



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Ave NE., P.O. BOX 90012
BELLEVUE, WA 98009-9012

OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

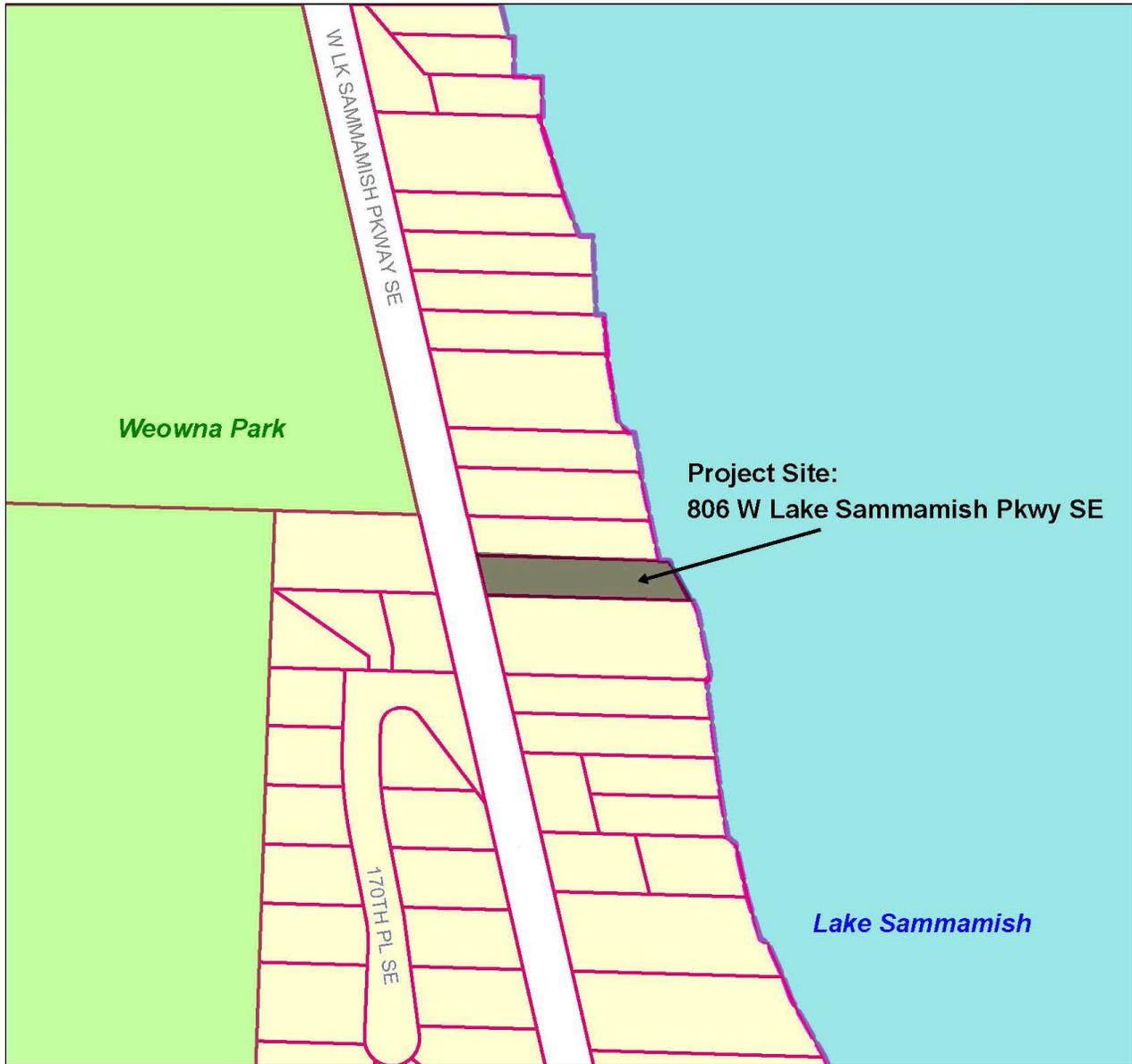
File No. 12-116932-LO and 12-116933-WG
Project Name/Address: Rykowski Garage
806 W Lake Sammamish Parkway SE
Planner: Reilly Pittman
Phone Number: 425-452-4350

Minimum Comment Period: August 9, 2012

Materials included in this Notice:

- Blue Bulletin
- Checklist
- Vicinity Map
- Plans
- Other:

Rykowski Garage
File Number: 12-116932-LO and 12-116933-WG



City of Bellevue Submittal Requirements

27a

ENVIRONMENTAL CHECKLIST

7/20/12

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

BACKGROUND INFORMATION

Property Owner: Ron and Seiko Rykowski

Proponent: Ron and Seiko Rykowski

Contact Person: Joel Glass, Design Guild Homes

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 11747 NE 1st St, #210, Bellevue, WA 98005

Phone: 425 890-2869 cell 425 455 3133 ofc

Proposal Title: Rykowski Garage

Proposal Location: 806 W Lk Samm Pkwy SE, Bellevue 98008 Parcel#925390 0005

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site. See attached.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: Construct a 2 car Garage with Guest Quarters.

2. Acreage of site: 12,929 sf

3. Number of dwelling units/buildings to be demolished: 0

4. Number of dwelling units/buildings to be constructed: 0

5. Square footage of buildings to be demolished: 0

6. Square footage of buildings to be constructed: 653 sf conditioned. 535 sf Garage

7. Quantity of earth movement (in cubic yards): 210 cu yds.

8. Proposed land use: Supplemental Garage/Guest Room

9. Design features, including building height, number of stories and proposed exterior materials:

2-story, 23'6" in Ht w/HardiPlank siding and composition roofing

10. Other

Estimated date of completion of the proposal or timing of phasing: Approx. 3 months.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Geotech Report/ Site Survey

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

No

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Critical Slope and Shoreline Permits Pending. 12116932LO 12116933WG

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Preliminary Plat or Planned Unit Development
Preliminary plat map

Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

Building Permit (or Design Review)
Site plan
Clearing & grading plan

Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)? 74%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Sand, Silt

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

30 yds of sand and gravel for drainage.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Yes, but risk can be mitigated with proper erosion control.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

40%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Secured visqueen over any spoil piles, silt fence at base of excavation and silt bag at driveway catch basin.

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

exhaust from construction equipment.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

None

3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

Yes, Lake Sammamish

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

Yes, Garage approx 110 feet away from Lake Sammamish.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

0

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

No

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

NA

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Rain from roof will be connected into continuous metal gutters at roof perimeter and tied into existing storm drains.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

No

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Roof gutters tied into existing storm system.

4. Plants

- a. Check or circle types of vegetation found on the site:

deciduous tree: alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

shrubs

grass

pasture

crop or grain

wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?

General ground cover.

- c. List threatened or endangered species known to be on or near the site.

None

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Restore native ground cover.

5. ANIMALS

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- Birds: hawk, heron, eagle, songbirds, other:
- Mammals: deer, bear, elk, beaver, other:
- Fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site.

Not aware of any.

c. Is the site part of a migration route? If so, explain.

No

d. Proposed measures to preserve or enhance wildlife, if any:

None

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

electric/natural gas

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

Thermal insulation at walls, ceiling, floors. 2009 WA State Energy Code Requirement

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No

(1) Describe special emergency services that might be required.

None

(2) Proposed measures to reduce or control environmental health hazards, if any.

NA

b. Noise

(1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

Track hoe, Dump truck, Auger Equipment, Cement Truck/
Pump Truck

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Engine noise from 7:30 am - 4:30 pm M-F

Noise regulated by BCC 9.18

- (3) Proposed measures to reduce or control noise impacts, if any:

None

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

Residential

- b. Has the site been used for agriculture? If so, describe.

No

- c. Describe any structures on the site.

There is an existing home on the site.

- d. Will any structures be demolished? If so, what?

No

- e. What is the current zoning classification of the site?

R-3.5

- f. What is the current comprehensive plan designation of the site?

Residential

Single-Family Medium Denstiy

- g. If applicable, what is the current shoreline master program designation?

Residential

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

Some steep slopes.

- i. Approximately how many people would reside or work in the completed project?

Temporary use by Guests.

- j. Approximately how many people would the completed project displace?

0

- k. Proposed measures to avoid or reduce displacement impacts, if any:

Build to match existing home on Lot.

- i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if

any:

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

- c. Proposed measures to reduce or control housing impacts, if any:

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

- b. What views in the immediate vicinity would be altered or obstructed?

- c. Proposed measures to reduce or control aesthetic impacts, if any:

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

- c. What existing off-site sources of light or glare may affect your proposal?

- d. Proposed measures to reduce or control light or glare impacts, if any:

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Various

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

No

- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

None

- c. Proposed measures to reduce or control impacts, if any:

None

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

West Lake Sammamish Parkway Southeast

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

Yes

- c. How many parking spaces would be completed project have? How many would the project eliminate?

2, 0

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

No

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No

- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when

Less than one (1).

peak volumes would occur.

g. Proposed measures to reduce or control transportation impacts, if any:

None

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

No

b. Proposed measures to reduce or control direct impacts on public services, if any.

None

16. Utilities

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

Electricity, natural gas, water, refuse service, telephone, sanitary sewer.

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Electricity and Gas = PSE Sewer and Water = City of Bellevue

Signature

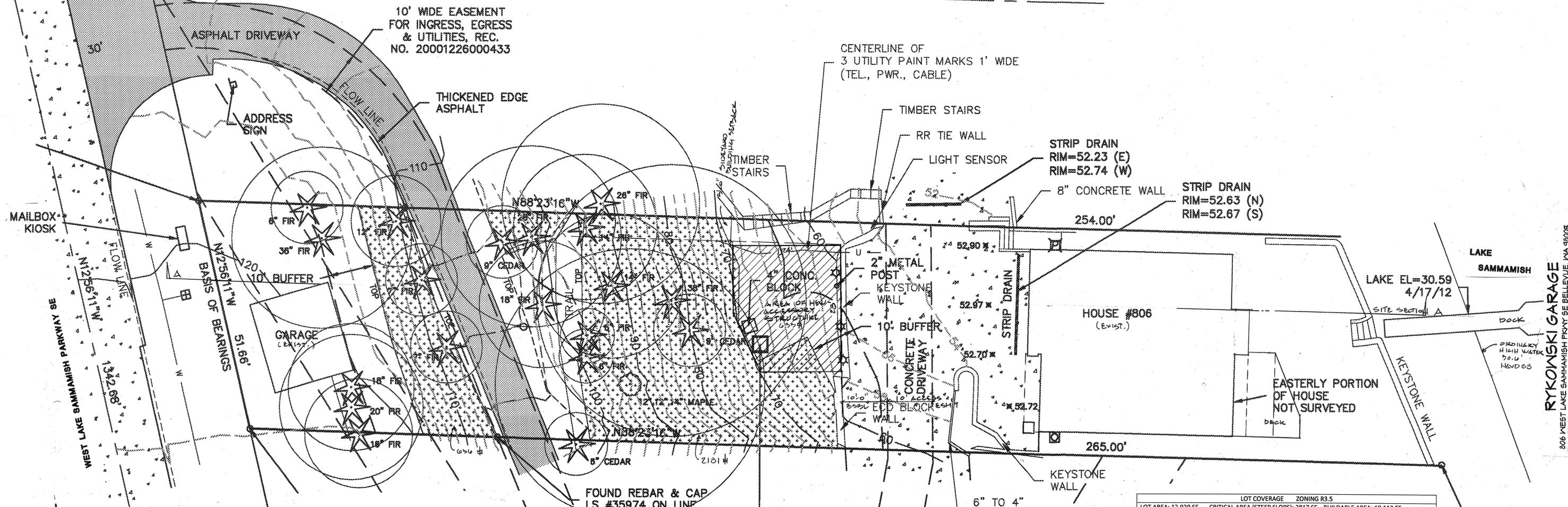
The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature 

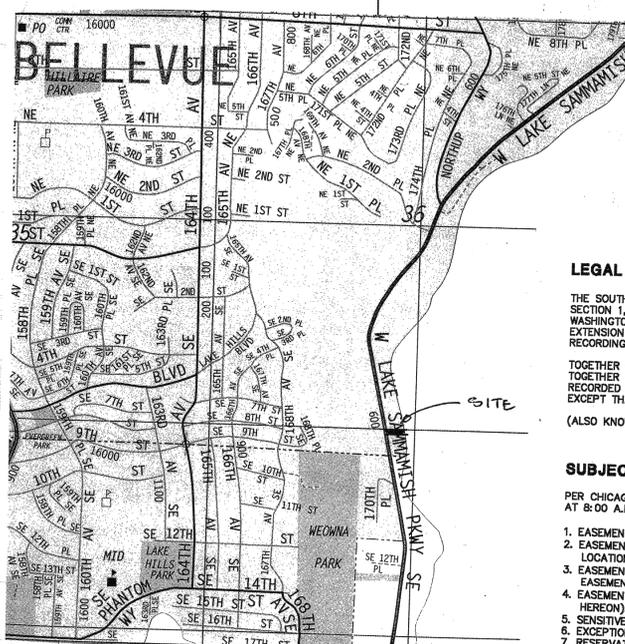
Date Submitted 7-23-12



BENCHMARK
 BELLEVUE CONTROL POINT #3029
 FOUND 4" SQUARE CONCRETE
 MONUMENT WITH 3" BRASS
 CAP MARKED
 "KING COUNTY SURVEY E224"
 ELEVATION = 116.25'



LOT AREA: 12,929 SF		CRITICAL AREA (STEEP SLOPE): 2817 SF		BUILDABLE AREA: 10,112 SF	
EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
2494 SF	3127 SF	25%	31%	25%	31%
5201 SF	5937 SF	40%	46%	40%	46%
GFA:		FAR:		ZONING R3-5	



SITE ADDRESS
 806 WEST LAKE SAMMAMISH PARKWAY SE
 BELLEVUE, WA 98008

TAX PARCEL
 9253900005

LEGAL DESCRIPTION

THE SOUTH 50 FEET OF THE NORTH 100 FEET OF THAT PORTION OF GOVERNMENT LOT 1, SECTION 1, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON, LYING EAST OF THE EAST LINE OF LAKE SAMMAMISH SHORELINE ROAD, EXTENSION #2 AS THE SAME WAS CONVEYED TO KING COUNTY BY DEED RECORDED UNDER RECORDING NUMBER 2193697, IN KING COUNTY, WASHINGTON;

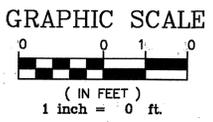
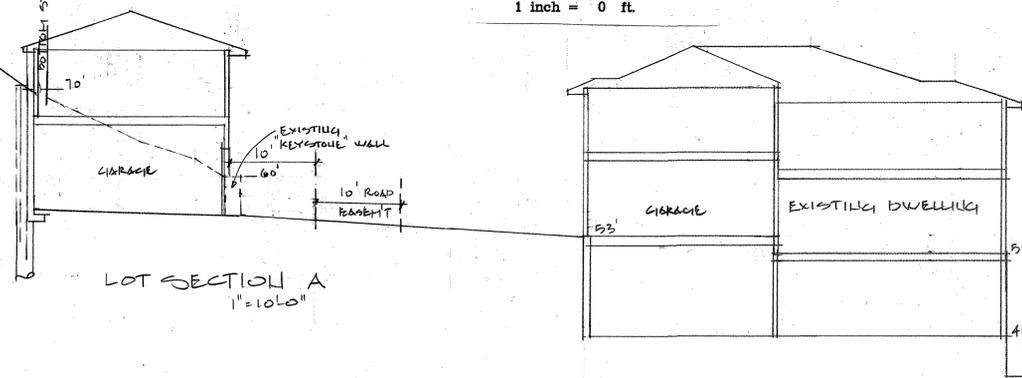
TOGETHER WITH SECOND CLASS SHORELANDS ABUTTING THEREON; TOGETHER WITH A NON-EXCLUSIVE EASEMENT OVER ROAD AS ESTABLISHED BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 5194216; EXCEPT THAT PORTION OF EASEMENT LYING WITHIN MAIN TRACT;

(ALSO KNOWN AS A PORTION OF LOT 2 OF WEOWNA BEACH, AN UNRECORDED PLAT).

SUBJECT TO

PER CHICAGO TITLE CO. SHORT PLAT CERTIFICATE, ORDER NO. 1340676, DATED APRIL 9, 2012 AT 8:00 A.M.

- EASEMENT FOR COMMUNITY DRIVEWAY AND ROAD, REC. NO. 5164216 (SHOWN HEREON).
- EASEMENT FOR SEWER MAINS AND APPURTENANCES, REC. NO. 6081704 (UNABLE TO PLOT LOCATION FROM DESCRIPTION)
- EASEMENT FOR GAS PIPELINE, REC. NO. 8701270851 (LOCATED WITHIN GEOMETRY FOR EASEMENT UNDER REC. NO. 5164216).
- EASEMENT FOR INGRESS, EGRESS AND UTILITIES, REC. NO. 20001226000433 (SHOWN HEREON).
- SENSITIVE AREAS NOTICE, REC. NO. 20010830001106 (10' BUFFERS SHOWN HEREON).
- EXCEPTIONS AND RESERVATIONS FOR MINERAL RIGHTS, REC. NO. 2225918.
- RESERVATIONS FOR MINERAL RIGHTS, REC. NO. 2578401.
- COVENANTS, CONDITIONS AND RESTRICTIONS, REC. NO. 2659237.
- TERMS AND CONDITIONS OF NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES, REC. NO. 9612200938.



LEGEND

- FOUND SURFACE MONUMENT
- FOUND REBAR & CAP
- UTILITY POLE W/LIGHT
- UTILITY POLE
- POWER METER
- GAS METER
- WATER METER
- COMBINED UTILITY LINE AS NOTED
- WATER LINE
- AREA LIGHT
- EVERGREEN TREE WITH SIZE & DRILINE
- DECIDUOUS TREE WITH SIZE & DRILINE
- SPOT ELEVATION
- SLOPE AREAS OF 40% AND GREATER WITH A VERTICAL DROP OF 10 FEET OR MORE

Design Guild Homes

11747 NE First Street
 Suite 210
 Bellevue, WA 98005
 Phone: 425-455-3133
 FAX: 425-455-0847

SITE PLAN

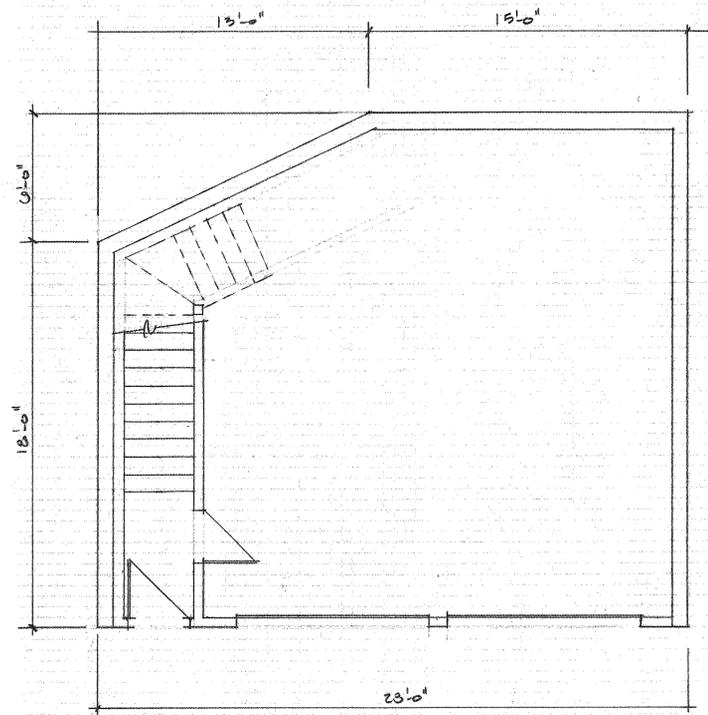
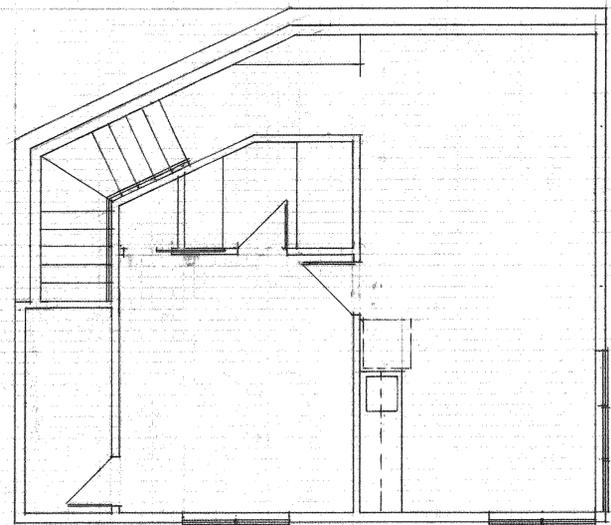
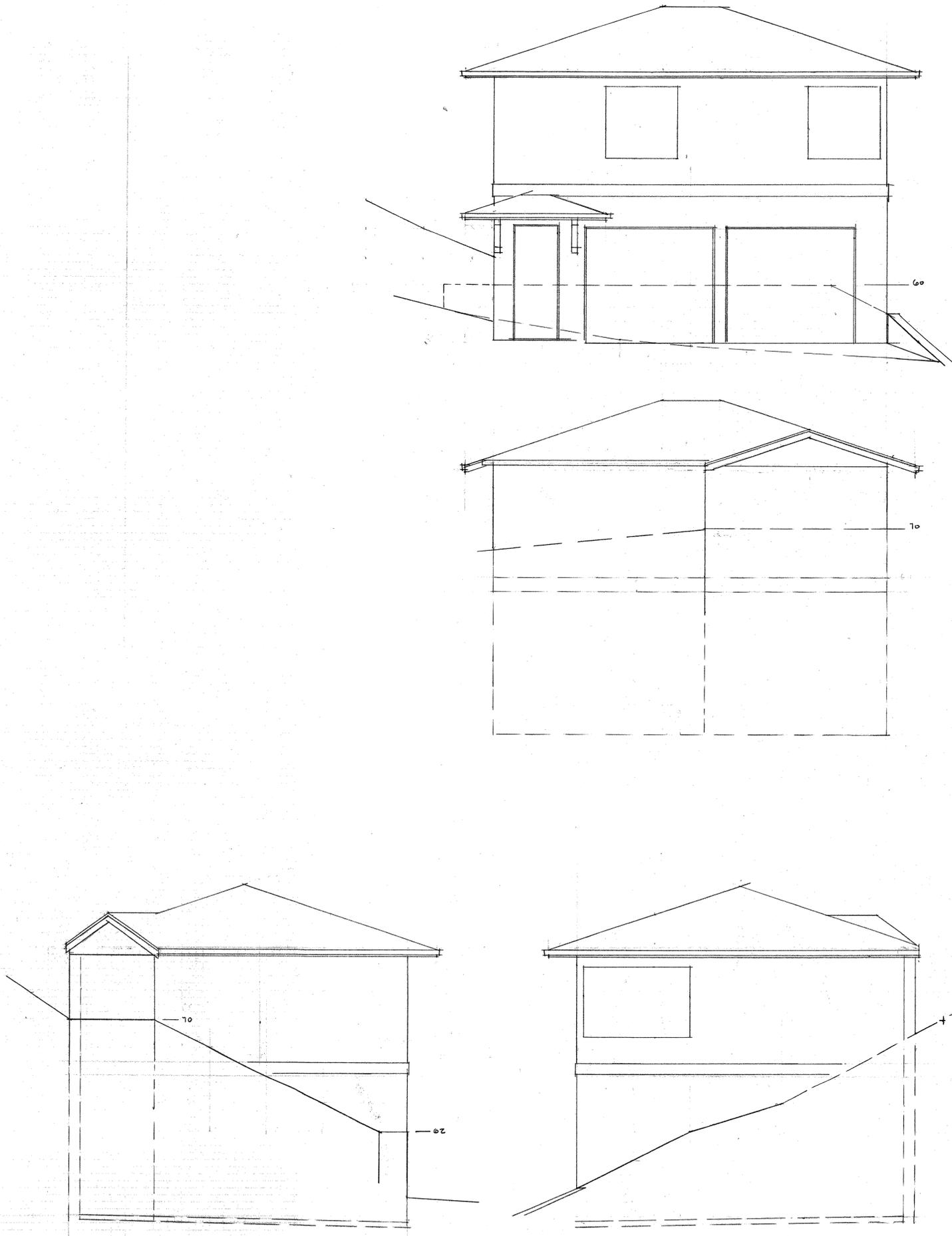
DATE: 9-29-12

SCALE: 1" = 10'-0"

COPYRIGHT 2012

SHEET

NOTE: VERIFY ALL DIMENSIONS



**Design
Guild
Homes**

11747 NE First Street
Suite 210
Bellevue, WA 98005
Phone: 425-455-3133
FAX: 425-455-0847

h o r n e e r
d e s i g n
a s s o c i a t e s
i n c . (4 2 5) 2 2 6 - 8 2 8 1
12114 se 88th pl newcastle, wa 98056

COPYRIGHT
DATE: SHEET
SCALE:

RYKOWSKI GARAGE
806 WEST LAKE SAMMAMISH PKWY SE BELLEVUE, WA 98007

NOTE: VERIFY ALL DIMENSIONS

LEGAL DESCRIPTION

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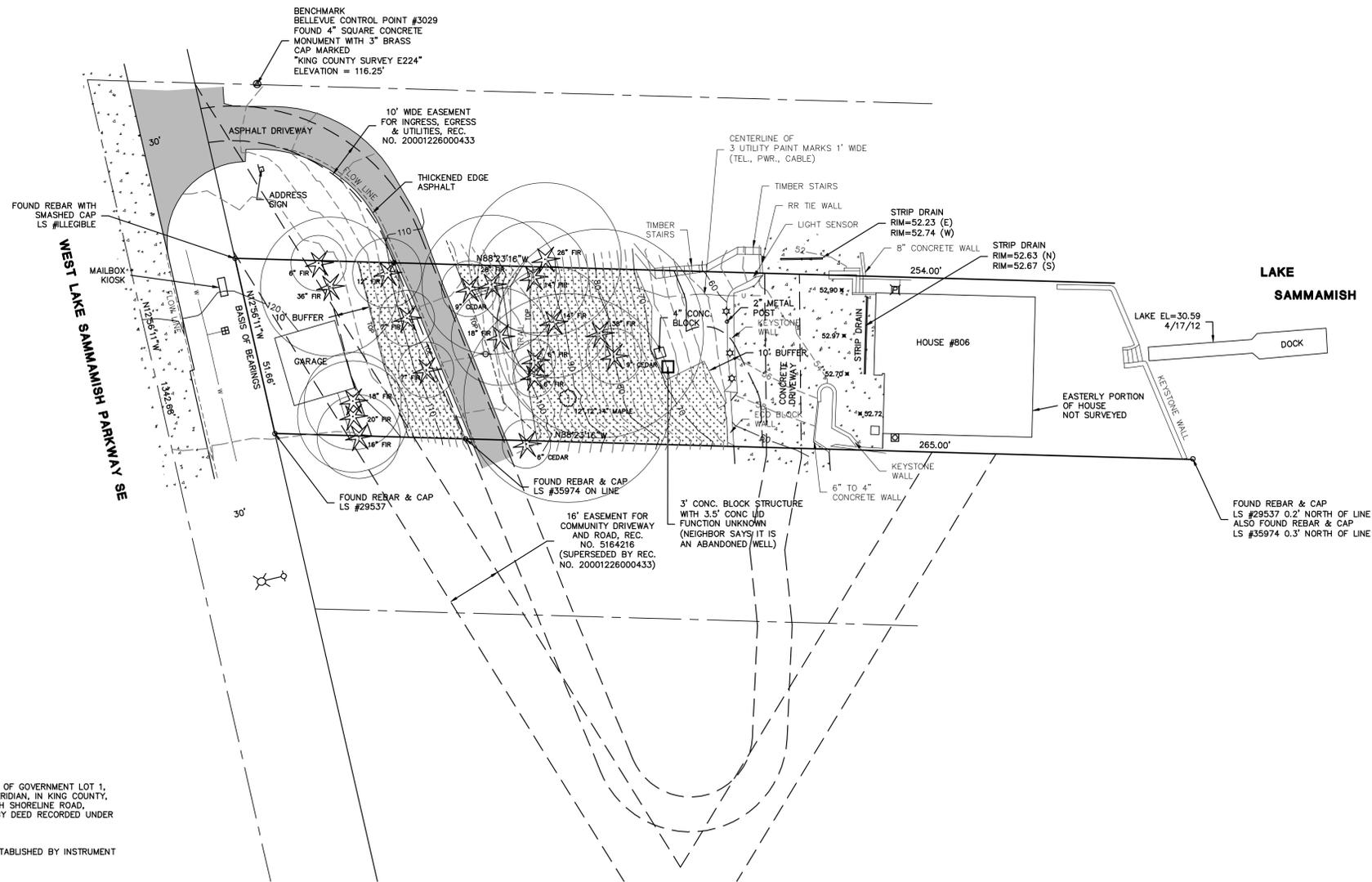
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NOTES

- INSTRUMENTATION FOR THIS SURVEY WAS A 5 SECOND THEODOLITE AND AN ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE FIELD TRAVERSE, MEETING OR EXCEEDING STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON 4/16/12, AND SHOWS THE GENERAL CONDITION EXISTING AT THAT TIME.
- NO EASEMENTS, EXCEPTIONS OR RESERVATIONS, IF ANY, WHICH WOULD BE DISCLOSED BY A TITLE REPORT ARE SHOWN.
- THE BOUNDARY SHOWN HEREON WAS OBTAINED FROM RECORD OF SURVEY, REC. NO. 2000101900001.



VERTICAL DATUM

NAVD 88

BENCHMARK

BELLEVEUE CONTROL POINT #3029
 4" SQUARE CONCRETE MONUMENT WITH 3" BRASS CAP
 MARKED "KING COUNTY SURVEY E224"
 ELEVATION = 116.25'

MERIDIAN

KCAS

BASIS OF BEARINGS

N12°56'11"W BETWEEN FOUND PROPERTY CORNERS PER RECORD OF SURVEY, RECORDING NO. 2000101900001

PROPERTY AREA

12929 SQ. FT. MEASURED TO EAST FACE OF BULKHEAD AT LAKE

SITE ADDRESS

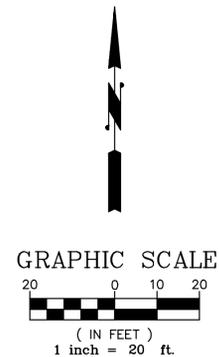
806 WEST LAKE SAMMAMISH PARKWAY SE
 BELLEVEUE, WA 98008

TAX PARCEL

9253900005

LEGEND

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DATE	CHKD BY	DRAWN BY	NOTES
4/26/12		DBM	

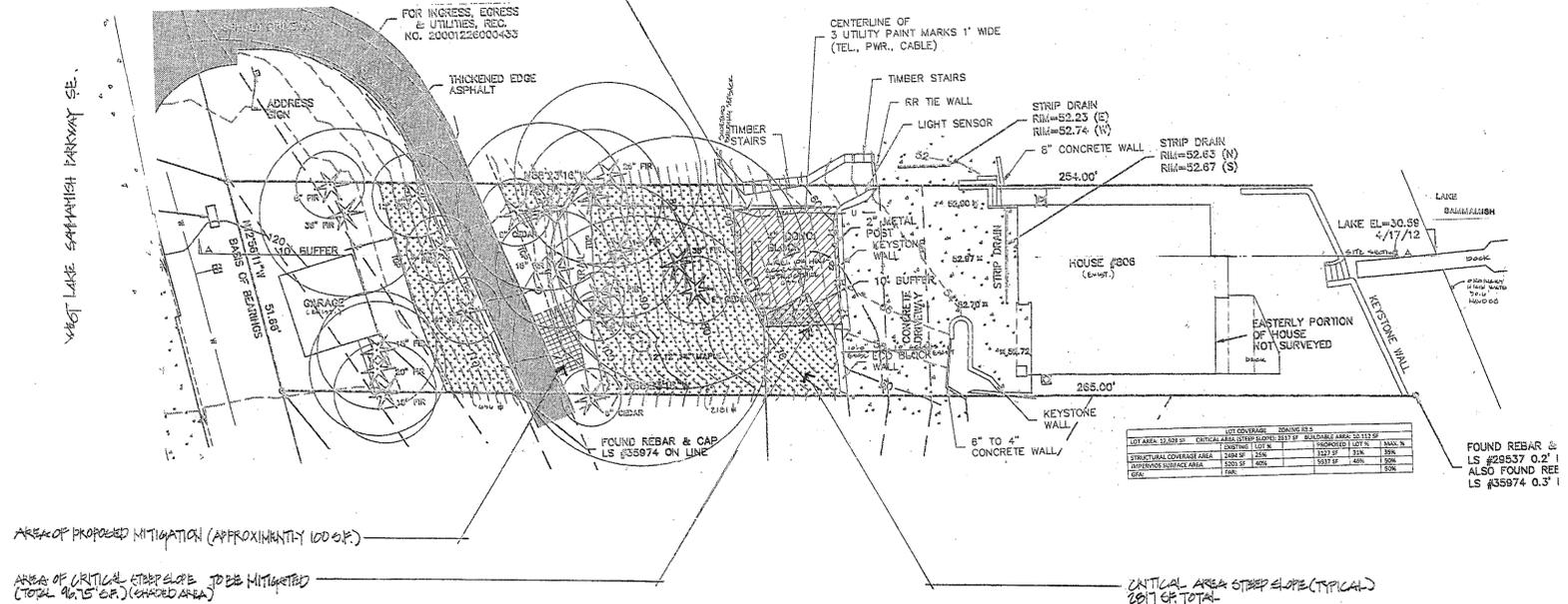
CONCEPT ENGINEERING, INC.
 455 Rainier Boulevard North
 Issaquah, Washington 98027
 (425) 392-8055 FAX (425) 392-0108



TOPOGRAPHIC SURVEY FOR THE RYKOWSKI RESIDENCE
 DESIGN: GUILD, HONES
 11747 NE 1ST STREET
 BELLEVEUE, WA 98005
 TEL: (425) 455-3133

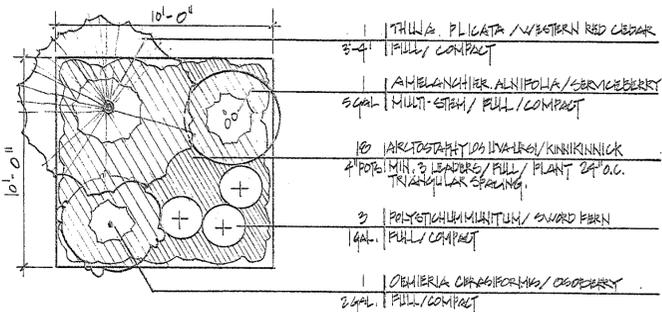
SHEET 1 of 1

PROPOSED NEW BUILDING (SEE ARCHITECTURAL PLANS)
 NOTE: ALL AREA SURROUNDING NEW STRUCTURE THAT IS DISTURBED TO BE RESTORED PER THE PLANTING TEMPLATE SHOWN BELOW.



SITE PLAN

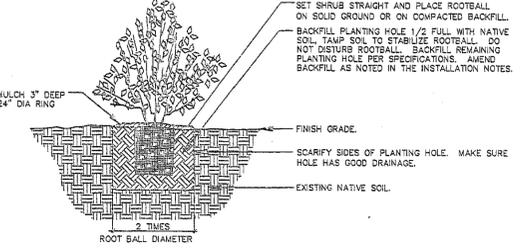
SCALE 1" = 10'-0"



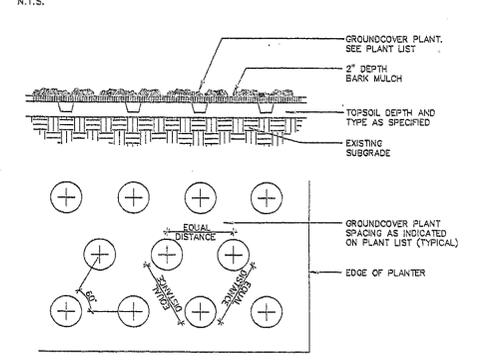
PLANTING TEMPLATE FOR SHADY STEEP SLOPES (PER 100 S.F.)

SCALE 1/4" = 1'-0"

CONTAINER SHRUB DETAIL (typ.)



GROUNDCOVER PLANTING DETAIL (typ.)



PLANTING NOTES

- Contractor shall be responsible for familiarizing themselves with all other site improvements and conditions prior to starting landscape work.
- Contractor shall use caution while excavating to avoid disturbing any utilities encountered. Contractor is to promptly advise owner of any disturbed utilities. (Location service phone: 1-800-424-5555)
- Contractor shall maintain and water all plant material until final inspection and acceptance by the owner or his agent.
- Contractor shall be responsible for computing specific quantities of ground covers and plant materials utilizing on-center spacing for plants as stated on the landscape plan and minimum planting distances as specified below in these notes.
- Ground covers shall be planted in an equilateral triangular spacing pattern at the on center distances shown on the plan or in the plant schedule. Where ground cover abuts curbing, sidewalks, signs or poles, minimum planting distances shall be 12" from center of plant to curb, sidewalk, etc. Minimum planting distance shall be 24" from center of trees.
- New mitigation areas, as shown on the plans, all shrubs and trees shall be "pocket" planted per detail.
- Planting area to receive a minimum of 2" depth of "Steero" mulch.
- All plant material shall conform to AAN STANDARDS FOR NURSERY STOCK, latest edition. Any replacements made at once.
 - A. General: All plant materials furnished shall be healthy representatives, typical of their species of variety and shall have a normal habit of growth. They shall be full, well branched, well proportioned, and have a vigorous, well developed root system. All plants shall be hardy under climatic conditions similar to those in the locality of the project.
 - B. Trees, shrubs, and groundcovers: Quantities, species, and varieties, sizes and conditions as shown on planting plan. Plants to be healthy, vigorous, well foliated when in leaf. Free of disease, injury, insects, decay, harmful defects, all weeds. No substitutions shall be made without written approval from landscape architect or owner.

MAINTENANCE

Maintenance: Water site with 1" of water every week from July 1 to October 15 during the first year after planting. Remove all non-native weeds for five years after planting: Himalayan blackberries, English Ivy, Japanese Knotweed, Scotch Broom, reed canary grass, morning glory, purple loosestrife, etc. (See "Noxious weeds in King County" for more detail). Replace any plant that dies within Two years after planting.

PERFORMANCE STANDARDS

- The goal of this mitigation is to restore and enhance disturbed sensitive area and/or its buffer to a plant community native to and typical of undisturbed King County lands.
- Vegetation will have 80% survival after three years.
- Tree and shrub cover will be greater than 10% after one year, greater than 30% after two years, and greater than 50% after three years.
- Non-native invasive plants will not make up more than 10% of cover in any growing season.
- If any monitoring report or County inspection shows that mitigation is not meeting these performance standards, bond-holder will work with County to perform corrective actions appropriate to the mitigation: e.g., failing plants will be replaced, other plant species will be substituted, non-native invasives will be removed by hand without pesticides.

MAINTENANCE

Water site with 1" of water every week from July 1 to October 15 during the first year after planting. Remove all non-native weeds for five years after planting: Himalayan blackberries, English Ivy, Japanese Knotweed, Scotch Broom, reed canary grass, morning glory, purple loosestrife, etc. (See "Noxious weeds in King County" for more detail). Replace any plant that dies within Two years after planting.

MONITORING

- Send monitoring reports to City of Bellevue by October 31 of each year of the five year monitoring period.
- Monitoring reports consist of the following:
- Vegetation transects (at least one in each plant community within the mitigation) that detail herb, shrub, and tree aerial cover at radii of 1m, 5m, and 10m respectively;
 - Percent of planted materials surviving, classified by condition (e.g., vigorous, living, stressed, dead);
 - Report on invasive vegetation, vandalism, dumping, and other conditions actually or potentially harmful to the mitigation;
 - Identify maintenance concerns (e.g., structures need repair or replacement, plants need to be replaced, etc.) and;
 - At least twelve 4 X 6" original color photographs that show the entire mitigation site, taken from photo-points drawn on the map of the mitigation area, and keyed to the line of sight from those photo-points, (i.e. viewing north-east from photo-point #1 would be represented on the map by an arrow drawn in that direction from that point, labeled with a unique number on the map and on the back of that photograph)

REVISIONS	BY

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
 BRUCE CAMERON LANE CERTIFICATE NO. 375

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MITIGATION / RESTORATION PLAN

Date JUNE 2012
 Scale AS SHOWN
 Drawn B.C.L.
 Job 02-2012
 Sheet M-1
 of 1 Sheets