



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: **Castle-Grouzoun Duplex**
Proposal Address: 2314 103rd Avenue NE
Proposal Description: Request for Design Review approval to demolish an existing single-family home and replace with a two-unit duplex within a Single-Family Transition Area Design District.

File Number: **12-105108 -LD**
Applicant: Alex Grouzoun
Decisions Included: Process II, Design Review decision
Planner: Sally Nichols
State Environmental Policy Act Threshold Determination: **EXEMPT**

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland

Carol V. Helland, Land Use Director

Date of Application: February 10, 2012
Notice of Application: March 8, 2012
Decision: April 26, 2012
Appeal Deadline: May 10, 2012

For information on how to appeal a proposal, visit the Development Services Center at City Hall, 450 110th Avenue NE, or call (425) 452-6800. Comments on State Environmental Act Determinations can be made with or without appealing the proposal within the noted comment period for the SEPA determination. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for appeal of the decision.

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Attached: Proposal Plans

I. REQUEST & REVIEW PROCESSES

A. Request

The applicant requests Design Review approval for a 2-unit residential duplex project on one lot within the R-10 multi-family residential land use district. The lot is 9,098 square feet (SF) and it is adjacent to an R-4 single family land use district across 103rd Avenue NE to the west and an R-1 single family land use district to the east across Bellevue Way. Because of its adjacency to single family land use districts, the site falls within the Single-Family Transition Area Design District.

B. Review Process

In 1996, the proposal property and the adjacent lot to the south were reclassified from a single-family R-4 land use district to a multi-family R-10 land use district. Ordinance 4857 approved this reclassification and a provision of this Ordinance was that any redevelopment of the site shall be subject to Administrative Design Review to ensure compatibility with the surrounding neighborhood and consistency with the Comprehensive Plan, the North Bellevue Subarea Plan, and the Land Use Code (LUC) - which includes the requirements of the Transition Area Design District (LUC Section 20.25B).

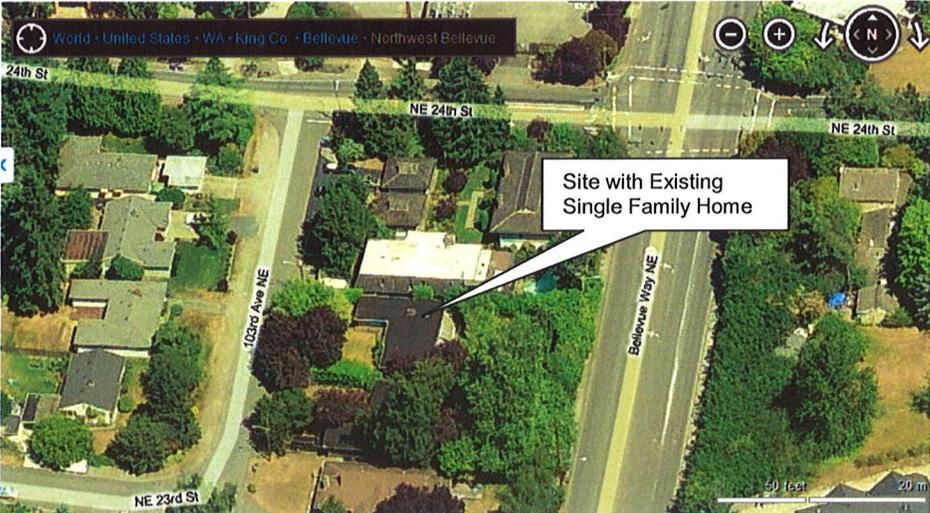
Design Review is a Process II decision made by the Director of the Development Services Department. Design Review includes public noticing with a minimum 14-day comment period. The Director’s decision shall be written in a staff report to indicate whether the application has been approved, approved with conditions, or denied. The decision will be publically noticed with a mandatory 14-day appeal period. Process II decisions may be appealed and the appeal shall be heard at a public hearing before the City Hearing Examiner.

II. SITE CONTEXT AND APPROVAL

A. Existing Conditions

The proposed duplex is on a 9,098 square foot lot that is currently occupied by a 1,270 square foot single family home built in 1954. The lot is relatively level and the existing landscaping consists mainly of lawn, a few small shrubs, and large mature laurel hedges along the southern, eastern and northern property lines. Over time, all significant trees on the site have been removed (note: these trees show up on the aerial photograph below, but were removed prior to any permit applications).

Aerial Photograph



Site and Vicinity Plan



Aerial Photograph – Existing Conditions





Existing Single-Family Home – looking west across 103rd Avenue NE

B. Building Design

The proposal is for the construction of one two-unit (duplex) home. The building features stepped massing, hipped asphalt composition roofs, decorative wood trellises, painted stucco and hardie-plank siding, vinyl-frame windows, and fiberglass garage and entry doors. Each unit will have a one-car garage with a second parking space for each unit in the driveway. Each unit will externally be almost identical, with interiors customized for each resident. The slight variation in window and door treatment along the rear (east) elevation is due to the inclusion of an elevator in the northern unit.

Overall, the home will have the same scale and materials as found in traditional single family homes. It has been designed to resemble a single family home with a two-car garage and the overall square footage is less than the maximum that would be allowed on this lot if it were developed as a single family lot.

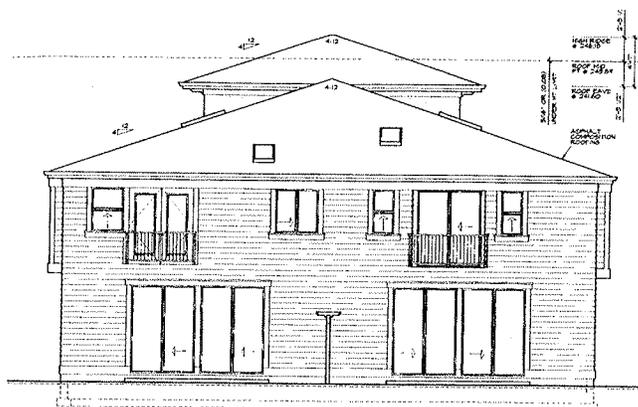
Proposed House Elevations



Proposed Front (West) Elevation on 103rd Avenue NE



Proposed Side (North and South) Elevations



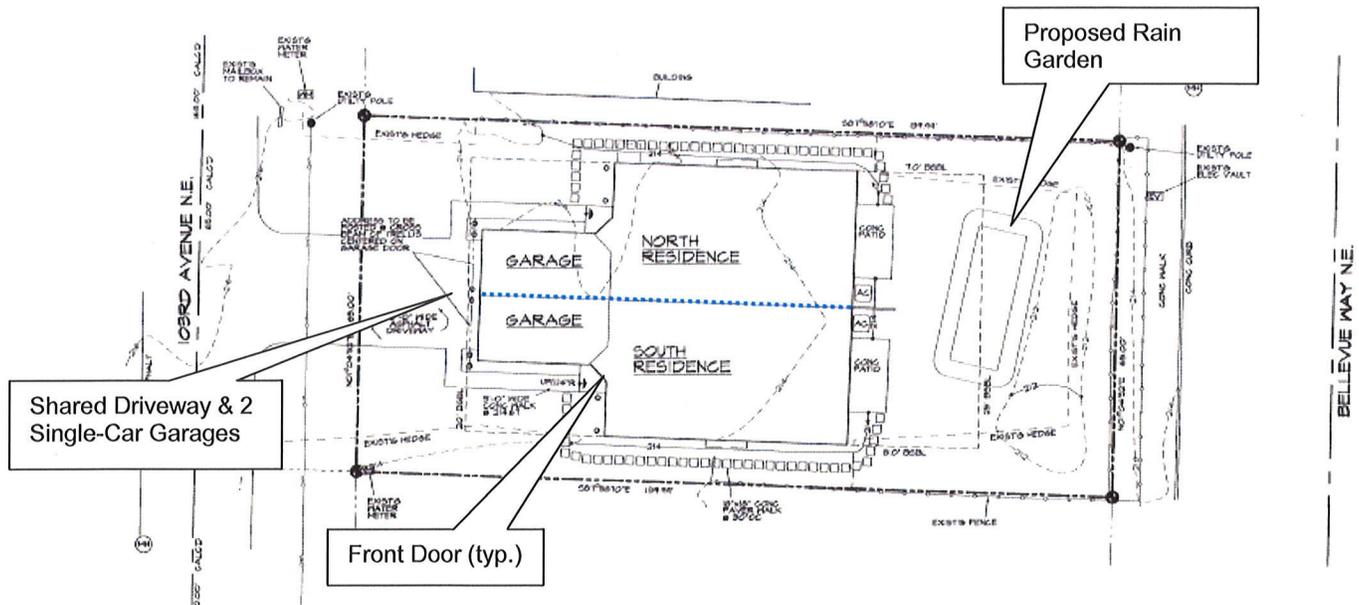
Proposed Rear (East) Elevation

C. Site Design

The site design for the proposed duplex is simple and straight-forward. The building will be centered on the lot and accessed by one shared driveway. The two, single side-by-side garages will feel more like one single-family, two-car garage. Each side of the duplex will have its own front door facing the street and each unit will have a separate address.

Landscaping on the site will have a single-family feel with lawn, trees and landscaped beds in the front yard. In the rear yard, the applicant is proposing to plant six trees and provide a rain garden to aid in required stormwater management. The design and engineering of the rain garden will be reviewed by the Utilities Department as the landscaping is critical to the functioning of this stormwater system. A landscape assurance device for the rain garden landscaping will be required to ensure plant establishment. **Refer to Condition of Approval regarding the landscape maintenance assurance device for the rain garden in Section IX of this report.**

Site Plan



III. CONSISTENCY WITH LAND USE CODE / ZONING REQUIREMENTS

A. Use/Applicable Code Sections

The single-family-attached use is permitted in the R-10 zone per LUC 20.10.440. The proposal is required to conform to the Transition Area Design District requirements (LUC 20.25B) and meet the Design Review decision criteria (LUC 20.30F).

1. Dimensional Requirements

All applicable dimensional requirements of the Land Use Code will be met. The table on the following page provides more detailed information on the requirements and how they are met by the proposed development.

**DENSITY/DIMENSIONAL REQUIREMENTS
 R-1- Multi-Family Zoning District**

ITEM	REQ'D/ALLOWED	PROPOSED/EXISTING
Dwelling Units/Acre	2.1-units	2-units LUC 20.20.010 Meets Requirement
Minimum Lot Area	8,500 SF	9098 SF LUC 20.20.010 Meets Requirement

ITEM	REQ'D/ALLOWED	PROPOSED/EXISTING
Building Setbacks for R-10	Front (103 rd Avenue NE): 20 ft. Rear (Bellevue Way): 25 ft. Side: Min. 5 ft., 2 sides must equal a min. of 15 ft.	Front: 21'-7 13/16" Rear: 49'-4 1/16" Side: North – 8 ft. South – 7'-01/8" LUC 20.20.010 Meet Requirements
Building Setbacks for R-10 in Transition	Front (103 rd Avenue NE): 30 ft. when in Transition as measured from centerline of 103 rd Rear (Bellevue Way): 30 ft. when in Transition as measured from centerline of Bellevue Way	30 ft. setback from centerline of the streets does not extend into the property. Therefore, the standard R-10 setbacks apply. LUC 20.25B040 See Setbacks above.
Landscape Buffers N. side E. side S. side	Min. 8 feet Min. 10 feet Min. 8 feet	7.5 feet* 10 + feet 8 feet *Additional trees and landscaping will mitigate for the missing .5 feet of buffer along the northern property line. LUC 20.20.010 Meets requirement
Building Height	30 ft. (as measured from average existing grade to mid-point of roof pitch)	Ave. Existing grade=213.92 ft. Mid-Pt. of roof pitch=243.89 Roof Ht. = 30 ft. LUC 20.20.010 & 20.25B.040 Meets Requirement
Lot Coverage by Structure	35 % = 3184 sq. ft.	2835 sq. ft. = 31 % LUC 20.20.010 Meets Requirement
Impervious surface area as percentage of site area.	80% = 7278 sq. ft.	4041 sq. ft. = 44 % LUC 20.20.010 Meets Requirement
Significant Tree Retention	100% within the site perimeter landscape area, plus 15% of the diameter inches of all significant trees located outside of the site perimeter landscape area.	There are no existing significant trees on this site.
Parking Stalls	4 parking stalls (2 per unit)	4 parking stalls: 2 garages and 2 spaces in driveway LUC 20.20.590 Meets Requirement

B. Transition Area Design District Development Standards

1. Development Standards: The site is located within 300 feet of a single-family land use district, and subject to the development standards of the Transition Area Design District (LUC 20.25B.040). The proposal must comply with the following standards:

- a. Building Height: The proposed building meets the 30-foot height limit of the R-10 land use district in transition, as measured from average existing grade around the base of the building to the mid-point of the pitched roof. Refer to the dimensional chart in Section III.A.1 above.
- b. Setbacks: Single-family land use districts lie to the east and west of the proposal property across Bellevue Way and 103rd Avenue respectively. The 30-foot building setback from a single-family district for this specific property is measured from the centerline of these streets. However, when measured from these centerlines, the setbacks fall at the property line. Therefore, the proposal must respect the required building setbacks of the R-10 land use district. The proposal meets these requirements. Refer to the dimensional chart in Section III.A.1 above.
- c. Landscaping, Open Space, and Buffers: The proposed landscaping complies with the requirements of LUC 20.20.520. A 20-foot landscape buffer outlined in the Transition Area section of the LUC will not be required because the site does not directly abut a single-family land use district (103rd Avenue NE and Bellevue Way lie between the property and adjacent single-family land use districts).

The overall landscape design will be compatible with landscapes found in the adjacent single-family neighborhoods. There will be lawn, street trees and ornamental plantings in the front yard. In addition to a rain garden (required for stormwater detention), additional trees, shrubs and lawn will be planted in the rear yard.

An eight-foot wide landscape buffer is required along all interior property lines. However, on the north side of the house, the structure setback is only seven and a half feet wide. The applicant has proposed to retain the existing mature laurel hedges along the northeastern, eastern and southern property lines and plant ten new trees throughout the site to offset this small six-inch loss of buffer, per the Alternative Landscaping Option in LUC 20.20.520.

- d. Site Design Standards: The placement of the duplex on the lot and the access to the garages via one shared driveway are consistent with the patterns found in the adjacent single-family neighborhoods. Site features such as light fixtures are integrated into the architectural design. There will be no exterior refuse enclosures, carports or storage units.
- e. Mechanical Equipment: Rooftop mechanical equipment is not proposed.
- f. Refuse Containers: The refuse and recycling containers will be stored in the garages and taken to the curb on pick-up days.
- g. Signs: The proposal does not include any signs other than the address numbers on the trellis in front of the garages.

2. Site Design Guidelines: The proposal complies with the Site Design Guidelines of LUC 20.25B.050.A as follows:

- a. Vehicular access: Vehicular access will occur directly off 103rd Avenue NE.
- b. Loading/refuse collections areas: The homeowners will be responsible for placing their refuse containers at the curb on collection days, and returning them to their garages after collection.
- c. Significant vegetation retention: The existing site does not have any significant trees to retain. However, tall mature laurel hedges will be retained. The proposed landscaping meets the transition area requirements and will help soften the visual impact of the project on nearby residential uses.
- d. Compatibility with surrounding residential development: The site design responds to the physical characteristics of the site and its context. The home will resemble a single-family home in terms of scale, materials and architectural design. The two, single-car garages will look more like one, two-car garage and they will be accessed via one shared driveway. Residential-scaled landscaping will enhance the building and provide some softening and screening of the structure from the residents across the street.

During construction, the applicant will be required to meet all applicable Bellevue City Codes and Ordinances, including those that address construction days and hours and the use of noise abatement technology, to reduce the construction impacts on the surrounding neighborhood. **Refer to Conditions of Approval regarding construction day/hours and noise abatement technology for construction in Section IX of this report.**

3. Building Design Guidelines: As conditioned, the proposed building design complies with the Building Design Guidelines (LUC 20.25B.050.B):

- b. Exterior Cladding: Proposed exterior cladding materials include horizontal hardie-plank siding, painted stucco, and asphalt composition roofing. The facades will be highlighted with decorative wood trellises. All of the proposed materials are appropriate for a residential use and compatible with nearby residential development.
- c. Building scale: The proposed building will include offsets, recesses, pitched roofs, and divided-lite windows to help break down the overall scale. The number and variety of such elements is appropriate for the overall design and is consistent with single-family homes in the surrounding neighborhoods.
- d. Roof form: The proposal includes 4/12 pitched roofs. This is consistent with the overall design of homes throughout the surrounding residential neighborhoods.
- e. Communication dishes: The proposal does not include communication dishes.

- f. Compatibility of materials and colors: The materials and earth-tone colors proposed are compatible with surrounding residential development and the natural environment.

IV. PUBLIC NOTICE AND COMMENT

Application Date: February 10, 2012
Notice of Application: March 8, 2012
Minimum Comment Period: March 22, 2012
Comments Received: The City did not receive any written comments on this proposal.

V. TECHNICAL REVIEWS

A. Clearing and Grading, Development Services Department

Staff contact: Janney Gwo, 425-452-6190; jgwo@bellevuewa.gov

Clear and Grade has reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

B. Transportation Department

Staff contact: Carl Wilson, 425-452-4229, cwilson@bellevuewa.gov

1. Trip Generation: The proposed development will remove one single family dwelling unit and construct one duplex. For trip generation purposes, a duplex is assumed to be two multifamily dwelling units. The city's standard rates for analyzing trip generation indicate that a single family unit generates 1.01 PM peak hour trips, and a multifamily unit generates 0.49 PM peak hour trips. Two multifamily units would generate a total of 0.98 PM peak hour trips. With rounding, the two calculations both come out to one PM peak hour trip, so the proposed development will not cause any significant change in trip generation. No further traffic analysis is required.

2. Transportation Impact Fee: Credit will be given for removal of the existing single family dwelling unit, unless it has been vacant for at least two years at the time of building permit issuance for the proposed duplex. Presently, the city's transportation impact fee for a single family dwelling unit is \$1768. The fee for a multifamily unit outside the downtown is \$907. For two multifamily units, the fee would be \$1814. With credit for removal of the existing single family unit, the net transportation impact fee would be \$46, which must be paid at the time of building permit issuance. Impact fees are subject to change. A 50% increase is scheduled to take effect on January 1, 2013. **Refer to Condition of Approval regarding the traffic impact fee in Section IX of this report.**

3. Access: The existing single family dwelling unit has one driveway, which accesses 103rd Avenue NE, a local residential street. The proposed duplex will access 103rd Avenue NE with a new driveway located approximately in the center of the site's frontage and which will be shared by both dwelling units. The back side of this site is adjacent to Bellevue Way, a major arterial. No vehicular access will be allowed directly to Bellevue Way. **Refer to Condition of Approval**

regarding no access to Bellevue Way in Section IX of this report.

4. Utility Installation and Pavement Restoration in Street Rights of Way: Presently, it appears that installation of city-owned utilities will not require cutting into the paved surface of any street. However, if that changes and street cuts cannot be avoided, then trench and pavement restoration must be provided per Transportation Department standards. Bellevue Way, which is adjacent to this site to the east, is presently classified as "No Cuts Permitted." 103rd Avenue NE, adjacent to this site to the west, is classified as "Overlay Required." If the paved surface of 103rd Avenue NE must be repaired due to utility installation or damage during construction, then a grind and overlay at least 50 feet long for the full width of any affected lane will be required. The exact extent of any trench and pavement repair required for this development will be specified in the associated Right of Way Use permit. Private or franchise utilities serving the site must be undergrounded, if that is required by the Right of Way Use permits for each utility company. **Refer to Condition of Approval regarding complete pavement restoration if needed in Section IX of this report.**

5. Street Frontage Improvements: The existing driveway approach to 103rd Avenue NE shall be removed and replaced with landscaping. A new shared driveway with an approach width of 20 feet shall be installed per Transportation Design Manual Standard Drawing DEV-7B. Installation of other street frontage improvements on 103rd Avenue NE is hereby waived, per Bellevue City Code 14.60.110.D.1, since installation of adjacent street frontage improvements is unlikely in the foreseeable future. **Refer to Conditions of Approval regarding construction and landscaping plant requirements for the transportation department and complete driveway installation per approved plans in Section IX of this report.**

6. Right-of-Way Permit: A right-of-way permit will be required for this application prior to issuance of any construction permits (including clearing and grading). **Refer to Condition of Approval regarding right-of-way use permit in Section IX of this report.**

C. Fire Department

Staff contact: Kevin Carolan, 425-452-7832, kcarolan@bellevuewa.gov

Demolition of the existing single-family home and construction of the proposed duplex home shall conform to the requirements of International Fire Code (IFC) Chapter 14. Addresses shall be assigned to each duplex unit and the numbers shall be in accordance with the IFC. **Refer to Conditions of Approval regarding addresses and IFC requirements in Section IX of this report.**

D. Utilities Department

Staff contact: Mark Dewey, 425-452-6179, mdewey@bellevuewa.gov

Utility review has been on a conceptual basis only and the site can be served with water, sewer and storm facilities. Storm drainage minimum requirement 5 is proposed to be met by using amended soils in landscaped areas and a rain garden. Preliminary engineering through a drainage report has demonstrated a rain garden is feasible for

this development. Water and sewer are available to the site through an existing sewer stub and water meter. **Refer to Condition of Approval regarding preliminary design, utility codes and engineering standards in Section IX of this report.**

V. CHANGES TO PROPOSAL DUE TO CITY REVIEW

There were no changes as a result of this review.

VI. DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

A. The proposal is consistent with the Comprehensive Plan.

The site is located in the North Bellevue Subarea of the City's Comprehensive Plan and it is designated for low density multi-family development (MF-L). The proposal is consistent with the following Comprehensive Plan policies:

Housing Policies:

Policy HO-11. Encourage new residential development to achieve a substantial portion of the maximum density allowed on the net buildable acreage.

Response: The two units constitute the maximum permitted density for this property, based on the zoning and site area.

Policy HO-17. Encourage in-fill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.

Response: The proposal is for one duplex home, which is consistent with the underlying multi-family land use designation. Currently the site is under-utilized with only one single-family home. The design concept of the home is to make it appear to be a single family home with respect to the scale, size, materials, colors and architectural detailing and it will be compatible with the newer single-family development in adjacent neighborhoods.

Land Use Policies:

Policy LU-23. Provide, through land use regulation, the potential for a broad range of housing choices to meet the changing needs of the community.

Response: The proposal is for one duplex dwelling unit. This typology provides another choice within the existing residential neighborhood while still feeling like a more traditional single family home. The home features design characteristics, including scale and architectural details, which are typical of traditional single-family, detached housing and fit well within the context of the surrounding single-family and low-density multi-family housing.

North Bellevue Subarea Policies:

Policy S-NB-3. Scale down multifamily development as it approaches single-family areas so as to create an appropriate transition.

Response: The proposed density is at the low end for multi-family. The scale and design is the same as found in new, single-family, detached housing. The applicant has proposed a building that, due to its scale and architectural design, will fit well into the existing fabric of the single family land district, which begins directly across the street to the west.

B. The proposal complies with the applicable requirements of this Code.

As conditioned, the proposal complies with all requirements of the Land Use Code. For more information see Section III for a summary of dimensional requirements and the Transition Area development standards and design guidelines.

C. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

As conditioned, the proposal complies with all applicable Design Guidelines contained in LUC 20.25B.050. Section III.B of this report provides more information on how the proposal addresses the design guidelines.

D. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

As conditioned, the proposal is compatible with and responds to the existing and intended character and appearance of development of the subject property and immediate vicinity. The duplex concept is compatible with nearby development, which includes single-family and multi-family structures. The scale and design of the building work together to achieve a residential structure which looks and feels very similar to single-family residential structures in the adjacent neighborhoods; particularly the newer single-family homes which tend to have two stories.

E. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

The proposal will be served by adequate public facilities including streets, fire protection and utilities. The existing and proposed utilities are adequate to serve the proposed development. The structure will be required to meet all applicable Bellevue City Codes and Ordinances including all applicable fire protection requirements. **Refer to Conditions of Approval regarding IFC requirements in Section IX of this report.**

VIII. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency and City Code & Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE WITH CONDITIONS** the subject proposal.

IX. CONDITIONS OF APPROVAL

The following conditions are imposed on the applicant under the authority referenced:

Compliance with Bellevue City Codes and Ordinances

Compliance with all applicable Bellevue City Codes and Ordinances including but not limited to the following is required:

Clearing & Grading Code – BCC 23.76	Janney Gwo, 425-452-6190
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Kevin Carolan, 425-452-7832
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Tim Stever, 425-452-4294
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Carl Wilson, 425-452-4228
Utility Code – BCC Title 24	Mark Dewey, 425-452-6179

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Construction Days/Hours

Excluding National Holidays, construction noise is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday, and from 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to these hours MAY be granted pursuant to 9.18.020C.1, if necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to construction noise would have a significant impact on the residents of the area. Therefore, exemptions for short term work outside of normal construction hours shall be limited and reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized. Exemptions from the Noise Control Code require a written request submitted two weeks prior to the scheduled onset of any construction activity outside of the permitted hours. Such requests shall include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

AUTHORITY: BCC 9.18.040
REVIEWER: Sally Nichols, Land Use

2. No Access to Bellevue Way

Vehicular access to Bellevue Way will not be allowed, either during construction or after completion of the development.

AUTHORITY: BCC 14.60.150.D, BCC 14.30
REVIEWER: Carl Wilson, Transportation

3. Preliminary Design, Utility Codes and Engineering Standards

Utility review has been completed on the preliminary information submitted at the time of this application. The review of this application has no implied approvals for water, sewer and storm drainage components of the project. Over the counter water, sewer

and drainage permits will be required for the development. Contact the permit center for application requirements at 425 452-4187.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Mark Dewey, Utilities

B. PRIOR TO CLEARING & GRADING PERMIT: The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. Noise Abatement Technology

The use of the best available noise abatement technology is required during construction in order to mitigate construction noise impacts to the neighborhood residents.

AUTHORITY: BCC 9.18.020F
REVIEWER: Sally Nichols, Land Use

2. Construction and Landscaping Plan Requirements – Transportation Department

The final approved plans for this development must show removal of the existing driveway approach and its replacement with landscaping, and installation of a new driveway approach per Transportation Department Design Manual Standard Drawing DEV-7B.

AUTHORITY: BCC 14.60.110, 14.60.120, and 14.60.150
REVIEWER: Carl Wilson, Transportation

3. Right of Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) Trench and pavement restoration if needed for utility installation
- i) All other construction activities as they affect the public street system.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever, Transportation

C. PRIOR TO BUILDING PERMIT:

The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with each individual Building Permit application:

1. Addresses

The applicant shall contact the Parcel and Address Coordinator at (425) 452-4310 to have an address assigned to each proposed unit. The address numbers shall be in accordance with the International Fire Code (IFC) requirements.

AUTHORITY: LUC 20.40.425, IFC 505.

REVIEWER: Kevin Carolan, Fire

2. IFC Requirements

The demolition and construction shall conform to the requirements of IFC Chapter 14. Address numbers shall be in accordance with IFC 505.

AUTHORITY: IFC Chapter 14, IFC 505

REVIEWER: Kevin Carolan, Fire

3. Transportation Impact Fee

Prior to issuance of a building permit, the developer shall pay the transportation impact fee in effect at that time. Credit for removal of the existing single family house will be allowed, unless the house has been vacant for two years or more prior to building permit issuance.

AUTHORITY: BCC 22.16

REVIEWER: Carl Wilson, Transportation

D. PRIOR TO FINAL BUILDING PERMIT INSPECTION: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to Final Building Permit Inspection:

1. Landscape Maintenance Device for the Rain Garden

The applicant shall file a Landscape Maintenance Assurance Device (LMAD) with the Development Services Department to insure establishment of the rain garden landscape materials. The device may be in the form of an assignment of savings or letter of credit equal to 20% of the cost of labor and materials. The device shall be held by the Development Services Department for one year and released in full if the landscape conforms to the City approved plan and all of the plants are alive and well.

AUTHORITY: LUC 20.40.490

REVIEWER: Sally Nichols, Land Use

2. Complete Driveway Installation per Approved Plans

Driveway installation and any other required transportation elements must be constructed by the applicant and accepted by the Transportation Department Inspector.

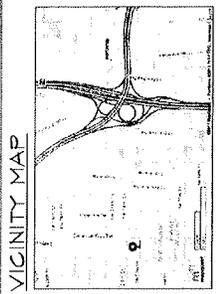
AUTHORITY: BCC 14.60

REVIEWER: Carl Wilson, Transportation

3. Complete Pavement Restoration - If Needed

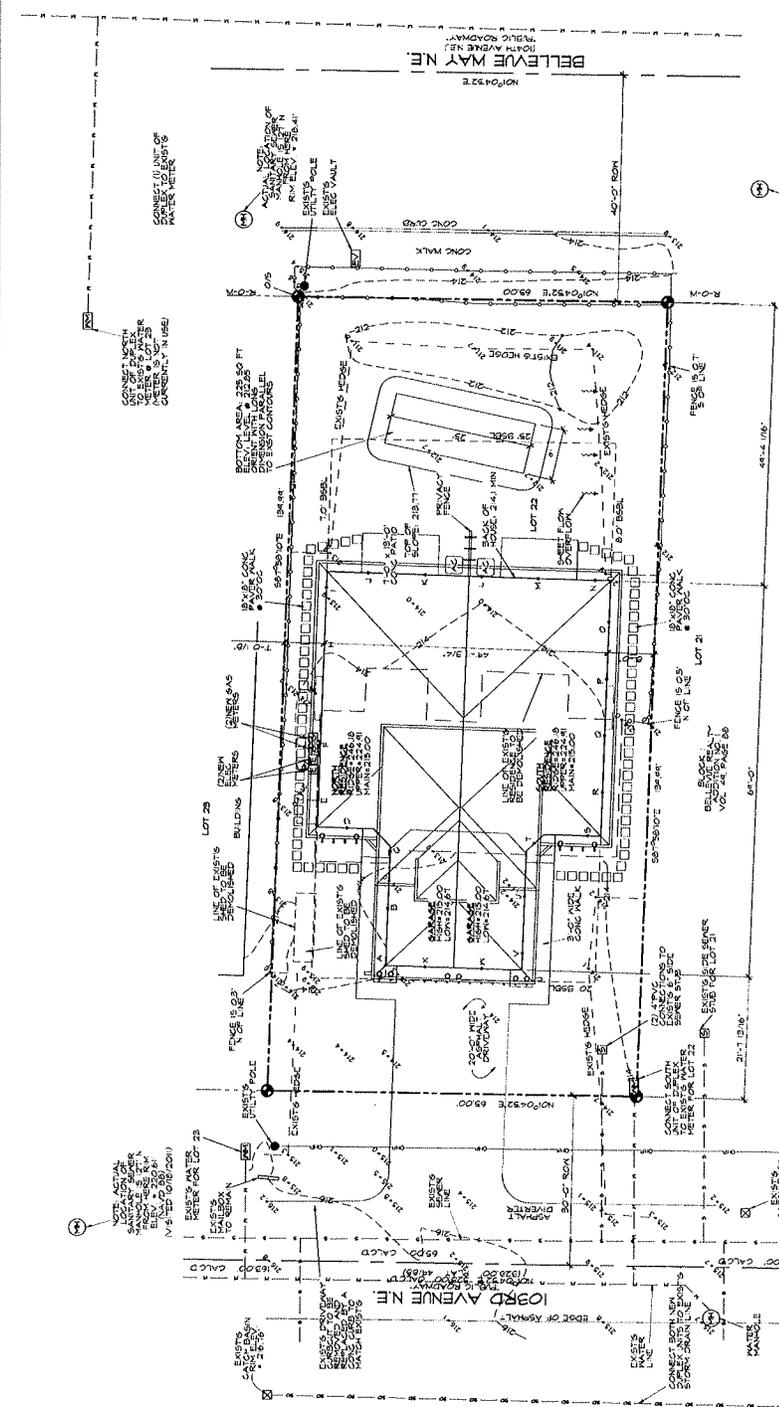
Any trench or pavement restoration associated with this development in any street right of way shall be provided as needed, per the requirements of the Right of Way Use permit for this applicant or for any relevant private or franchise utility companies.

AUTHORITY: BCC 14.30
REVIEWER: Tim Stever, Transportation/Right-of-Way
Carl Wilson, Transportation



OWNER
 ALEX GOZON & BARBARA CASTLE
 2314 103RD NE, BELLEVUE WA 98004
 206-835-1100
ARCHITECT
 MARCH ARCHITECTS
 10300 BELLEVUE AVENUE NE SUITE 100
 MOONVILLE WA 98012
 206-835-1100
SITE ADDRESS
 2314 - 103RD NE, 98004
LEGAL DESCRIPTION
 LOT 22 IN BLOCK 3 OF BELLEVUE NEATY N
 KING COUNTY, VOLUME 43 OF PLATS, PAGE 283, RECORDS OF
 KING COUNTY.
PARCEL NUMBER
 028300010
ZONING
 R1S
 MIN FRONT SETBACK: 20'
 MIN REAR SETBACK: 20'
 MIN SIDE SETBACK: 20'
 MAX BLDG HEIGHT: 30 TO
 MAX STORIES: 4
 MAX STRUCTURAL COV'G: 40%
 MAX IMPERVIOUS COV'G: 50%

STRUCTURAL COV'G
 BLDG FOOTPRINT: 1098 SF
 BLDG AREA: 1098 SF
 CONG WALKS & PATIOS: 2385 SF
 TOTAL STRUCTURAL COV'G: 3486 SF
 % OF LOT AREA: 51.6%
EXISTING IMPERVIOUS COV'G
 LOT AREA: 6768 SF
 ROOF AREA: 2184 SF
 CONG WALKS & PATIOS: 601 SF
 TOTAL IMPERVIOUS COV'G: 2785 SF
 % OF LOT AREA: 41.1%
PROPOSED IMPERVIOUS COV'G
 BLDG AREA: 1098 SF
 ROOF AREA: 601 SF
 CONG WALKS & PATIOS: 305 SF
 DRIVEWAYS: 305 SF
 TOTAL IMPERVIOUS COV'G: 2310 SF
 % OF LOT AREA: 34.1%



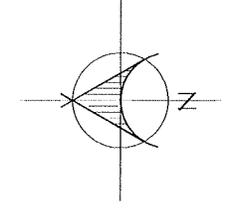
HEIGHT CALCULATION

POINT	ELEVATION	POINT	ELEVATION
A	214.00	AA	0.00
B	214.10	BB	0.00
C	213.90	CC	0.00
D	214.00	DD	0.00
E	213.80	EE	0.00
F	214.10	FF	0.00
G	214.10	GG	0.00
H	213.90	HH	0.00
I	213.80	II	0.00
J	213.70	JJ	0.00
K	213.70	KK	0.00
L	213.70	LL	0.00
M	213.70	MM	0.00
N	214.00	NN	0.00
O	213.80	OO	0.00
P	213.80	PP	0.00
Q	214.00	QQ	0.00
R	214.10	RR	0.00
S	214.10	SS	0.00
T	214.00	TT	0.00
U	214.00	UU	0.00
V	214.00	VV	0.00
W	214.30	WW	0.00
X	214.40	XX	0.00
Y	214.40	YY	0.00
Z	0.00	ZZ	0.00
TOTALS:			5132.00

AVERAGE EXG GRADE = TOTAL PRODUCTS / TOTAL WALL LENGTHS:
 $5132.00 / 24.00 = 213.83$ AVG. EXG. GRADE
 ALLOWED HEIGHT LIMIT = 30.00
 MAX ELEVATION @ ROOF MID PT = 243.82
 PROPOSED ELEV @ ROOF MID PT = 243.82
 UNDER HEIGHT LIMIT BY = 0.00 BELOW HT. LIMIT

SITE PLAN NOTES:

1. NEAR RESIDENCE TO BE RECONNECTED TO ALL EXISTING SERVICE LINES TYP.
2. ALL EXISTING SERVICE LINES TO BE PLACED SO THAT THEY SHALL BE HIGHLY VISIBLE UPON APPROACH.
3. BUILDING HEIGHT SURVEY REQUIRED.
4. PROPERTY LINE / SETBACK SURVEY REQUIRED PRIOR TO FINAL INSPECTION.
5. VERIFICATION OF IMPERVIOUS LOT COV'G TO FINAL INSPECTION.





CASTLE-GOUZOUN DUPLEX
2314 - 103RD NE, BELLEVUE WA 98004
PLAN D2393A/F-0

M NORTHWEST ARCHITECTS
11514-120 AVENUE NE SUITE 100
WOODVILLE WA 98078
PHONE: 425 488 4800
FAX: 425 488 4800
WWW.MNORTHWESTARCHITECTS.COM
TOLL FREE: 1-888-723-4100

DATE: 2/10/12
DRAWN BY: JWG
CHECKED BY: JWG
PROJECT NUMBER: 2314-103RD-NE
DATE: 2/10/12
DATE: 2/10/12

LAYOUT NO. NAME: A02
DATE: 2/10/12

A5
SCALE: 1" = 10'-0"

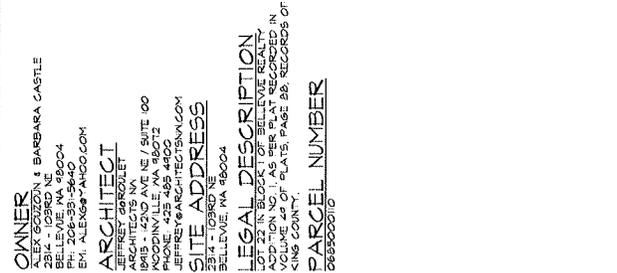
OWNER: ALEX GOZOUN & BARBARA CASTLE
2314 - 103RD NE, SUITE 00
BELLEVUE WA 98004
PH: 206-539-2640
EM: ALENG@YANCO.COM

ARCHITECT: JEFFREY GARZOLET
ARCHITECTS WA
19015 2420 AVE NE SUITE 00
REDMOND WA 98053
PHONE: 425 488 4800
JEFFREY@ARCHITECTSWA.COM

SITE ADDRESS: 2314 - 103RD NE
BELLEVUE WA 98004

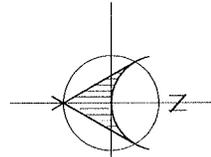
LEGAL DESCRIPTION: LOT 22 IN BLOCK 107 OF BELLEVUE REALTY ADDITION NO. 1, AS PER PLAT RECORDED IN KING COUNTY, WASHINGTON, PLAT NO. 200001000100 OF PLAT, PAGE 89, RECORDS OF KING COUNTY.

PARCEL NUMBER: 006500010



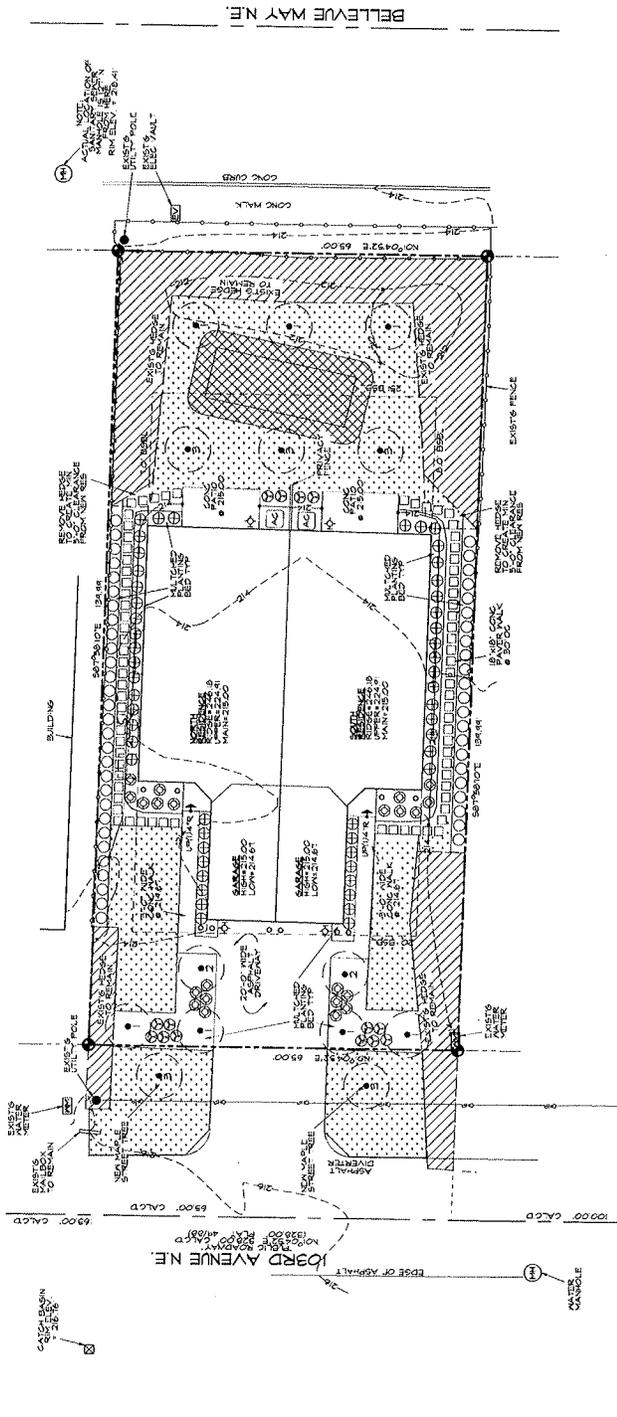
**PRELIMINARY LANDSCAPE PLAN
& EXTERIOR LIGHTING PLAN**

SCALE: 1" = 10'-0"



LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
(Tree symbol)	THUJA PLUTAGA	EXCELSA WESTERN RED CEDAR	1	6'-11"
(Tree symbol)	ACER CIRCINATUM	VINE MAPLE	2	2' CAL
(Tree symbol)	ACER RUBRUM	RED COLUMBAR MAPLE	5	2' CAL
(Shrub symbol)	RHODODENDRON HYB ANNA KRUSCHKE	LAVENDER RHODODENDRON	52	18"-24"
(Shrub symbol)	RHODODENDRON HYB CANNINGHAM'S WHITE	WHITE RHODODENDRON	22	18"-24"
(Shrub symbol)	RHODODENDRON HYB NOVA ZEPHYRA	RED RHODODENDRON	14	18"-24"
(Shrub symbol)	THUJAS	ARBOVITAE	53	5'-6" HIGH @ 50% C
(Shrub symbol)	ENGLISH LAUREL	LAUREL PRUNUS	-	8'-12" HIGH
(Ground cover symbol)	RAIN GARDEN PLANT SPEC PER DRAINAGE ENGINEER			
(Lawn symbol)		LAWN - RYE FESCUE / HYDRASEED MIX		
(Lighting symbol)		LIGHTING		
(Lighting symbol)		WALL MOUNT SCENCE @ 8'-0" HIGH		



OWNER
ALEX GOZZON & BARBARA CASTLE
2314 - 103RD NE, BELLEVUE WA 98004
EM: ALEXG@A03.COM

ARCHITECT
JEFFREY W. ARCHITECTS
1918 - 142ND AVE NE, SUITE 100
BELLEVUE, WA 98004
PHONE: 425-485-4800
JEFFREY@ARCHITECTS.NA.COM

SITE ADDRESS
2314 - 103RD NE
BELLEVUE, WA 98004

LEGAL DESCRIPTION
LOT 24 IN BLOCK OF BELLEVUE REALTY
ADDITION NO. 1 AS PER PLAT RECORDED IN
PLAT NO. 100000 IN KING COUNTY

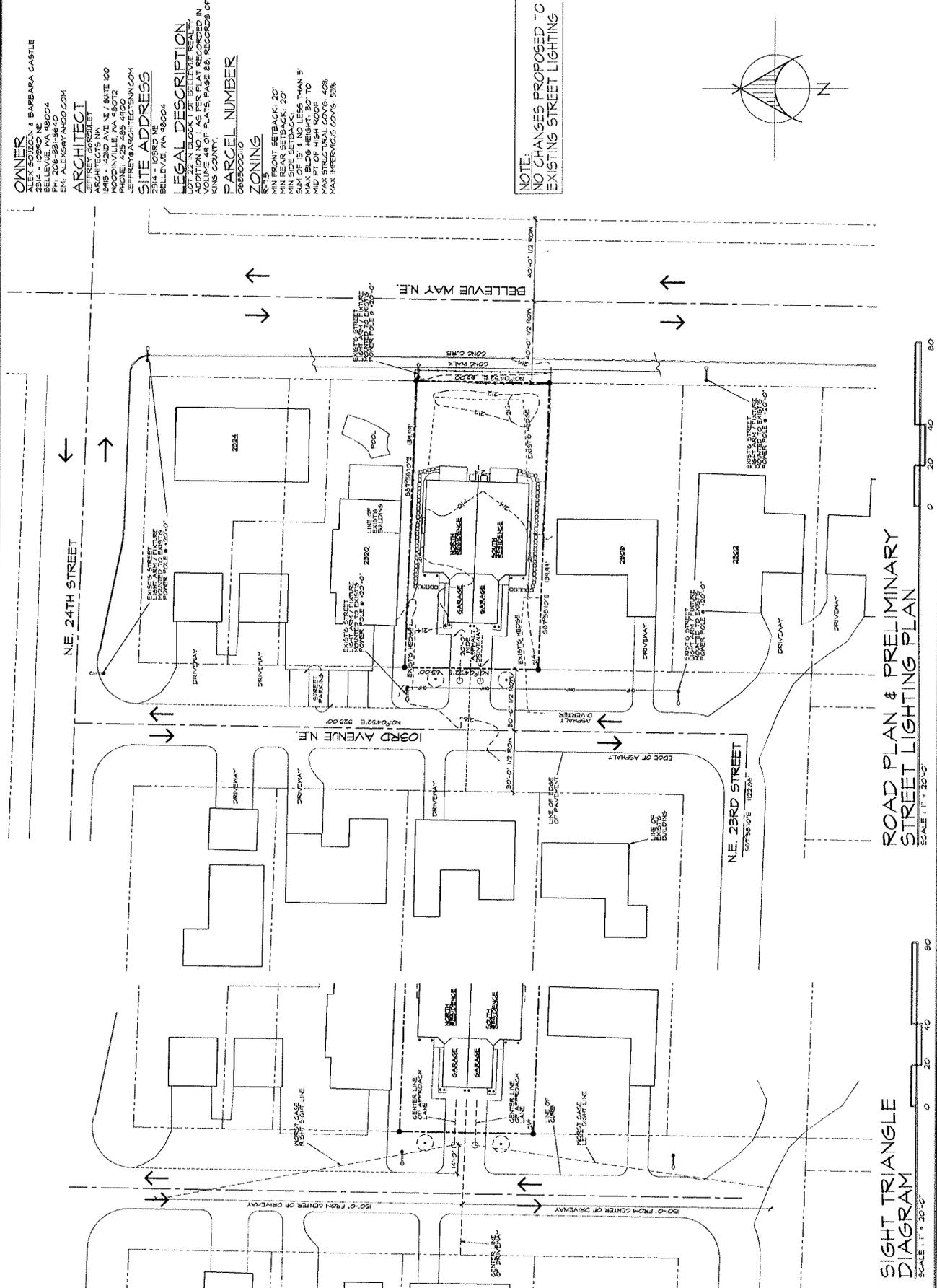
PARCEL NUMBER
08800010

ZONING
R-1.5
MIN FRONT SETBACK: 20'
MIN REAR SETBACK: 20'
MIN SIDE SETBACK: 20'
MIN OFF ST. & NO. LESS THAN 5'
MIN. HEIGHT OF HIGH ROOF TO
MAX. STRUCTURAL COV'G: 40%
MAX. OVERHANG COV'G: 55%

ARCHITECTS
1918-142ND AVENUE NE SUITE 100
BELLEVUE WA 98004
PHONE: 425-485-4800
WWW.ARCHITECTS.NA.COM

CASTLE-GOUZON DUPLEX
2314 - 103RD NE, BELLEVUE WA 98004
PLAN D2393A/F-0

A03
A5
M10151

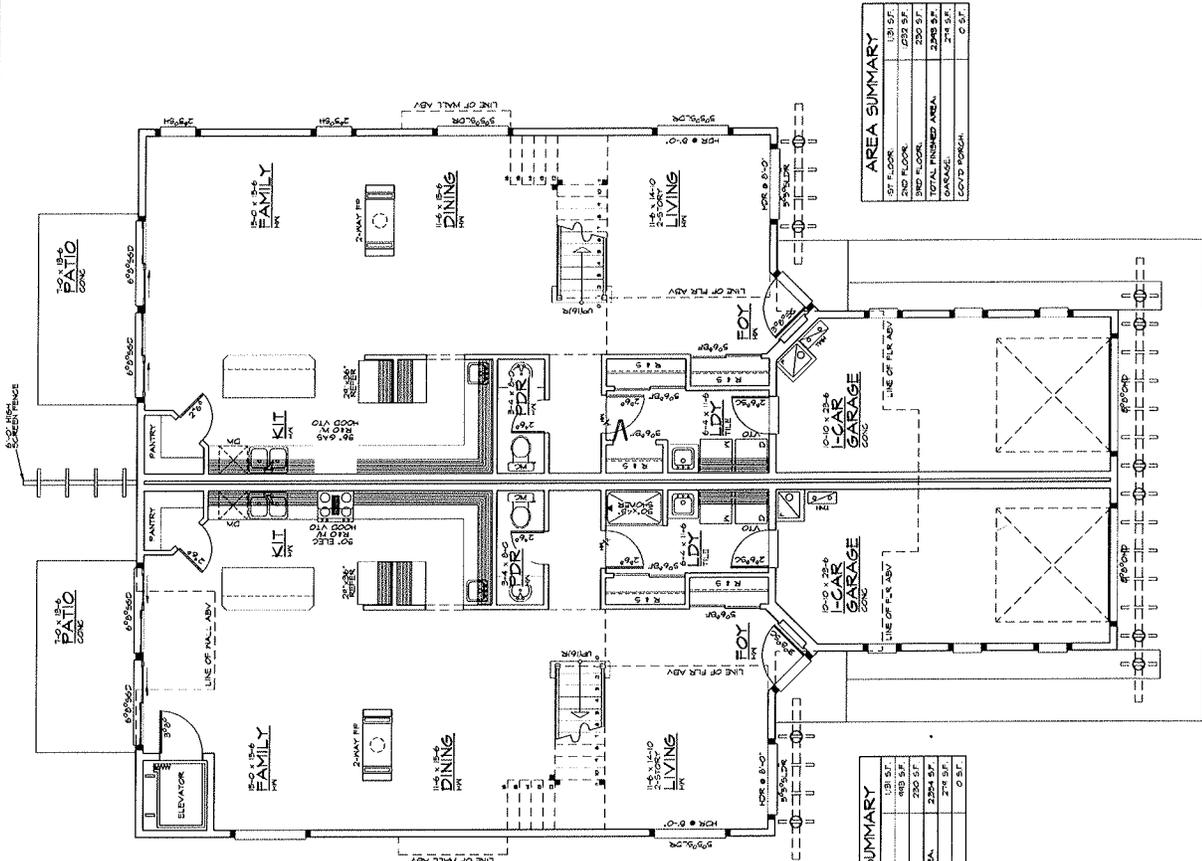


NOTE:
NO CHANGES PROPOSED TO
EXISTING STREET LIGHTING

ROAD PLAN & PRELIMINARY
STREET LIGHTING PLAN
SCALE: 1" = 20'-0"

SIGHT TRIANGLE
DIAGRAM
SCALE: 1" = 20'-0"





AREA SUMMARY

1ST FLOOR	1,538 S.F.
2ND FLOOR	495 S.F.
3RD FLOOR	220 S.F.
TOTAL FINISHED AREA	2,253 S.F.
GARAGE	278 S.F.
LOUVER PORCH	0 S.F.

AREA SUMMARY

1ST FLOOR	1,538 S.F.
2ND FLOOR	495 S.F.
3RD FLOOR	220 S.F.
TOTAL FINISHED AREA	2,253 S.F.
GARAGE	278 S.F.
LOUVER PORCH	0 S.F.

1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

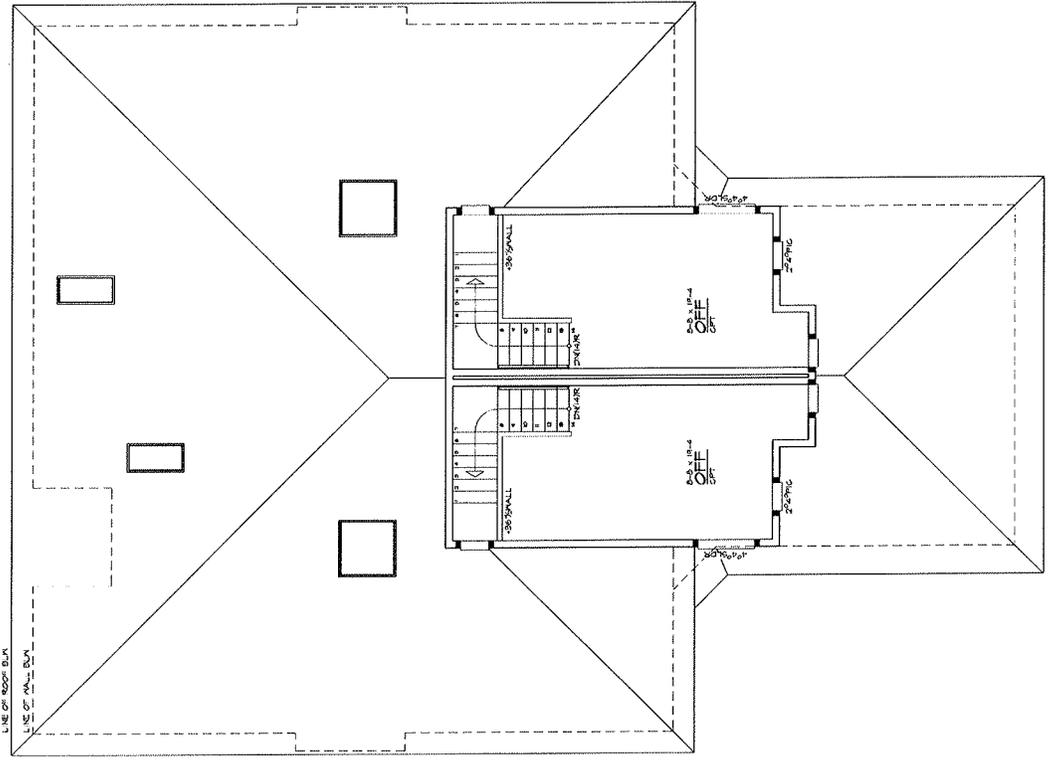
TITLE: 3RD FLOOR PLAN
 DATE: 11/10/15
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 SCALE: 1/4" = 1'-0"

A3
 A5

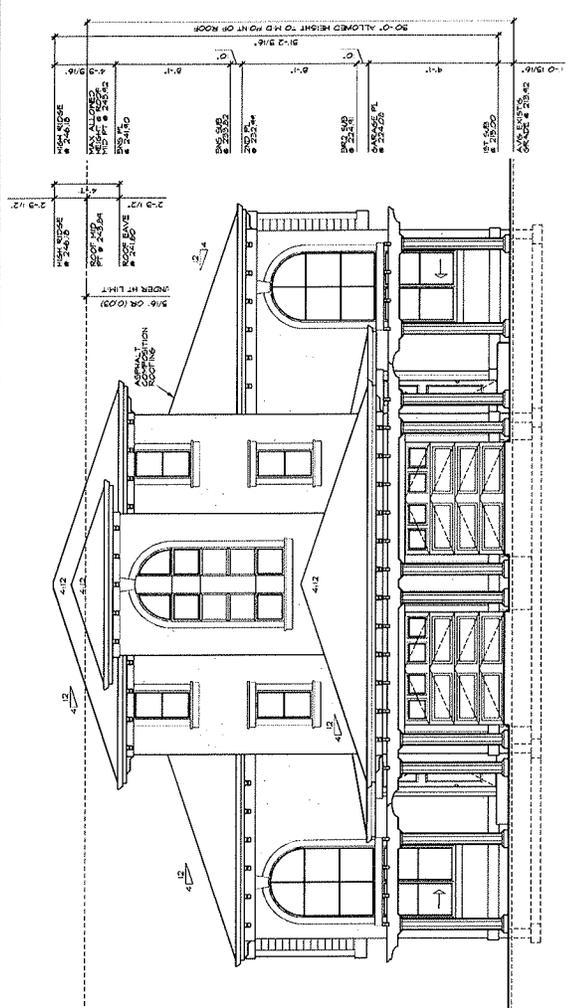
CASTLE-GOUZOUN DUPLEX
 2314 - 103RD NE, BELLEVUE WA 98004
 PLAN D2393A1F-0

MARCHITECTS
 NORTHWEST
 1815-1840 AVENUE NE SUITE 100
 WOODWAYNE WA 98095
 PHONE: (206) 455-4000
 FAX: (206) 455-4000
 WWW.MARCHITECTS.COM

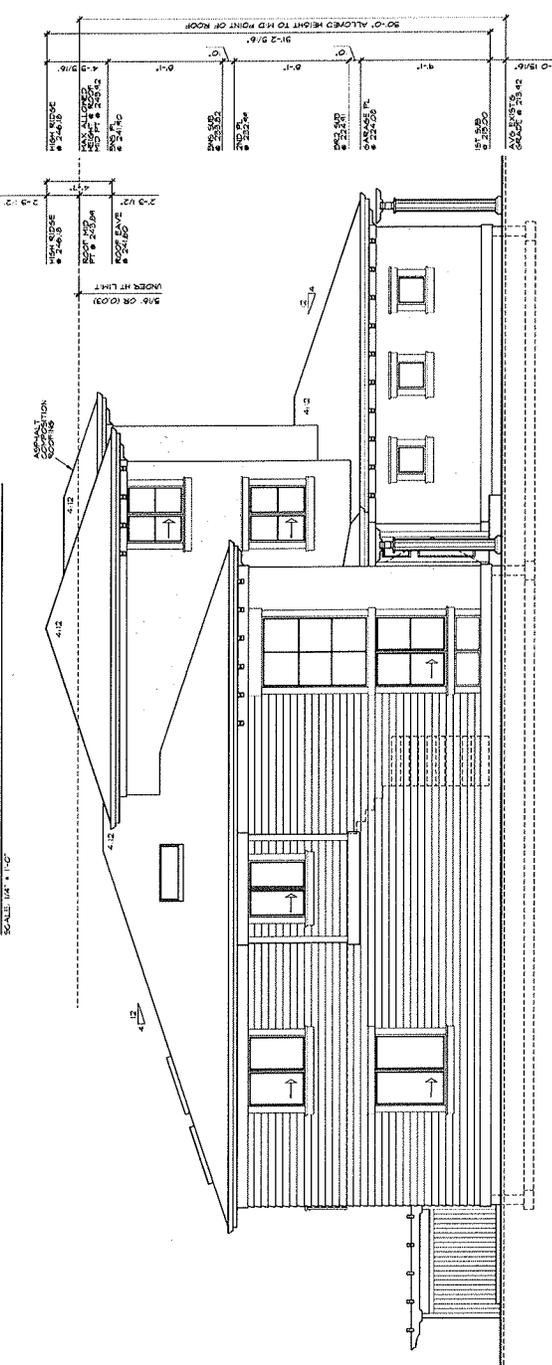
I AM A REGISTERED ARCHITECT
 I HAVE A LICENSE
 I HAVE A SEAL



3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION / WEST
SCALE: 1/4" = 1'-0"



FRONT ELEVATION / NORTH
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
1. INSTALLING DOORS, WINDOWS, TRIM, MILLWORK, ETC. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 2. ALL EXTERIOR JOINTS & PENETRATIONS SHALL BE PROTECTED WITH AN APPROPRIATE FINISH.
 3. ALL EXTERIOR WALLS SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 4. ALL EXTERIOR FLOORS SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 5. ALL EXTERIOR ROOFS SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 6. ALL EXTERIOR STAIRS SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 7. ALL EXTERIOR LIGHT FIXTURES SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 8. ALL EXTERIOR PAINT SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 9. ALL EXTERIOR METAL SHALL BE FINISHED WITH AN APPROPRIATE FINISH.
 10. SEE SHEET A101 FOR ADDITIONAL NOTES.