



City of Bellevue
Development Services Department
Land Use Staff Report

Proposal Name: Wolf Trust Conservation Subdivision

Proposal Address: 11620 SE 64th Street

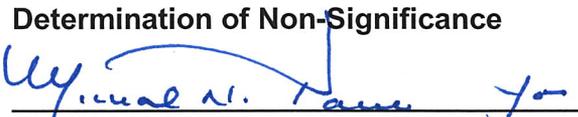
Proposal Description: The applicant requests Preliminary Plat Approval to subdivide one parcel into ten single-family residential lots, a storm drainage tract, a native growth protection area tract and a landscape buffer tract. The applicant also requests a Critical Areas Land Use Permit (CALUP) in order to locate four storm drainage dispersal trenches within the critical area structure setback associated with an off-site wetland.

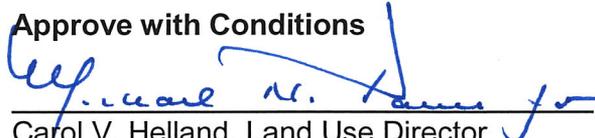
File Number: 12-113355-LL & 12-115532-LO

Applicant: Toll Brothers, Inc.

Recommendation and Decision Included: Preliminary Plat Recommendation (Process I. LUC 20.45A) and SEPA and CALUP Decision (Process II. LUC 20.30P)

Planner: Kevin LeClair

State Environmental Policy Act Threshold Determination: Determination of Non-Significance

Carol V. Helland, Land Use Director
Development Services Department

Director's Recommendation: Approve with Conditions

Carol V. Helland, Land Use Director
Development Services Department

Preliminary Plat Application Date:	May 2, 2012
CALUP Application Date:	May 23, 2012
Notice of Application Publication Date:	May 31, 2012
Public Meeting Date and Location:	June 14, 2012, Newport Heights Elem.
Recommendation and Decision Publication Date:	September 20, 2012
Public Hearing Date and Location:	October 11, 2012 7:00 PM Bellevue City Hall, Council Chambers



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 450 100th Ave NE., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Toll Brothers, Inc.

LOCATION OF PROPOSAL: 11620 SE 64th Street

NAME & DESCRIPTION OF PROPOSAL:

Wolf Trust Conservation Subdivision - The applicant is proposing a Preliminary Plat to subdivide one parcel into ten single-family residential lots, a storm drainage tract, a native growth protection area tract and a landscape buffer tract. The applicant also proposing to locate three storm drainage dispersal trenches within the critical area structure setback associated with an off-site wetland.

FILE NUMBER: 12-113355-LL & 12-115532-LO

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **October 4, 2012**.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.


 Environmental Coordinator

September 20, 2012
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife
- State Department of Ecology,
- Army Corps of Engineers
- Attorney General
- Muckleshoot Indian Tribe

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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1. SEPA Environmental Checklist
2. Proposed Site Plan – In project file
3. Mitigation and Restoration Plan – In project file
4. Preliminary Storm Drainage Report – In project file

I. Proposal Description

The applicant is proposing to subdivide a single, 2.24 acre parcel into 10 single-family residential parcels, a private storm drainage tract, a native growth protection area tract, and landscape area tract.

The parcel proposed for subdivision abuts a wetland critical area and critical area buffer, and therefore is required to be processed as a “conservation subdivision” in accordance with LUC 20.45A.060.1.c. The proposal is placing the entire 60-foot wetland buffer into a native growth protection area tract, which will be untouched by the proposal except for native plantings.

Finally, the subdivision includes a proposal to install stormwater management facilities within the wetland critical area structure setback. In accordance with LUC 20.25H.015, the proposal involves disturbance within a critical area structure setback. Therefore, in addition to the review to subdivide the parcel, the proposal to disturb a portion of the critical area structure setback shall be reviewed under a critical areas land use permit.

II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The property is located at 11620 SE 64th Street in the Newport Hills neighborhood of south Bellevue. The property is accessed from SE 64th Street, which runs along its entire south property line. The property is generally square with a dimension of approximately 310 feet on each side. The site is flat with a slight slope down to the west, where it abuts an undeveloped tract containing a wetland.

The property currently contains an abandoned single-family residence and several dilapidated outbuildings.

There are numerous native and ornamental trees and shrubs on the property. Many of the trees are clustered around the residence, while most are growing along the eastern property boundary.

B. Zoning

The property is zoned R-5. The property is also located within the critical areas overlay district due to the presence of wetland on the adjacent tract, which extends its critical area buffer onto the subject property.

C. Land Use Context

The property being subdivided is adjacent to developed, single-family properties on the north and the east. The southern boundary is adjacent to the public right-of-way of SE 64th Street. The western boundary is adjacent to a native growth protection area tract that was established as part of a prior subdivision further to the west, along SE 64th

Street. The adjacent native growth protection area tract did not provide adequate buffer on the subject property. Therefore, the proposed subdivision is providing the required wetland buffer in a native growth protection area tract along the west side of the property.

D. Critical Areas Functions and Values

i. Wetlands

Wetlands provide important functions and values for both the human and biological environment—these functions include flood control, water quality improvement, and nutrient production. These “functions and values” to both the environment and the citizens of Bellevue depend on their size and location within a basin, as well as their diversity and quality. While Bellevue’s wetlands provides various beneficial functions, not all wetlands perform all functions, nor do they perform all functions equally well (Novitski et al., 1995). However, the combined effect of functional processes of wetlands within basins provides benefits to both natural and human environments. For example, wetlands provide significant stormwater control, even if they are degraded and comprise only a small percentage of area within a basin.

III. Consistency with Land Use Code Requirements:

A. Allowed Density for Plats with Critical Areas (LUC 20.25H.045)

The maximum density allowed for a site in the Critical Areas Overlay District is calculated using the following formula:

$$[(\text{Development units per acre})(\text{Buildable area in acres}) + (\text{Development units per acre})(\text{Total critical area and critical buffer in acres})(\text{Development factor}) = \text{Maximum dwelling unit potential}]$$

$$[(5)(1.93)+(5)(0.31)(0.86)] = 10.98$$

Therefore, the maximum dwelling units allowed is 10 dwelling units.

B. Zoning District Dimensional Requirements (LUC 20.45A.060)

The site is located in the R-5 zoning district. The minimum dimensional standards generally specified for subdivision in this district are modified by the conservation subdivision due to the presence of critical areas. The following table describes the minimum dimension and how the proposed subdivision complies with the standards.

Standard	Front yard setback (feet)	Rear yard setback (feet)	Side yard setback (feet)	2 Side yards setbacks (feet)	Minimum lot area (square feet)	Lot Coverage Maximum
Minimum Dimension	10	15	5	10	4,680 ¹	footnote (5)
Lot 1	10	15	5	10	5,982	47%
Lot 2	10	15	5	10	4,970	52%
Lot 3	10	15	5	10	7,360	39%
Lot 4	10	15	5	10	5,185	51%
Lot 5	10	15	5	10	5,194	51%
Lot 6	10	15	5	10	5,772	48%
Lot 7	10	15	5	15 ²	7,595	38%
Lot 8	10	20 ²	5	10	5,937	47%
Lot 9	10	20 ²	5	15 ²	5,780	48%
Lot 10	10	20 ²	5	10	7,899	36%

¹The minimum lot size for the land use district is reduced to 4,680 square feet in accordance with the conservation subdivision provisions in LUC 20.45A.060.

²The yard setback is set to the minimum dimension for the underlying land use district because the lot abuts another subdivision with a larger minimum dimensional requirement than allowed under the conservation subdivision provisions in accordance with LUC 20.45A.060.B.3 Footnote(4)

Footnote (6): Impervious surface for the subdivision considered on the whole shall not exceed 50 percent, based on the total site size. The final plat shall designate the allowed impervious surface for each separate lot. See Section X for related condition of approval.

All of the proposed residential lots also comply with the minimum dimensional standard for street frontages of at least 30 feet.

In accordance with LUC 20.20.018, the proposal includes variations in the width and depth of lots # 1, 4, 5, 6, and 7. In the cases of lots # 4, 5, and 6, the lot widths are reduced to 55 feet. Lot #7 is reduced to 59 feet. The depth of lot #1, the lot depth is reduced to a minimum dimension of 75.5 feet. In all cases, the variations are within the allowable range granted to conservation subdivisions.

C. Parking and Circulation Requirements LUC 20.20.590

The proposed subdivision is designed so each of the ten residential parcels has adequate space to park a minimum of 2 cars per dwelling unit. The minimum requirement is 2 parking spaces per dwelling unit. Therefore, the proposed subdivision is in compliance with the parking requirements.

D. Tree Retention LUC 20.20.900

For subdivisions, the applicant shall retain a minimum of 30 percent of the diameter

inches of significant trees existing on the total site area. Alder and cottonwood trees shall be discounted by a factor of 0.5.

The applicant has provided an inventory of the significant trees on the property. The total weighted diameter is 794 inches. The total number of diameter inches required to be preserved is 238. The applicant is proposing to preserve 257 diameter inches and has included tree protection measures on the clearing and grading plans. The proposal complies with the tree retention requirements.

E. Critical Areas Requirements LUC 20.25H and LUC 20.45A.060

The offsite wetland on the adjacent tract to the west of the property was delineated and categorized by a qualified professional at Sewall Wetland Consulting Inc. The wetland was determined to be a Category III wetland with a habitat score of 10 points, based on the Washington Department of Ecology's Wetland Rating Form for Western Washington.

In accordance with the critical areas overlay district of the land use code (LUC 20.25H), the wetland is afforded a 60-foot critical area buffer and an additional 15-foot critical area structure setback.

The applicant is proposing to include the entire area covered by the 60-foot critical area buffer with a Native Growth Protection Area tract (Tract B). The creation of this tract is in compliance with the conservation subdivision standard in LUC 20.45A.060.B.2.

F. Wetland Critical Area Performance Standards (LUC 20.25H.100):

i. Lights shall be directed away from the wetland.

It is reasonable to expect exterior lighting on the rear of the homes. Therefore, a condition will be placed on the face of the final plat that requires that exterior lighting on the rear of the houses constructed on lots 4, 5, 6, and 7 shall be designed in a way that prevents light spillover into the wetland critical area buffer. See Section X for related condition of approval.

ii. Activity that generates noise such as parking lots, generators, and residential uses shall be located away from the wetland, or any noise minimized through the use of design and insulation techniques.

All noise generating activities such as parking lots and generators and residential uses will be kept away from the wetland. The critical area buffer, critical area structure setback and mitigation plantings within the critical area buffer will ensure noise impacts are minimized.

iii. Toxic runoff from new impervious area shall be routed away from the wetlands.

No toxic runoff will be routed to the wetland or wetland buffer.

iv. Treated water may be allowed to enter the wetland critical area buffer.

Storm water from rooftop dispersal trenches on lots 4, 5, 6 and 7 are proposed to be located within the critical area structure setback. Water from these trenches is

considered treated and will be allowed to flow into the critical area buffer.

v. The outer edge of the wetland critical area buffer shall be planted with dense vegetation to limit pet or human use.

As a condition of approval of the final plat, a landscape plan providing for a dense native planting a minimum of 5 feet wide will be implemented as part of the required plat infrastructure development. The planting will consist of woody native shrubs that will grow together and limit pet and human use. Acceptable plants are described in the city's *Critical Areas Handbook*. See Section X for related condition of approval.

vi. Use of pesticides and fertilizers within 150 feet of the edge of the wetland buffer shall be in accordance with the City of Bellevue's "Environmental Best Management Practices," now and or as hereafter amended.

A condition will be placed on the face of the final plat that specifies that the use of pesticides and fertilizers within 150 feet of the edge of the wetland buffer shall be in accordance with the City of Bellevue's Environmental Best Management Practices," nor or as hereafter amended.

G. Consistency with Critical Areas Report LUC 20.25.230.

The applicant supplied a complete critical areas report prepared by Sewall Wetland Consulting, Inc, a qualified professional. The report meets the minimum requirements in LUC 20.25H.250.

The main element of the critical areas report is the mitigation and monitoring plan. The mitigation and monitoring plan proposes to install 720 square feet of wetland buffer enhancement as mitigation for 360 square feet of permanent wetland structure setback disturbance associated with the installation of the rooftop dispersal trenches located on lots 4, 5, 6, and 7.

The mitigation and restoration plan meets the standards contained in LUC 20.25H.220. See Section X for related conditions of approval.

H. Consistency with Critical Areas Report – Additional provisions LUC 20.25H.110.

The critical areas report submitted by the applicant's consultant included a written assessment of the only wetland within 300 feet of the project area. The project avoids disturbance to the wetland by providing the required 60-foot critical area buffer and additional 15-foot critical area structure setback.

IV. Public Notice and Comment

Preliminary Plat Application Date:	May 2, 2012
Critical Areas Land Use Permit (CALUP) Application Date:	May 23, 2012
Notice of Application Publication Date:	May 31, 2012
Public Meeting Date and Location:	June 14, 2012 at Newport Heights Elem.

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on May 31, 2012. It was mailed to property owners within 500 feet of the project site.

A public meeting was held at Newport Heights Elementary School on June 4, 2012. Six members of the community attended the meeting.

Three written comments have been received from the public as of the writing of this staff report. Copies of the comments are included in the file project file. One verbal comments was received by telephone.

The first comment was submitted by Teryl Orrico at the public meeting and it was requesting that the developer attempt to preserve some of the mature lilac bushes along the north property line. In response to this comment, the developer has modified the clearing and grading plans to indicate preservation of several clumps of lilac bushes that are within the critical root zones of several of the trees schedule for preservation.

The second comment was submitted by Kevin Hall by email. The comment letter contained five items. The first item requested was that exterior street lighting be fully shielded, "dark sky compliant", and not exceed 20 feet in height. The second item was that deer access between the wetland and the wetland buffer be maintained. The third item focused on tree retention and the possibility of relocating some of the significant trees slated for removal into the wetland buffer. The fourth item requested that the future house colors be of a palette to blend with the landscape. The fifth item asked that any landscaping use native plants to the greatest extent possible.

In response to these items, the applicant is proposing to install a single street light along the private road that will access the lots. The proposed street light will be 15 feet tall and will be shielded from the top so light is not allowed to disperse upward or above the horizon line. To facilitate wildlife movement between the adjacent wetland and the newly created NGPA, the applicant is proposing to remove the fencing between Tract A and the adjacent wetland. The applicant is preserving the minimum required number of diameter inches and proposing to install native plantings within the wetland buffer as mitigation for stormwater dispersal trenches. The city does not have authority to require the transplanting of significant trees into the NGPA from the property. The house colors will be of a palette that are in current fashion in our region, and will be compatible with those of the surrounding neighborhood. Finally, the landscaping to be installed in the NGPA and in the required ornamental landscaping will be of a mixture that contributes to the Northwest character of Bellevue. These landscape plans will be reviewed and approved as part of the subsequent, required clearing and grading permit.

The third comment was submitted by Matt and Desiree Woodruff by email. The comment letter contained three items. The first item was a request that the entire

property be investigated to determine the presence or absence of a wetland critical area. The second item requested that native growth, including large trees, along the northern property line be retained. The third items requested that measures be taken to protect the privacy of properties located to the north of the proposed subdivision.

The property was investigated by a qualified wetland biologist as Sewall Wetland Consulting, Inc. and no wetlands were discovered on the property. Several test pits were dug in the future NGPA and no wetland conditions were observed or noted in this area. The city concurs with this finding. The applicant is proposing to preserve a grouping of significant trees along the northern property boundary, primarily on lot # 8, see Sheet 4 on revised preliminary plat plan submittal. This is in addition to the row of trees being preserved along the eastern property boundary. They are also proposing to retain several groupings of large lilac shrubs along the north property line. To further enhance the privacy of properties to the north, the side yard building setbacks on lots 7 and 9 were increased to 10 feet from 5 feet.

Finally, a verbal comment was received from a neighbor of the proposed subdivision. The request was for the removal of a selection of trees planned for retention along the eastern property line due to their compromised structure resulting from passed pruning. A certified arborist inspected the trees and determined that, although not ideally formed, the trees posed no immediate hazard. Since the trees are in relatively good health, achieve the minimum tree retention standard and will likely survive for many more years, the decision was to preserve the trees over removing them and replanting with other species.

This same commenter also requested that a pedestrian trail connection be installed between the street-end on the north of the development down to SE 64th Street on the south side of the subdivision. The trail would either need to be located within the wetland buffer/NGPA or affect the lot sizes on the west side of the subdivision. The trail connection was investigated by Transportation Department and determined to be unnecessary. In addition, it would have required additional permanent impact to the wetland buffer, which the critical areas regulations seek to avoid to the greatest extent possible.

V. Summary of Technical Reviews

A. Clearing and Grading Division Review

The Clearing and Grading Division of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development.

B. Utilities Department Review

The Utilities Department approval of the 12-113355 LL application is based on the

conceptual site plan design only. This conceptual review of the proposal has no implied approvals of the utility engineering design and specifications. Final civil engineering utility design may require changes to the site layout to accommodate the utilities. The water, sewer and storm drainage improvements shall meet all requirements of the Developer Extension Agreement (i.e. UE), Utilities Codes and Engineering Standards.

The preliminary storm drain reports includes a hydrologic analysis of the site. A small fluctuation of the hydroperiod is predicted (minus 0.004 cfs) after the development is completed. Minimum requirement 8 - Wetland Protection will be satisfied based on the calculations provided by the engineer.

C. Transportation Review Comments

i. Site Access

Access to the lots within this plat will be provided by private access road connecting to SE 64th Street via a driveway approach specified by Transportation Design Manual DEV-7A (Driveway or Private Road Approach with Sidewalk – Design A) as shown on the approved plans (Clear and Grade). No other access connection to city right-of-way is authorized. Street names and site addresses have been determined by the City's Parcel and Address Coordinator. The private access road will be named 117th Avenue SE and identified as a private road on the street sign.

ii. Use of the Right of Way

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be applied for prior to issuance of any construction permit including demolition permit.

iii. Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual. Existing utilities in the city right-of-way fronting the site shall be relocated, and all new utility distribution and collection systems, including power, telephone, and TV cable, shall be installed underground.

Required frontage improvements along the site's frontage adjacent to SE 64th Street consist of concrete sidewalk with curb and gutter, planter strips with landscaping, private driveway approach, street lighting, and street signing. Additional street frontage improvements may be required during the review of the construction drawings for this project.

iv. Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide

developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every public street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration."

Adjacent to the development site SE 64th Street is classified as "No Cut Street." A waiver must be applied for with the city's Right of Manager for street cuts into this street. Pavement restoration for No Cut streets extends 50 feet from each side of the street cut for the full width of the street. The Right of Manager may amend pavement restoration requirements at his discretion.

D. Fire Department Review

i. Fire Access

The Fire Department turnaround is sufficient and approved as designed. No Parking will be allowed in the hammerhead section of the road. The requirements for identification and marking is found in Public Information Handout F-11 located here: http://www.bellevuewa.gov/pdf/Fire/F-11_FireLanes.pdf

Detention vaults and pipes in the roadway shall be capable of supporting fire apparatus with a gross weight of 64,000 lbs. (rear axle=48,000 lbs. and front axle=19,000 lbs.) and shall support the weight of the ladder truck outrigger which is 45,000 lbs. over an 18 inch square.

ii. Fire Protection

Future development of residential dwelling units will be evaluated on an individual basis IFC chapter9, IFC Appendix B

iii. Demolition and Construction

Demolition and construction shall conform to the requirements of International Fire Code Chapter 14

VI. State Environmental Policy Act (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes are expected to mitigate potential environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

A. Earth and Water

The applicant will be required to obtain a "plat infrastructure" clearing and grading permit in order to install the necessary utilities and transportation infrastructure. A

condition of approval of this permit is the preparation of a Construction Stormwater Pollution Prevention Plan. This plan will be reviewed and approved for compliance with the City of Bellevue Clearing and Grading Development Standards and the conditions of approval of this permit. Implementation of these standards will ensure that adequate erosion and sedimentation controls are utilized to protect the site from erosion and to protect downstream water bodies from sedimentation. The applicant will also be required to submit information regarding the use of pesticides, insecticides, and fertilizers to avoid impacts to water resources. See Section X for a related condition of approval.

B. Animals

The project site is adjacent to a Category III wetland. The proposal calls for the preservation of a 60-foot critical area buffer measured from the edge of the wetland. The wetland buffer will be preserved in perpetuity in a Native Growth Protection Area (NGPA). The NGPA will be recorded on the final plat and dedicated to the homeowners of the plat. A portion of the NGPA will be enhanced with native plants.

C. Plants

Mitigation for temporary and permanent disturbance will be approved pursuant to an approved re-vegetation and monitoring plan. See Section X for related conditions of approval.

D. Noise

The site is adjacent to single-family residences whose residents are most sensitive to disturbance from noise during evening, late night and weekend hours when they are likely to be at home. Construction noise will be limited by the City's Noise Ordinance (Chapter 9.18 BCC) which regulates construction hours and noise levels. See Section X for a related condition of approval.

E. Transportation Impact Analysis

i. Long Term Impacts

The long-term impacts of development projected to occur in the City by 2020 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2020 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into Mobility Management Areas (MMA) for analysis purposes. The Wolf Trust Conservation Plat lies within MMA #14, which has a 2020 total growth projection of 110 additional single family dwelling units. This development proposes 9 new single family dwelling units for a total of 10 lots when considering the existing residential lot being subdivided. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development

throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan. Fee payment is required at the time of building permit issuance for the individual homes.

ii. Mid-Range Impacts

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more p.m. peak hour trips must undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained. This development will generate approximately 9 new p.m. peak hour trips; therefore, a concurrency analysis is not required.

iii. Short Term Operational Impacts

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Existing capacity of adjacent streets and system intersections are adequate to safely accommodate the new trips generated by this project during p.m. and a.m. peaks as well as during the non-peak traffic hours. Access for the Wolf Trust Conservation Plat (sight distance, access connection design to the right of way, internal access design) has been engineered appropriately to meet current Bellevue Transportation Standards and Codes. Based on the findings for the Wolf Trust Transportation review (which includes verification of low volumes of existing traffic on nearby residential streets and virtually no accident history in the vicinity of the site's access point) short term traffic impacts will be negligible for this application.

VII. Changes to proposal as a result of City review

As a result of city review, the following modifications were made to the original proposal:

The driveway access (171st Ave SE) was changed from a public road to a private road. Tract A - Native Growth Protection Area was change from public to private ownership. The southern 100 feet of lot #10 was turned into a landscape buffer tract and will be landscaped as a neighborhood entry to be owned and maintained in common by the owners of the subdivision.

VIII. Decision Criteria

A. Preliminary Plat Decision Criteria LUC 20.45A.130

The City may approve or approve with modifications a preliminary plat if:

1. The preliminary plat makes appropriate provisions for, but not limited to, the public health, safety and general welfare; for open spaces, drainage ways, streets, sidewalks, alleys, other public ways, water supplies, sanitary waste, parks, playgrounds, sites for schools and school grounds; and

Finding: As discussed in the body of this report, the proposal includes required tree retention, vehicular access, pedestrian facilities, parking supply, fire protection, and other public utilities to support the public health, safety and general welfare.

2. The public use and interest is served by the platting of the subdivision; and

Finding: The preliminary plat serves the public interest by increasing the supply of homes in a part of the City that the Comprehensive Plan has designated for growth, by ensuring environmental impacts are mitigated, and by ensuring compliance with Land Use Code requirements and conformance with Comprehensive Plan policies.

3. The preliminary plat appropriately considers the physical characteristics of the proposed subdivision site; and

Finding: The proposal appropriately considers the presence of a Category III wetland on an adjacent tract and provides for the minimum required wetland buffer. The proposal also provides for preservation of a number of significant trees and vehicular access to serve the proposed residential parcels. The resulting parcels are of adequate dimension to be developed with single-family residences.

4. The proposal complies with all applicable provisions of the Land Use Code, BCC Title 20, the Utility Codes, BCC Title 24, the City of Bellevue Development Standards and Chapter 58.17 RCW; and

Finding: As discussed in Sections III and V and conditioned in Section X of this report, the proposed subdivision complies with all of the applicable provisions of the Land Use Code, Utilities Code, and other applicable development standards.

5. The proposal is in accord with the Comprehensive Plan, BCC Title 21; and

Finding: The site is located in the Newport Hills Subarea and designated Single Family High density (SF-H) which is consistent with the R-5 zoning designation. The proposal is in accord with the following Comprehensive Plan and Subarea policies:

Housing Element

POLICY HO-17. Encourage infill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.

The site is essentially a vacant piece of property that is encouraged to be developed to single family medium density. The subdivision will allow the site to develop with single family homes, as anticipated. The single family homes are, by use type, compatible with surrounding neighborhoods. The site has adequate urban services to serve this development.

Land Use Element

POLICY LU-3. Accommodate growth targets of 10,117 additional households and 40,000 additional jobs for the 2001- 2022 period. These targets represent the city's commitment to develop the zoning and infrastructure to accommodate this level of growth; they are not a commitment that the market will deliver these numbers.

The proposed plat will help provide housing for Bellevue's share of the regionally adopted demand forecasts for residential uses for the next 10 years.

POLICY LU-9. Maintain compatible use and design with the surrounding built environment when considering new development or redevelopment within an already developed area.

The proposal will be compatible with the surrounding established single family homes.

Newport Hills Subarea

POLICY S-NH-7. Require new subdivisions to improve street frontages to urban standards, including nonmotorized improvements identified in the Transportation section of this subarea plan and in the most current adopted Pedestrian/Bicycle Transportation Plan.

The proposal will improve the street frontage with sidewalks, lighting and landscape improvements creating a consistent and integrated street frontage along the north side of SE 64th Street.

POLICY S-NH-8. Protect significant trees and environmentally-sensitive areas (steep slopes, riparian corridors, and wetlands) in accordance with the provisions of the Land Use Code.

The proposal incorporates tree protection measures that preserve over 30 percent of the diameter inches of significant trees on the site. In addition, the proposal considers the presence of a Category III wetland on a tract to the west of the property and includes a Native Growth Protection Area tract to protect the wetland buffer from disturbance.

6. Each lot in the proposal can reasonably be developed in conformance with current Land Use Code requirements without requiring a variance; however, requests for modifications to the requirements of Part 20.25H LUC, where allowed under the provisions of that part, may be considered together with an

application for preliminary plat so long as the resulting lots may each be developed without individually requiring a variance; and

Finding: As discussed in Section III of this report, the proposal results in single-family lots that can reasonably be developed without requiring a variance. The proposal has demonstrated that sufficient building setbacks and lot dimensions have been provided for. In addition, critical area buffers and critical area structure setbacks have been appropriately incorporated into the design.

7. All necessary utilities, streets or access, drainage and improvements are planned to accommodate the potential use of the entire property.

Finding: As conditioned, the required infrastructure improvements will be installed per City of Bellevue Codes and Development Standards. No significant future infrastructure improvements are anticipated as the site will be fully developed under the current zoning once the residences are built.

B. Critical Areas Report Decision Criteria- General Criteria LUC 20.25H.255

The Director may approve, or approve with modifications, the proposed modification where the applicant demonstrates:

1. The modifications and performance standards included in the proposal lead to levels of protection of critical area functions and values at least as protective as application of the regulations and standards of this code;

Finding: The applicant is not requesting to develop any structures within the critical area, critical area buffer or critical area structure setback. Rather, the applicant is proposing to construct four, 90-square foot stormwater dispersal trenches within the critical area structure setback on four of the proposed single family parcels. These trenches constitute permanent disturbance within the critical area structure setback. As mitigation for this disturbance, the applicant is proposing to install 720 square feet of native plantings within the critical area buffer. These plantings are considered an improvement in condition of the critical area buffer, which is at least as protective of the functions and values of the wetland as avoid the disturbance altogether.

2. Adequate resources to ensure completion of any required mitigation and monitoring efforts;

Finding: To ensure adequate resources are available to carry out the required mitigation and monitoring efforts, performance and maintenance assurance devices will be submitted by the applicant at the time of plat infrastructure construction.

3. The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site; and

Finding: The applicant is not requesting to develop any structures within the critical area, critical area buffer or critical area structure setback. Rather, the applicant is proposing to construct four, 90-square foot stormwater dispersal trenches within the critical area structure setback on four of the proposed single family parcels. These trenches constitute permanent disturbance within the critical area structure setback. As mitigation for this disturbance, the applicant is proposing to install 720 square feet of native plantings within the critical area buffer. These plantings are considered an improvement in condition of the critical area buffer, which is at least as protective of the functions and values of the wetland as avoid the disturbance altogether.

4. The resulting development is compatible with other uses and development in the same land use district.

Finding: The proposal is for a single family residential development adjacent to other similarly developed single family residential neighborhoods. The proposed subdivision's lot sizes are smaller on average than the surrounding development, but this size difference is allowing the protection of the wetland critical area buffer. The proposed subdivision is compatible with the surround development pattern in the same land use district. The rear yard setbacks on lots 8, 9 and 10 will match those of the adjacent, existing single-family properties to ensure consistency.

C. Critical Areas Land Use Permit Decision Criteria 20.30P

The Director may approve or approve with modifications an application for a critical areas land use permit if:

1. The proposal obtains all other permits required by the Land Use Code;

Finding: The proposal is required to obtain a clearing and grading permit for installation of the plat infrastructure. A building permit will be required for construction of a stormwater vault in Tract A. Following installation of all of the required utilities and site clearing and grading, the applicant is required to apply for Final Plat approval.

2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;

Finding: The proposal has utilized the best available design and development techniques available. The proposal has demonstrated compliance will all of the applicable regulations and standards.

3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and ;

Finding: As demonstrated in Section III, the proposal has incorporated the applicable critical areas performance standards in Part 20.25H.

4. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;

Finding: The proposal has undergone review by Bellevue's Transportation Department, Fire Department and Utilities Department. These departments have determined that the proposal is in compliance with the applicable regulations and standards and that the proposed subdivision will be served by adequate public facilities.

5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and

Finding: The applicant has submitted a mitigation and restoration plan that is consistent with LUC 20.25H.210. It contains a native planting plan, performance standards, and a monitoring plan to be reported on for the next five years.

6. The proposal complies with other applicable requirements of this code.

Finding: As discussed in Section III and V of this report, the proposal complies with all other applicable requirements of the Land Use Code.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including applicable Land Use consistency, SEPA, and City Code and compliance reviews, the Director of the Development Services Department recommends **approval with conditions** the **Wolf Trust Conservation Preliminary Plat**.

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the proposal to construct 4 downspout dispersal trenches within the wetland critical area structure setbacks of the Wolf Trust Conservation Preliminary Plat.

Note- Expiration of Approval: A preliminary plat automatically expires and is void if the applicant fails to file for approval of the final plat within five years of the effective date of the preliminary plat approval unless the plat is a phased development and the applicant has received an extension for the preliminary plat pursuant to LUC 20.45A.150.

In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a Clearing and Grading Permit or other necessary development permits within one year of the effective date of the approval.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing & Grading Code - BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code – BCC Chapter 20	Kevin LeClair, 425-452-2928
Noise Control – BCC 9.18	Kevin LeClair, 425-452-2928
Transportation Code – BCC 14.60	Ray Godinez, 425-452-7915
Utilities Code – BCC Chapter 24	Arturo Chi, 425-452-4119
Fire Code – BCC 23.11	Kevin Carolan, 425-452-7832

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

A. GENERAL CONDITIONS

1. RAINY SEASON RESTRICTIONS

Due to the proximity to a wetland critical area, no clearing and grading activity may occur during the rainy season, which is defined as October 1 through April 30 without written authorization of the Development Services Department. Should approval be granted for work during the rainy season, increased erosion and sedimentation measures, representing the best available technology must be implemented prior to beginning or resuming site work.

Authority: Bellevue City Code 23.76.093.A,
Reviewer: Savina Uzunow, Clearing and Grading

2. NOISE CONTROL

Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18
Reviewer: Kevin LeClair, Land Use

3. PERMANENT ACCESS RESTRICTION

No additional driveway connection to city right of way is authorized for the Wolf Trust Conservation Plat. All lots will access SE 64th Street via a private access road (117th Avenue SE).

Authority: Bellevue City Code 14.60.130; 14.60.150
Reviewer: Ray Godinez, Transportation Department, 425-452-7915

4. FIRE DEPARTMENT ACCESS

No Parking will be allowed in the hammerhead section of the road. The requirements for identification and marking is found in Public Information Handout F-11 located at: http://www.bellevuewa.gov/pdf/Fire/F-11_FireLanes.pdf

Detention vaults and pipes in the roadway shall be capable of supporting fire apparatus with a gross weight of 64,000 lbs. (rear axle=48,000 lbs. and front axle=19,000 lbs.) and shall support the weight of the ladder truck outrigger which is 45,000 lbs. over an 18 inch square.

Authority: Bellevue City Code 23.11
Reviewer: Kevin Carolan, Fire Department

5. FIRE PROTECTION REQUIREMENTS

Future development of residential dwelling units will be evaluated on an individual basis IFC chapter9, IFC Appendix B

Authority: Bellevue City Code 23.11
Reviewer: Kevin Carolan, Fire Department

6. DEMOLITION/ CONSTRUCTION CODES

Demolition and construction shall conform to the requirements of International Fire Code Chapter 14

Authority: Bellevue City Code 23.11
Reviewer: Kevin Carolan, Fire Department

B. PRIOR TO ISSUANCE OF ANY PLAT ENGINEERING/CLEAR AND GRADE PERMIT:

1. MITIGATION AND MONITORING PLAN

To mitigate for direct and indirect impacts to the wetland structure setback, a portion of the NGPA shall be enhanced with native plantings. A management plan including, but not limited to replanting, signing and fencing shall be prepared for the NGPA by a qualified wetland biologist or wetland restoration professional and approved prior to release of the clearing and grading permit. The plan shall address the hydrologic, water quality, vegetation community and wildlife habitat functions of both the wetland and riparian corridor and their respective setbacks. It shall be designed to expressly limit direct and edge effect impacts to the Type III wetland.

At a minimum, the applicant shall submit a final wetland buffer mitigation plan that provides for native plantings within Tract B – Native Growth Protection Area. The

mitigation plan shall include a schedule of native plants necessary to cover 720 square feet. At a minimum, the planting plan shall contain the following mixture of plant types:

- 10 trees, 9 feet on-center
- 22 shrubs, 6 feet on-center
- 116 groundcovers, 2.5 feet on-center

To ensure successful establishment of the required mitigation, the mitigation shall be monitor for a period of at least three years. The monitoring shall report on the establishment success of the planting, based on the following performance standards:

- 100% survival of installed plant stock following the first growing season
- 80% survival of installed plant stock following the second growing season
- 60% survival of installed plant stock following the third growing season and up to 30% total coverage of planting area with desirable native plant canopies.
- Less than 10% aerial coverage by invasive, non-native plant species at the end of each of the three growing seasons.

Monitoring reports shall be transmitted to the City of Bellevue and report on performance of the mitigation. If mitigation is not meeting performance standards, a contingency plan shall be drafted and implemented prior to the next growing season.

Authority: Land Use Code 20.25H.220

Reviewer: Kevin LeClair, Land Use

2. PROTECTION OF WETLAND BUFFER EDGE

To limit pet and human use, and enhance the function of the wetland critical area buffer, the outer edge of the wetland critical area buffer shall be planted with dense native plantings. To accomplish this, a wetland buffer planting plan covering an area 5 feet wide along the edge of Tract B – Native Growth Protection Area – where it abuts lots 4, 5, 6 and 7, shall be submitted for review and approval as part of the clearing and grading permit. The planting plan shall include primarily native shrubs and ground covers and be consistent with the species and plant spacing specified within the City of Bellevue “Critical Areas Handbook.”

Authority: Land Use Code 20.25H.100.E

Reviewer: Kevin LeClair, Land Use Code

3. PESTICIDE, INSECTICIDES AND FERTILIZERS

The applicant must submit as part of the required Clearing and Grading Permit information regarding the use of pesticides, insecticides, and fertilizers in accordance with the City of Bellevue’s “Environmental Best Management Practices”.

Authority: Land Use Code 20.25H.220.H

Reviewer: Kevin LeClair, Land Use

4. RIGHT OF WAY USE PERMIT

The applicant is required to apply for a Right of Way Use Permit before the issuance of any clearing and grading, building, foundation, or demolition permit. In some cases,

more than one Right of Way Use Permit may be required, such as one for hauling and one for construction work within the right of way. A Right of Way Use Permit regulates activity within the city right of way, including but not limited to the following:

- a) Designated truck hauling routes.
- b) Truck loading and unloading activities.
- c) Hours of construction and hauling.
- d) Continuity of pedestrian facilities.
- e) Temporary traffic control and pedestrian detour routing for construction activities.
- f) Street sweeping and maintenance during excavation and construction.
- g) Location of construction fences.
- h) Parking for construction workers.
- i) Construction vehicles, equipment, and materials in the right of way.
- j) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities, such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

Authority: Bellevue City Code 14.30
Reviewer: Tim Stever, Transportation Department, 425-452-4294

5. SITE (CIVIL ENGINEERING) PLANS

A street lighting plan and site (civil engineering) plan produced by a qualified engineer must be approved by the City prior to clear and grading permit approval. The design of all street frontage improvements must be in conformance with the requirements of the Americans with Disabilities Act and the Transportation Development Code, and the provisions of the Transportation Department Design Manual.

Authority: Bellevue City Code 14.60.210; Transportation Department Design Manual
Reviewer: Ray Godinez, Transportation Department, 425-452-7915

C. PRIOR TO FINAL PLAT APPROVAL:

1. PESTICIDE, INSECTICIDES AND FERTILIZERS

To protect the functions and values of the wetland buffer within the Native Growth Protection Area a note shall be placed on the face of the final plat that states, "The use of pesticides, insecticides, and fertilizers within 150 feet of the edge of Tract B – Native Growth Protection Area – shall be in accordance with the City of Bellevue's "Environmental Best Management Practices," now or as hereafter amended.

Authority: Land Use Code 20.25H.100.F
Reviewer: Kevin LeClair, Land Use

2. IMPERVIOUS SURFACE

Impervious surface for the subdivision considered on the whole shall not exceed 50 percent, based on the total site size. The final plat shall designate the allowed

impervious surface for each separate lot.

Authority: Land Use Code 20.45A.060.B.3, Footnote (6)
Reviewer: Kevin LeClair, Land Use

3. LOT COVERAGE

The final plat shall designate the maximum allowed lot coverage for each lot in accordance with the lot coverage formula contained in LUC 20.45A.060.B.3, Footnote (5)

Authority: Land Use Code 20.45A.060.B.3, Footnote (5)
Reviewer: Kevin LeClair, Land Use

4. WETLAND BUFFER LIGHT PROTECTION

The wetland and wetland buffer shall be protected from unnecessary light intrusion. Compliance with this standard shall be in the form of a note on the face of the final plat that states, "To ensure that the wetland and wetland buffer are protected from unnecessary light intrusion, exterior lighting on the west side of buildings of lots 4, 5, 6, and 7 shall be designed in a way that prevents light spillover into Tract B – Native Growth Protection Area. This provision shall be enforced at the time of building permit review for lots 4, 5, 6 and 7."

Authority: Land Use Code 20.25H.100.A
Reviewer: Kevin LeClair, Land Use

5. LANDSCAPE MAINTENANCE/MONITORING ASSURANCE DEVICE

The applicant shall submit a bond or assignment of savings equal to 20% of the cost for all labor and materials for mitigation and restoration of the critical area buffer. The amount of this device shall include the cost of monitoring and maintaining this landscaping for 3 years.

Authority: Land Use Code 20.25H.220, 20.40.490
Reviewer: Kevin LeClair, Land Use

6. DESIGNATION AND MARKING OF NATIVE GROWTH PROTECTION AREA

All critical area buffers shall be placed in a Native Growth Protection Area (NGPA) tract meeting the applicable requirements. The NGPA must be labeled and its boundary clearly shown on ALL site related plans submittal for the final short.

The boundary shall be clearly marked with visible signage facing the residential parcels.

Authority: Land Use Code 20.25H.030.B, 20.45A.060.B.2
Reviewer: Kevin LeClair, Land Use

7. STREET FRONTAGE IMPROVEMENT

All street frontage improvements and other required transportation elements including street lighting must be constructed by the applicant and accepted by the Transportation Department prior to final plat approval, except as provided for in BCC 20.40.490. Specific requirements are detailed below:

a) Site Specific Items:

- i) 5 foot wide concrete sidewalk with planter strip, landscaping and curb and gutter. These widths may be modified during the construction phase of this project to accommodate a maintenance driveway, street light and utility connection. Curb alignment will continue existing curb alignment west of the site.
- ii) Street light near the private road connection to SE 64th Street.
- iii) Driveway approach at the connection of the private access road to SE 64th Street.
- iv) Appropriate street signing and channelization on SE 64th Street and the private access road.
- v) Private access road per Transportation Design Manual Drawing DEV-8 (28 foot paved width).

b) Miscellaneous:

1. The maximum cross grade of a street at the street end shall be 8%.
2. Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241.
3. The private road shall not be gated or obstructed and must remain open at all times for emergency and public service vehicles. A note to this effect shall be placed on the face of the final Subdivision map.
5. The maintenance responsibility for the private road shall be the shared responsibility of Lots 1 through 10. A note to this effect must be indicated on the face of the final Subdivision map.

Authority: Bellevue City Code 14.60.100, 110, 130, 150, 170, 190, 210, 230, 240, 241; Transportation Department Design Manual Sections 3, 4, 5, 7, 11, 14, 19
Reviewer: Ray Godinez, Transportation Department, 425-452-7915

8. PAVEMENT RESTORATION

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

SE 64th Street has been classified by the City as a "No Cut" street. Therefore a waiver to cut into this street is required. Required pavement restoration will be a full grind and overlay extending 50 feet from each side of the street cut for the full width of the street.

Authority: BCC 14.60. 250; Design Manual Design Standard #21
Reviewer: Tim Stever, 425-452-4294

9. PIPE MONUMENTS

Permanent pipe monuments shall be set along the street centerline at all intersections, curve tangent points, and cul-de-sac radius points. Said pipe monuments shall be a Bertsen A130 Aluminum Standard Monument (30" long), or equivalent, together with standard iron casting case and cover. These materials and specifications are shown in City of Bellevue Standard Drawing DEV-12 (Cap Detail B).

Authority: LUC 20.45A.030; RCW 58.17.240

Reviewer: Ray Godinez, Transportation Department, 425-452-7915

10. VARIANCE / MODIFICATION RESTRICTION

Approval by the City of this short plat is a determination that each lot in the short plat can be reasonably developed in conformance with the Land Use Code requirements in effect at the time of preliminary short plat approval without requiring a variance.

Authority: Land Use Code 20.45A.130.F

Reviewer: Kevin LeClair, Land Use

COLE PROPERTY ENVIRONMENTAL CHECKLIST

A. BACKGROUND INFORMATION

Property Owner: Edward L. Wolf

Proponent: Toll WA LP

Contact Person: Bruce Knowlton

Address: 9720 NE 120th Pl, Suite 100
Kirkland, WA 98034

Phone: (425) 825-1955 ext. 142

Proposal Title: Wolf Trust Preliminary Plat

Proposed Location: Immediately north of the intersection of 117th Ave. SE and SE 64th St.

Legal description:

Block Three Hundred One (301), C.D. Hillman's Lake Washington Garden of Eden Addition to Seattle, Division No. 3, according to the plat thereof recorded in Volume 11 of Plats, Page 81, in King County, Washington.

Except the North half thereof.

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 ½" x 11" vicinity map that accurately locates the proposal site.

A vicinity map is attached.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: Development of a 10-lot conservation subdivision. Lots in the community range from approximately 4,900 SF to approximately 9,348 SF on a 2.24 acre parcel of land. The community will be served by a public road and utilities extending from SE 64th St. A large open space tract (Tract B) containing approximately 13,220 SF will be platted as a NGPA tract and serves as buffer to an existing wetland located immediately west of the site.

2. Acreage of site: **Approximately 2.24 acres**
3. Number of dwelling units/buildings to be demolished: **One dwelling unit and two accessory structures are proposed to be demolished.**
4. Number of dwelling units/buildings to be constructed: **10 dwelling units are proposed to be constructed.**
5. Square footage of buildings to be demolished: **The approximate square footage of the buildings to be demolished is 2,150 SF.**
6. Square footage of buildings to be constructed. **10 homes are proposed to be constructed with homes generally between 2,500 and 3,000 SF in size.**
7. Quantity of earth movement (in cubic yards): **2,042 CY—Cut/4,429CY—Fill**
8. Proposed land use: **Single family residential subdivision.**
9. Design features, including building height, number of stories and proposed exterior materials: **Homes will be two stories in height with maximum building height consistent with Bellevue codes. Proposed exterior materials will include lap siding, board and batten siding, brick and stone.**
10. Other

Estimated date of completion of the proposal or timing of phasing:

The construction of roads and utilities is estimated to occur in the summer of 2013 and home construction will begin in late-2013 or early-2014.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No. The project will be constructed in one phase.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

We not aware of any applications pending for governmental approvals of other proposals directly affecting the property covered by this proposal.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

- Preliminary Plat approval
- SEPA threshold determination
- Clearing and Grading approval
- Final Plat approval
- Building permits
- Right-of-Way Use permit
- NPDES permit
- Water, Sewer and Storm Connection Permits
- Utilities Extension Agreement

Please provide one or more of the following exhibits if applicable to your proposal.
(Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning.

Preliminary Plat or Planned Unit Development
Preliminary plat map

Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

Building Permit (or Design Review)
Site plan
Clearing & Grading plan

Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep Slopes
 Mountains Other

b. What is the steepest slope on the site (approximate percent slope)?

Very limited areas of the site contain slopes of approximately 9%

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, mulch)? If you know the classification of agricultural soils, specify them and note any prime farmland.

A geotechnical report prepared by Associated Earth Sciences Inc. indicates that the site contains medium dense to very dense, silty sand with gravel to sandy silt interpreted as Vashon ice contact, outwash and lodgement till. The native sediments within portions of the field area west of the buildings were covered by existing fill and old topsoil generally ranging from 4 to 6 feet.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None known

- e. Describe the purpose, type, location and approximate quantities of any filling or grading proposed. Indicate source of fill.

The site will be graded for construction of, streets, utilities, building pads and yards. The preliminary quantities for cut and fill are approximately 2,042 cubic yards of cut and 4.429 cubic yards of fill. All efforts will be made to balance the site, however if additional material needs to be taken off-site, an approved dump site will be chosen. The source of fill material is not known at this time.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Erosion is a possibility during clearing and construction. Temporary erosion control measures, as approved by the City of Bellevue, will be implemented on site.

- g. About what percentage of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Approximately 50% maximum of the site will be covered with impervious surfaces.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any.

Filter fence, temporary ponds, hydroseeding, straw bales, and other TESC measures as approved by the City of Bellevue will be used to reduce or control erosion.

Erosion control measures are required per Bellevue City Code (BCC) 23.76. Measures will be implement during plat infrastructure and home construction.

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile, odors, industrial wood smoke) during construction and when the project is completed: If any, generally describe and give approximate quantities if known.

Dust, diesel and gasoline emissions during construction and natural gas emissions from fireplaces and automobile exhaust after construction.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None known.

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Construction vehicles and equipment will be in proper working order to minimize emissions.

3. WATER

a. Surface

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type, location and provide names. If appropriate, state what stream or river it flows into.

A Category 3 wetland is located within an NGPA tract in the adjoining subdivision located immediately west of the site. The wetland extends nearly to, but not over, the west property line of the subject site. The wetland drains to the existing storm drainage system located in SE 64th St.

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters: If yes, please describe and attach available plans.

Yes. Please refer to the conservation subdivision drawings. A 60-foot wide buffer contained within a Native Growth Protection Area Tract (Tract B) is provided between the wetland and the rear of the lots that are located near the wetland.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

None.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- 6) Does the proposal involve any discharge of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground

- 1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known.

No.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals ... ; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

N/A

Roof downspout drainage will flow into the NGPA wetland buffer. Storm drainage impacts have been assessed in the storm drainage report.

c. Water Runoff (including storm water):

- 1) Describe the source(s) of runoff (including storm water) and method of collection, transport/conveyance, and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

On-site stormwater will be collected in a series of catch basins and conveyed to an underground storm drainage detention/water quality facility located within Tract A at the southwest corner of the site. The detained runoff will also undergo water quality treatment in conformance with City requirements prior to discharging into the existing underground storm water conveyance system located in 64th Avenue SE. The runoff is then directed west and north in this conveyance system before it ultimately discharges into a seasonal creek tributary west of the site. Roof drain runoff from lots 4-7 will be directed to individual dispersal trench systems located at the rear of each of these lots to maintain flows to an adjacent wetland. This runoff will disperse across and into the soil.

- 2) Could waste materials enter ground or surface waters? If so, generally describe.

Oil and other pollutants from automobiles could enter the storm system.

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts if any:

The detained runoff will also undergo water quality treatment in conformance with City requirements prior to discharging into the existing underground storm water conveyance system located in SE 64th St. Roof drain runoff from lots 4-7 will be directed to individual dispersal trench systems located at the rear of each of these lots. This runoff will then disperse across and into the soil.

4. PLANTS

- a. Check or circle types of vegetation found on the site:

deciduous tree: **alder, cottonwood, maple, cherry, birch**, other: **fir, cedar**
evergreen tree: **fir, cedar, hemlock, pine**, other: **madrone, apple, willow, holly**
shrubs: **grass, salal**, etc.:

- b. What kind and amount of vegetation will be removed or altered?

Trees and understory plant materials will be removed for development of streets, utilities and future homes. Several coniferous and a few deciduous trees along the north and east property lines will be saved. The amount of trees proposed to be retained meets the City's tree retention requirement.

- c. List threatened or endangered species known to be on or near the site.

None known.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Approximately 21 trees will be retained after development of the project. Trees will be protected by temporary fencing during the construction phase of the project. After the site is developed, street trees will be planted and yards will be landscaped.

5. ANIMALS

- a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: **hawk, heron, eagle, songbirds**, other:

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mammals: deer, bear, elk, beaver, other:
fish bass, salmon, trout, herring, shellfish, other:

- b. List any threatened or endangered species known to be on or near the site.

None known.

- c. Is the site part of a migration route: If so, explain.

Not known.

- d. Proposed measure to preserve or enhance wildlife, if any:

A native growth protection area tract is proposed on the western portion of the property extending from the edge of the off-site wetland to the rear of lots 4 through 7. Also, approximately 21 trees will be retained within the project.

6. ENERGY AND NATURAL RESOURCES

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs: Describe whether it will be used for heating, manufacturing, etc.

Electricity for lighting and natural gas for heating.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No.

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

Construction will meet city of Bellevue codes and regulations for house construction.

7. ENVIRONMENTAL HEALTH

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk or fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

It is possible that a minor spill could occur when servicing construction vehicles. The potential for fire during home construction is a remote possibility.

- 1) Describe special emergency services that might be required.

Normal fire, medical, and police emergency services.

- 2) Proposed measures to reduce or control environmental health hazards, if any:

All construction and development will meet or exceed local codes and requirements.

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic equipment, operation, other)?

Traffic noise from adjacent roadways may be heard from the site.

- 2) What types and levels of noise would be created or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short-term noise will be created by equipment and automobiles associated with project construction. Long-term noise may be created by automobiles going to and from the neighborhood and from adjacent roadways.

- 3) Proposed measures to reduce or control noise impacts, if any:

Short-term measures include keeping machinery and vehicles in proper working order. Construction work is permitted to only occur within approved working hours as determined by the City of Bellevue.

8. LAND AND SHORELINE USE

- a. What is the current use of the site and adjacent properties?

The site contains a single-family residence and accessory buildings, all of which will be demolished.

Single-family residential subdivisions are located adjacent to all sides of the proposed project. The site is bordered on the south by SE 64th Street and a portion of the 118th Avenue SE right-of-way abuts the northwest corner of the property.

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b. Has the site been used for agriculture? If so, describe.

No.

c. Describe any structures on the site.

A single-family residence and two accessory buildings are located on the property.

d. *Will any structures be demolished? If so, what?*

All buildings on the property will be demolished.

e. *What is the current zoning classification of the site?*

R-5

f. *What is the current comprehensive plan designation of the site?*

SF-H (Single Family – High Density)

g. If applicable, what is the current shoreline master program designation of the site?

Not applicable

h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify. (If unsure check with the City)

A wetland is located just offsite immediately to the west of the project. A 60-foot wide buffer is provided within the project from the edge of this wetland.

i. Approximately how many people would reside or work in the completed project.

Assuming 2.6 people per dwelling unit, approximately 26 people would reside in the completed project. (10x 2.6 = 26)

j. Approximately how many people would the completed project displace?

The project would displace approximately two people.

k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

l: Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The property will be developed with single family detached homes as currently exists in this neighborhood. The proposal will be developed in conformance with the City of Bellevue Land Use Code and the comprehensive plan. Lots will range from approximately 4,900 SF to approximately 9,300 SF with a large open space tract containing approximately 13,220 SF located immediately east of the offsite wetland.

Three lots will be located adjacent to the north property line where four lots exist in the existing plat to the north. Two lots will abut the east property line where five lots exist in the existing plat that abuts this boundary line. Two lots will face SE 64th Street and will take access directly from SE 64th St. similar to the homes on the opposite side of this street.

9. HOUSING

- a.. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

10 middle to upper-middle income residences will be provided.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

One middle income residence will be eliminated.

- c. Proposed measures to reduce or control housing impacts, if any:

The proposal is for 10 new single-family residences. The architectural features, style, scale, and size will be compatible with the surrounding community.

The net increase of single family parcels is 9.

10. AESTHETICS

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

The tallest height of proposed structure will be consistent with City of Bellevue codes which is 35 feet to the top of the pitched roof. Lap siding, board & batten, cedar shakes and brick/stone accents are proposed to provide for varied exteriors.

- b. What views in the immediate vicinity would be altered or obstructed?

None known.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

The homes will feature northwest architectural elements such as front porches, pitched roofs, a variety of exterior materials, and landscaping throughout the site.

11. LIGHT AND GLARE

- a. What type of light or glare will the proposal produce: What time of day or night would it mainly occur:

Street lighting and automobile lighting could produce glare in the evening hours.

- b. Could light or glare from the finished project be a safety hazard or interfere with views:

We are not aware of any potential interference or hazard.

- c. What existing off-site sources of light or glare may affect your proposal?

Automobile lights from adjacent streets could produce glare.

- d. Proposed measures to reduce or control light and glare impacts, if any:

Proposed street lighting will consist of low wattage fixtures compatible with the existing neighborhood.

A single street light is planned for the new private road. Lighting on the exterior of the homes will be of a residential scale.

12. RECREATION

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Newport Hills Park is located approximately two blocks north of the site.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

The 10-lot project is not proposed to have a park.

13. HISTORIC AND CULTURAL PRESERVATION

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

None known.

- b. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site.

None known.

- c. Proposed measures to reduce or control impacts, if any:

None applicable.

14. TRANSPORTATION

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

Eight homes will access the existing street system from the public hammerhead turn-around street that will be constructed. Two of the homes will take direct access to the existing SE 64th Street.

- b. Is the site currently served by public transit? If not, what is the approximate distance to the nearest transit stop.

The site is not currently served by public transit. Metro Route 821 travels on SE 60th Street and north on 119th Avenue SE, approximately 5-6 blocks north of the site.

- c. How many parking spaces would the completed project have: How many would the project eliminate?

Each new residence will have a two-car garage and a driveway which can accommodate additional parking in front of the garage.

- d. Will the proposal require any new roads or streets, or improvements to existing

roads or streets, not including driveways? Is so, generally describe (indicate whether public or private)

The project will require construction of a public street that terminates with a hammerhead turn-around. The project will also require widening SE 64th Street along the frontage of the property.

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe:

No.

- f. How many weekday vehicular trips (one way) per day would be generated by the completed project?

Assuming on 9.57 average daily trips and 9 additional homes (10 proposed homes less one existing home), the projected weekday vehicular trips is 86 average daily trips.

- g. Proposed measures to reduce or control transportation impacts, if any:

The project will pay transportation impact fees to the City of Bellevue.

15. PUBLIC SERVICES

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

The project will result in a marginal increase for public services including police, fire, ambulance and schools.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

Impact fees may be imposed on the project as required by the City of Bellevue.

16. UTILITIES

- a. Circle utilities currently available at the site: **electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.**

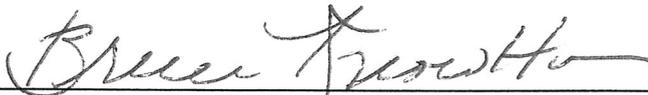
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- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Water and sewer utilities will be provided by the City of Bellevue, telephone service will be provided by Verizon, electricity and gas service will be provided by Puget Sound Energy.

SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Date Submitted: ~~April 27, 2011~~ 4/27/12