



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: **Sherwood Duplex**

Proposal Address: 2107 Bellevue Way NE

Proposal Description: Request for Design Review approval to demolish an existing duplex and replace with a two-unit duplex within a Single-Family Transition Area Design District. A Variance is requested to modify building setbacks.

File Number: **12-127820-LD
12-127822-LS**

Applicant: Robert Sherwood

Decisions Included: Process II: Design Review & Variance Decision

Planner: Sally Nichols

State Environmental Policy Act Threshold Determination: **EXEMPT**

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland

Carol V. Helland, Land Use Director

Date of Application: November 1, 2012
Notice of Application: November 29, 2012
Decision: January 31, 2013
Appeal Deadline: February 14, 2013

For information on how to appeal a proposal, visit the Development Services Center at City Hall, 450 110th Avenue NE, or call (425) 452-6800. Comments on State Environmental Act Determinations can be made with or without appealing the proposal within the noted comment period for the SEPA determination. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for appeal of the decision.

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Attachments:

- Project Plans
 - Clearing & Grading MBP T-101
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I. REQUEST & REVIEW PROCESSES

A. Request

The applicant requests Design Review approval for a 2-unit residential duplex project on one lot within the R-10 multi-family residential land use district. The lot is 9,450 square feet (SF) and it is adjacent to an R-4 single family land use district to the west and an R-1 single family land use district to the east across Bellevue Way. Because of its adjacency to single family land use districts, the site falls within the Single- Family Transition Area Design District.

B. Review Processes

In 1996, the proposal property and adjacent properties fronting Bellevue Way to the south, were reclassified from a single-family R-4 land use district to a multi-family R-10 land use district. Ordinance 4857 approved this reclassification. A stipulation of this Ordinance was that any redevelopment of the site shall be subject to Administrative Design Review to ensure compatibility with the surrounding single-family neighborhoods and consistency with the Comprehensive Plan, the North Bellevue Subarea Plan, and the Land Use Code (LUC) - which includes the requirements for the Transition Area Design District (LUC Section 20.25B).

In addition to Design Review, the applicant is requesting dimensional modifications to the setback requirements imposed on this site because it is located within the Transition Area Design District. Modifications to dimensional requirements of the LUC may be approved through the Variance approval process.

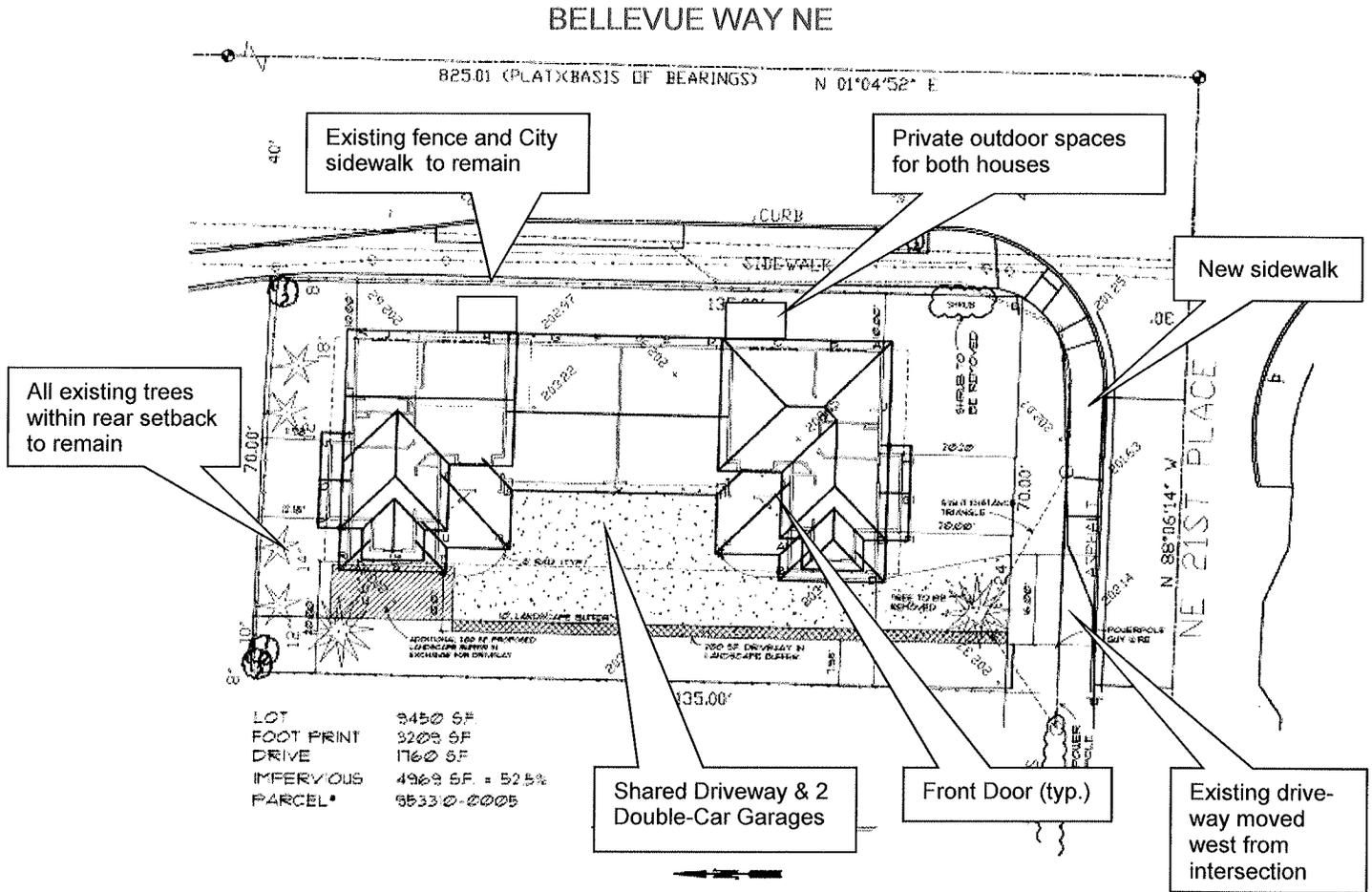
Design Review and the Variance request are both Process II decisions made by the Director of the Development Services Department. They both include public noticing with a minimum 14-day comment period. The Director's decision shall be written in a consolidated staff report to indicate whether the applications have been approved, approved with conditions, or denied. The decision will be publically noticed with a mandatory 14-day appeal period. Process II decisions may be appealed and the appeal shall be heard at a public hearing before the City Hearing Examiner.

C. Site Design

The site design for the proposed duplex is straight-forward. The building will be centered on the lot with one duplex unit on the northern side of the lot and the other on the southern side along NE 21st Place. Both units will be accessed by one shared driveway that will run along the western property line. There will be two double-car garages placed side-by-side between the duplex units facing west. By placing the garages in the interior of the site, they will not be viewed from the public streets. Each duplex will have its own front door facing the driveway and a separate address off NE 21st Place. See the Site Plan below.

Landscaping on the site will have a single-family feel with lawn, trees and landscaped beds in the front yard. The mature trees along the northern property line will remain and additional trees will be placed along the western property line to provide additional screening between the proposal property and the single family home to the west. A row of arborvitae trees will create a softer edge along the eastern property line inward of the city-owned fence. Each unit will have a small patio space surrounded by lawn. The applicant will also be required to provide street frontage improvements on NE 21st Place, including a new sidewalk. **Refer to Transportation Department comments in Section V of this report.**

Site Plan



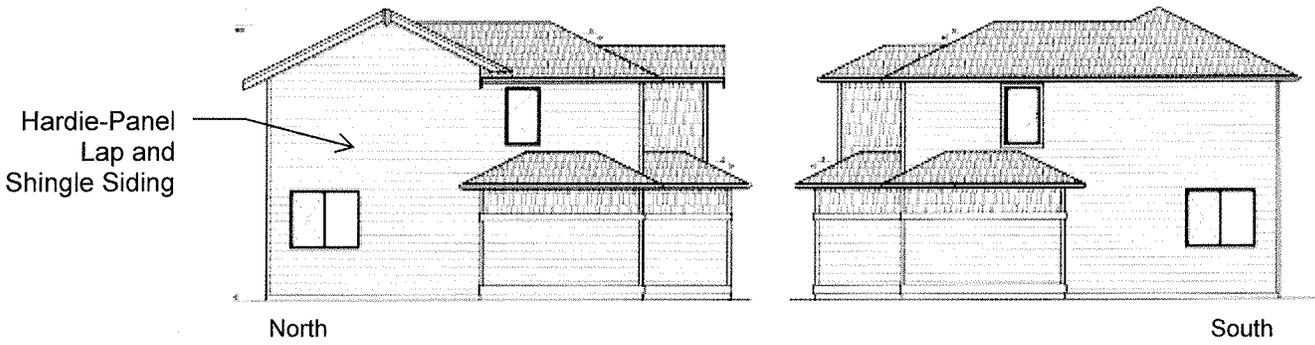
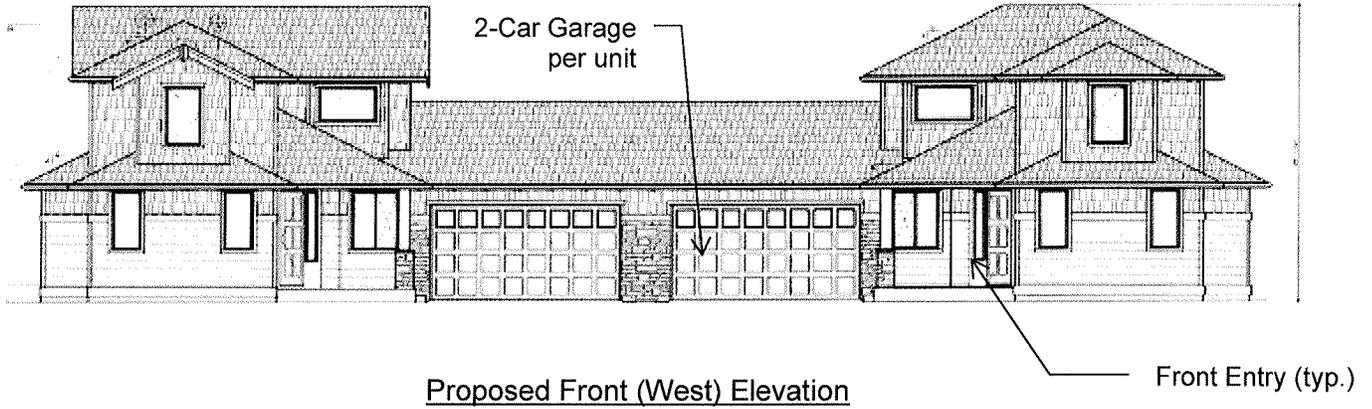
D. Building Design

The proposal is for the construction of one two-unit (duplex) home. The building features stepped massing, hipped asphalt composition roofs, HardiePlank lap siding, HardieShingle siding, and natural stone accents along the building base. Earth-tone colors will be used.

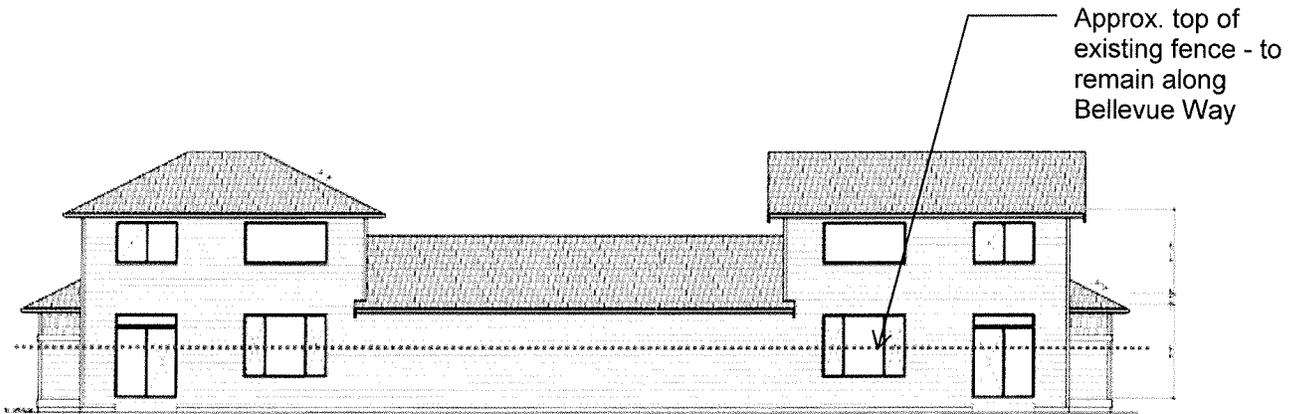
Each unit will have a two-car garage with an additional parking space in the driveway. Internally, each unit will be almost identical, with 1,022 SF of living space on the main level, an approximately 500 SF two-car garage, and 547 SF of space on the upper floor. Each unit will have 3 bedrooms and 2 full baths. Externally, the rooflines of the homes will vary slightly to provide additional architectural interest to adjacent properties and the street frontages. See building elevations below.

Overall, the duplex will have the same scale and materials found in traditional single family homes. The 34% lot coverage by structure is less than the 35% allowed for the R-10 land use district and the maximum 35% allowed for a single family home.

Proposed House Elevations



Proposed Side (North and South) Elevations



Proposed Rear (East) Elevation

II. SITE CONTEXT AND ZONING

A. Existing Conditions

The proposed duplex is on a 9,450 SF lot that is currently occupied by a 1,660 SF duplex built in 1954. The driveway is very close to the intersection of Bellevue Way NE and NE 21st Place. There is an existing City-owned wood fence that runs along the entire Bellevue Way NE frontage.

Aerial Photograph



The lot is relatively level and the existing landscaping consists mainly of lawn, a few small shrubs, and a stand of mature trees along the northern property line. One significant tree on NE 21st place will need to be removed to accommodate the new driveway location that was requested by the Transportation Department.

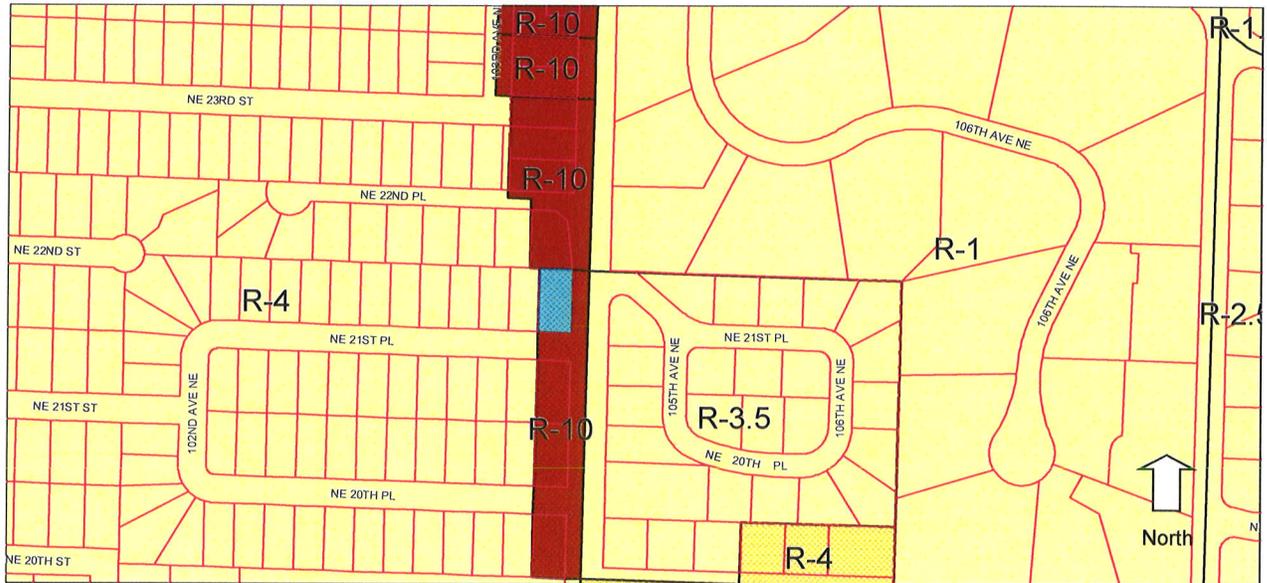
Vicinity Plan



B. Zoning and Context

As a result of the 1996 rezone, this property and other properties fronting Bellevue Way NE along the west side of the street were reclassified from single-family to multi-family, R-10 properties. A majority of these lots are currently developed with duplex housing. The property is surrounding by an R-4, single-family land use district to the west and an R-3.5 single-family land use district to the east across Bellevue Way NE.

Land Use Districts



The uses of the surrounding properties are as follows:

- North:** R-10, Duplex home in Transition Area Design District
- East:** R-3.5, Single-family homes (across Bellevue Way)
- West:** R-4, Single-family home
- South:** R-10, Duplex home in Transition Area Design District

III. CONSISTENCY WITH LAND USE CODE / ZONING REQUIREMENTS

A. Use/Applicable Code Sections

The multi-family duplex use is permitted in the R-10 zone per LUC 20.10.440. The proposal is required to conform to the Transition Area Design District requirements (LUC 20.25B) and meet the Design Review decision criteria (LUC 20.30F).

1. Dimensional Requirements

All applicable dimensional requirements of the Land Use Code will be met. The setback requirements that cannot be met will be modified per the variance request included in this report. The table on the following page provides more detailed information on the requirements and how they are met and/or modified by the proposed development.

Density/Dimensional Requirements

ITEM	REQ'D/ALLOWED	PROPOSED/EXISTING
Dwelling Units/Acre	2.1-units	2-units LUC 20.20.010 Meets requirement
Minimum Lot Area	8,500 SF	9,450 SF LUC 20.20.010 Meets requirement
Building Setbacks for R-10	Front (NE 21 st Place): 20 ft. Front (Bellevue Way): 20 ft. Rear (north): 25 ft. Side: (west) Min. 5 ft., 2 sides must equal a min. of 15 ft.	Front: 20 ft. Front: 10 ft. (<u>requires variance</u>) Rear: 12 ft. (<u>requires variance</u>) Side: 20 ft. LUC 20.20.010 As conditioned, meets requirements
Building Setbacks for R-10 in Transition	Front (eastern property line - Bellevue Way frontage): 30 ft., as measured from centerline of Bellevue Way which is the border between the R-3.5 and R-10 land use districts Western property line (adjacent to single-family land use district): 30 ft.	50 ft. from centerline of Bellevue Way. Nearest single-family home to east over 100 feet away. Meets Transition setback but <i>not</i> R-10 setback. 20 ft. (<u>requires variance</u>) LUC 20.25B040
Landscape Buffers North side East side (front) South side (front) West side	Min. 8 feet Min. 20 feet Min. 20 feet Min. 20 feet	12+ feet 10 feet* 20 feet Varies from 8 – 20 feet* LUC 20.20.520 & 20.25B.040 *Alternative Landscaping Option requested to modify landscape buffers. Refer to Section III.B below. As conditioned, meets requirements

ITEM	REQ'D/ALLOWED	PROPOSED/EXISTING
Building Height	30 ft. (as measured from average existing grade to mid-point of roof pitch)	Ave. Existing grade=202.90 ft. Mid-Pt. of roof pitch=226.52 ft. Roof Ht. = 23'-7 1/2" ft. LUC 20.20.010 & 20.25B.040 Meets requirement
Lot Coverage by Structure	35 % = 3,308 sq. ft.	3,209 sq. ft. = 34 % LUC 20.20.010 Meets requirement
Impervious surface area as percentage of site area.	80% = 7,560 sq. ft.	4,969 sq. ft. = 52.5 % LUC 20.20.010 Meets requirement
Significant Tree Retention	100% within the site perimeter landscape area, plus 15% of the diameter inches of all significant trees located outside of the site perimeter landscape area.	One existing tree (24 inch dia.) within the site perimeter will be removed. 8 will remain (108 dia. inches) 82% of the total diameter inches will be retained within the perimeter. There are no significant trees in the site interior. Removal of tree is allowed per LUC 20.20.900.D.1, since the tree must be removed for the relocation of the driveway, as directed by the Transportation Department.
Parking Stalls	4 parking stalls (2 per unit)	4 parking stalls: 2 two-car garages. Space also available in front of garages. LUC 20.20.590 Meets requirement

B. Alternative Landscaping Option (LUC 20.20.520.J)

1. Alternative Landscaping Option: The Director may approve a modification if:

a. The proposed landscaping represents an equal or better result than that which could be achieved by strictly following the requirements.

(i) Transition Area Buffers – Type III Landscaping:

Western property line: The applicant requests a reduction in the width of the 20-foot wide transition area landscape buffer along the western interior property. The applicant has provided a minimum 8-foot wide landscaped buffer along the new driveway (approximately three-fourths of the length of the western property line). Just past the northern end of the proposed driveway, this buffer has been increased to 20-feet. Along this property line there will be groundcover, shrubs

and seven additional trees, which will be planted at a minimum of 10-feet tall. Six of the trees will be evergreen. These trees will grow to provide an effective buffer between the proposed homes and the house to the west. In addition, the existing fence will remain to provide additional screening. **Refer to Condition of Approval regarding plant material in Section IX of this report.**

The reduced buffer is required due to the narrowness of the lot. It was not possible to locate the driveway to the west (as requested by the Transportation Department) and still have 20-feet of landscaping. The duplex building has been pushed to the east (through the requested variance) in order to keep it as far away as possible from the adjacent single-family home.

Eastern Property Line: A 20-foot landscape buffer along the eastern property line, outlined in the Transition Area section of the LUC, will not be required because the eastern edge of the site does not directly abut a single-family land use district. Bellevue Way lies between the property and adjacent single-family land use districts to the east. The applicant will provide the standard 8-foot wide buffer along the eastern property line per LUC 20.20.520.

(ii) Tree Retention:

The site development landscape plan provides for the retention of 78 percent of the diameter inches of the mature trees on the site. Only one tree will be removed to accommodate the relocated driveway, which will be moved away from the corner at the direction of the Transportation Department. All of the trees along the northern property line will remain. These trees provide significant screening from adjacent properties and add to vegetated character of the site. As conditioned, ten new trees, of which seven are evergreen, will be planted to enhance this existing character. The result is a site with many more trees and an overall improved landscape condition with native shrubs and groundcover. **Refer to Condition of Approval regarding plant material Section IX of this report.**

b. The proposed landscaping complies with the stated purpose of subsection A and with the purpose and intent of paragraphs F.1 and G of this section.

The proposed landscape plan complies with the stated purpose and intent of paragraphs F.1 and G in LUC 20.20.520. The plan will provide a visual barrier of 10-foot high trees in addition to the existing 6-foot high solid wood fence adjacent to the single family residence to the east. This will provide a solid screening and buffer between the two properties. The 10' high trees along the east property line will provide a softening effect to the view of the east elevation. Additional plantings will be provided along NE 21st Place to provide a more gracious entry into the residential neighborhood from Bellevue Way NE.

c. If a modification of any paragraph excluding subsection E of this section is requested, the proposed landscaping either:

- (i) **Incorporates the increased retention of significant trees and naturally occurring undergrowth, or**
- (ii) **Better accommodates or improves the existing physical conditions of the subject property, or**

(iii) **Incorporates elements to provide for wind protection or to maintain solar access, or**

(iv) **Incorporates elements to protect or improve water quality.**

The proposal meets 3.c.ii above. The proposal better accommodates the existing physical condition of the property by enhancing the vegetation onsite. Currently there is little ornamental landscaping. The proposal will install new trees and provide a generous amount of native and ornamental plant material as well as lawn. This will result in a landscape similar to those found in the adjacent single-family neighborhood with year around seasonal color. Plantings along the street frontages will enhance the view of the property at a prominent corner and help to create a pleasant entry to the residential neighborhood to the east on NE 21st Place.

d. If a modification of subsection E of this section is requested, the proposal either:

(i) **Incorporates the retention of significant trees equal in number to what would otherwise be required; or**

(ii) **Incorporates the retention of other natural vegetation in consolidated locations which promotes the natural vegetated character of the site.**

The proposal meets 4.d.i above. The site development landscape plan provides for the retention of 82 percent of the diameter inches of the mature trees on the site. Only one tree will be removed to accommodate the relocated driveway. All of the trees in the stand along the northern property line will remain. These trees provide significant screening from adjacent properties and will enhance the vegetated character of the site. As conditioned, ten new trees will be planted and seven of these trees will be evergreen. All will be planted in the required landscape buffers. The result is a site with many more trees, retention of the existing stand of trees, and an overall improved landscape condition with native and ornamental shrubs and groundcover. **Refer to Condition of Approval regarding plant material in Section IX of this report.**

Based upon the above analysis, the request for an Alternative Landscape Option has been approved.

C. Transition Area Design District Development Standards

1. Development Standards: The site is located within 300 feet of a single-family land use district, and subject to the development standards of the Transition Area Design District (LUC 20.25B.040). The proposal must comply with the following standards:

a. **Building Height:** The proposed building meets the 30-foot height limit of the R-10 land use district in transition, as measured from average existing grade around the base of the building to the mid-point of the pitched roof. The garage portion of the building will be only one story tall. Refer to the dimensional chart in Section III.A.1 above.

b. **Setbacks:** Single-family land use districts lie directly to the west of the proposal property and across Bellevue Way NE to the east. Because the lot

is narrow and has two street frontages, the site cannot be developed to respect the Transition Area building setbacks. A variance is requested to modify all but the front setback. **Refer to the dimensional chart in Section III.A above and discussion of the variance criteria in Section VII.B below.**

- c. **Landscaping, Open Space, and Buffers:** The proposed landscaping complies with the requirements of LUC 20.20.520 and 20.25B.040.C via the Alternative Landscaping Option.

East: A 20-foot landscape buffer along the eastern property line, outlined in the Transition Area section of the LUC, will not be required because the site does not directly abut a single-family land use district to the east. Bellevue Way lies between the property and adjacent single-family land use districts to the east. The applicant will provide the required 8-foot wide buffer along the eastern property line.

North: The applicant has provided an approximately 12-foot wide landscape buffer which includes five existing mature trees with a total of 56 diameter inches. This buffer is wider than the required 8-feet along interior property lines per LUC 20.20.520.

South: The applicant has provided the required 20-foot wide landscaped buffer along the NE 21st Place street frontage. The overall landscape design will be compatible with landscapes found in the adjacent single-family neighborhoods, with a combination of lawn, shrubs and small trees. Note that the Nootka Rose proposed in this area should be replaced with a less invasive alternative shrub. **Refer to Condition of Approval regarding plant material in Section IX of this report.**

West: The applicant has provided a minimum 8-foot wide landscaped buffer along three-fourths of the western property line, where the site is adjacent to a single-family home. Just past the northern end of the proposed driveway, this buffer has been increased to 20-feet. Along this property line there will be groundcover, shrubs and additional evergreen trees, which will be planted at a minimum of 6-feet tall. These trees will grow to provide an effective buffer between the proposed homes and the house to the west. In addition, the existing fence will remain to provide additional screening.

- d. **Site Design Standards:** The placement of the duplex on the lot and the access to the garages via one shared driveway are consistent with the patterns found in the adjacent single-family neighborhoods. Site features such as light fixtures are integrated into the architectural design. There will be no exterior refuse enclosures, carports or storage units.
- e. **Mechanical Equipment:** Rooftop mechanical equipment is not proposed.
- f. **Refuse Containers:** The refuse and recycling containers will be stored in the garages and taken to the curb on pick-up days consistent with pick-up in the adjacent single family neighborhoods.
- g. **Signs:** The proposal does not include any signs other than the address numbers.

2. **Site Design Guidelines:** The proposal complies with the Site Design Guidelines of LUC 20.25B.050.A as follows:

- a. **Vehicular access:** Vehicular access will be moved westward on NE 21st Place from the current driveway location. The existing driveway is dangerous due to its close proximity to the corner at Bellevue Way. There will be one, shared driveway.
- b. **Loading/refuse collections areas:** The homeowners will be responsible for placing their refuse containers at the curb on collection days, and returning them to their garages after collection, consistent with pick-up in the adjacent single family neighborhoods. Loading will occur within the private driveway.
- c. **Significant vegetation retention:** All significant trees will be retained except for one existing tree within the front setback. The tree will be removed to accommodate the new driveway. The driveway must be moved west from its current location due to safety issues identified by the Transportation Department. The proposed landscaping meets the transition area requirements and will help soften the visual impact of the project on nearby residential uses. **Refer to Condition of Approval regarding the tree protection plan in Section IX of this report.**



Existing
vegetation
to remain

Existing tree to
be removed to
accommodate
new driveway

- d. **Compatibility with surrounding residential development:** The site design responds to the physical characteristics of the site and its context. The home will resemble a single-family home in terms of scale, materials and architectural design. The two garages will be accessed via one shared driveway. Residential-scaled landscaping will enhance the building and provide some softening and screening of the structure from the neighboring homes.

During construction, the applicant will be required to meet all applicable Bellevue City Codes and Ordinances, including those that address construction days and hours and the use of noise abatement technology, to reduce the construction impacts on the surrounding neighborhood. **Refer to Conditions of**

Approval regarding construction noise, interior noise requirements, and noise abatement technology for construction in Section IX of this report.

3. **Building Design Guidelines:** As conditioned, the proposed building design complies with the Building Design Guidelines (LUC 20.25B.050.B):
- a. **Exterior Cladding:** Proposed exterior cladding materials include horizontal HardiePlank and HardieShingle siding, stone accents, and asphalt composition roofing. All of the proposed materials and earth-tone colors are appropriate for a residential use and compatible with materials used in nearby residential development. A Condition of Approval will require additional case molding similar to that shown around the windows on the front (west) elevation of the duplex to be placed around the windows on the southern façade (facing 102nd Place NE) and around all second story windows facing Bellevue Way NE. This detail will add architectural interest and will be consistent with architectural detailing found on neighboring homes. **Refer to Condition of Approval regarding the exterior window casing on the eastern and southern facades in Section IX of this report.**
 - b. **Building scale:** The proposed building will include offsets, recesses, pitched roofs, varying building height, and windows to help break down the overall scale. The number and variety of such elements is appropriate for the overall design and is consistent with single-family homes in the surrounding neighborhoods.
 - c. **Roof form:** The proposal includes 6/12 pitched roofs. This is consistent with the overall design of homes throughout the surrounding residential neighborhoods. The applicant has varied the profile of the roof for each home to create a more interesting and varied architectural composition.
 - d. **Communication dishes:** The proposal does not include communication dishes.
 - e. **Compatibility of materials and colors:** The materials and earth-tone colors proposed are compatible with surrounding residential development and the natural environment.

IV. PUBLIC NOTICE AND COMMENT

Application Date: November 1, 2012
Notice of Application: November 29, 2012
Minimum Comment Period: December 13, 2012
Comments Received: The City did not receive any written comments on this proposal.

V. TECHNICAL REVIEWS

A. Clearing and Grading, Development Services Department

Clear and Grade has reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

B. Transportation Department

Site Access

Site access will be from a joint use driveway located on NE 21st Street per DEV-7A. The location of the joint use driveway will be moved to the northwest corner of the project site to provide approximately 100 feet of clear distance from Bellevue Way NE. Upon completion of this project on-street unload / loading will not be allowed. **Refer to Condition of Approval regarding vehicular access and provisions for loading in Section IX of this report.**

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform with the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

1. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a consistent travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. ADA-compliant curb ramps shall be installed where needed, consistent with standard drawings TE-12 or TE-13.

2. The design and appearance of the sidewalk on NE 21st Street shall comply with the standards and drawings in the Transportation Department Design Manual (see drawing TE-11).
3. The driveway on NE 21st Street shall be designed per DEV-7A with an approach width of 16 feet.
4. The applicant will be required to provide sidewalk and utility easements to the City for any portion of the new sidewalk in the property frontage that is outside of the City right of way. **Refer to Condition of Approval regarding pedestrian easements in Section IX of this report.**
5. No new building structure or garage shall be constructed under a street right of

way or existing public sidewalk/utility easement. In some conditions (to be finalized during engineering and building plan review), new structure may be allowed under a new sidewalk/utility easement. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.

Refer to Conditions of Approval regarding civil engineering plans for transportation, building and site plans for transportation, and street frontage improvements in Section IX of this report.

Right of Way Dedication

Right of Way Dedication will be required to provide adequate clearance from the back of the new ADA ramp at the northwest corner of the Bellevue Way NE and NE 21st Street. Alignment of new ROW area will follow the curb radial at Bellevue Way NE and NE 21st Street. **Refer to Condition of Approval regarding dedication of right of way in Section IX in this report.**

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department. **Refer to Condition of Approval regarding holiday construction and traffic restrictions in Section IX of this report.**

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Condition of Approval regarding right of way use permit in Section IX of this report.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching. Near this project, NE 21st Street has been classified an "Overlay Required" street and Bellevue Way NE has been classified as a "No Street Cuts Permitted" street. Pavement restoration on NE 21st will consist of a full grind and overlay extending 50 feet from the center of the street cut for the full width

of the street. Depth of grind will be determined at the time of issuance of the right-of-way permit. Any needed street cut into Bellevue Way NE will be at the discretion of the Right of Way Manager via waiver request submitted by the applicant. **Refer to Condition of Approval regarding pavement restoration in Section IX of this report.**

Transportation Impact Fee

Payment of the traffic impact fee will not be required for this project because the new duplex will replace the existing duplex, which will be demolished, and there will be no increase in the number of units on the site.

C. Fire Department

Demolition of the existing duplex and construction of the proposed duplex home shall conform to the requirements of International Fire Code (IFC) Chapter 14. A new address shall be assigned to each duplex unit and the numbers shall be in accordance with the IFC. The addresses shall be on NE 21st Place. **Refer to Conditions of Approval regarding addresses and IFC requirements in Section IX of this report.**

D. Utilities Department

Utility review has been on a conceptual basis only and the site can be served with water, sewer and storm facilities. Storm drainage minimum requirement 5 is proposed to be met by using amended soils in landscaped areas and a rain garden. Preliminary engineering through a drainage report has demonstrated a rain garden is feasible for this development. Water and sewer are available to the site through an existing sewer stub and water meter. **Refer to Condition of Approval regarding preliminary design, utility codes and engineering standards in Section IX of this report.**

V. CHANGES TO PROPOSAL DUE TO CITY REVIEW

There were no major changes to the proposal as a result of this review.

VII. DECISION CRITERIA

A. DESIGN REVIEW: *The Director may approve, or approve with modifications, an application for Design Review if:*

1. The proposal is consistent with the Comprehensive Plan.

The site is located in the North Bellevue Subarea of the City's Comprehensive Plan and it is designated for low density multi-family development (MF-L). The proposal is consistent with the following Comprehensive Plan policies:

Housing Policies:

Policy HO-11. Encourage new residential development to achieve a substantial portion of the maximum density allowed on the net buildable acreage.

Finding: The two units constitute the maximum permitted density for this property, based on the zoning and site area.

Policy HO-17. Encourage in-fill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.

Finding: The proposal is for one duplex home, which is consistent with the underlying multi-family land use designation. The design concept of the home will make it appear to be a single family home with respect to the scale, size, materials, colors and architectural detailing and it will be compatible with the single-family development in adjacent neighborhoods.

Land Use Policies:

Policy LU-23. Provide, through land use regulation, the potential for a broad range of housing choices to meet the changing needs of the community.

Finding: The proposal is for one duplex dwelling unit. This typology provides another choice within the existing residential neighborhood while looking like a more traditional single family home. The home features design characteristics, including scale and architectural details, which are typical of traditional single-family, detached housing and will fit well within the context of the surrounding single-family and low-density multi-family housing.

North Bellevue Subarea Policies:

Policy S-NB-3. Scale down multifamily development as it approaches single-family areas so as to create an appropriate transition.

Finding: The proposed density is at the low end for multi-family. The scale and design is the same as found in new, single-family, detached housing. The applicant has proposed a building that will have a scale and architectural design that will fit well into the existing fabric of the surrounding single family land districts.

2. The proposal complies with the applicable requirements of this Code.

As conditioned and with the requested variance approval, the proposal complies with all requirements of the Land Use Code. Refer to Section III of this report for a summary of dimensional requirements and the Transition Area development standards and design guidelines.

3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

As conditioned, the proposal complies with all applicable Transition Area Design Guidelines contained in LUC 20.25B.050. Section III.B of this report provides the analysis on how the proposal addresses the design guidelines.

4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

As conditioned, the proposal is compatible with and responds to the existing and intended character and appearance of development of the subject property and immediate vicinity. The proposal replaces an existing, older duplex and the duplex concept is compatible with nearby development, which includes single-family and multi-family structures. The scale

and design of the building achieve a residential structure which looks and feels very similar to single-family residential homes in the adjacent neighborhoods.

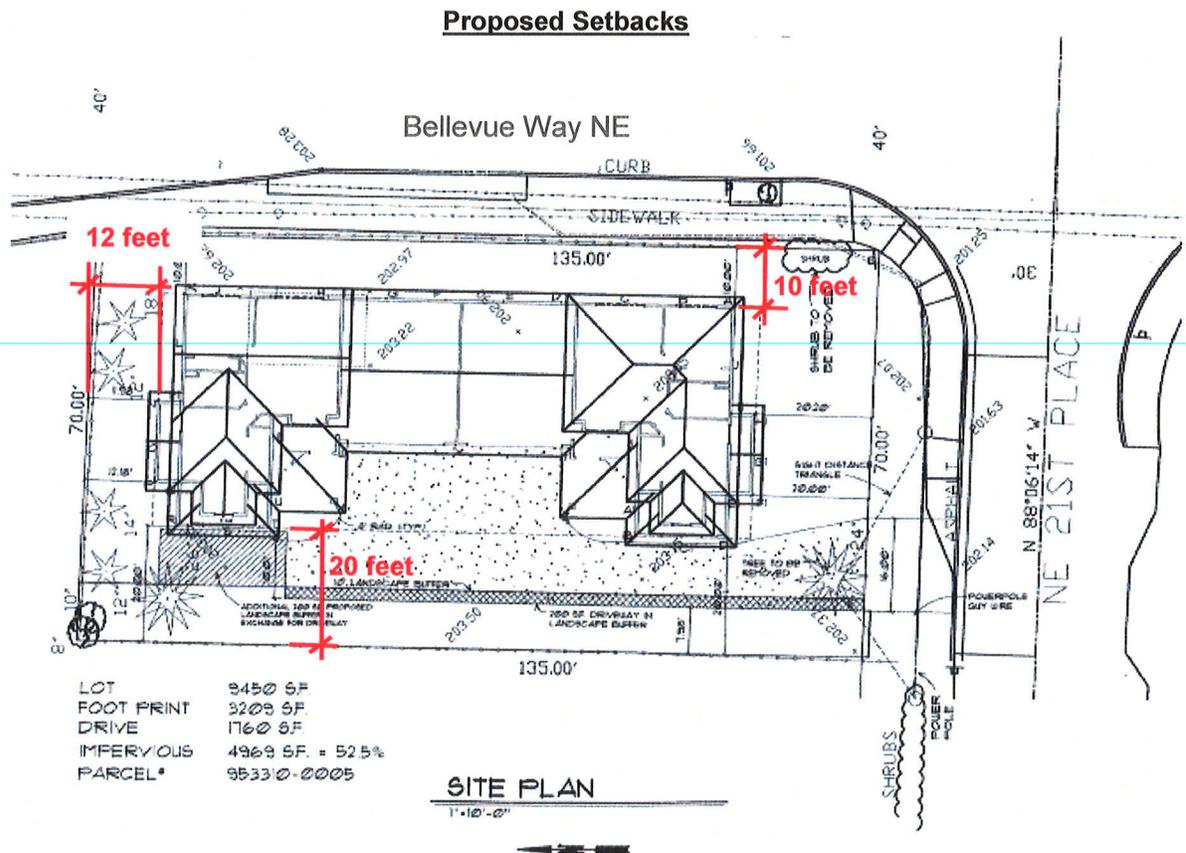
5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

The proposal will be served by adequate public facilities including streets, fire protection and utilities. The existing and proposed utilities are adequate to serve the proposed development. The structure will be required to meet all applicable Bellevue City Codes and Ordinances including all applicable fire protection requirements. Refer to Conditions of Approval regarding IFC requirements in Section IX of this report.

B. VARIANCE:

The applicant has requested a Variance to modify the following setback requirements:

- Reduction of the 30-foot Transition Area structure setback along the western property line to 20-feet.
- Reduction of the 25-foot rear setback along the northern property line to 12-feet.
- Reduction of the 20-foot front setback to 10-feet along the eastern property line on Bellevue Way.



The Director may approve or approve with modifications an application for a variance from the provision of the Land Use Code if:

- 1. The variance will not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and land use district of the subject property.**

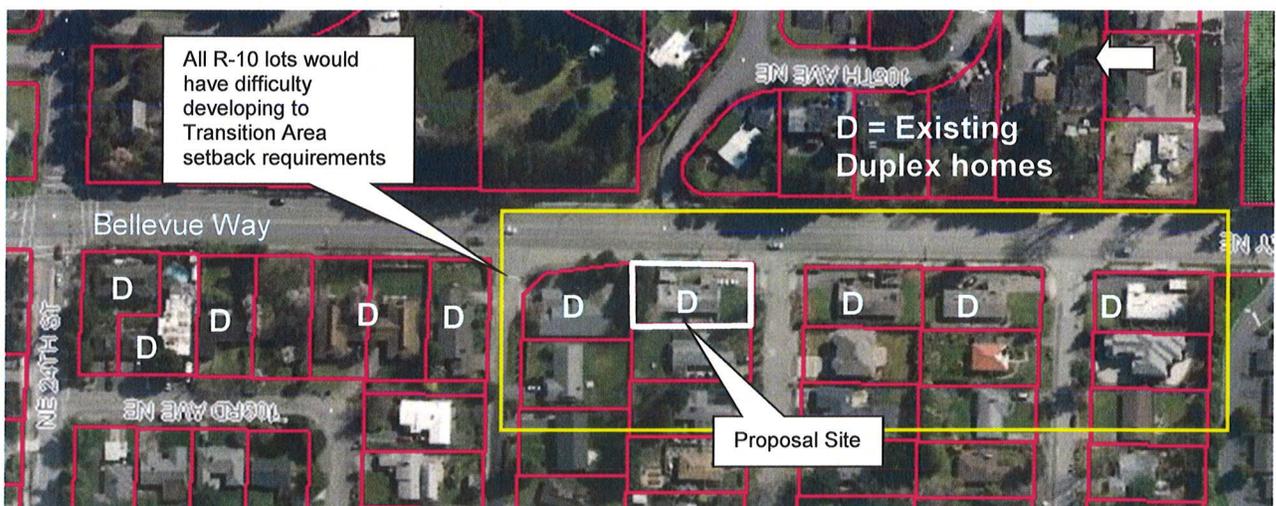
The requested modifications will not constitute a grant of special privilege. This lot and other four surrounding lots on Bellevue Way were rezoned from an R-4, single family land use district to and R-10, multi-family land use district in 1996 under Ordinance 4857. It also placed these lots within the Transition Area Design District. The duplex homes currently found on these lots were in place at the time of the rezone.

Due to the size of these R-10 lots, in conjunctions with narrow widths, and multiple street frontages, none of the lots could be redeveloped in full compliance with the Transition Area requirements of LUC 20.25B. Refer to the aerial photograph below.

- 2. The variance is necessary because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property to provide it with use right and privileges permitted to other properties in the vicinity and in the land use district of the subject property.**

The length, width, and multiple street frontages found on this multi-family lot make it extremely difficult to develop a duplex (allowed density) under existing setback requirements – including those for lots within the Transition Area design district. If the lot was developed to these requirements, the building envelope would be only 20-feet wide by 80-feet long. The same general condition exists for the other R-10 lots along Bellevue Way (see aerial photograph below). The applicant has pushed the building towards Bellevue Way, thereby moving it as far as possible from the single-family home directly adjacent to the west. The home has been designed to be as narrow as possible to minimize the setback modifications as much as possible, while still providing amenities such as garages that are expected in today's housing market and are found throughout the adjacent single-family homes.

Aerial Photograph of Adjacent Duplex Homes along Bellevue Way NE



Through design review, it was determined to be preferable to respect the 20-foot wide front setback on NE 21st Place and reduce the rear setback. The front is the public face

of the property and the 20-foot setback is consistent with the front setbacks required in the surrounding R-4, single-family neighborhood. Within the rear setback, there are 108 diameter inches of existing mature trees. Most of the trees are evergreen and they already will provide robust screening of the proposal from the duplex (within the same multi-family land use zone) to the north.

3. The granting of the variance will not be materially detrimental to property or improvements in the immediate vicinity of the subject property.

The granting of the variance will not be materially detrimental to the area. Existing fences and additional evergreen plantings along the eastern property line will soften the view of the duplex from the neighbor to the west. The closest single-family home to the east is over 100 feet away, across Bellevue Way. The rear setback area is already planted with mature evergreen trees that will remain and continue to provide robust screening of the site from the multi-family property to the north. Additional plantings inside the fence along Bellevue Way will help to soften the view of the new building from the street.

4. The variance is not inconsistent with the Comprehensive Plan.

Refer to Section VII.A above regarding consistency with the Comprehensive Plan. The proposal furthers the vision of the Plan by providing multi-family housing that is consistent in all of its design attributes to the adjacent single family neighborhoods.

VIII. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency and City Code & Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE WITH CONDITIONS** the subject proposal.

IX. CONDITIONS OF APPROVAL

The following conditions are imposed on the applicant under the authority referenced:

Compliance with Bellevue City Codes and Ordinances

Compliance with all applicable Bellevue City Codes and Ordinances including but not limited to the following is required:

Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Adrian Jones, 425-452-6032
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Tim Stever, 425-452-4294
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Ray Godinez, 425-452-7915
Utility Code – BCC Title 24	Mark Frazier, 425-452-2022

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Construction Noise

Excluding Federal Holidays, construction noise is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday, and from 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to these hours MAY be granted pursuant to 9.18.020C.1, if necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to construction noise would have a significant impact on the residents of the area. Therefore, exemptions for short term work outside of normal construction hours shall be limited and reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized. Exemptions from the Noise Control Code require a written request submitted two weeks prior to the scheduled onset of any construction activity outside of the permitted hours. Such requests shall include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

AUTHORITY: BCC 9.18.040
REVIEWER: Sally Nichols, Land Use

2. Interior Noise Requirements

The noise levels must be measured along the building lines of the residential structure in order to ensure compliance with the maximum interior Ldn. If the actual noise levels exceed the maximum required thresholds, modifications shall be incorporated into the site and/or building design to reduce the interior noise thresholds.

AUTHORITY: BCC 9.18.045B
REVIEWER: Sally Nichols, Land Use

3. Holiday Construction & Traffic Restrictions

Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

AUTHORITY: BCC 14.30.060
REVIEWER: Ray Godinez, Transportation

4. Vehicular Access

Access to this site will be relocated to the southwest corner of the site as shown on the approved construction drawings for this project (joint use driveway with an approach width of 16 feet; one curb cut only). Existing access must be abandoned and replaced with sidewalk, curb and gutter, ADA ramp.

Vehicular access to Bellevue Way will not be allowed, either during construction or after completion of the development.

AUTHORITY: BCC 14.60.150, BCC 14.30
REVIEWER: Ray Godinez, Transportation

5. Provisions for Loading

The property owner shall provide an off-street loading space which can access a public street. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4
REVIEWER: Ray Godinez, Transportation

6. Preliminary Design, Utility Codes and Engineering Standards

Utility review has been completed on the preliminary information submitted at the time of this application. The review of this application has no implied approvals for water, sewer and storm drainage components of the project. Over the counter water, sewer and drainage permits will be required for the development. Contact the permit center for application requirements at 425-452-4187.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Mark Frazier, Utilities

B. PRIOR TO CLEARING & GRADING PERMIT: The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. Noise Abatement Technology

The use of the best available noise abatement technology is required during construction in order to mitigate construction noise impacts to the neighborhood residents.

AUTHORITY: BCC 9.18.020F
REVIEWER: Sally Nichols, Land Use

2. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as foundation work and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever 425-452-4294

3. Civil Engineering Plans – Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Frontage improvements to be shown on the engineering plans include, but are not limited to:

- a) New stop bar channelization on NE 21st Street.
- b) Curb, gutter, sidewalk, and driveway approach design along NE 21st Street per the approved construction drawings for this project.
- c) Handicapped ramps at both corners of NE 21st Street at Bellevue Way NE.
- d) Sight distance lines.
- e) Location of fixed objects in the sidewalk or near the driveway approach.
- f) Trench restoration within any right of way or access easement.

AUTHORITY: BCC 14.60.110; Transportation Design Manual
REVIEWER: Ray Godinez, Transportation

4. Tree Protection Plan

Prior to Clearing and grading permit approval, the applicant shall submit a tree protection site plan, per the requirements found in the clearing and grading development standards for tree protection (BMP T101 - attached at the end of this report).

AUTHORITY: LUC 20.20.900
REVIEWER: Sally Nichols, Land Use

C. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT

1. Transportation Impact Fee

Payment of the traffic impact fee **will not be required** for this project.

AUTHORITY: BCC 22.16
REVIEWER: Ray Godinez, Transportation

2. Building and Site Plans – Transportation

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241
REVIEWER: Ray Godinez, Transportation

3. Pedestrian Easements

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

AUTHORITY: BCC 14.60.100
REVIEWER: RAY Godinez, Transportation

4. Dedication of Right of Way

The applicant shall dedicate right of way to the City along the curb radial of Bellevue Way NE and NE 21st Street to provide adequate clearance for new ADA ramp construction, maintenance and repair of said ramp and pedestrian thoroughfare.

AUTHORITY: BCC 14.60.090
REVIEWER: Ray Godinez, Transportation

5. Addresses

The applicant shall contact the Parcel and Address Coordinator at (425) 452-4310 to have an address assigned to each proposed unit. The address numbers shall be in accordance with the International Fire Code (IFC) requirements and both shall be off of NE 21st Place.

AUTHORITY: LUC 20.40.425, IFC 505.
REVIEWER: Adrian Jones, Fire

6. IFC Requirements

The demolition and construction shall conform to the requirements of IFC Chapter 14. Address numbers shall be in accordance with IFC 505.

AUTHORITY: IFC Chapter 14, IFC 505
REVIEWER: Adrian Jones, Fire

7. Decorative Exterior Window Casing

The applicant shall provide additional exterior window molding (trim), similar to that proposed on the west façade of the building, around the two windows on the southern façade (facing 102nd Place NE) and around the four second story windows on the eastern façade (facing Bellevue Way NE).

AUTHORITY: LUC 20.25B.050.B
REVIEWER: Sally Nichols, Land Use

8. Plant Material

a) Size of Plant Material at Time of Planting:

All landscape materials shall comply with the requirements for landscaping within a Transition Area, including, but not limited to the following:

- Trees: All trees shall be a minimum of **10-feet** tall at time of planting.

- Evergreen Shrubs: All evergreen shrubs shall be a minimum of **42-inches** high and be spaced no greater than 36-inches on-center at time of planting.
- Groundcover: Shall be planted to completely **cover the ground in three years**.

b) One Additional Evergreen Tree in Front Buffer:

One additional evergreen tree, 10-feet tall at time of planting, shall be planted within the front landscape buffer in front of a blank wall on the southern elevation of the house.

c) Nootka Rose:

Substitute another shrub for the proposed Nootka Rose that is less invasive and prone to sending out runners.

AUTHORITY: LUC 20.25B.040.C
REVIEWER: Sally Nichols, Land Use

D. PRIOR TO FINAL BUILDING PERMIT INSPECTION: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to Final Building Permit Inspection:

1. Street Frontage Improvements

All street frontage improvements and other required transportation elements must be constructed by the applicant and accepted by the City Inspector. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction.

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Design Manual
REVIEWER: Ray Godinez, Transportation

2. Pavement Restoration

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

a) Bellevue Way NE: This street was recently overlaid and a five year no-street cut moratorium is currently in effect. The applicant must obtain permission from the Right of Way Manager via a waiver to cut into this street. If granted approval, pavement restoration requirements will be specified at that time. Any damage to the Bellevue Way NE caused by construction activity related to this project will be responsibility of the applicant. Mitigation for damages will be at the discretion of the Right of Way Manager.

b) NE 21st Street: Based on this street's excellent condition, it is classified with the City's overlay program as "Overlay Required." Minimal pavement restoration requirements will consists of a full grind and overlay extending 50 feet from each side of the street cut for the full width of the street. Depth of grind will be at the discretion of the Transportation Inspector.

AUTHORITY: BCC 14.60. 250; Transportation Design Manual Design
REVIEWER: Tim Stever 425-452-4294

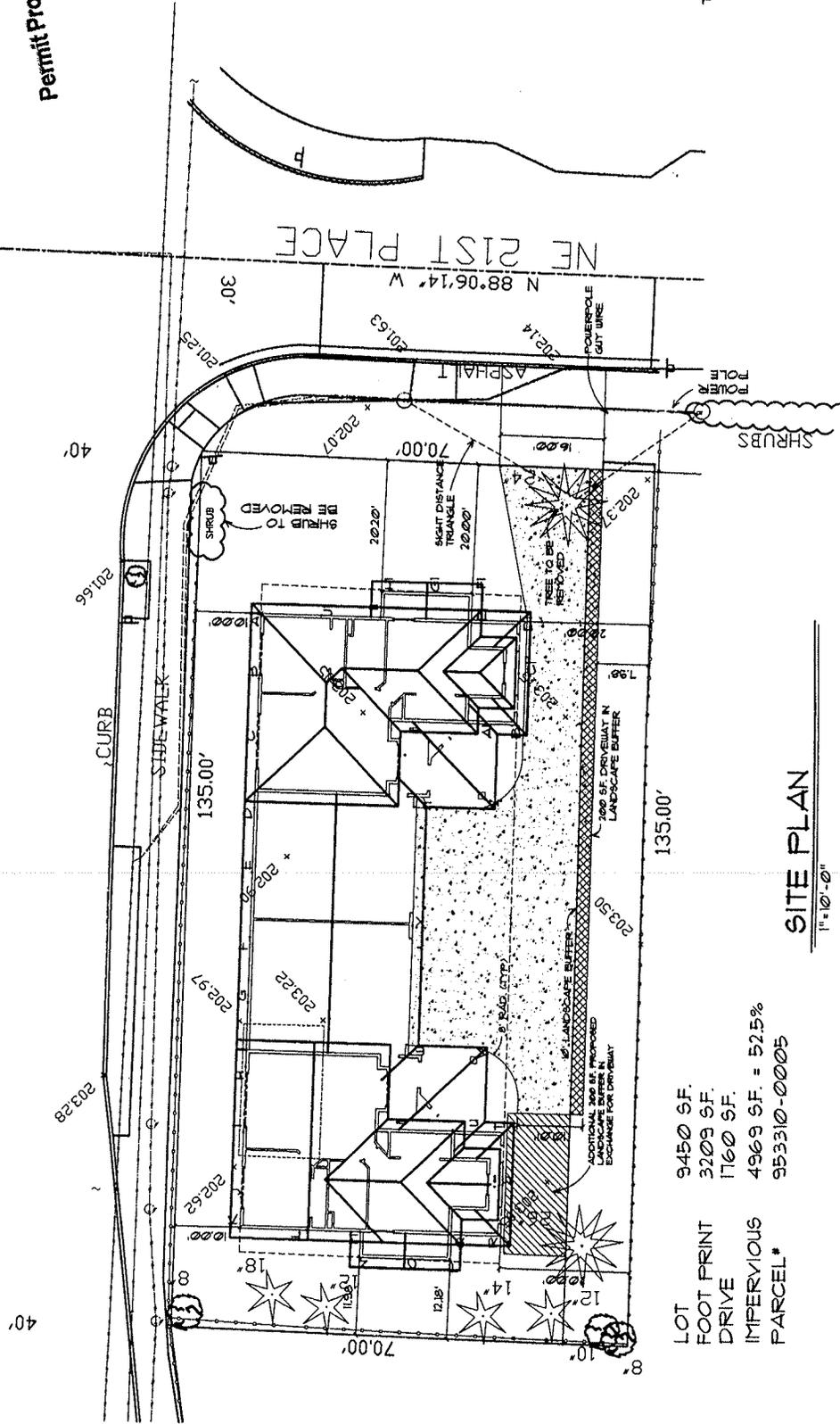
Attachments:

Project Plans
BMP T101 – Tree Protection Requirements

Received
 NOV 01 2012
 Permit Processing

104TH AVE NE

825.01 (PLAT BASIS OF BEARINGS) N 01°04'52" E



AVERAGE (E) GRADE	
A	203.00'
B	203.00'
C	203.00'
D	203.00'
E	202.90'
F	202.90'
G	202.91'
H	202.91'
I	202.91'
J	202.91'
K	202.91'
L	202.91'
M	202.91'
N	202.91'
O	202.91'
P	202.91'
Q	202.91'
R	202.91'
S	202.91'
T	202.91'
U	202.91'
V	202.91'
W	202.91'
X	202.91'
Y	202.91'
Z	202.91'
AA	202.91'
AB	202.91'
AC	202.91'
AD	202.91'
AE	202.91'
AF	202.91'
AG	202.91'
AH	202.91'
AI	202.91'
AJ	202.91'

130453/36 * 202.90 AVG. GRADE

LOT 9450 SF.
 FOOT PRINT 3209 SF.
 DRIVE 1760 SF.
 IMPERVIOUS 4969 SF. = 52.5%
 PARCEL* 953310-0005

SITE PLAN

1" = 10'-0"



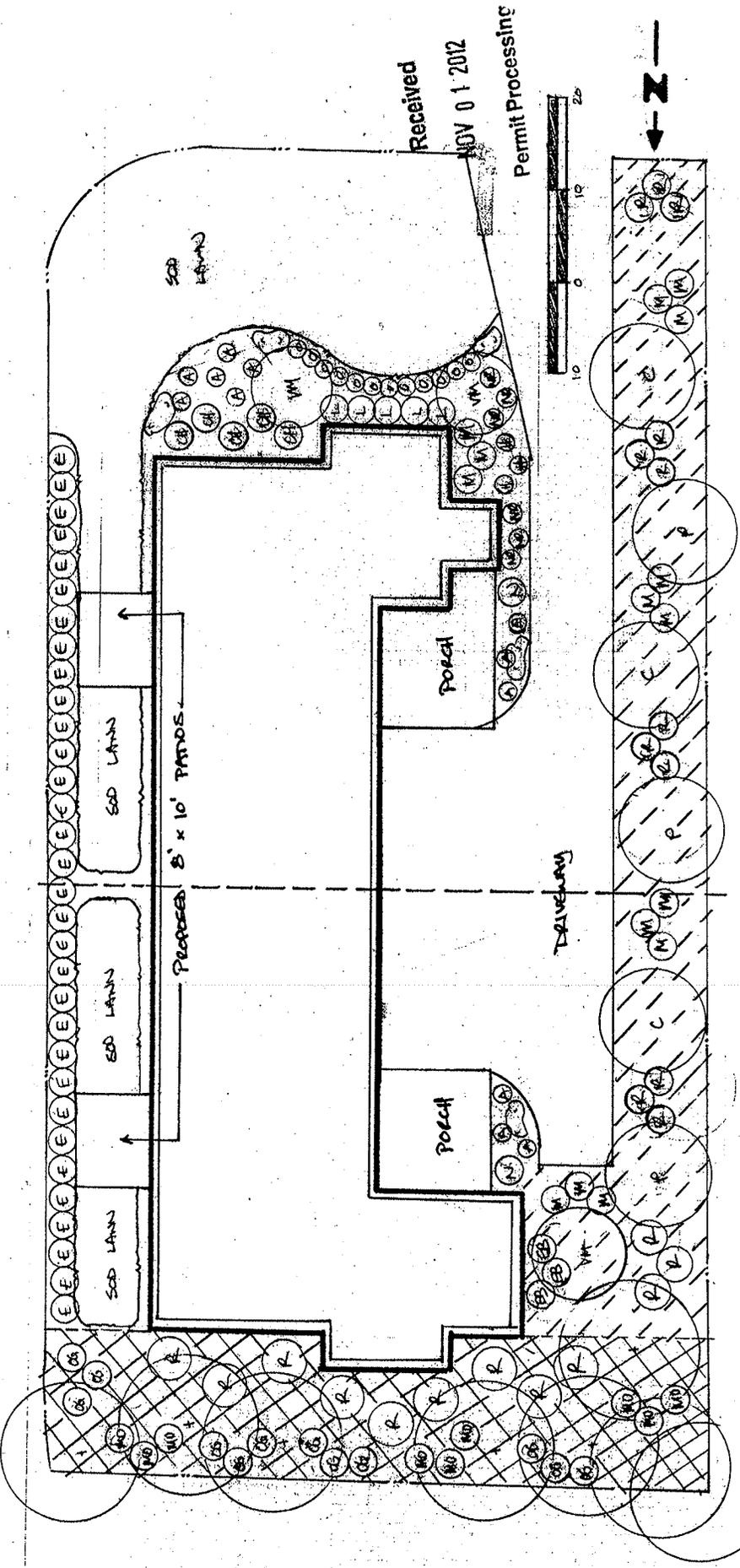
SHERWOOD LANDSCAPE PLAN

NE 21ST PLACE DUPLEX
Bellevue, WA

Materials	SF	Sod
1600		
80	CY	Topsoil
20	CY	Bark Mulch

Symbol	Qty.	Size	Botanical Name	Common Name	Species
C	3	6' min ht	Calceolus Decurrens	Common Name	Species
P	3	6' min ht	Pinus Contorta	Insect Cedar	
VM	3	6' min ht	Acer Circinnatum	Shore Pine	
E	32	5-6' min ht	Theja Occidentalis	Vine Maple	
R	24	4-7' ht	Rhododendron Macrophyllum	Emerald Green	3' O.C.
M	15	4-7' ht	Myrica Californica	Rhododendron	3' O.C.
OG	12	35'-42' ht	Malvonia Nervosa	Wax Myrtle	3' O.C.
MO	9	35'-42' ht	Philadelphus Lewisii	Oregon Grape	3' O.C.
L	5	3-4' ht	Prinos Laurenceus Schiphaensis	Mock Orange	3' O.C.
				Slip Laurel	3' O.C.

Symbol	Qty.	Size	Botanical Name	Common Name	Species
O	12	18-24" ht	Prinos Laurenceus Otto Luyfen	Otto Luyfen Laurel	3' O.C.
CH	5	18-24" ht	Chelya Ternata	Mexican Orange	3' O.C.
A	12	18" ht	Rhododendron Occidentale	Western Azalea	3' O.C.
NR	6	12-18" ht	Rosa Nutkana	Nootka Rose	3' O.C.
H	3	12-18" ht	Vaccinium Ovatum	Evergreen Huckleberry	3' O.C.
N	2	18-24" ht	Nautilia Domestica	Heavenly Bamboo	3' O.C.
KS	4	4' pot	Arctostaphylos Uva-Ursi	Knoxknick	18" O.C.
KS	4	4' pot	Rubus Parviflorus	Creeping Bramble	18" O.C.

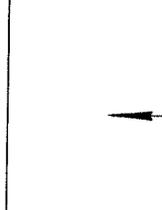
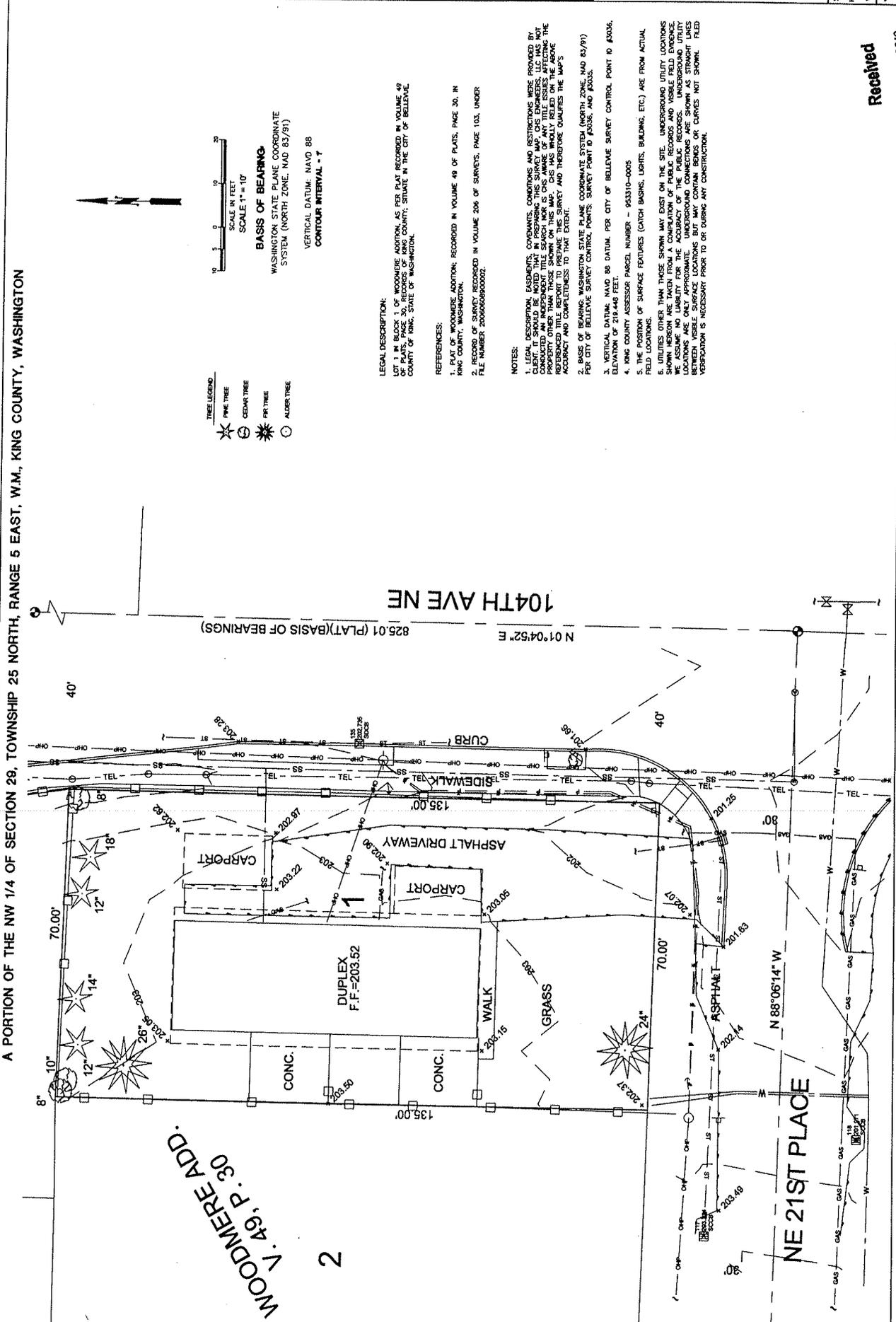


A PORTION OF THE NW 1/4 OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON

Scale	Sheet 1
North 1"=100'	Of 1
Job No.	601216

C MAC LLC
 2107 BELLEVUE WAY NE
 BELLEVUE, WA 98005-5000
 TEL (425) 637-0043 FAX (425) 637-2044
 www.chsenr.com

CHS ENGINEERS, LLC
 Drawn / Date
 Checked / Date
 Date



BASIS OF BEARING
 WASHINGTON STATE PLANE COORDINATE SYSTEM (NORTH ZONE, NAD 83/91)

VERTICAL DATUM: NAVD 88
 CONTOUR INTERVAL: 7'

- TREE LEGEND**
- PINE TREE
 - OAK TREE
 - SPRUCE TREE
 - ALDER TREE

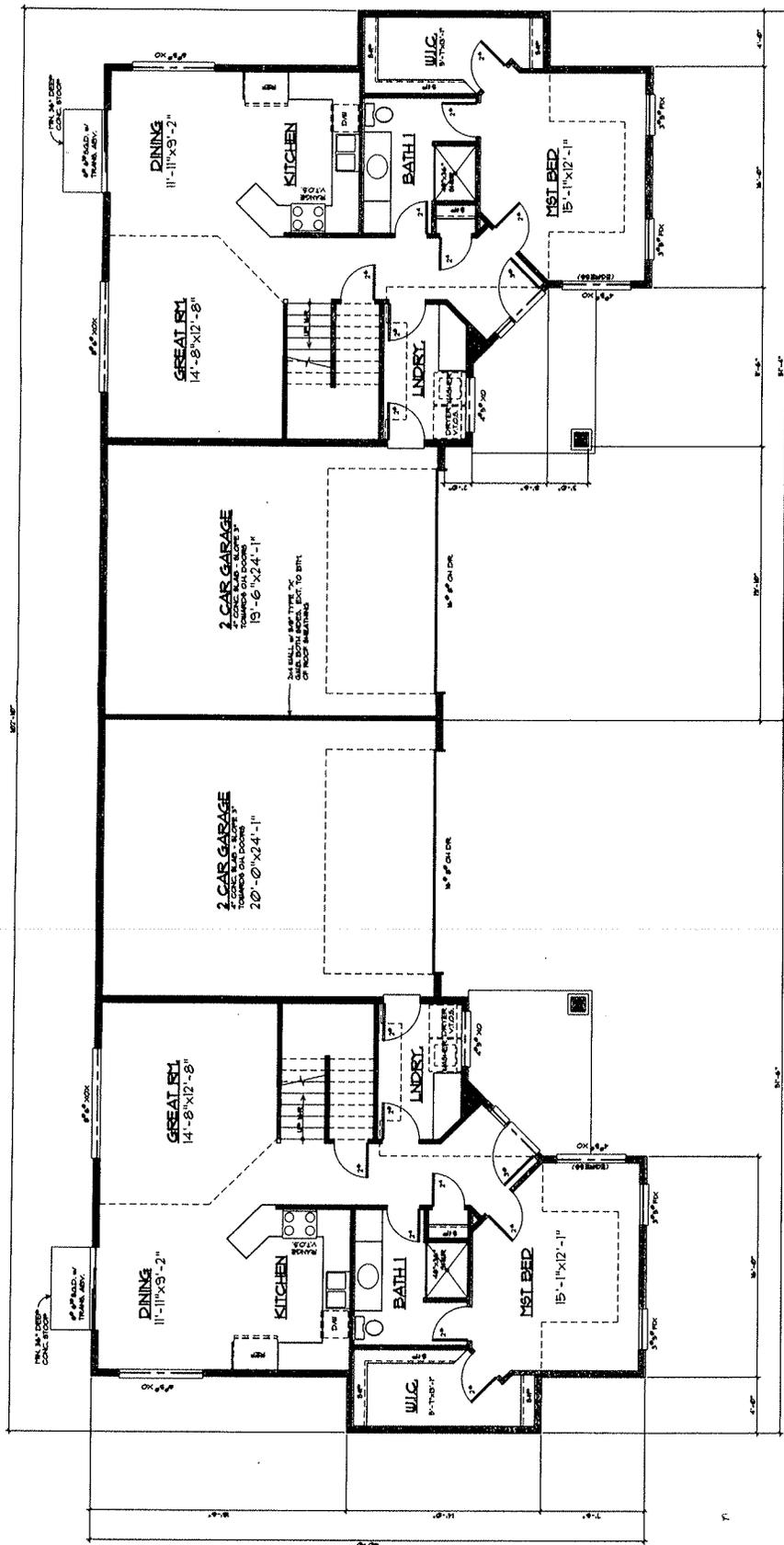
LEGAL DESCRIPTION:
 LOT 1 IN BLOCK 1 OF WOOLMERE ADDITION, AS PER PLAT RECORDED IN VOLUME 49 OF PLATS, KING COUNTY, WASHINGTON.

REFERENCES:
 1. PLAT OF WOOLMERE ADDITION, RECORDED IN VOLUME 49 OF PLATS, PAGE 30, IN KING COUNTY, WASHINGTON.
 2. RECORD OF SURVEY RECORDED IN VOLUME 206 OF SURVEYS, PAGE 103, UNDER FILE NUMBER 200606000002.

NOTES:
 1. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE TAKEN FROM A COMPARISON OF PUBLIC RECORDS AND VISIBLE FIELD LOCATIONS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THE PUBLIC RECORDS. UNDERGROUND UTILITY LOCATIONS ARE ONLY APPROXIMATE. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN POINTS OF INTERSECTION. FIELD VERIFICATION IS NECESSARY PRIOR TO OR DURING ANY CONSTRUCTION.
 2. BASIS OF BEARING: WASHINGTON STATE PLANE COORDINATE SYSTEM (NORTH ZONE, NAD 83/91) PER CITY OF BELLEVUE SURVEY CONTROL POINTS, SURVEY POINT ID #2035, AND #2035.
 3. VERTICAL DATUM: NAVD 88 DATUM, PER CITY OF BELLEVUE SURVEY CONTROL POINT ID #2006, ELEVATION OF 114.45 FEET.
 4. KING COUNTY ASSESSOR: PARCEL NUMBER - 953310-0005
 5. THE POSITIONS OF SURFACE FEATURES (CATCH BASINS, LIGHTS, BUILDING, ETC.) ARE FROM ACTUAL FIELD LOCATIONS.
 6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THE SITE. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE TAKEN FROM A COMPARISON OF PUBLIC RECORDS AND VISIBLE FIELD LOCATIONS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THE PUBLIC RECORDS. UNDERGROUND UTILITY LOCATIONS ARE ONLY APPROXIMATE. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN POINTS OF INTERSECTION. FIELD VERIFICATION IS NECESSARY PRIOR TO OR DURING ANY CONSTRUCTION.

Received
 NOV 01 2012

Permit Processing



MAIN FLOOR PLAN
 1/4" = 1'-0"
 5072 S.F.
 489 S.F. (GARAGE)

SQUARE FOOTAGE SUMMARY

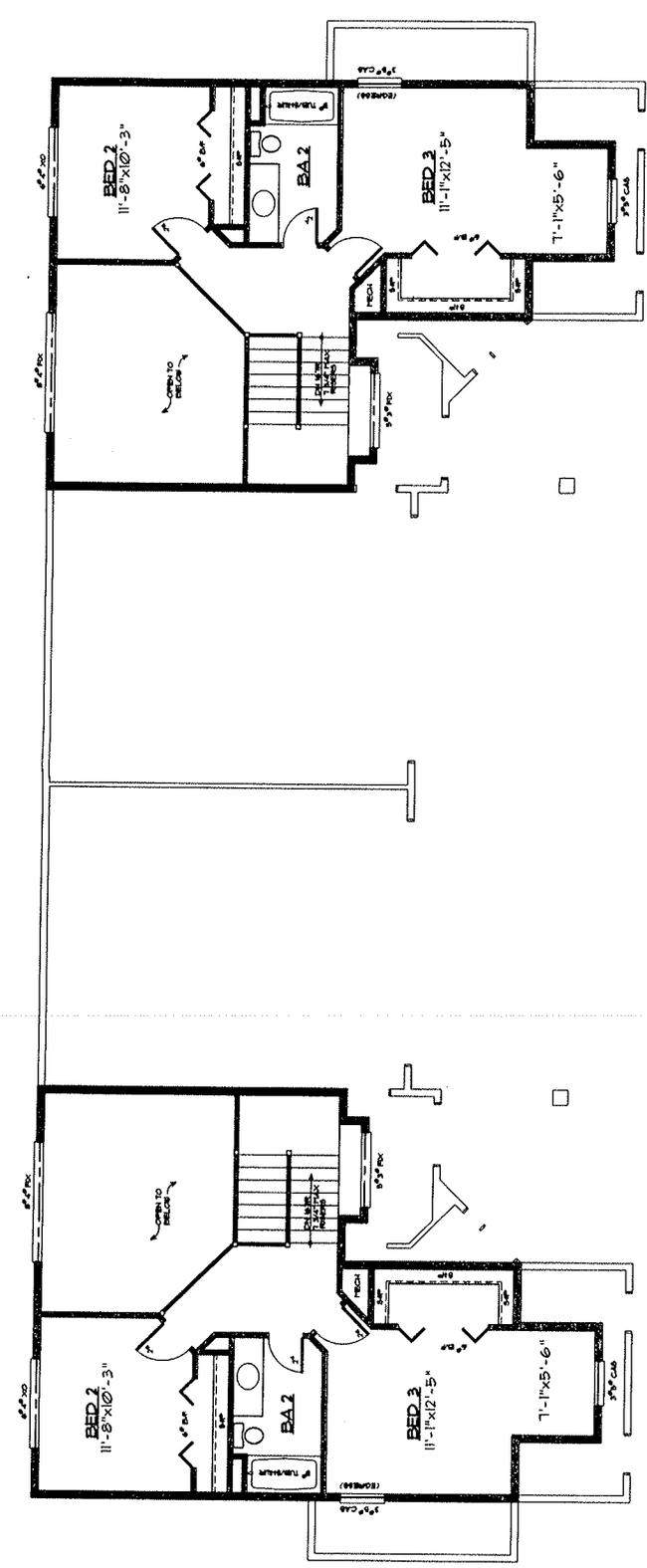
SQUARE FOOTAGE:	5072 S.F.
MAIN FLOOR:	489 S.F.
UPPER FLOOR:	489 S.F.
TOTAL:	978 S.F.
GARAGE:	489 S.F.

MAIN FLOOR PLAN
 1/4" = 1'-0"
 5072 S.F.
 511 S.F. (GARAGE)

SQUARE FOOTAGE SUMMARY

SQUARE FOOTAGE:	5072 S.F.
MAIN FLOOR:	511 S.F.
UPPER FLOOR:	489 S.F.
TOTAL:	978 S.F.
GARAGE:	511 S.F.

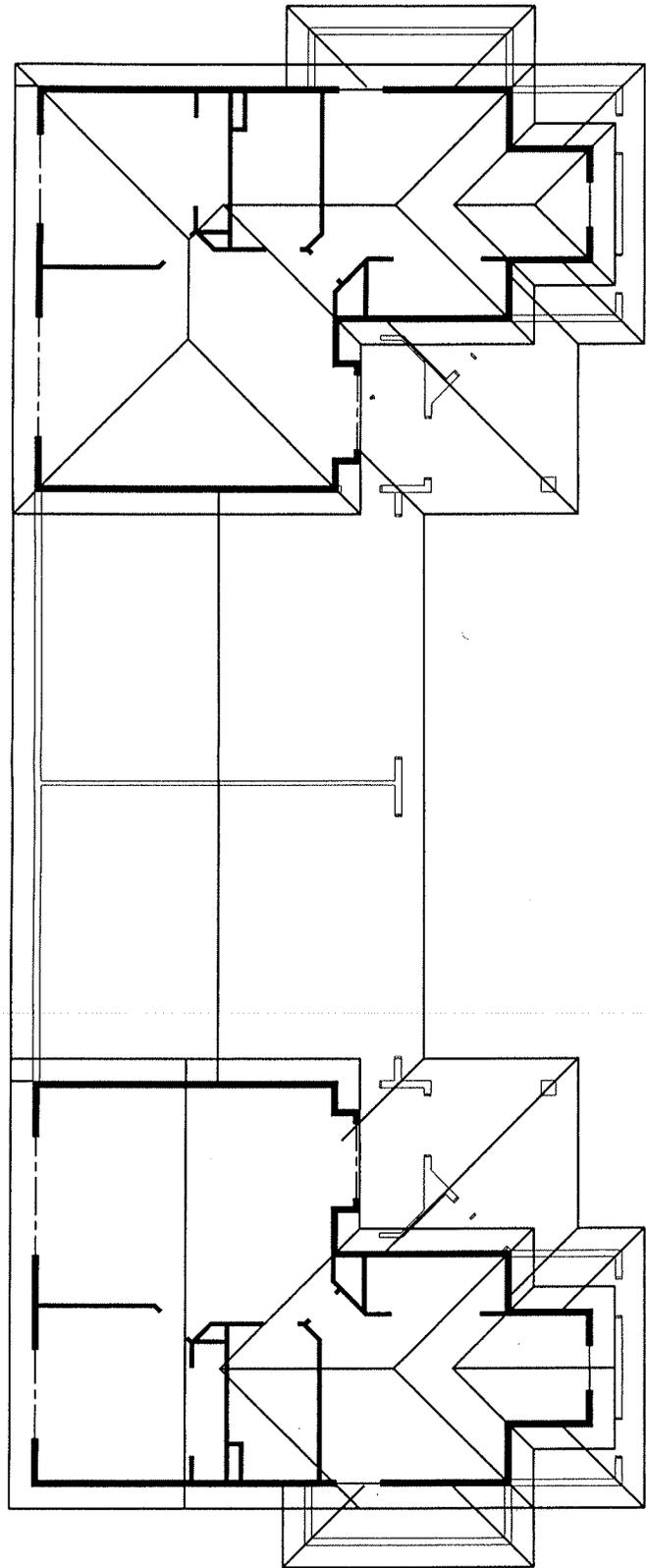
Received
 NOV 01 2012
 Permit Processing



UPPER FLOOR PLAN
 541 SF.
 1/4" = 1'-0"

UPPER FLOOR PLAN
 541 SF.
 1/4" = 1'-0"

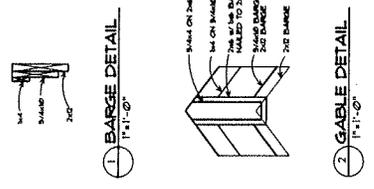
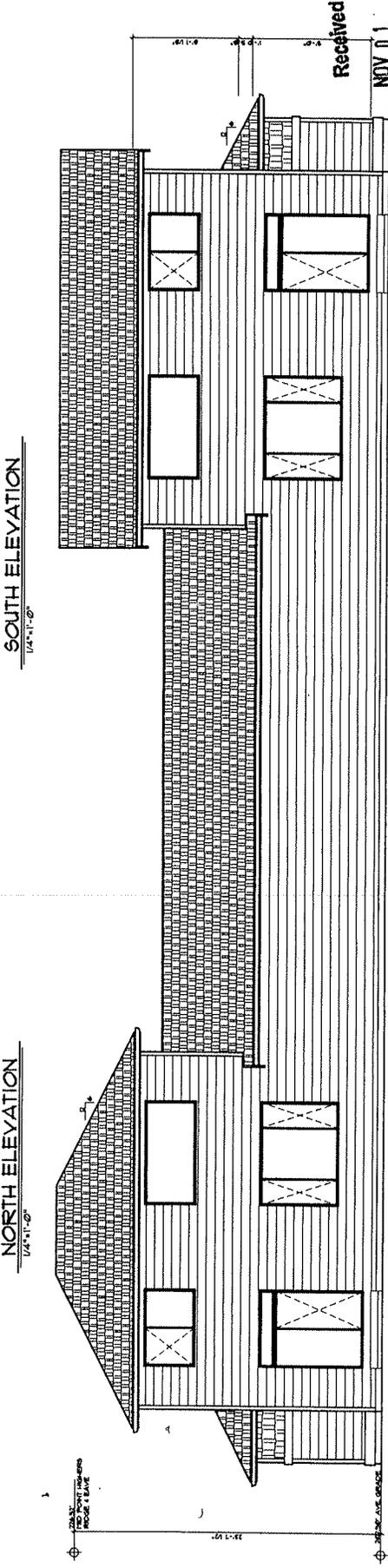
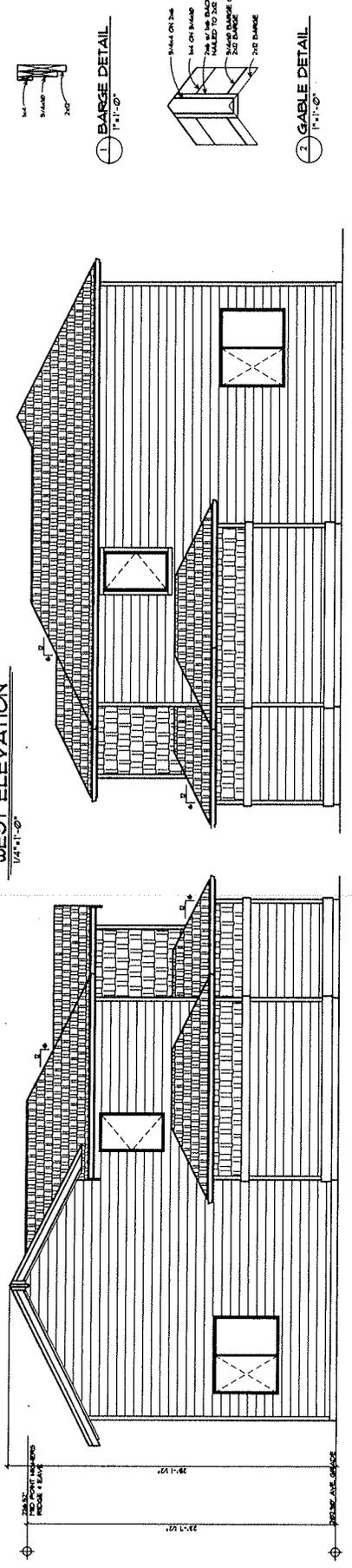
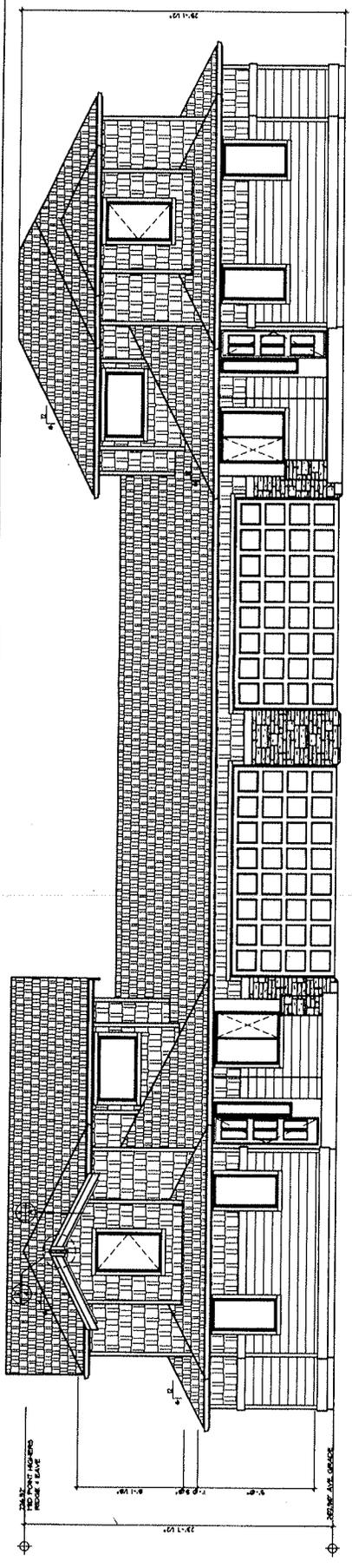
Received
 NOV 01 2012
 Permit Processing



ROOF FRAMING PLAN (HIP)
1/4"=1'-0"

ROOF FRAMING PLAN (GABLE)
1/4"=1'-0"

Received
NOV 01 2012
Permit Processing

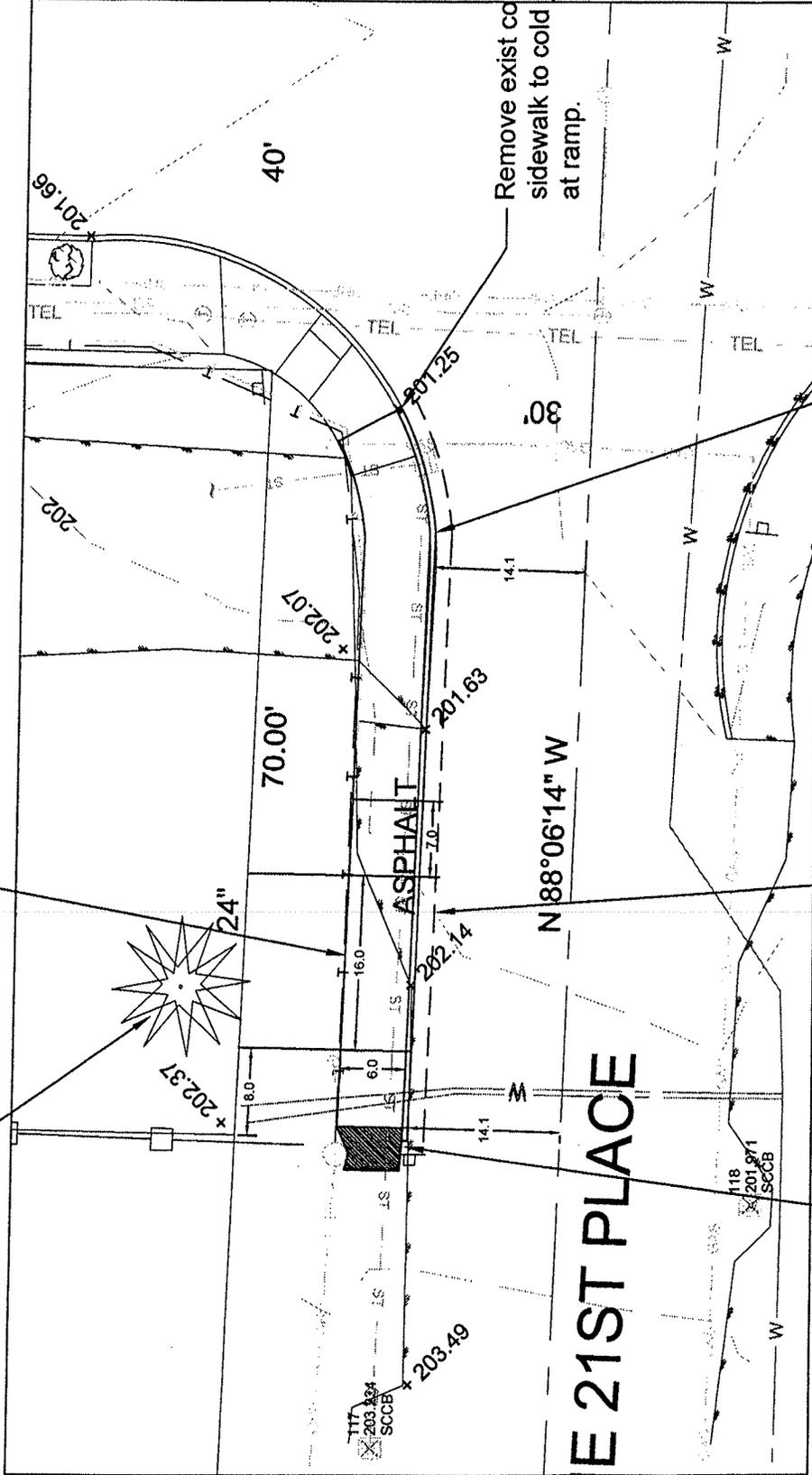


Received
NOV 01

Permit Processing

Exist. tree to be removed.

Install Driveway Cut
per Std DEV-7A



Remove exist conc.
sidewalk to cold joint
at ramp.

Install Curb & Gutter per Std TE-10
Install 72" wide Sidewalk per Std
TE-11

Match exist road grade, maintain
flow line.

Received

NOV 01 2012

Sawcut exist. asphalt for C&G
installation. Patch to match exist.
depth, min 4".

Asphalt ramp
to grade.

STREET FRONTAGE IMPROVEMENTS

Permit Processing



BMP T101: Tree Protection Requirements

Purpose The section identifies management practices to employ at construction sites to guarantee successful tree and vegetation protection before, during, and through a lifetime of site use and maintenance. The City of Bellevue regulates and manages tree retention during development through the Land Use Code and the Clearing and Grading Code. Trees and vegetation are preserved for several reasons:

- To sustain both the function and value of vegetation assets
- To enhance public safety by carefully maintaining the health of onsite vegetation and to reduce liability
- To contain costs associated with site restoration
- To reduce or avoid soil compaction and degradation
- To avoid physical injury to existing trees
- To avoid root injury to trees and other vegetation
- To protect soils and hydraulic integrity of the entire site
- To protect existing irrigation, utilities and underground drainage
- To prevent sediment-laden and/or polluted runoff from entering drainage systems and water bodies (streams, wetlands, lakes).

Definitions

Critical Root Zone (CRZ) - The circular area around the base of a tree calculated as the distance to the furthest extent to the tree's dripline.

Development Project - Any construction activity including demolition, grading, drainage improvements, new construction of main house or accessory structures, added square footage to existing main house or accessory structures, site preparation and landscaping.

Diameter at Breast Height (DBH) - The diameter of the tree trunk at four and one-half feet (or 54 inches) above natural grade level. The diameter may be calculated by using the following formula: $DBH = \text{circumference at 4.5-feet} \times 3.14$. To determine the DBH of multi-trunk trees or measuring trees on slopes, consult the current Guide for Plant Appraisal, published by the Council of Tree and Landscape Appraisers.

Drip line - The circular area around the base of a tree measured by the furthest lateral extent of the foliage.

Project Arborist - A qualified professional who is qualified to evaluate trees such as a Certified Arborist, a Registered Consulting Arborist, a Licensed Landscape Architect or a Certified Forester. The project arborist is responsible for decisions related to vegetation on site before, during and after construction.

Project Manager - The person assigned to the construction project by the department or the contractor who is responsible for managing the overall project. Project management duties include schedule, budget, and related logistics, including construction site management.

Tree Protection Site Plan (Base Map) - A set of drawings that show existing site conditions and proposed landscape improvements, including trees to be removed, relocated or to be retained. Site plans shall include the following minimum information that may affect trees:

A. Surveyed location, species, size, drip line area of significant (including trees located on neighboring property that overhang the project site) and Street Trees within 30-feet of the project site.

B. Paving, concrete, trenching or grade change located within the **Tree Protection Zone (TPZ)**.

C. Existing and proposed utility pathways.

D. Surface and subsurface drainage and aeration systems to be used.

E. Walls, tree wells, retaining walls and grade change barriers, both temporary and permanent.

F. Landscaping, irrigation and lighting within TPZ of trees.

G. All of the final approved site plan sheets shall reference tree protection instructions.

Significant Tree - A healthy evergreen or deciduous tree, eight inches in diameter or greater at four feet above existing grade. (Land Use Code 20.50.046)

Street Tree - means any tree growing within the street right-of-way, outside of private property.

Tree Appraisal - means a method of determining the monetary value of a tree as it relates to the real estate value of the property, neighborhood, or community.

Tree Protection Plan (TPP) - A plan prepared by a certified arborist that outlines measures to protect and preserve trees.

Tree Protection Zone (TPZ) - The circular area around a tree calculated as 1.5 feet of radius for every inch of DBH, or no less than 6 feet, whichever is greater that is required to be protected with a fenced enclosure.

Tree Protection Fencing - A temporary enclosure erected around a tree to be protected at the boundary of the tree protection zone. Tree protection fencing should consist of six 6 foot high chain link fence, mounted on two inch diameter metal posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing.

Warning Sign - A warning sign shall be prominently displayed on each fence. The sign shall be a minimum of 8.5 x 11-inches and clearly state: "WARNING – Tree Protection Zone - This fence shall not be removed and any injury to this or these trees is subject to penalty according to BCC 14.06.100."

Conditions of Use

Trees and vegetation can be impacted during construction in many ways and often times the damage is not seen for several months or even years after the construction is completed. Proper tree protection can benefit not only the tree by reducing stress during construction but also the developer and property owner by reducing long term costs associated with future maintenance. The cost of

removing a tree killed by construction after development is usually greater than the cost of protecting the tree during construction.

Common types of tree injuries that occur during construction may include:

- Mechanical injury to roots, trunk or branches
- Compaction of soil by storing of materials or equipment, which degrades the functioning of roots, inhibits the development of new roots and restricts drainage.
- Changes in existing grade which can cut or suffocate roots
- Alteration of the water table - either raising or lowering
- Changes in drainage patterns that promotes erosion or excessive accumulation of runoff
- Sterile soil conditions associated with stripping off topsoil
- Damage to roots from dumping of liquids or rinsing of construction equipment

Not all damage occurs to trees and vegetation during the actual construction of buildings or structures. Trees are often damage during the landscaping phase after the heavy equipment and workers have left. Installing irrigation, applying topsoil and turf installation also causes damage to trees. All construction-related impacts can produce long-term maintenance problems that can be avoided by following the BMPs set forth in the remainder of this chapter.

Planning & Permitting Phase

- Inventory and evaluate all existing trees on the site and trees immediately adjacent with driplines or expected root zones extending onto the project site. The inventory and evaluation shall include, but not be limited to the following information:
 - Tree species
 - Tree size in DBH and canopy spread
 - Tree condition or observed defects
 - Tree numbers that are included in an inventory table
 - A calculation of the total diameter inches of significant trees on the site along with an indication of the interior or perimeter location of the tree, if applicable to the proposed development type and tree retention.
 - Tree map showing the location of the existing significant trees on the site with numbers corresponding to the tree inventory table.
- **Submit a Tree Protection Plan (TPP)** prepared by a Project Arborist that includes the following information:
 - Location of and description all significant trees that will remain on the project site per LUC 20.20.900
 - Illustration of the Tree Protection Zone (TPZ) for each tree is a radius of 1.5 feet for every inch of DBH or a minimum of 6 feet, whichever is greater.

- The TPZ will regularly exceed the Critical Root Zone (CRZ), which is the outer edge of the tree's canopy, or drip line. The reduction of TPZ closer to the TPZ must be accompanied by mitigating measures and be approved in writing by the City of Bellevue. The TPZ may not be smaller than the CRZ.
- Description of expected tree protection techniques that will be used on the project as per the Land Use Code and the Clearing and Grading Code. All tree removal and pruning needed to make room for future structures and construction equipment should also be drawn on the base map
- A timetable for project meetings with the Project Team including a pre-construction meeting and the schedule for the Project Arborist monitoring.
- Calculation of appraisal amounts to be collected by the City as an assurance device in the form of a deposit equal to the tree appraisal value of all protected trees as determined under the methods described in the Guide for Establishing Value of Trees and Other Plants, published by the International Society of Arboriculture.

Pre-Construction Site Preparation Phase

- Stage equipment away from trees and vegetation to be retained so that existing plants and their roots are protected.
- Fence off with chain link or construction fencing all entry and exit routes. When planning routes, avoid utility access corridors.
- Protect irrigation and drainage systems shall from damage unless plans call for renovation of such systems.
- Stake and/or flag clearing limits and tree protection to be verified and approved by the City's clearing and grading inspector at the required preconstruction meeting.
- Project Arborist will supervise and verify the following tree protection measures are in place and comply with the approved TPP:
 - A 6" layer of coarse mulch or woodchips is to be placed beneath the Tree Protection Zone (TPZ) of the protected trees. Mulch is to be kept 12" from the trunk.
 - Trees that have been identified in the site inventory as posing a health or safety risk may be removed or pruned by no more than one-third, subject to approval of the required permit by the City of Bellevue. Pruning of existing limbs and roots shall occur under the direction of the Project Arborist.
 - Tree Protection Fencing of 6' chain link fencing shall be installed around the TPZ of protected tree(s). The fencing can be moved within the TPZ if authorized by the Clearing and Grading Inspector and the Project Arborist but not closer than 2' from the trunk of any tree. Fence posts shall be 1.5" in diameter and are to be driven 2' into the ground. The distance between posts shall not be more than 10'.
 - Tree protection fencing shall have a warning signs prominently installed on each fence at 20-foot intervals. The sign shall be a minimum 8.5-

inches x 11-inches and clearly state: "WARNING - Tree Protection Zone"

- Movable barriers of chain link fencing secured to cement blocks may be substituted for "fixed" fencing if the Project Arborist and City Staff agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist and City Staff.
- Should temporary access into the TPZ be approved, an additional 3" layer of gravel and ¾" plywood shall be placed over the CRZ.

Construction Phase

During the Construction phase, ensure the TPP is being followed and report any conflicts or deviations to the City of Bellevue Clearing and Grading Inspector. Monitor construction activities that require encroachment within the TPZ, such as grading or trenching.

Avoid the following conditions:

1. Allowing run off or spillage of damaging materials into the approved TPZ.
2. Storing construction materials or portable toilets, stockpiling of soil, or parking or driving vehicles within the TPZ.
3. Cutting, breaking, skinning, or bruising roots, branches, or trunks without first obtaining authorization from the Project Arborist.
4. Discharging exhaust into foliage.
5. Securing cable, chain, or rope to trees or shrubs.
6. Trenching, digging, tunneling or otherwise excavating within the CRZ or TPZ of the tree(s) without first obtaining authorization from the Project Arborist.

Periodically inspect during construction - at four-week intervals - to assess and monitor the effectiveness of the TPP and provide recommendations for any additional care or treatment. More frequent may be required based on the TPP.

The following activities should be observed and inspected by the project arborist during the construction phase to ensure compliance with the approved TPP:

1. Only excavation by hand or compressed air shall be allowed within the TPZ of trees. Machine trenching shall not be allowed.
2. In order to avoid injury to tree roots, when a trenching machine is being used outside of the TPZ of trees, and roots are encountered smaller than 2", the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2" or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. All exposed roots are to be protected with dampened burlap.
3. Route pipes outside of the TPZ of a protected tree to avoid conflict with roots. Where it is not possible to reroute pipes or trenches, bore or tunnel beneath

the TPZ of the tree. The boring shall take place not less than 3' below the surface of the soil in order to avoid encountering "feeder" roots. All boring equipment must be staged outside of the TPZ.

4. All grade changes adjacent to the TPZ of a significant tree shall be supervised by the Project Arborist. Cuts or Fills of soil that are adjacent to the TPZ will have a retaining wall system designed in consultation with the Project Arborist and approved in writing by City Staff.

5. Any damage due to construction activities shall be reported to the Project Arborist and City Staff within six hours so that remedial action can be taken.

6. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to City Staff as an issue of non-compliance.

Post-Construction

The Post-Construction Phase begins when the equipment leaves and the new tenants move in. Important follow-up monitoring of the protected trees will help ensure their survival and identify signs of early stress.

The applicant shall arrange with the Project Arborist for the long-term care and monitoring of preserved trees by complying with the following conditions:

1. Complete post-construction tree maintenance, including pruning, mulching, fertilization, irrigation, and soil aeration where necessary.

2. Remove, by hand, all soil and root protection material such as wood chips, gravel and plywood.

3. Provide for remediation of compacted soil by methods such as aeration or vertical mulching.

4. Apply at least 1 inch of water per week by deep watering in the absence of adequate rainfall.

5. Fertilize trees with slow released phosphorus, potassium, calcium, magnesium, and other macro- and micro-nutrients as indicated by a soil test, but wait at least one year to apply any nitrogen.

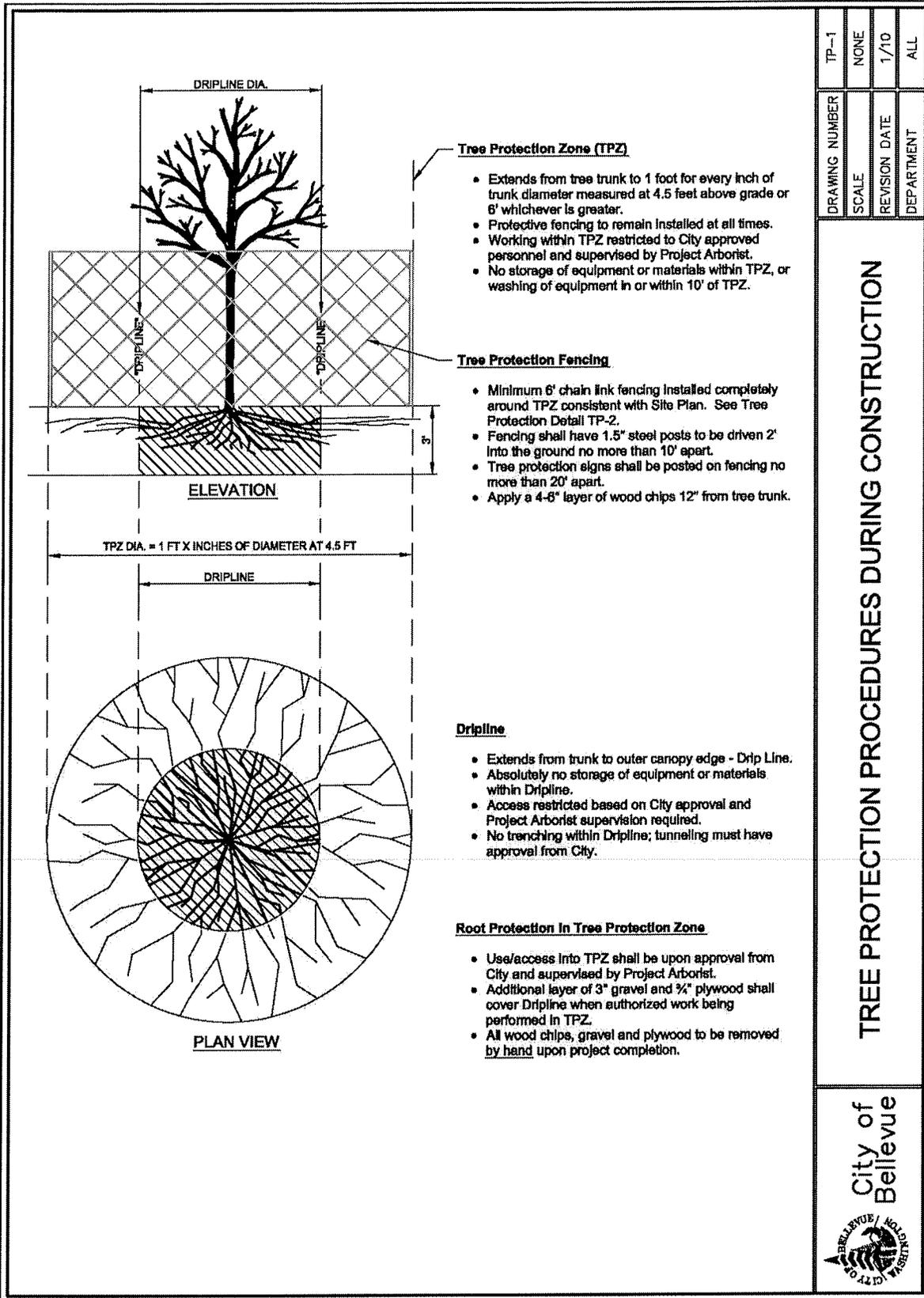
6. Fertilize lightly with slow release nitrogen after 1 year, and then make annual light nitrogen applications for the next 3 to 5 years.

7. Inspect trees annually for at least 3 and up to 5 years after construction to look for changes in condition and signs of insects or disease, and to determine maintenance needs.

8. Remove trees that are badly damaged or are in irreversible decline as determined by the Project Arborist and City Staff.

9. Continue to protect not only the large, established trees on the site but also those newly planted in the landscape as per LUC 20.20.520.K.

10. Provide annual inspection reports to the City.



DRAWING NUMBER	TP-1
SCALE	NONE
REVISION DATE	1/10
DEPARTMENT	ALL

TREE PROTECTION PROCEDURES DURING CONSTRUCTION



