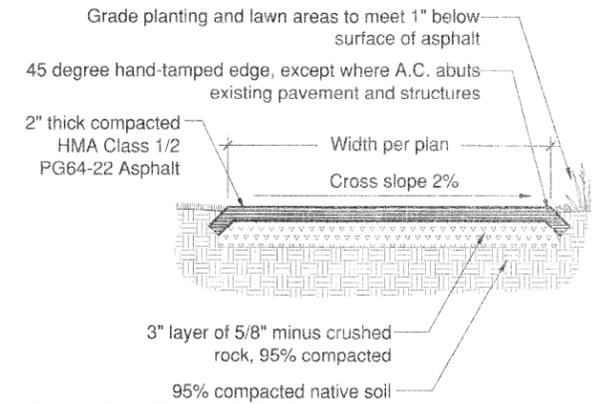
**D** SHRUB PLANTING  
NTS



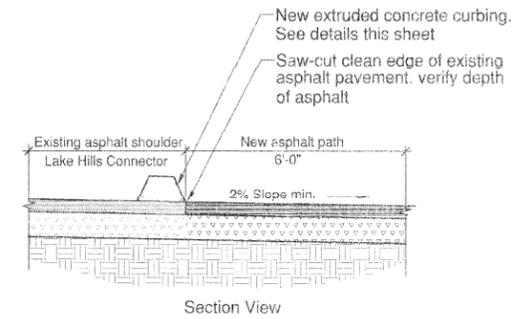
**E** GROUND COVER PLANTING  
NTS



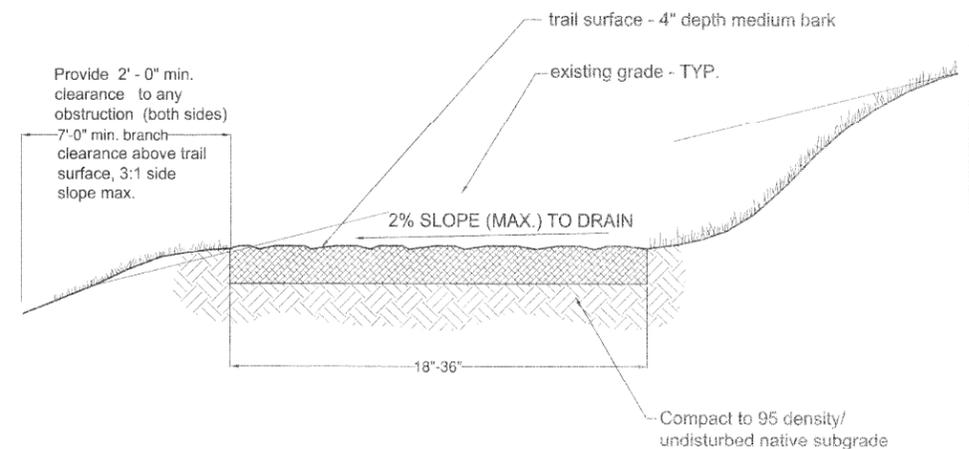
**F** SPLIT RAIL FENCE  
NTS



**G** ASPHALT PATH - NOT ADJACENT TO LAKE HILLS CONNECTOR  
NTS



**H** ASPHALT PATH (ADJ. TO LAKE HILLS CONN.) - SECTION  
NTS



**I** WOODCHIP PATH  
NTS

NO.	DATE	BY	APPR.	REVISIONS

Approved By	
TRANSPORTATION DESIGN MANAGER	DATE
PROJECT MANAGER	DATE

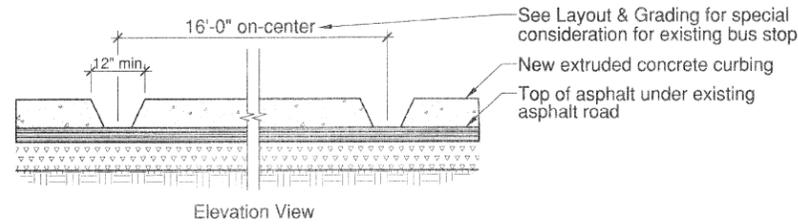
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JF	CHECKED BY	10/30/12	DATE

**City of Bellevue**  
Transportation Department

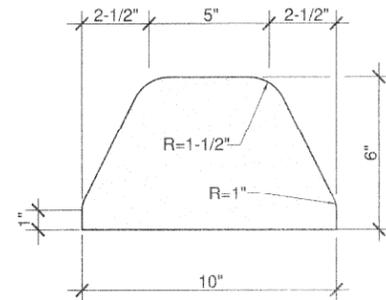
**BARKER LANDSCAPE ARCHITECTS**  
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**DETAILS**  
SHT 7 OF 9  
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**A** EXTRUDED CONCRETE CURB - ELEVATION  
NTS



**NOTES:**

1. ALL CEMENT CONCRETE CURBS, EXCEPT EXTRUDED CURB, SHALL BE CONSTRUCTED WITH AIR ENTRAINED CONCRETE CLASS 3000 CONFORMING TO WSDOT STD. SPEC. 6-02.
2. CEMENT CONCRETE CURB OR CURB AND GUTTER ALONG THE FULL WIDTH OF A DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED WITH AIR ENTRAINED CONCRETE CLASS 4000 CONFORMING TO WSDOT STD. SPEC. 6-02.
3. REMOVAL/REPLACEMENT OF CEMENT CONCRETE CURB SHALL BE FROM EXPANSION JOINT TO EXPANSION JOINT UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

**B** EXTRUDED CONCRETE CURB - DETAIL  
NTS

**STORMWATER CONTROL PLAN NARRATIVE:**

Much of the trail construction area is already an impervious asphalt and/or gravel shoulder. The estimated new impervious surface added by the project is anticipated to be approximately 4,095. Currently, stormwater sheet flows across the Lake Hill Connector at the project site into the adjacent West Kelsey wetland and into Kelsey Creek. Natural drainage practices will be maintained during project construction and discharges from the project site will occur at natural locations. Turbidity will be monitored daily in Kelsey Creek both upstream and downstream from the culvert to ensure no impacts to the creek. Materials will be on hand for adaptive BMP management if necessary. The final completed project will enhance stormwater management. The project proposes the installation of extruded curbing between the pathway and existing paved shoulder to provide separation for pedestrians. This extruded curbing will help slow sheet flows across the connector allowing some sediments to deposit where they can be removed with routine maintenance activities. Small, frequent breaks will allow storm water to migrate around the curbing, across the pathway and into the adjacent wetland causing minimal disruption to existing drainage patterns. In addition, the project will plant native vegetation to the west of the pathway to help trap smaller sediments still contained in stormwater migrating around the curbing and across the pathway before it enters the adjacent wetland. Finally, the project proposes to pave the existing non-pervious gravel shoulder to help decrease sediments currently carried in existing stormwater. The end result of the project will be an improvement to down gradient properties and downstream receiving waters.

**TEMPORARY EROSION & SEDIMENTATION CONTROL NOTES:**

1. All clearing limits shall be visibly marked prior to clearing.
2. The constructed erosion control and sedimentation plan shall be approved by the City of Bellevue prior to performing any site grading or clearing.
3. The implementation of temporary erosion and sedimentation control (TESC) measures and the construction, maintenance, and replacement of these facilities is the responsibility of the contractor.
4. The TESC facilities must be constructed in conjunction with all construction activities and in such a manner as to ensure that sediment-laden water does not enter any adjacent water bodies and/or wetlands.
5. The TESC facilities shall be inspected daily by the contractor and maintained as necessary or as directed by the engineer to ensure continuous functioning.
6. Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to insure that all paved areas are kept clean for the duration of the project.
7. All catch basins in the vicinity of construction shall be protected with filter fabric placed between the frame and grate or as directed by the engineer. Clean regularly; no more than 1 inch of sediment will be allowed to accumulate over filter fabric.
8. Any area stripped of vegetation where no further work is anticipated for a period of 15 days shall be immediately stabilized with approved TESC methods such as mulching, erosion blankets, plastic sheeting or as directed by the engineer.
9. All steep slope excavations greater than 2:1 shall be covered at the end of each working day.
10. All disturbed areas shall be covered with wood chip mulch and jute fabric per planting detail.
11. Any vegetation not in the construction area shall be left undisturbed.
12. Field-verify location of existing trees & boulders.
13. The TESC facilities are the minimum requirements for anticipated site conditions. During the construction period, these TESC facilities shall be upgraded by contractor as directed by the engineer for unexpected storm events.
14. All storm drain facilities within the project boundary are to be cleared of sediment and debris prior to final acceptance of the project.
15. All significant existing trees to be protected and preserved. Tree protection fencing for all trees is not feasible due to site terrain / vegetation density.

**GENERAL PLANTING NOTES:**

1. Plant selection shall be consistent with the Bellevue Land Use Code, Section 20.20.520, Landscape Development.
2. Plants shall be selected and sited to produce a hardy and drought-resistant landscape area. Selection shall consider soil type and depth, the amount of maintenance required, spacing, exposure to sun and wind, the slope and contours of the site, and compatibility with existing native vegetation preserved on the site. Preservation of existing vegetation is strongly encouraged.
3. Prohibited materials. Plants listed as prohibited in the Bellevue Land Use Code are prohibited in required landscape areas. Additionally, there are other plants that may not be used if identified in Bellevue Land Use Code as potentially damaging to sidewalks, roads, underground utilities, drainage improvements, foundations, or when not provided with enough growing space.
4. All plants shall conform to American Association of Nurserymen (AAN) grades and standards as published in the "American Standard for Nursery Stock" manual.
5. Plants shall meet the minimum size standards established in other sections of Bellevue Land use Code, Section 20.20.520 Landscape Development.
6. Multiple-stemmed trees may be permitted as an option to single-stemmed trees for required landscaping provided that such multiple-stemmed trees are at least ten (10) feet in height and that they are approved by the Planning Official prior to installation.
7. Soils in planting areas shall have adequate porosity to allow root growth. Soils which have been compacted shall be loosened to increase aeration to a minimum depth of twenty-four (24) inches or to the depth of the largest plant root ball, whichever is greater. After soil preparation is completed, motorized vehicles shall be kept off to prevent excessive compaction and underground pipe damage. The organic content of soils in any landscape area shall be as necessary to provide adequate nutrient and moisture-retention levels for the establishment of plantings. See Bellevue Clearing and Grading Development Standards for mulch requirements.
8. Required plantings, except areas of established ground cover, shall be covered with two inches or more of wood chip mulch to minimize evaporation and runoff.
9. All mulches used in planter beds shall be kept at least six (6) inches away from the trunks of shrubs and trees.
10. All required landscaped areas, particularly trees and shrubs, must be protected from potential damage by adjacent uses and development, including parking and storage areas. Protective devices such as bollards, wheel stops, trunk guards, root guards, etc., may be required in some situations.

NO.	DATE	BY	APPR.	REVISIONS

Approved By	
TRANSPORTATION DESIGN MANAGER	DATE
PROJECT MANAGER	DATE
	DATE

JUNM	DESIGNED BY	10/30/12	DATE
JUNM	DRAWN BY	10/30/12	DATE
JR	CHECKED BY	10/30/12	DATE



**City of Bellevue**  
Transportation Department

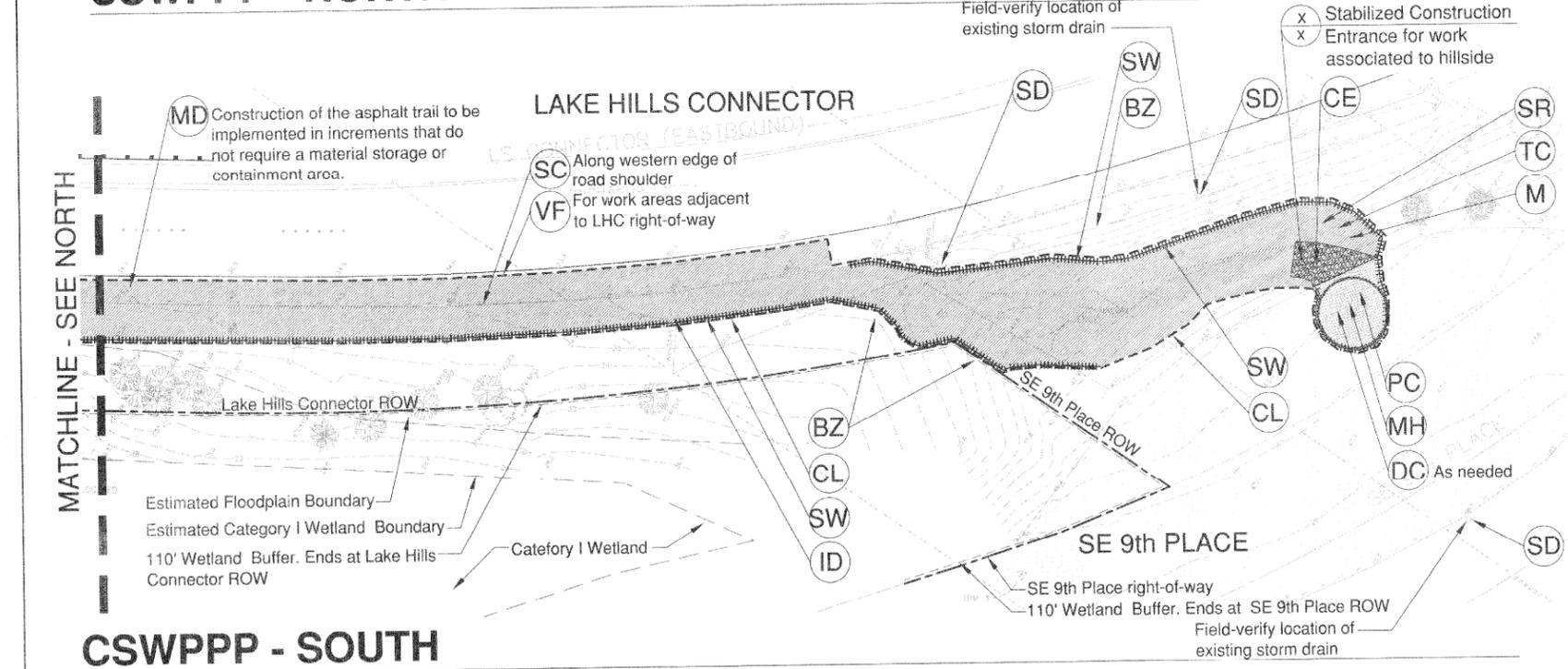
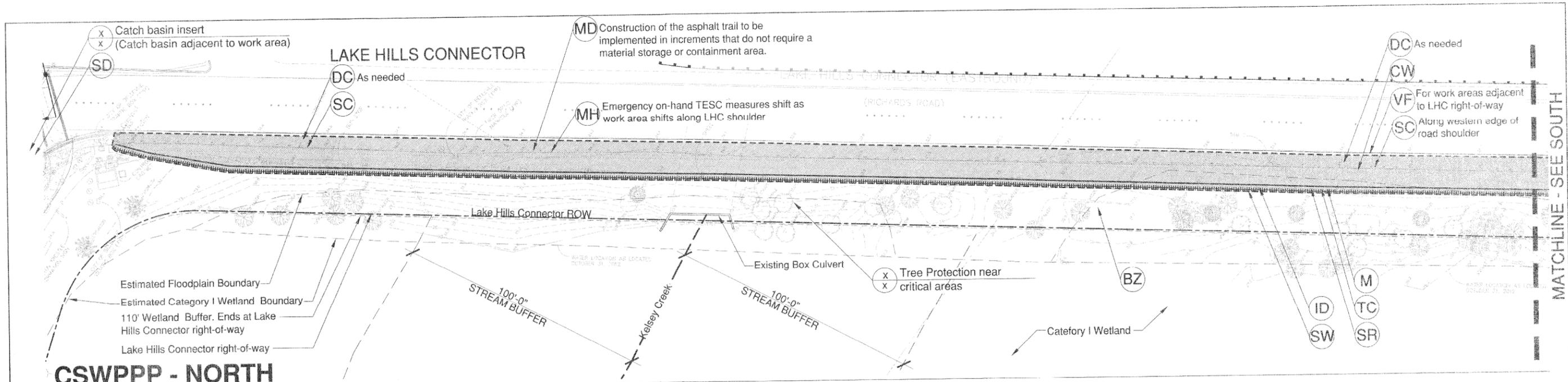


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**DETAILS and NOTES**

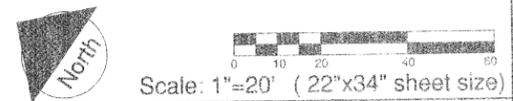
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LEGEND					
SYMBOL/CODE	ITEM	BMP	SYMBOL/CODE	ITEM	BMP
---	RIGHT-OF-WAY		DC	DUST CONTROL	C140
----	LIMIT OF WORK		MH	MATERIALS ON HAND	C150
	PRESERVING NATURAL VEGETATION (no trees to be removed, no trees within Limit or Work)	C101	SC	SAWCUTTING and SURFACING POLLUTION PREVENTION	C152
	BUFFER ZONE	C102	MD	MATERIAL DELIVERY, STORAGE & CONTAINMENT	C153
	HIGH VISIBILITY FENCE See notes above	C103	CW	CONCRETE WASHOUT AREA	C154
	LIMITS OF CLEARING AND GRADING (No work to existing Lake Hills Connector shoulder)	C104	Sch	SCHEDULING	C162
	STABILIZED CONSTRUCTION ENTRANCE/EXIT	C104	ID	INTERCEPTOR DIKE and SWALE	C200
	MULCHING	C121	SD	STORM DRAIN INLET PROTECTION	C220
	PLASTIC COVERING	C123		SILT FENCE and WATTLES	C233 C235
	TOPSOILING/COMPOSTING	C125		CONSTRUCTION STAGING AREA (for work on hillside)	
	SURFACE ROUGHENING	C130			

- GENERAL NOTES**
1. Install native plants in disturbed areas, outside of trail footprint, for erosion control and sediment filtration.
  2. Mulch all native plantings for permanent erosion control.
  3. Install jute mesh for erosion control on steeper slopes, as needed.
  4. Daily turbidity monitoring both upstream and downstream on Kelsey Creek, as needed.

Floodplain Data Source: City of Bellevue GIS  
 Wetland Data Source: City of Bellevue GIS  
 Kelsey Creek Alignment Source: City of Bellevue GIS  
 Survey Data Source: Lovell-Sauerland & Associates, Inc survey dated 11-09-12



Approved By TRANSPORTATION DESIGN MANAGER DATE PROJECT MANAGER DATE		JV, NM 10/30/12 DATE DESIGNED BY 10/30/12 DATE DRAWN BY 10/30/12 DATE CHECKED BY 10/30/12 DATE		<p><b>City of Bellevue</b> Transportation Department</p>	<p><b>BARKER LANDSCAPE ARCHITECTS</b> 1514 NW 52nd St Seattle, WA 98107 tel: 206.783.2870 fax: 206.783.3212</p>	<p><b>Lake Hills McTavish Trail Extension</b> <b>Lake Hills Connector</b> <b>Bellevue, WA 98008</b></p>	<p><b>ADD ALT#1: CSWPPP</b></p> <p>Received JAN 04 2013 Permit Processing</p>
SHT 9 OF							