



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** Lynch Residence

**Proposal Address:** 6236 Hazelwood Lane SE

**Proposal Description:** The applicant requests a Variance from the Land Use Code and a Critical Areas Land Use Permit to construct a single-family residence that exceeds the height limitations on a lot nonconforming to size, reduces the front yard structure setback, modifies the side yard structure setbacks for a residential structure exceeding 0.5 FAR, modifies the shoreline critical area structure setback, modifies the steep slope critical area structure setback and mitigates for permanent impacts through restoration planting.

**File Number:** 12-110695-LS & 12-110696-LO

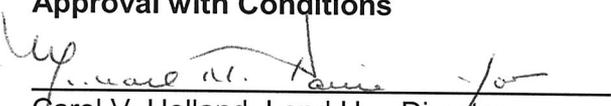
**Applicant:** Ron and Oralia Lynch

**Decisions Included:** Variance from the Land Use Code & Critical Areas Land Use Permit (Process II. LUC 20.30G & 20.30P)

**Planner:** Kevin LeClair, Planner

**State Environmental Policy Act Threshold Determination:** Exempt per WAC 197-11-800

**Director's Decision:** Approval with Conditions

  
\_\_\_\_\_  
Carol V. Helland, Land Use Director  
Development Services Department

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Application Date: April 3, 2012  
Notice of Application Publication Date: April 26, 2012  
Decision Publication Date: August 9, 2012  
Project Appeal Deadline: August 23, 2012

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For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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### **Attachments**

1. Site Plan
2. Variance Narrative by PKJB Architects – In-file
3. Variance Narrative Resubmittal by PKJB Architects – In-file
4. Slope Evaluation by Otto Rosenau and Associates – In-File
5. Lynch Residence Critical Areas Report by Sewall Wetland Consulting, Inc – In-File

## **I. Proposal Description**

The applicant is requesting a Variance from the Land Use Code in order to reduce the front yard structure setback from 20 feet to 5 feet, to reduce the 7.5 foot side yard to 5 feet on the south lot line required for a residential structure exceeding the 0.5 FAR threshold, and to increase the height limit of 20.1 feet for a lot nonconforming to size to the 35 feet.

The applicant is also requesting a Critical Areas Land Use Permit to modify the shoreline critical area structure setback to zero for a portion of the new residence (the 25-foot shoreline buffer is untouched) and to modify the toe-of-slope steep slope structure setback to minimum distance of 15 feet.

The purpose of the requested variance and critical areas land use permit is to construct a new 2,201 square foot residence with a 506-square foot, attached garage.

The Land Use Code allows for Variance from select dimensional standards provided the criteria in LUC 20.30G are met. The Land Use Code also allows for modifications of critical areas structure setbacks if the performance standards for each critical area are addressed and the decision criteria in LUC 20.25H.255.A and LUC 20.30P are met.

## **II. Site Description, Zoning, Land Use and Critical Areas**

### **A. Site Description**

The property is located at 6236 Hazelwood Lane SE. The property is approximately 72 feet wide by 65 feet deep, with a total area of 4,700 square feet. The eastern boundary of the property is adjacent to a shared access drive and the edge of the Northern Pacific Railroad right-of-way. The western boundary of the property contains a concrete bulkhead wall adjacent to Lake Washington. Both properties north and south of the property are single-family residential properties. The one to the north is developed with a residence, while the one to the south is vacant and contains the abandoned foundation of a home that was demolished several years ago.

The property is currently developed with a 1,710 square foot, single-family residence that was originally constructed in 1932 (King County Assessor). There is no garage, rather parking is provided on a paved pad to the south side of the existing house.

The site slopes down from the shared access easement toward the water with a total elevation change of 6 feet.

There is very little landscaping on the property, as the area east of the bulkhead is a paved patio. There is small grassy patch between the parking pad and the patio.

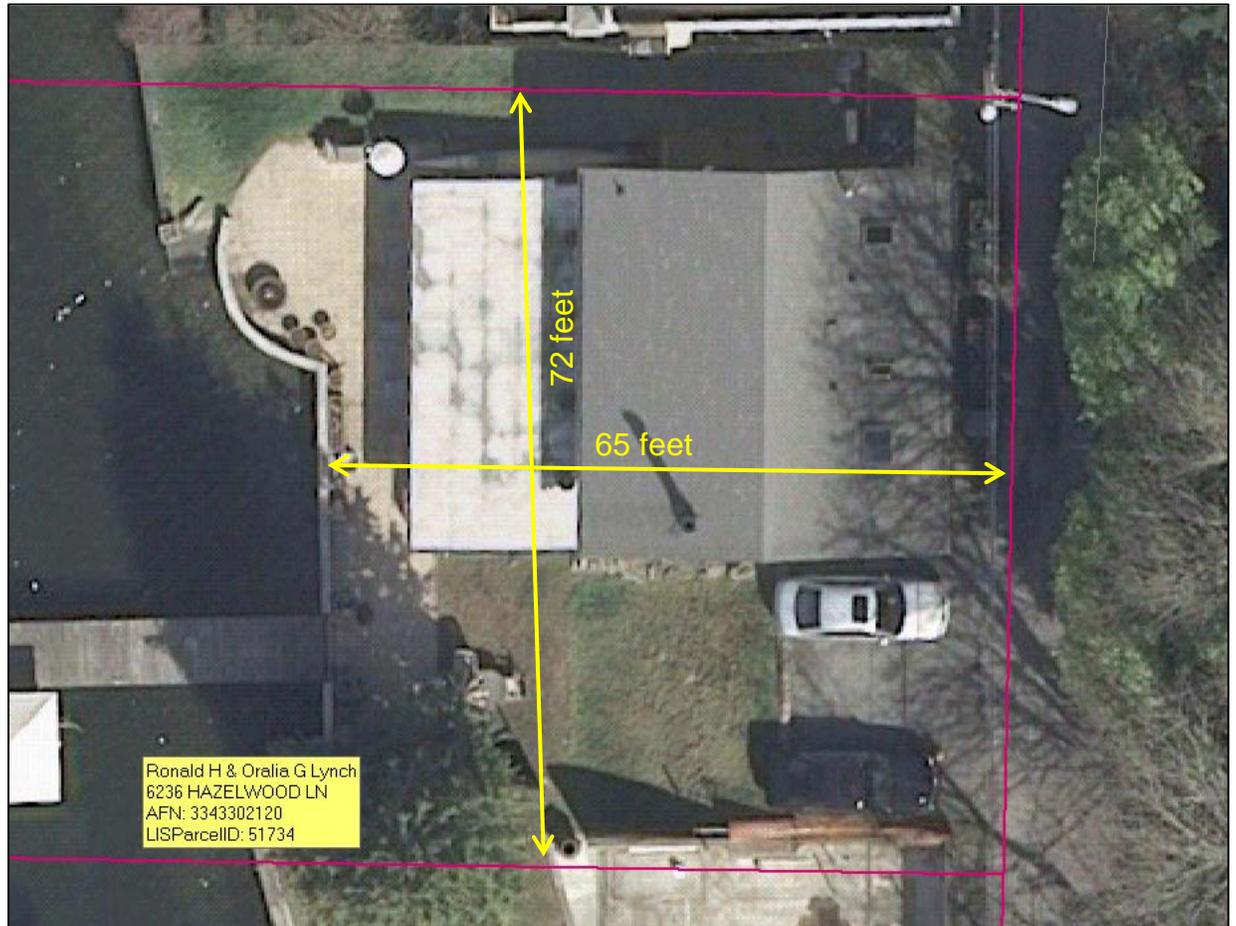


Figure 1: Site Aerial

**B. Zoning**

The property is zoned R-5. The property is also within the Critical Areas Overlay District and Shoreline Overlay District.

**C. Land Use Context**

Hazelwood Lane SE is a dead-end private road/access easement that services 22 total residences, which is seen locally as the neighborhood in which the Lynch property is located.

As one accesses Hazelwood Lane SE there is a split in the roadway 4 houses north of the Lynch residence, with one fork heading north and the other fork heading south. There are 15 residential properties located to the north and 7 residential properties to the south. The properties to the north are relative narrow with a standard width of approximately 40 feet. Each of the 15 homes constructed in the north portion of the neighborhood are located within 10 to 15 feet of the access easement, with side yard setbacks of 5 and 10 feet and a rear yard setbacks of 25 to 30 feet. About six of the homes are developed as three-story structures, with two stories facing the street, and three facing the water.

The Lynch property is near the southern end of the south fork of Hazelwood Lane. The access easement serves four other properties before passing the subject property and then serves two other residences to the south. All but one of the properties accessed off the easement are developed with single-family residences. One is undeveloped and contains an abandoned building foundation.

The next property to the south, just across the city boundary, is developed with a 2,520 square foot single-family residence on 1,410 square foot piece of land.

The subject property sits below a steep, forested slope that contains the Northern Pacific Railroad right-of-way. Above and east of the railroad corridor there is more slope leading up to a multi-use path. Above and further east is the western edge of the Interstate-405. The total elevation change from the highway down to the property is 65 feet. The only way to view the neighborhood is from either Lake Washington or from Hazelwood Lane.

#### **D. Critical Areas Functions and Values**

##### **i. Geologic Hazard Areas**

Geologic hazards pose a threat to the health and safety of citizens when commercial, residential, or industrial development is inappropriately sited in areas of significant hazard. Some geologic hazards can be reduced or mitigated by engineering, design, or modified construction practices. When technology cannot reduce risks to acceptable levels, building in geologically hazardous areas is best avoided (WAC 365-190).

Steep slopes may serve several other functions and possess other values for the City and its residents. Several of Bellevue's remaining large blocks of forest are located in steep slope areas, providing habitat for a variety of wildlife species and important linkages between habitat areas in the City. These steep slope areas also act as conduits for groundwater, which drains from hillsides to provides a water source for the City's wetlands and stream systems. Vegetated steep slopes also provide a visual amenity in the City, providing a "green" backdrop for urbanized areas enhancing property values and buffering urban development.

##### **ii. Shorelines**

Shorelines provide a variety of functions including shade, temperature control, water purification, woody debris recruitment, channel, bank and beach erosion, sediment delivery, and terrestrial-based food supply (Gregory et al. 1991; Naiman et al. 1993; Spence et al.1996).

**III. Consistency with Land Use Code Requirements:**

**A. Zoning District Dimensional Requirements (LUC 20.20.010):**

The site is located in the R-5 zoning district. The following table summarizes the dimensional standards that apply compared with the dimensions proposed under the requested variance:

STANDARD (* = variance requested) See discussion below for details	REQUIRED	PROPOSED
*Front yard structure setback	20 feet	5 feet
Rear yard structure setback	20 feet	20 feet
*Side yard structure setback	7.6 feet	5 feet
2 side yards structure setback	15 feet	15 feet
*Maximum building height (reduced due to lot nonconforming to required area)	20 feet, 1 inch	35 feet
Maximum lot coverage	40%	32%
Maximum impervious surface	55% (77% existing)	66% (allowed per LUC 20.20.460.F)
Minimum greenscape percentage of front yard setback	50% (00% existing)	00%
Footnote (43): Floor Area Ratio (FAR) Threshold	0.50	0.58 Exempt on north per footnote (43), subnote (c). The adjacent structure to the north exceeds the 0.5 FAR threshold and is built up to property line.

Table 1: Dimensional Standards and Proposed Dimensions

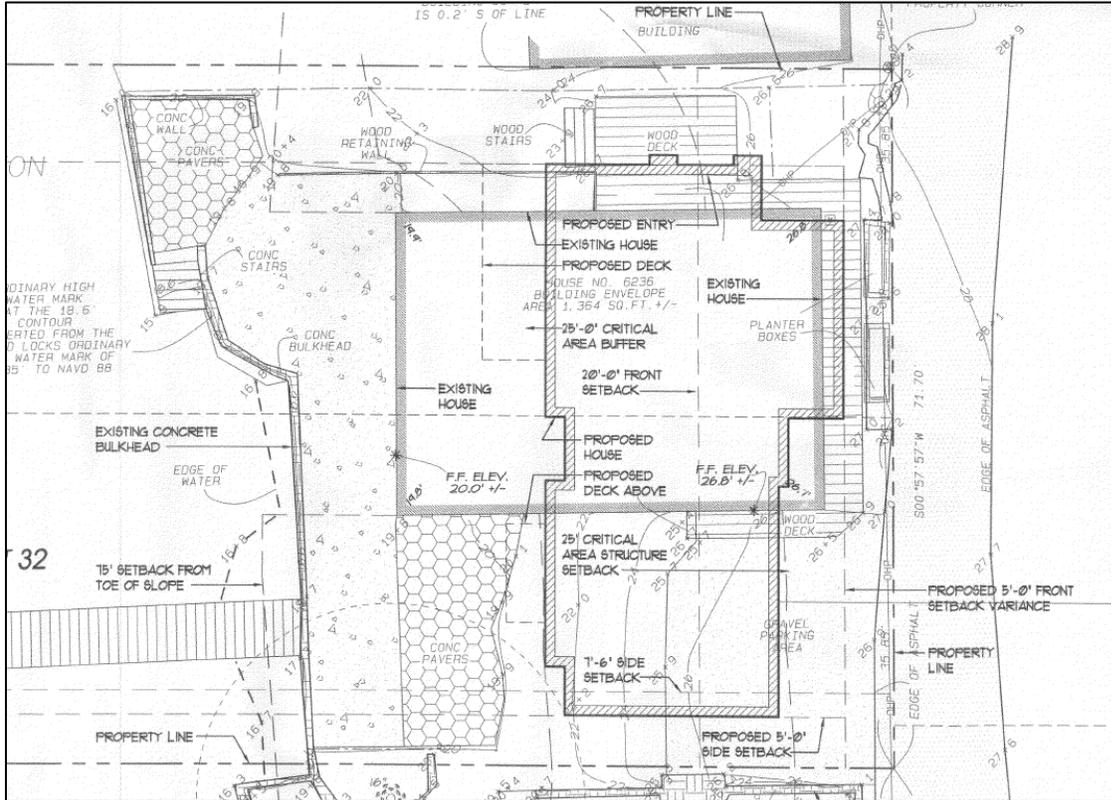


Figure 2: Proposed Site Plan (Shoreline Mitigation Plantings Not Shown)



Figure 3: Development Pattern of North Portion of Neighborhood

Hazelwood Lane SE Address	Lot Size (% of District Minimum)	House Square Footage (FAR)	Setbacks (ft) F, R, S, 2S
6236 (Lynch)	4700 sq. ft. (65%)	2707 sq. ft. (0.58)	5, 25, 5, 15 requested
6232	6300 sq. ft. (88%)	2790 sq. ft. (0.44)	5, 25, 0, 15
6224	7000 sq. ft. (97%)	2890 sq. ft. (0.41)	12, 8, 0, 30
6031	5502 sq. ft. (76%)	4210 sq. ft. (0.77)	15, 20, 5, 15
6027	5213 sq. ft. (72%)	3310 sq. ft. (0.63)	15, 30, 5, 15
6025	5116 sq. ft. (71%)	3430 sq. ft. (0.67)	15, 26, 5, 15
6023	5250 sq. ft. (73%)	4760 sq. ft. (0.91)	16, 25, 5, 15

Table 2: Comparison of Neighborhood Development

**i. Front yard structure setback of 5 feet**

Due to the relative shallow depth (65 feet) of the property, coupled with the required 25-foot shoreline critical area shoreline buffer, the only feasible location to site the proposed structure is on the eastern portion of the property. In fact, the critical areas overlay section of the Land Use Code (LUC 20.25H) encourages this sort of adjustment in order to protect the functions and values of the shoreline critical area.

Adherence to the full front yard structure setback, combined with the required rear yard setback, would create a 25 foot deep building area. However, this area would further reduced to 20 feet deep by the 25-foot shoreline critical area buffer, measured off the bulkhead.

The majority of the homes on Hazelwood Lane to the north of the property have front yard structure setbacks of between 5 to 10 feet, measured either from the edge of the private access easement. In addition, as you go further north the lots become deeper. In some cases, the properties are almost twice as deep as the subject property, and yet still have front yard setbacks similar to that being requested.

As demonstrated in Table 2 above, the requested variance would not be a granting of special privilege. A number of the properties in the vicinity already enjoy a reduced front yard setback due to the constraint of the lakeshore, the access easement and uphill slopes. Not granting the requested variance would render the lot practically unbuildable, when considering the other setbacks and would constitute a significant hardship to the property owner.

The requested variance also considers the minimum structure setback of 10 feet from any access easement. The variance has met the approval of the Bellevue Transportation Department.

**ii. Maximum building height of 35 feet**

The Land Use Code specifies that development of an individual lot failing to meet 70% of the area, width or depth requirements of the land use district in which is it located is restricted to a maximum building height computed by the following formula: Building Height =  $2 \times C \times H$ , where C is the ratio of the of the potentially buildable area to total lot area, and H is the general building height.

The lot measures 4,700 square feet. The minimum lot size for the district is 7,200. The lot size is 65% of the required minimum lot size, therefore the maximum building height is recalculated using the following formula: Building Height =  $2 \times .287 \times 35 = 20.1$  feet.

The applicants are proposing to construct a three-story home with a pitched roof. The standard construction type on Hazelwood Lane is two and three-story homes, with the exception of two properties that are one story. Most of the homes developed on Hazelwood Lane SE have two-stories fronting on the access easement with two and half to three stories fronting on the lake.

As shown in Table 2 above, the Lynch property is smaller than most of the comparable properties in the neighborhood. The limitation on building height

would constrain the total height of the structure to two-stories facing the lake. However, given the relatively small size of the lot, the total square footage of the home would be significantly less than that which is enjoyed by most of the neighbors. In fact, the Lynch's proposed residence, will still end up being one of the smaller homes in terms of total square footage, even with the variance from the height limitation.

**iii. Floor Area Ratio design requirement of 7.5 feet building setback on south lot line**

The Land Use Code specifies that new or expanded single-family structures that exceed a floor area ration of 0.5 are required to provide a minimum side yard structure setback of 7.5 feet and provide a 5 foot second-story step back.

The property to the north exceeds the 0.5 floor area ratio, therefore the proposed residence is exempt from provided the required design requirements to the north. The property to the north is built up to the property line so the Lynches have opted to increase the side yard setback on the north up to 10 feet. In exchange, the Lynches are requesting a variance of the 7.5 structure setback on the south side down to 5 feet, so the structure can be shifted 2.5 feet south. The Lynches are still proposing to provide the 5 foot second-story step back required by the design standards.

The Lynches are also constrained by the shoreline critical area buffer, which limits their ability to extend the structure further to the west to comply with the structure setback and achieve a comparable home size.

The Lynches architect has provided a shade analysis that demonstrates that there will be no negative impact on the neighboring property to the south, due to the sun angle and the orientation of the structures.



Figure 4: Sun Shade Analysis by PKJB Architects

## **B. Critical Areas Requirements LUC 20.25H:**

### Geologic Hazards

#### **20.25H.125 Performance standards for landslide hazards and steep slopes**

The applicant is not proposing any development or construction within the critical area or critical area buffer. The applicant's geotechnical engineer has evaluated the slope and the proposed construction and recommends that the structure can safely be located within 15 feet of the toe of the steep slope without

### Shorelines

#### **20.25E.080.Q Performance Standards for Residential Development**

The residential development regulations of the shoreline overlay district are being met. The home is proposed to no more than 35 feet tall as measured from average existing grade. The proposal contains a plan to preserve and augment the native vegetation along the shoreline. No other structures or ancillary facilities are proposed.

## **C. Consistency with Critical Areas Report LUC 20.25.230.**

The applicant supplied a complete critical areas report prepared by Sewall Wetland Consulting Inc., a qualified professional. The report met the minimum requirements in LUC 20.25H.250, and contained supporting information from qualified habitat biologist analyzing the shoreline impacts and a geotechnical engineer that evaluated the steep slope critical area.

## **D. Consistency with Critical Areas Report – Additional provisions LUC 20.25H.119.**

The applicant is not proposing to reduce the critical area buffer to anything less than 25 feet. Yet, they have still provided a survey of the property, which has been used as the basis for designing the proposed structure and will be further used to verify the structure is built per the proposed design.

## **IV. Public Notice and Comment**

Application Date:	April 3, 2012
Public Notice (500 feet):	April 26, 2012
Minimum Comment Period:	May 10, 2012

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on April 26, 2012. It was mailed to property owners within 500 feet of the project site. No comments have been received from the public as of the writing of this staff report.

## **V. Summary of Technical Reviews**

### **Clearing and Grading:**

The Clearing and Grading Division of the Development Services Department has

reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development.

#### **Utilities**

The Utilities Department's Development Review Division has reviewed the proposed development for compliance with Bellevue Utilities' codes and standards. The Utilities Development Review staff found no issues with the proposed development.

#### **Transportation**

The Transportation Department's Development Review Division has reviewed the proposed development for compliance with Bellevue's Transportation codes and standards. The Transportation Development Review staff found no issues with the proposed development.

### **VI. State Environmental Policy Act (SEPA)**

The proposal is categorically exempt from SEPA review per WAC 197-11-800 for minor new construction of a single-family residence.

### **VII. Changes to proposal as a result of City review**

No changes to the proposal were made as a result of city review. Much of the evaluation of the design was conducted during a predevelopment services that the applicant requested before applying.

### **VIII. Decision Criteria**

#### **A. Variance from the Land Use Code – General Decision Criteria LUC 20.30G.140.A**

The Directory may approve or approve with modifications an application for a variance from the Land Use Code if:

**1. The variance will not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and land use district of the subject property; and**

**Finding:** As discussed in Section III of this report, the other properties in the vicinity are developed in manner consistent with the applicant's proposal. The requested variance does not constitute a granting of special privilege on the property.

**2. The variance is necessary because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property to provide it with use rights and privileges permitted to other properties in the vicinity and in the land use district of the subject property; and**

**Finding:** The variance is necessary because of the size and shape of the property.

The square footage of the property is one of the smallest in the vicinity. Development potential on property is further constrained by the proximity of the sensitive natural features on both the east (steep slope) and the west (Lake Washington). The adjacent properties to the north are larger and have a greater ability to conform to the standards in the district.

**3. The granting of the variance will not be materially detrimental to property or improvements in the immediate vicinity of the subject property; and**

**Finding:** The variance will not be materially detrimental to property or improvements in the vicinity. The property to the north is built to the property line and the proposed variance will provide greater relief between that structure and the one proposed. The shift to the south will be 2.5 feet less than is required by the standard, but the applicant's shade analysis has demonstrated that no negative impact will be felt by the property to the south. The requested variance will not negatively impact the development potential of the properties in the vicinity.

**4. The variance is not inconsistent with the Comprehensive Plan; and**

**Finding:** The Comprehensive Plan has identified the area under review as single-family medium-density residential. The requested variance is consistent with this designation.

**POLICY SH-10.** Encourage development to keep the water's edge free of buildings.

**POLICY LU-9.** Maintain compatible use and design with the surrounding built environment when considering new development or redevelopment within an already developed area.

**POLICY LU-21.** Develop land use strategies to encourage the maintenance and updating of the city's older housing stock, so that neighborhoods are well-maintained and existing housing is preserved, updated, or modified to meet the evolving needs of residents.

**B. Critical Areas Report Decision Criteria- General Criteria LUC 20.25H.255**

The Director may approve, or approve with modifications, the proposed modification where the applicant demonstrates:

**1. The modifications and performance standards included in the proposal lead to levels of protection of critical area functions and values at least as protective as application of the regulations and standards of this code;**

**Finding:** The existing home on the property is within 15 feet of the water's edge and the intervening area is almost entirely paved with hard surfaces. The modification of the performance standards for shoreline critical area structure setback and steep slope critical area structure setback is at least as protective of the critical area functions and values because the standard application of the code would allow construction within the existing footprint of the home. Instead, the applicant is proposing to pull the house back to a minimum distance of 25 feet from the ordinary high water mark and is proposing to remove a portion of the hard surface and restore with native plantings.

**2. Adequate resources to ensure completion of any required mitigation and monitoring efforts;**

**Finding:** A performance assurance device and a maintenance assurance device is required to ensure adequate resources are available to complete the required mitigation and monitoring efforts.

**3. The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site; and**

**Finding:** The modification of the performance standards preserves the most critical portion of the site, which are the shoreline critical area buffer and the steep slope critical area. The mitigation and restoration efforts in the shoreline critical area will improve the functions and values of this area and will not be detrimental to the functions and values of critical areas and critical area buffers in the vicinity.

**4. The resulting development is compatible with other uses and development in the same land use district.**

**Finding:** The resulting development of a single-family residential structure on the property is compatible with the other single-family residential structures in the neighborhood surrounding the subject property.

**C. Critical Areas Land Use Permit Decision Criteria 20.30P**

The Director may approve or approve with modifications an application for a critical areas land use permit if:

**1. The proposal obtains all other permits required by the Land Use Code;**

**Finding:** The applicant is required to obtain a single-family residential building permit for the construction of the proposed residence.

**2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;**

**Finding:** The proposal is standard design and construction techniques for residential development. The construction techniques, along with required clearing and grading development standards will ensure the least impact on the critical area buffer.

**3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and ;**

**Finding:** With exception of the requested modifications to the shoreline critical area structure setback and the steep slope critical area structure setback, the proposal is incorporating the other applicable performance standards of Part 20.25H.

**4. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;**

**Finding:** The property is currently served by adequate public facilities. Nothing in the proposal will increase the need for public facilities on the property.

**5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and**

**Finding:** The proposal contains a conceptual mitigation and restoration plan consistent with LUC Section 20.25H.210. The plan will be finalized upon submittal of the required single-family building permit.

**6. The proposal complies with other applicable requirements of this code.**

**Finding:** As discussed in Section III and V of this report, the proposal complies with all other applicable requirements of the Land Use Code.

## **IX. Conclusion and Decision**

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions the Variance from the Land Use Code and Critical Areas Land Use Permit to construct a new house**. Approval of this Variance and Critical Areas Land Use Permit does not constitute a permit for construction. A building permit is required and all plans are subject to review for compliance with applicable City of Bellevue codes and standards.

**Note- Expiration of Approval:** In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a Clearing and Grading Permit or other necessary development permits within one year of the effective date of the approval.

## **X. Conditions of Approval**

**The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:**

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC 20.25H	Kevin LeClair, 425-452-2928
Noise Control- BCC 9.18	Kevin LeClair, 425-452-2928

**The following conditions are imposed under the Bellevue City Code or SEPA**

**authority referenced:**

**1. Front Setback:** The front setback is reduced to a minimum of 5 feet from the edge of the eastern property line adjacent to Hazelwood Lane SE easement as found on the project site plan. The front yard setback shall be confirmed with a qualified surveyor before the foundation is poured as part of the required building permit.

Authority: Land Use Code 20.30G.115  
Reviewer: Kevin LeClair, Land Use

**2. Height:** The proposed height is limited to a maximum of 35 feet measured from average existing grade. This will be verified by a spot elevation survey when the trusses are set and prior to the roof being completed. The height of the structure shall be confirmed by a qualified surveyor during the construction process as part of the required building permit.

Authority: Land Use Code 20.30G.115  
Reviewer: Kevin LeClair, Land Use

**3. Side Yard Setbacks:** The side yard setback on the south side of the property is reduced to a minimum of 5 feet from the required 7.5 feet for a structure in excess of the 0.5 FAR threshold. This side yard setback shall be confirmed with a qualified surveyor before the foundation is poured as part of the required building permit.

Authority: Land Use Code 20.25H.040  
Reviewer: Kevin LeClair, Land Use

**4. Building Permit Required:** Approval of this Variance and Critical Areas Land Use Permit does not constitute an approval of a building permit. A building permit is required to be issued along with any other associated development permits. Plans submitted as part of any subsequent permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140  
Reviewer: Kevin LeClair, Land Use

**5. Final Mitigation Planting:** A final shoreline mitigation plan meeting the standards contained LUC 20.25H.210 shall be included for review and approval as part of the required single family building permit. The shoreline buffer shall be planted with native plants per the conceptual plan included in the critical areas report submitted with the critical areas land use permit. The planting area shall cover at least 340 square feet and contain at least two trees in the plan such as Pacific willow, Scouler's willow, or shore pine. No path or other impervious surface is allowed within this planting area.

Authority: Land Use Code 20.30P.140  
Reviewer: Kevin LeClair, Land Use

**6. Mitigation for New Permanent Disturbance:** In order to ensure the mitigation plan successfully establishes, the mitigation shall meet the following performance standards for a period of five years following installation:

- Year 1: 100% survival of all installed plants & 0% invasive coverage
- Year 2: 90% survival of all installed plants & <10% invasive coverage
- Year 3: 85% survival of all installed plants, >35% native coverage & <10% invasive coverage.
- Year 4: >50% native coverage & <15% invasive coverage
- Year 5: >70% native coverage & <15% invasive coverage

A monitoring report meeting the minimum monitoring and reporting standards establish by the director shall be submitted annually to verify success.

Authority: Land Use Code 20.25H.220  
Reviewer: Kevin LeClair, Land Use

**7. Performance Assurance Device:** In order to ensure the mitigation and restoration is installed, a performance assurance device in an amount equal to 100% of the cost of labor and materials for the installation shall be held until mitigation and restoration has been successfully installed. The performance assurance device will be released to the applicant upon receipt of maintenance assurance device required to ensure successful establishment of the mitigation and restoration effort.

Authority: Land Use Code 20.25H.220.F  
Reviewer: Kevin LeClair, Land Use

**8. Maintenance Assurance Device:** In order to ensure the restoration successfully establishes, a maintenance assurance device in an amount equal to 100% of the cost of labor and materials for the landscape installation shall be held for a period of three years from the date of successful installation. The maintenance assurance device will be released to the applicant upon receipt of documentation of reporting successful establishment in compliance with the performance standards stated in condition of approval #6 above.

Authority: Land Use Code 20.25H.220.F  
Reviewer: Kevin LeClair, Land Use

**9. Rainy Season restrictions:** Due to the proximity to Lake Washington, no clearing and grading activity may occur during the rainy season, which is defined as October 1 through April 30 without written authorization of the Development Services Department. Should approval be granted for work during the rainy season, increased erosion and sedimentation measures, representing the best available technology must be implemented prior to beginning or resuming site work.

Authority: Bellevue City Code 23.76.093.A,  
Reviewer: Savina Uzunow, Clearing and Grading

**10. Pesticides, Insecticides, and Fertilizers:** The applicant must submit as part of the required Clearing and Grading Permit information regarding the use of pesticides,

insecticides, and fertilizers in accordance with the City of Bellevue's "Environmental Best Management Practices".

Authority: Land Use Code 20.25H.220.H  
Reviewer: Kevin LeClair, Land Use

**11. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18  
Reviewer: Kevin LeClair, Land Use







# LYNCH RESIDENCE

RESIDENTIAL REMODEL  
6236 HAZELWOOD LANE SE  
BELLEVUE, WASHINGTON

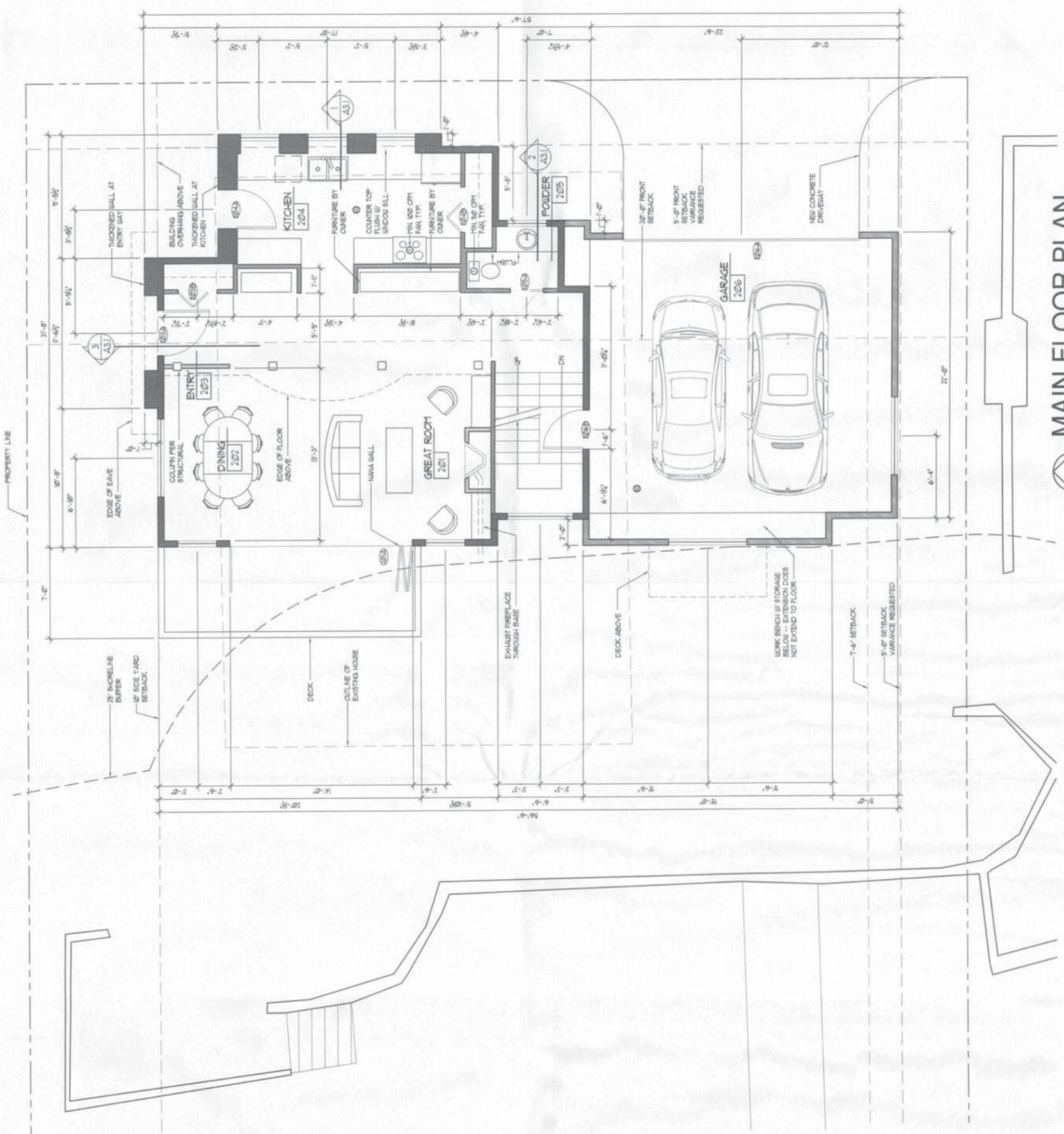


DATE	4/03/2012
CHECKED	CP
DRAWN	DS
AS NOTED FOR NUMBER	11065
SCALE	AS NOTED

Received  
APR 03 2012  
Permit Processing  
**A1.1**

**p k j b**  
architecture + engineering  
11203 STATION RD. SUITE B  
SEATTLE, WA 98101  
206.664.5181 FAX 206.670.8200

9-20-11	PROJECT START DATE
10-26-11	SUBMITTED FOR OWNER / TENANT APPROVAL
11-2-11	SUBMITTED FOR PRE-APPLICATION MEETING
4-2-12	SUBMITTED FOR VARIANCE
	SUBMITTED FOR BUILDING PERMIT AND BID
	BUILDING DEPARTMENT CORRECTIONS
	CONSTRUCTION DRAWINGS
	REVISION
	REVISION
	REVISION



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

# LYNCH RESIDENCE

RESIDENTIAL REMODEL  
6236 HAZELWOOD LANE SE  
BELLEVUE, WASHINGTON

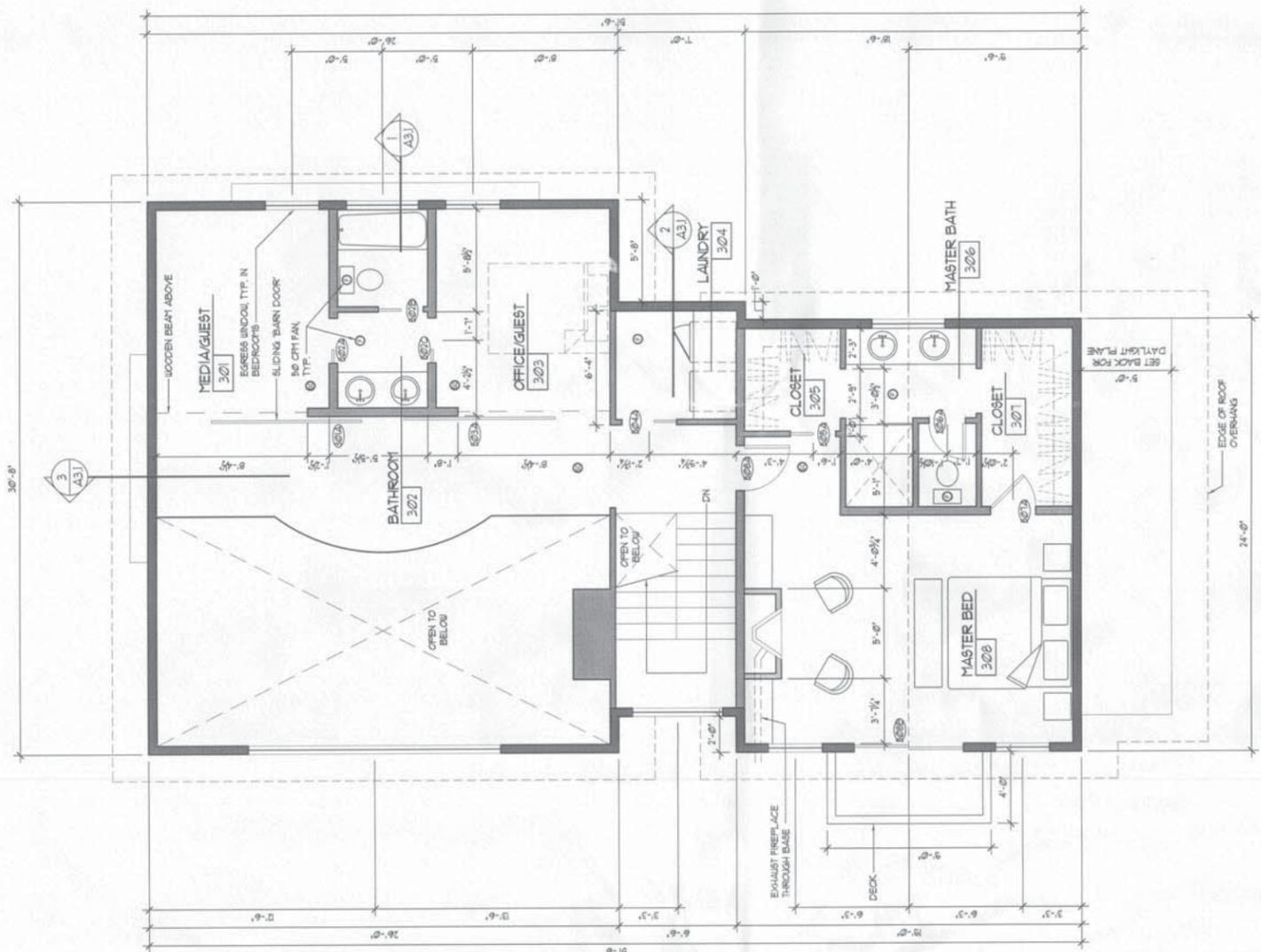


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CHECKED	GP
DATE	4/07/2012
SCALE	AS NOTED
JOB NUMBER	11065

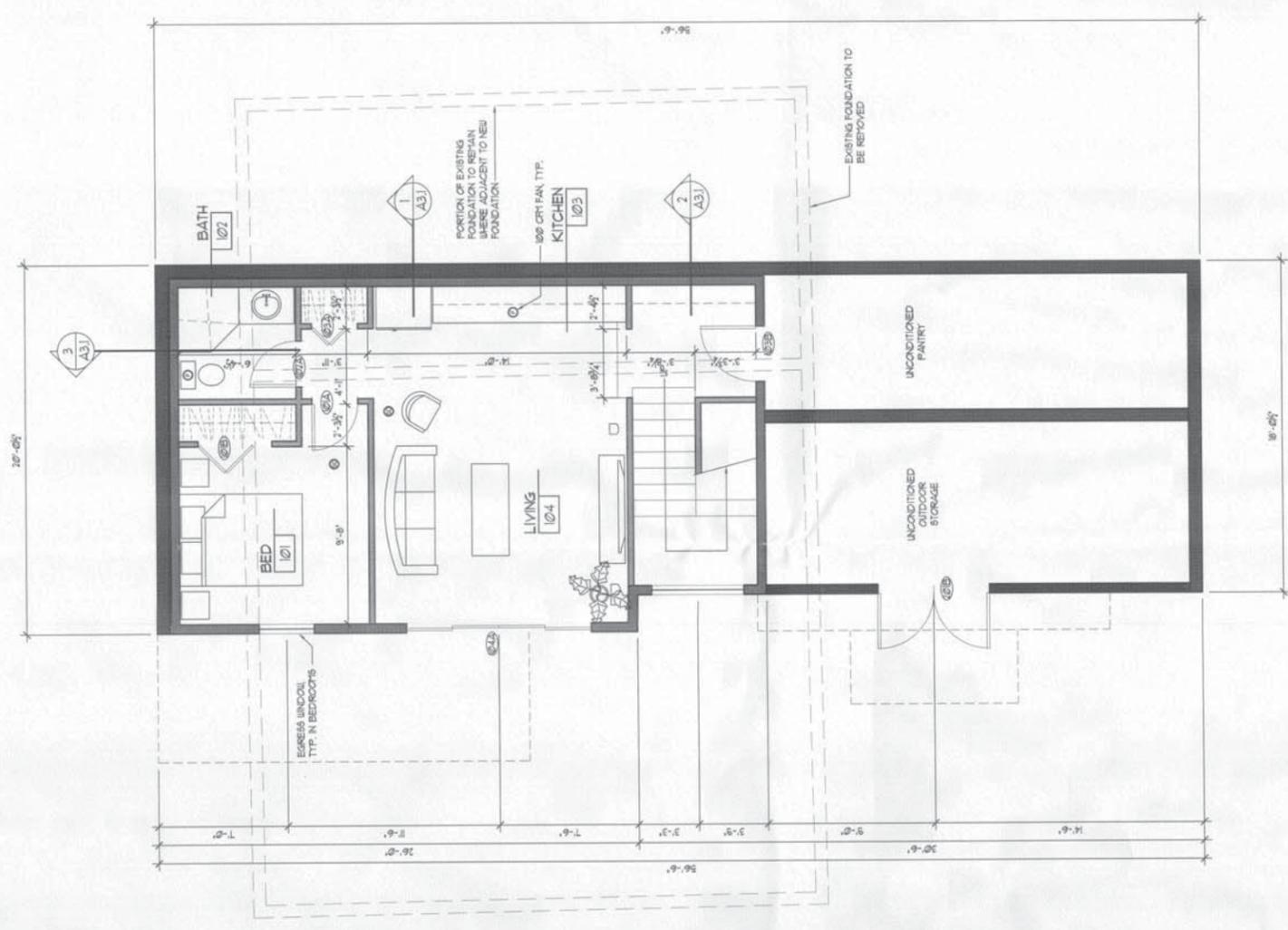
Received  
APR 03 2012  
Permit # 11065  
**A1.2**

9-20-11	PROJECT START DATE
10-26-11	SUBMITTED FOR OWNER / TENANT APPROVAL
11-2-11	SUBMITTED FOR PRE-APPLICATION MEETING
4-2-12	SUBMITTED FOR VARIANCE
	SUBMITTED FOR BUILDING PERMIT AND BID
	BUILDING DEPARTMENT CORRECTIONS
	CONSTRUCTION DRAWINGS
	REVISION
	REVISION
	REVISION

**p|k|j|b**  
architecture + engineering  
115 SOUTH MAIN STREET #102  
SEATTLE, WA 98101  
(206) 464-5181 FAX (206) 464-5182



**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



# LYNCH RESIDENCE

## RESIDENTIAL REMODEL

### 6236 HAZELWOOD LANE SE

### BELLEVUE, WASHINGTON

REGISTERED ARCHITECT  
 PROJECT: LYNCH RESIDENCE  
 GREGORY PERCICH  
 STATE OF WASHINGTON

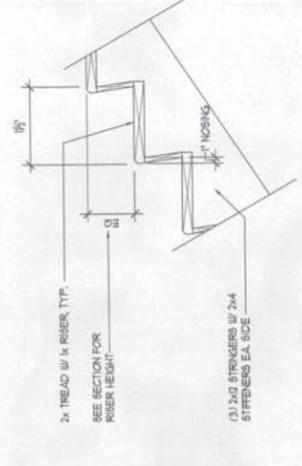
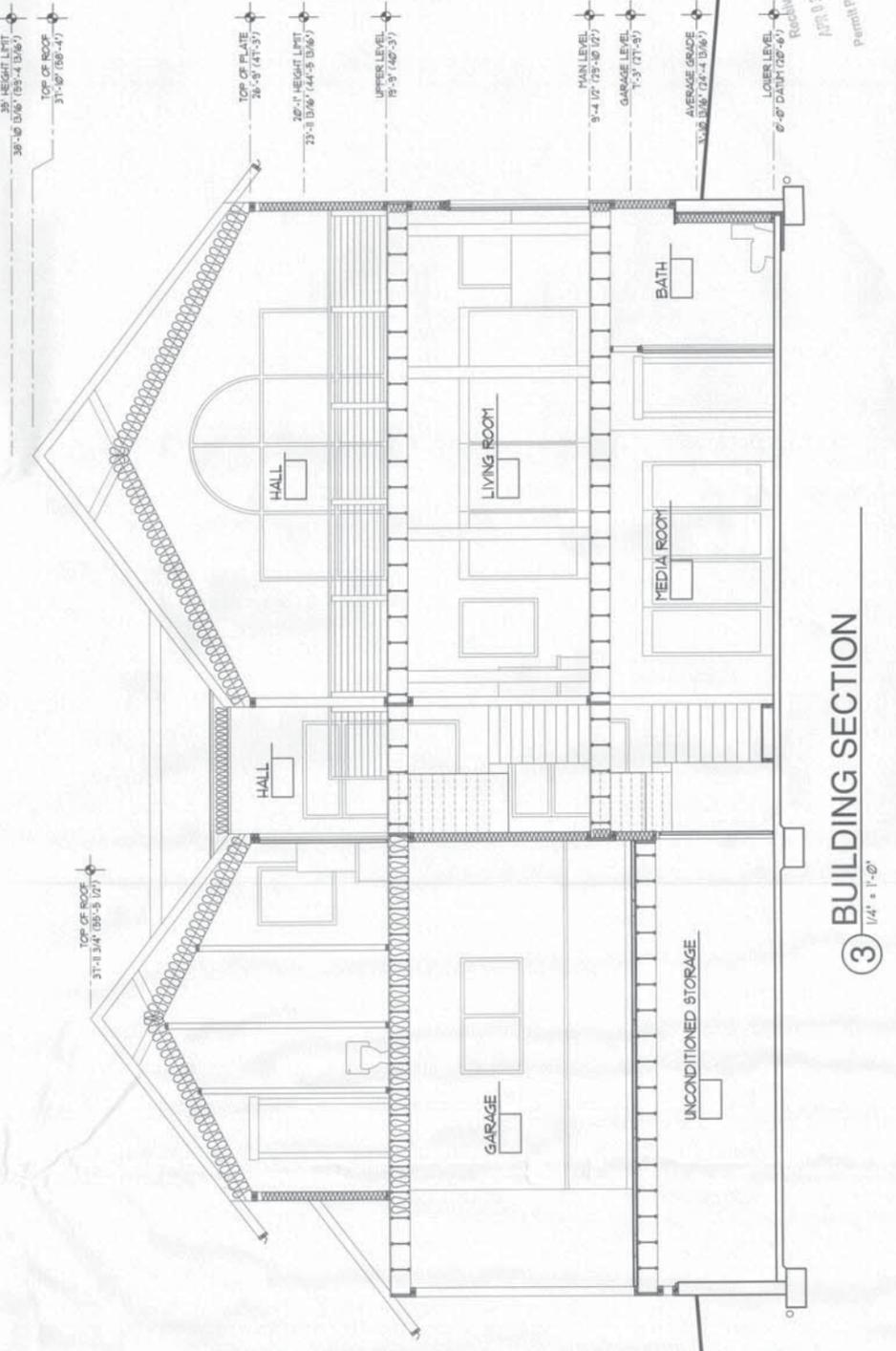
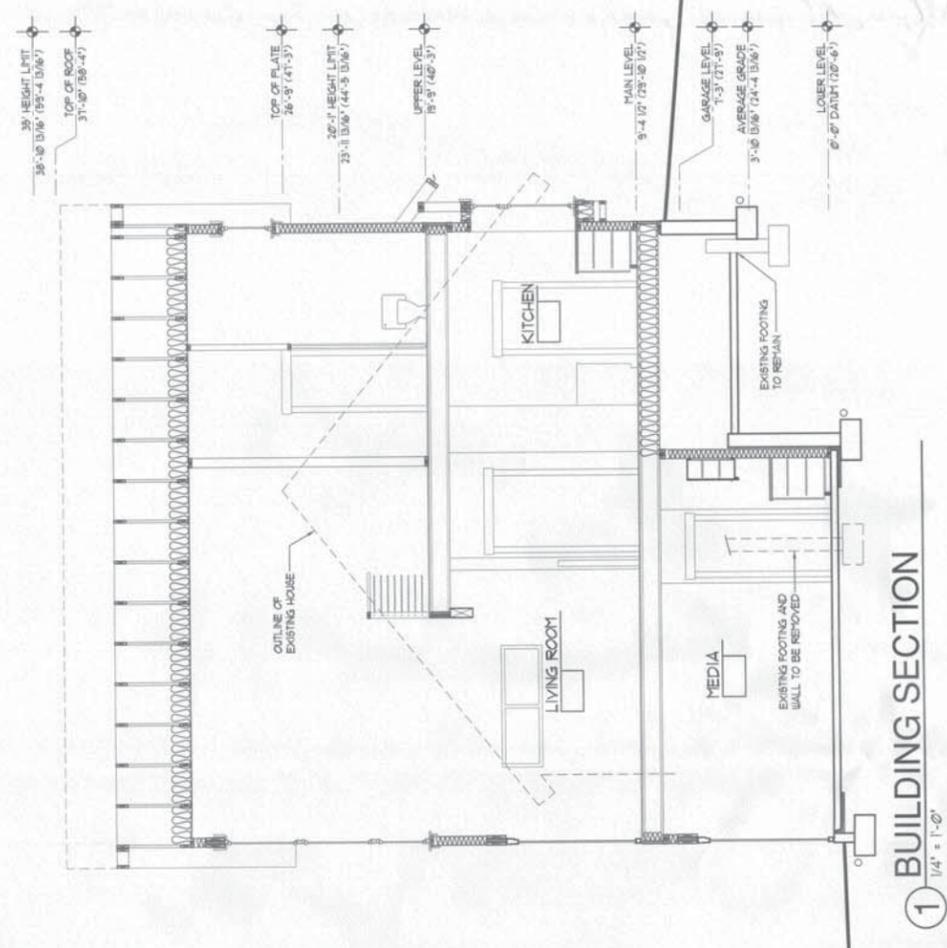
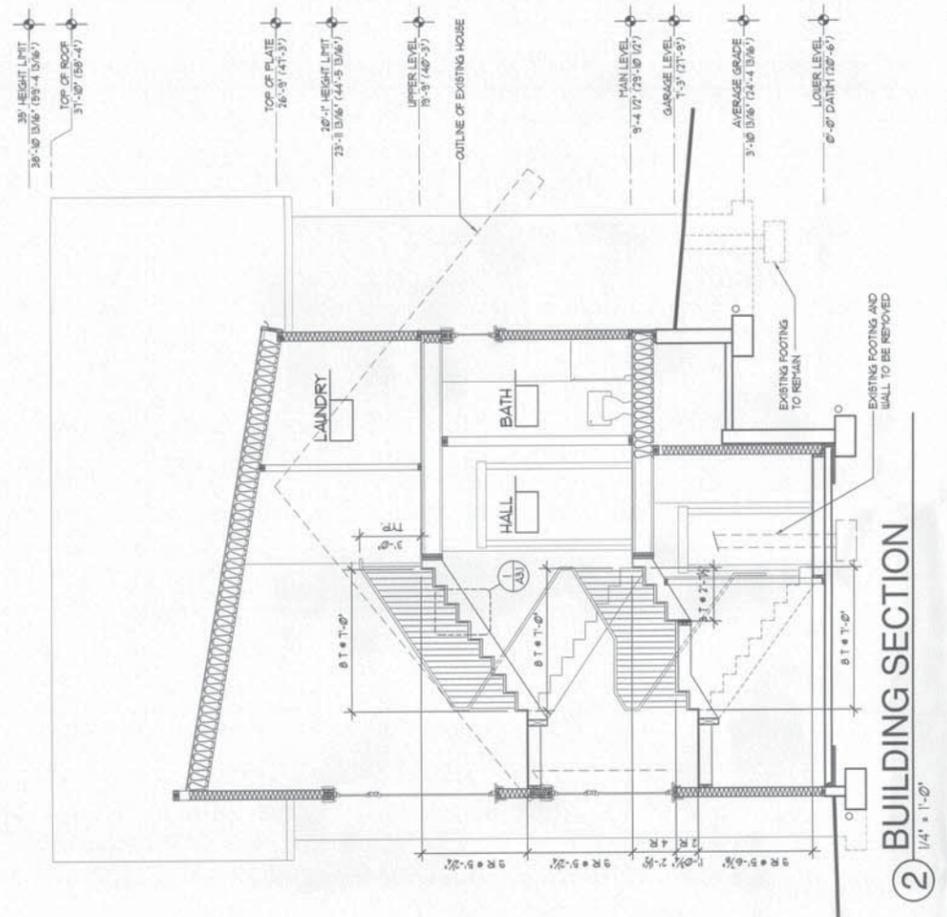
DATE: 4/03/2012  
 DRAWN: DS  
 CHECKED: CP  
 SCALE: AS NOTED  
 JOB NUMBER: 11065

**A3.1**

APR 03 2012  
 Permit Processing  
 Received

9-20-11	PROJECT START DATE
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	BUILDING DEPARTMENT CORRECTIONS
	CONSTRUCTION DRAWINGS
	REVISION
	REVISION
	REVISION

**P k j b**  
 Architecture + engineering  
 112 OLDS STARBUCK RD SUITE B  
 SEATTLE WA 98148  
 (206) 664-5161 FAX 624-3242



**1** STAIR DETAIL  
 1" = 1'-0"