



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 450 110TH AVENUE NE, P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT:

Sunny Ausink, Pacific Telecom Services

LOCATION OF PROPOSAL:

15928 NE 8th Street, Bellevue, WA

DESCRIPTION OF PROPOSAL:

Application for an administrative conditional use permit to add three new antennas to an existing rooftop installation, including associated mechanical equipment.

FILE NUMBER: 10-113970-LA

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Development Services Section. This information is available to the public on request.

- There is no comment period for this DNS
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment from the date below. Comments must be submitted by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carole V. Helland
 Environmental Coordinator

11/3/11
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife
- State Department of Ecology, Shoreline Planner N.W. Region
- Army Corps of Engineers
- Attorney General
- Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: **AT&T Crossroads**

Proposal Address: 15928 NE 8th Street

Proposal Description: Application for an administrative conditional use permit to add three new antennas to an existing rooftop installation, including associated mechanical equipment.

File Number: **11-113970-LA**

Planner: Mike Upston, AICP, Senior Planner

Applicant: AT&T Mobility

Recommendations Included: Administrative Conditional Use Permit (Process II, Land Use Code 20.30E)

State Environmental Policy Act Threshold Determination: **Determination of Non-Significance (DNS)**

Carol V Helland

Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: *Carol V Helland*

Carol V. Helland, Land Use Director
Development Services Department

Application Date:	5/12/11
Public Notice:	6/9/11
Minimum Comment Period:	6/23/11
Decision Publication Date:	11/3/11
Appeal Deadline:	11/17/11

For information on how to appeal a proposal, visit Development Services at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

CONTENTS

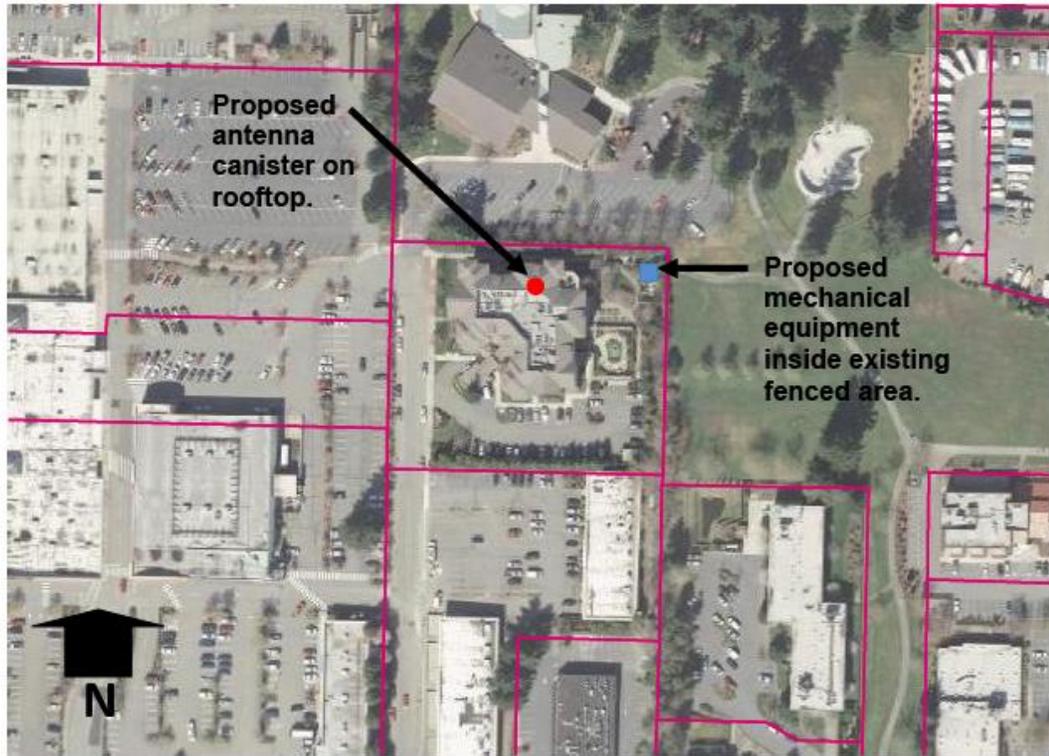
I.	Proposal & Decision Process	Pg. 3
II.	Site Description & Context	Pg. 5
III.	State Environmental Policy Act (SEPA).....	Pg. 5
IV.	Public Notice & Comment.....	Pg. 6
V.	Decision Criteria.....	Pg. 6
VI.	Decision.....	Pg. 8
VII.	Condition of Approval.....	Pg. 8

Attached: Project Plans

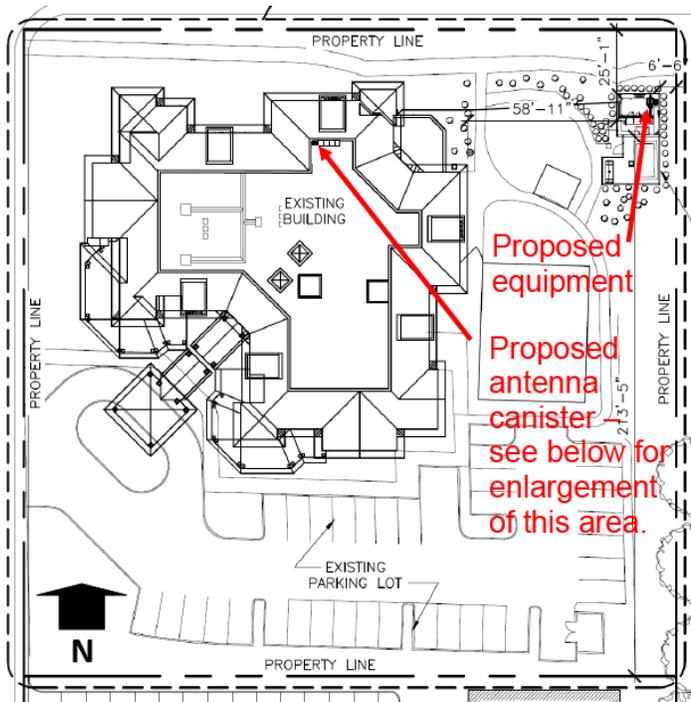
I. **Proposal & Decision Process**

The purpose of this administrative conditional use approval request is to expand AT&T's wireless network in the area while improving voice and data support for phones with wireless internet (4G) capability. An approximately 1/4-mile gap in 4G coverage exists in this neighborhood as illustrated on the Coverage Area maps provided in the project file at the Records Room in the City Hall lobby.

AT&T proposes to locate a 10 foot tall, two and a half foot wide canister on the roof of the four story Sunrise Senior Living building within which an array of three antennas will be placed. The canister will be partially screened behind an existing four foot high parapet, constructed to look somewhat like a chimney, and made of material that won't interfere with the antenna's ability to transmit radio signals. There will also be a small addition of mechanical equipment within the existing ground-mounted, fenced equipment area at the northeast corner of the property. See the map below, the site plan and detail plan on page 4, and photo-simulations on page 7. The project plans are also attached.

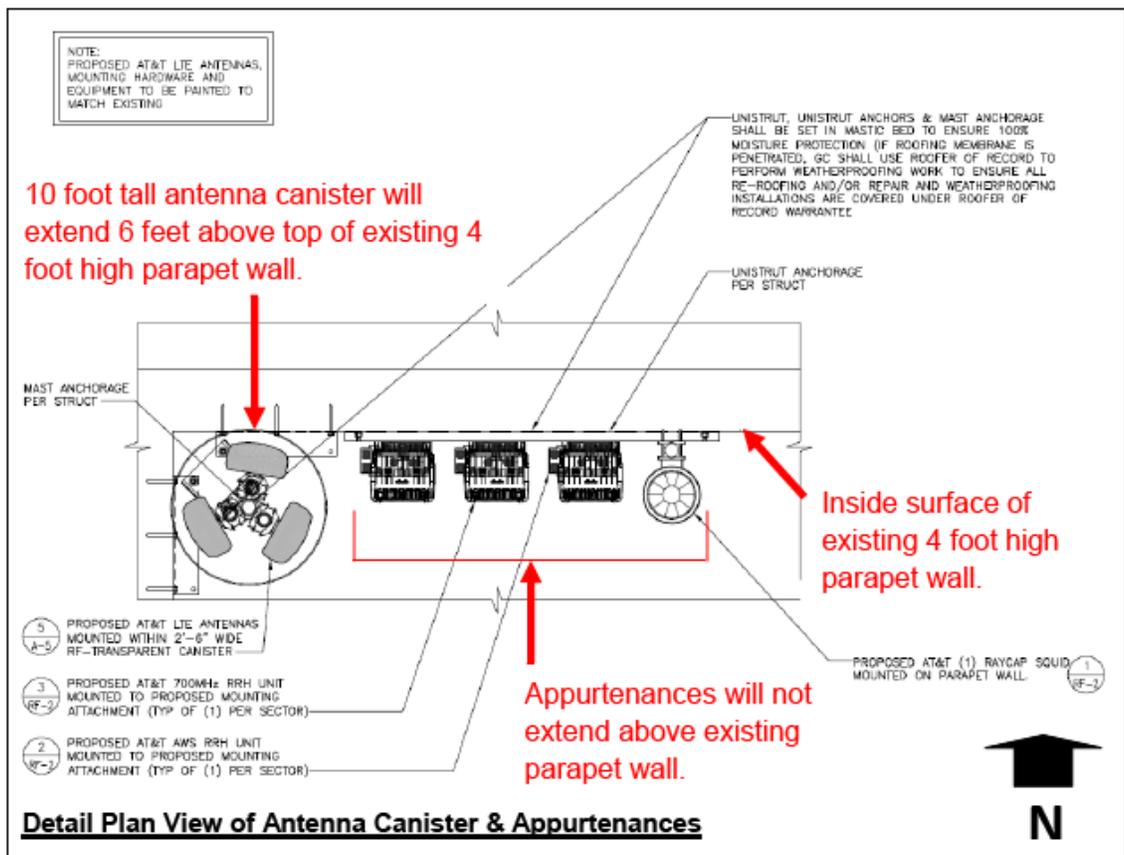


The existing wireless communications facility was established in 2001 with a construction permit (01-106191-CD). That permit allowed the existing building-mounted antennas to be shrouded behind a special siding material which doesn't interfere with the antenna's operation, and hides them from view. That approval also established the existing fenced equipment area near the building. The option of placing the additional antennas along with the existing antennas was AT&T's initial intent, but it was found to be infeasible due to radio frequency conflicts and structural challenges (refer to project file for full discussion). Hence, the proposed faux chimney shroud which also hides the proposed antennas.



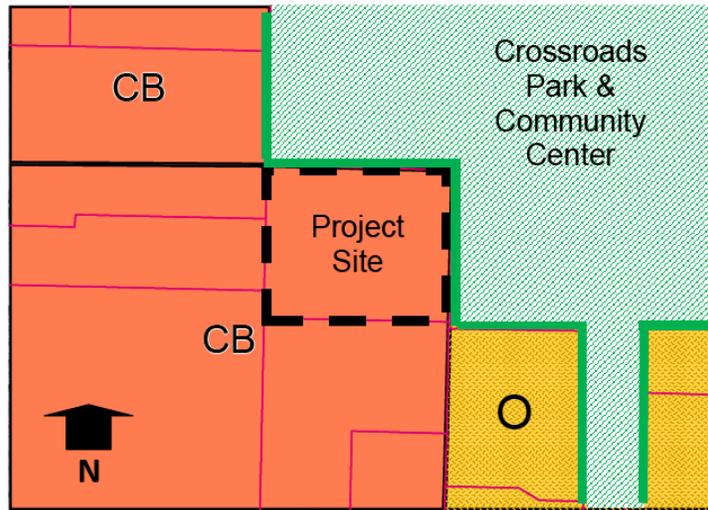
This is a Process II administrative land use decision (LUC 20.35.200). The decision is made by the Development Services Department Director based on the decision criteria set forth in the Land Use Code for an Administrative Conditional Use Permit. Public notice of the decision is provided, along with an opportunity for appeal of the decision to the Hearing Examiner. In addition, as required by the State Environmental Policy Act, a threshold determination is issued

by the Environmental Coordinator. The threshold determination is also an administrative Process II decision, and is being issued in conjunction with the Director's decision on the Administrative Conditional Use Permit.



II. Site Description and Context

As described in Section I of this report, the project site is located at Sunrise Senior Living, which is accessed by a private street which heads north from NE 8th Street about a block east of 156th Avenue NE. It is within the Community Business (CB) land use district, adjacent to an area zoned Office (O) which includes the Crossroads Park & Community



Center as depicted on the map above. Crossroads Shopping Center is to the immediate west, and Parks Department offices along with Fire Station No. 3 are south of the park off NE 8th Street.

Since the proposed rooftop canister will only be noticeable when standing on the subject property or from certain locations in the immediate vicinity, the critical context here is not so much the broader neighborhood but instead is specific to the site and some of the spaces immediately adjacent to it. As depicted in the Existing and Proposed photos below, context is established by the four story building on which the antenna canister is proposed and, to a lesser degree, the immediate area surrounding the building. Therefore, contextually speaking, how people will relate visually to the proposal is a consideration only when one is really close to the building. Additional photo-simulations are provided in the project file at the Records Room in the City Hall lobby.

III. State Environmental Policy Act (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project.

The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements. The SEPA Checklist is available for viewing in the project file at the City Hall Records Room.

IV. Public Notice & Comment

Application Date: May 12, 2011
Application Completeness Date: June 9, 2011
Notice of Application published and sign posted: June 9, 2011
Minimum Public Comment Period ended: June 23, 2011
Notice of Decision: November 3, 2011
Appeal Deadline: November 17, 2011

The applicant filed this application on May 12, 2011. The surrounding property owners were mailed notice of the proposal in the weekly Permit Bulletin on June 9, 2011, and a public information sign was installed adjacent to the street that same day. The public comment period established for this application ended on June 23, 2011. At the time of writing this report, no public comments were received regarding this proposal.

V. Decision Criteria

Compliance with decision criteria of Land Use Code Section 20.30E.140 is discussed below.

A. The administrative conditional use is consistent with the Comprehensive Plan.

Finding: This proposal is consistent with Bellevue's Comprehensive Plan policies regarding such facilities. The Comprehensive Plan policies listed below from the Utility Element have been considered in support of the City's decision regarding this site:

- (1) UT-40. Require the reasonable screening and/or architecturally compatible integration of all new above-ground utility facilities.
- (2) UT-40a. Protect Bellevue's aesthetic quality and infrastructure investment from unnecessary degradation caused by the construction of telecommunication infrastructure.
- (3) UT-43. Encourage consolidation on existing facilities where reasonably feasible and where such consolidation leads to fewer impacts than would construction of separate facilities.
- (4) UT-55. Require the placement of personal wireless communication facilities in a manner that minimizes the adverse impacts on adjacent land uses.
- (5) UT-59. Recognize that personal wireless communication facilities will be deployed in all areas of the city to provide coverage and capacity consistent with the changing use of wireless technology. Minimize the attendant impacts, particularly the visual impacts, of personal wireless communication facility towers, lattice towers and structures by utilizing criteria for the design and location of such facilities that appropriately balance the need for wireless services and the impacts of the necessary facilities.
- (6) UT-61. Minimize visual impacts of personal wireless communication facilities by encouraging system designs in the following preferred and descending order: 1) attached to public facility structures, building

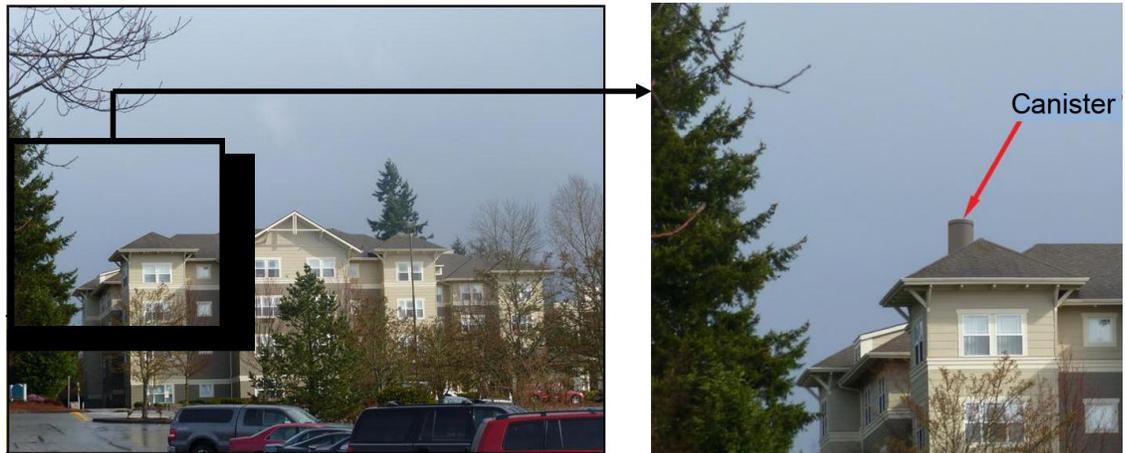
mounted, or integrated with utility poles, light standards, and signal supports; 2) co-located on utility poles, light standards, signal supports; and 3) free standing towers.

AT&T's proposal is consistent with these policies since expanding an existing site is preferable to building new ones, and because the canister-enclosed antenna array designed as a faux chimney is a successful way to hide the antennas. Further, since the existing fenced equipment area has adequate space for the small amount of additional equipment needed, the equipment adds no visual impact.

B. The design is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.

Finding: To ensure that the facility is compatible with property in the immediate vicinity, the proposal incorporates the following measures:

- (1) The proposed antennae will be hidden within a canister designed as a faux chimney. See photo-simulation below.



Existing

Proposed

- (2) The associated mechanical equipment will be accommodated within the existing fenced equipment area located at the northeast area of the property. This small addition will not be visually apparent.

C. The administrative conditional use will be served by adequate public facilities including streets, fire protection, and utilities.

Finding: All public facilities including streets, fire protection, and utilities are provided to the subject property from NE 8th Street to the south. The property is accessed from a private road which leads north from NE 8th Street, all necessary utilities are within the road, and Bellevue Fire Station No. 3 is located on NE 8th Street to the immediate south-east of this property.

D. The administrative conditional use will not be materially detrimental to uses or property in the immediate vicinity of the subject property.

Finding: As discussed in subsection A above, the proposed roof-mounted antenna canister is the least visually intrusive option, apart from a no-project option. However, a condition of approval is included in section VII of this report requiring that the facility be removed when it ceases to be operational or if it falls into disrepair.

E. The administrative conditional use complies with the applicable requirements of the Land Use Code.

Finding: The proposal meets all Land Use Code requirements applicable to non-exempt wireless communications facilities per LUC 20.20.195.D 1-9.

VI. Decision

After conducting the various administrative reviews associated with this proposal, including applicable land use consistency, SEPA, and City Code and Standard compliance reviews, the Development Services Department Director does hereby **APPROVE** the proposal subject to one condition.

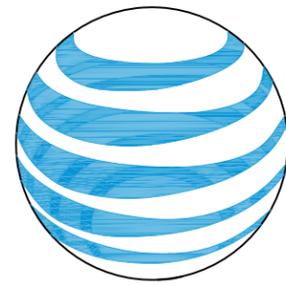
VII. Condition of Approval

Removal of Abandoned Sites

The owner of this facility shall provide the Director with copies of any notice of intent to cease operations that is provided to the Federal Communications Commission (FCC). All wireless communications devices and associated equipment shall be removed by the facility owner within 90 days of the date it ceases to be operational, or if the facility falls into disrepair and is not maintained. Disrepair includes structural features, paint, or general lack of maintenance, which could result in safety or visual impacts.

REVIEWER: Mike Upston, (425) 452-2970

AUTHORITY: LUC 20.20.195.D.8



at&t

Your world. Delivered.

CROSS ROADS SD62

15928 NE 8TH ST.
BELLEVUE, WA 98008

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



FINAL
CONSTRUCTION DRAWINGS

05/10/11

8828 REGISTERED ARCHITECT
Richard B. Hall
RICHARD B. HALL
STATE OF WASHINGTON

EXPIRATION DATE OF THE LICENSE: 08/20/11

CROSS ROADS
SD62
15928 NE 8TH ST.
BELLEVUE, WA 98008

PROJECT INFORMATION

PROJECT DESCRIPTION:

AT&T PROPOSES TO MODIFY AN EXISTING UNSTAFFED TELECOMMUNICATIONS FACILITY BY ADDING (3) LTE PANEL ANTENNAS (1 PER SECTOR), (6) RRH UNITS (2 PER LTE ANTENNA), (1) 10'-0" HIGH RF-TRANSPARENT CANISTER/ANTENNA MOUNT, (1) RAYCAP SQUID SURGE SUPPRESSION UNIT, (1) GPS ANTENNA MOUNTED NEAR EXISTING GPS ANTENNA, AND AN LTE 9412 COMPACT ENCLOSURE MOUNTED AT EXISTING ARGUS TE43 CABINET LOCATED AT EXISTING AT&T CONCRETE SLAB INSIDE EXISTING AT&T EQUIPMENT BUILDING.

APPLICANT:

AT&T MOBILITY
RTC BUILDING 3
16221 NE 72ND WAY
REDMOND, WA 98052

PROPERTY OWNER:

SUNRISE SENIOR LIVING
15928 NE 8TH STREET
BELLEVUE, WA 98008
CONTACT: JOHN PAPP
PH: (425) 401-5152 EXT. 19

CODE INFORMATION:

ZONING CLASSIFICATION: CB
BUILDING CODE: 2009 IBC
CONSTRUCTION TYPE: [E] VA [N] IIB
OCCUPANCY: [E] R-2 [N] S-2
JURISDICTION: CITY OF BELLEVUE

TEAM LEAD:

GOODMAN NETWORKS
8815 122ND AVE NE
KIRKLAND, WA 98033
CONTACT: WENDY LONG
PH: (206) 321-1116

SITE ACQUISITION:

PACIFIC TELECOM SERVICES, LLC
568 FIRST AVENUE, S., SUITE 650
SEATTLE, WA 98104
CONTACT: RENATA FAYTEN
PH: (206) 342-6389

PERMITTING:

PACIFIC TELECOM SERVICES, LLC
568 FIRST AVENUE, S., SUITE 650
SEATTLE, WA 98104
CONTACT: SUNNY AUSINK
PH: (206) 342-6390

CONSTRUCTION MANAGER:

PACIFIC TELECOM SERVICES, LLC
568 FIRST AVENUE, S., SUITE 650
SEATTLE, WA 98104
CONTACT: PAT HEALY
PH: (425) 471-3553

RF ENGINEER:

AT&T MOBILITY
CONTACT: LUKASZ GRABARSKI
PH: (425) 698-8272

SITE LOCATION: (BASED ON NAD 83):

LATITUDE: 47° 37' 0" N
LONGITUDE: 122° 7' 32" W
TOP OF STRUCTURE AGL: 51'-6"
BASE OF STRUCTURE AMSL: TBD

PARCEL NUMBER(S):

262505-9225

GENERAL INFORMATION:

1. PARKING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.

PROJECT TEAM

PROJECT ARCHITECT

RICHARD B. HALL, AIA
PACIFIC TELECOM SERVICES, LLC
568 FIRST AVENUE, S., SUITE 650
SEATTLE, WA 98104
CONTACT: ROBERT LEIGHTON
PH: (206) 464-4402
EMAIL: RLEIGHTON@PTSWA.COM

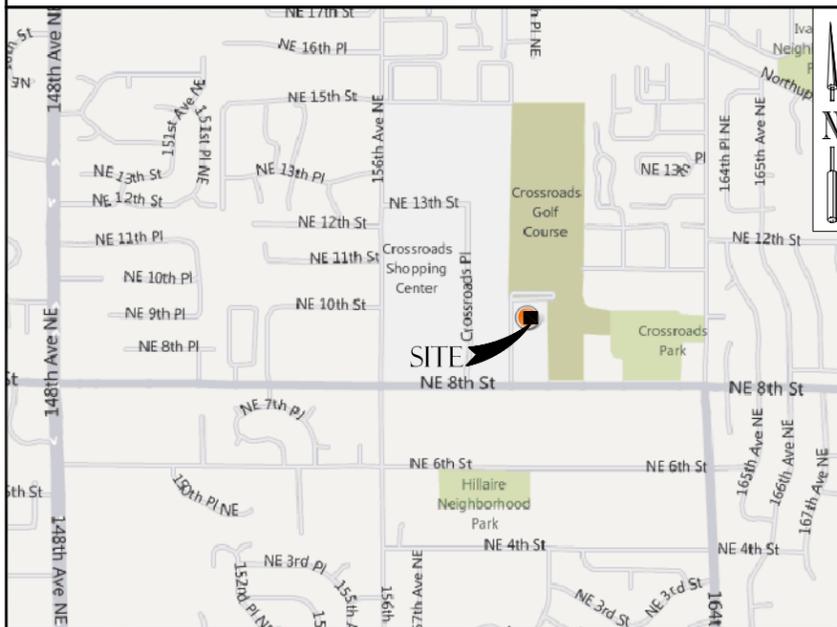
PROJECT CONSULTANT

PACIFIC TELECOM SERVICES, LLC
568 FIRST AVENUE, S., SUITE 650
SEATTLE, WA 98104
CONTACT: KATIE KENNEY
PH: (206) 909-9454

PROJECT CONSULTANT

GOODMAN NETWORKS
8815 122ND AVE NE
KIRKLAND, WA 98033
PH: (206) 321-1116

VICINITY MAP



DRIVING DIRECTIONS

START FROM REGIONAL OFFICE:

DEPART NE 72ND WAY TOWARD 164TH AVE NE 0.1 MI
TURN RIGHT ONTO 164TH AVE NE, AND THEN IMMEDIATELY TURN RIGHT ONTO BEAR CREEK PKWY 0.4 MI
TURN LEFT ONTO LEARY WAY NE 0.1 MI
ROAD NAME CHANGES TO NE LEARY WAY 0.2 MI
TAKE RAMP RIGHT FOR SR-520 WEST TOWARD SEATTLE 2.4 MI
TAKE RAMP RIGHT AND FOLLOW SIGNS FOR 148TH AVE NE 0.3 MI
TURN LEFT ONTO 148TH AVE NE 1.4 MI
TURN LEFT ONTO NE 8TH ST 0.7 MI

ARRIVE AT 15928 NE 8TH ST, BELLEVUE, WA 98008-3908

APPROVAL	DATE	SIGNATURE	APPROVAL	DATE	SIGNATURE
RF ENGINEER:			LANDLORD:		
RF MANAGER:			SITE ACQUISITION:		
OPPS MANAGER:			ZONING AGENT:		
CONSTR MANAGER:			PROJECT MANAGER:		
NSB MANAGER:			CONSTR MANAGER:		
TRANSPORT:					
EQUIP ENGINEER:					
COMPLIANCE:					

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

DRAWING INDEX

SHEET DESCRIPTION

T-1	TITLE SHEET
G-1	GENERAL NOTES
G-2	GENERAL NOTES & SYMBOLS
A-1	SITE PLAN
A-2	EXISTING ENLARGED ROOF PLAN
A-3	EXISTING & PROPOSED EQUIPMENT PLAN
A-4	EXISTING & PROPOSED ANTENNA PLAN
A-5	EXISTING & PROPOSED SOUTH ELEVATIONS
A-6	EQUIPMENT DETAILS
RF-1	ANTENNA CONFIGURATIONS
RF-2	RF & EQUIPMENT DETAILS
E-1	SCHEMATIC GROUNDING PLAN
E-2	GROUNDING DETAILS

ABBREVIATIONS

A/C	AIR CONDITIONING	HORZ	HORIZONTAL	PLYWD	PLYWOOD
AGL	ABOVE GROUND LEVEL	HR	HOUR	PROJ	PROJECT
APPROX	APPROXIMATELY	HT	HEIGHT	PROP	PROPERTY
BLDG	BUILDING	HVAC	HEATING	PT	PRESSURE TREATED
BLK	BLOCKING		VENTILATION	REQ	REQUIRED
			AIR CONDITIONING	RM	ROOM
CLG	CEILING	ID	INSIDE DIAMETER	SHT	SHEET
CLR	CLEAR	IN	INCH	SIM	SIMILAR
CONC	CONCRETE	INFO	INFORMATION	SPEC	SPECIFICATION
CONST	CONSTRUCTION	INSUL	INSULATION	SF	SQUARE FOOT
CONT	CONTINUOUS	INT	INTERIOR	SS	STAINLESS STEEL
		IBC	INTERNATIONAL BUILDING CODE	STL	STEEL
DBL	DOUBLE			STRUCT	STRUCTURAL
DIA	DIAMETER			STD	STUD
DIAG	DIAGONAL	LBS	POUNDS	SUSP	SUSPENDED
DN	DOWN	MAX	MAXIMUM		
DET	DETAIL	MECH	MECHANICAL	THRU	THROUGH
DWG	DRAWING	MTL	METAL	TNNG	TINNED
		MFR	MANUFACTURE	TYP	TYPICAL
EA	EACH	MGR	MANAGER		
ELEV	ELEVATION	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL	MISC	MISCELLANEOUS	VERT	VERTICAL
EQ	EQUAL	RO	ROUGH OPENING	VIF	VERIFY IN FIELD
EQUIP	EQUIPMENT				
EXT	EXTERIOR	NA	NOT APPLICABLE	W/	WITH
		NIC	NOT IN CONTRACT	W/O	WITHOUT
FIN	FINISH	NTS	NOT TO SCALE	WP	WATER PROOF
FLUOR	FLUORESCENT				
FLR	FLOOR	OC	ON CENTER		
FT	FOOT	OD	OUTSIDE DIAMETER		
GA	GAUGE				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GRND	GROUND				
GYP	GYPSON WALL BOARD				

LEGAL DESCRIPTION

FIRST AMERICAN TITLE INSURANCE COMPANY ORDER NO. 820165-C4, DATED NOVEMBER 2, 2000:

PARCEL "A":
THAT PORTION OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SUB-DIVISION; THENCE SOUTH 88°42'24" EAST ALONG THE SOUTH LINE THEREOF, AND ALONG THE CENTERLINE OF NORTH-EAST 8TH STREET, 1030.00 FEET; THENCE NORTH 01°11'55" EAST, 420.82 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 01°11'55" EAST, 253.58 FEET; THENCE SOUTH 88°42'24" EAST, 308.11 FEET; THENCE SOUTH 01°17'36" WEST, 253.58 FEET; THENCE NORTH 88°42'24" WEST, 307.70 FEET TO THE POINT OF BEGINNING;
(ALSO KNOWN AS PARCEL A OF CITY OF BELLEVUE LOT LINE ADJUSTMENT NO. 81-09R, RECORDED UNDER RECORDING NO. 8303179010.)

PARCEL "B":
AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS A STRIP OF LAND 45 FEET IN WIDTH, ADJOINING AND EASTERLY OF A LINE DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 26; THENCE SOUTH 88°42'24" EAST ALONG THE SOUTH LINE THEREOF, 1030.00 FEET; THENCE NORTH 01°11'55" EAST PARALLEL WITH THE WEST LINE OF SAID SUBDIVISION, 30 FEET TO THE NORTH MARGIN OF NORTHEAST 8TH STREET AND THE TRUE POINT OF BEGINNING OF THIS LINE; THENCE CONTINUING NORTH 01°11'55" EAST, 390.82 FEET TO THE SOUTH BOUNDARY OF SAID PARCEL A AND THE TERMINUS OF SAID LINE.

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
A	03/02/11	ISSUED FOR PCO REVIEW	WC
0	05/10/11	ISSUED FOR FINAL CONSTRUCTION	NL

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
TITLE SHEET

SHEET NUMBER

T-1

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY TOWER NETWORK CARRIER OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AS THEY MAY BE DISCOVERED IN PLANS, DOCUMENTS, NOTES, OR SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION INCLUDING, BUT NOT LIMITED BY, DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF TOWER NETWORK CARRIER CONSTRUCTION PROJECT MANAGER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY TOWER NETWORK CARRIER CONSTRUCTION PROJECT MANAGER.
2. PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR HAVING BEEN AWARDED THIS PROJECT SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION/CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER VERBALLY AND IN WRITING.
3. FOR COLLOCATION SITES: CONTACT TOWER OWNER REPRESENTATIVE FOR PARTICIPATION IN BID WALK.
4. NOT USED
5. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
6. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCE. TOWER NETWORK CARRIER IS NOT RESPONSIBLE FOR ANY ERRORS RESULTING FROM THIS PRACTICE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
7. OWNER, CONTRACTOR, AND TOWER NETWORK CARRIER CONSTRUCTION PROJECT MANAGER SHALL MEET JOINTLY TO VERIFY ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
8. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
9. THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
10. THE CONTRACTOR SHALL PROVIDE TOWER NETWORK CARRIER PROPER INSURANCE CERTIFICATES NAMING TOWER NETWORK CARRIER AS ADDITIONAL INSURED, AND TOWER NETWORK CARRIER PROOF OF LICENSE(S) AND PE & PD INSURANCE.
11. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
12. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
13. ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
14. NOT USED
15. A COPY OF GOVERNING AGENCY IS APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW, SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE ORIGINAL PERMIT SET PLANS ARE NOT TO BE USED BY THE WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION AS GOVERNING AGENCY APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS, IN GOOD CONDITION, COMPLETE WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES UNDER THE DIRECT CARE OF THE SUPERINTENDENT. THE CONTRACTOR SHALL SUPPLY TOWER NETWORK CARRIER CONSTRUCTION PROJECT MANAGER WITH A COPY OF ALL REVISIONS, ADDENDA, AND/OR CHANGE ORDERS AT THE CONCLUSION OF THE WORK AS A PART OF THE AS-BUILT DRAWING RECORDS.
16. THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
17. THE CONTRACTOR SHALL STUDY THE STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING PLANS AND CROSS CHECK THEIR DETAILS, NOTES, DIMENSIONS, AND ALL REQUIREMENTS PRIOR TO THE START OF ANY WORK.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT AND SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
19. THE CONTRACTOR HAS THE RESPONSIBILITY OF LOCATING ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR, OR SUBCONTRACTOR AS SPECIFIED IN THE AGREEMENT BETWEEN SUBCONTRACTOR AND CONTRACTOR, SHALL BEAR THE EXPENSES OF REPAIR AND/OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGE BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
20. THE REFERENCES ON THE DRAWINGS ARE FOR CONVENIENCE ONLY AND SHALL NOT LIMIT THE APPLICATION OF ANY DRAWING OR DETAIL.
21. ALL DIMENSIONS ON THE PLANS ARE TO FACE OF STUD (F.O.S.) UNLESS NOTED OTHERWISE (U.N.O.).
22. ALL EXISTING CONSTRUCTION, EQUIPMENT, AND FINISHES NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND WILL BE REMOVED FROM THE SITE WITH THE FOLLOWING EXCEPTIONS:
 - A. PROPERTY NOTED TO BE RETURNED TO THE OWNER.
 - B. PROPERTY NOTED TO BE REMOVED BY THE OWNER.
23. THE GOVERNING AGENCIES, CODE AUTHORITIES, AND BUILDING INSPECTORS SHALL PROVIDE THE MINIMUM STANDARDS FOR CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES USED THROUGHOUT THE PROJECT. TRADE STANDARDS AND/OR PUBLISHED MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
24. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER ROUGH FRAMED FLOORS OR ROOFS SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING AND/OR BRACING IS TO BE PROVIDED WHERE THE STRUCTURE HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
25. PRIOR TO THE POURING OF ANY NEW SLAB OVER AN EXISTING SLAB THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, CHASES, AND EQUIPMENT WHICH ARE TO BE IMPLEMENTED INTO THE NEW WORK. ALL ITEMS DESIGNATED TO BE ABANDONED SHALL BE NOTED AND DISCUSSED WITH THE OWNER AND TOWER NETWORK CARRIER CONSTRUCTION PROJECT MANAGER AS PART OF THE AS-BUILT DRAWING PACKAGE.
26. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
27. BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING, CONSTRUCTION, AND ANY OTHER PROJECT EFFORT AS MANDATED BY THE GOVERNING AGENCY.
28. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
29. THE PROJECT, WHEN COMPLETED, SHALL COMPLY WITH LOCAL SECURITY CODES AND TITLE-24 ENERGY CONSERVATION REQUIREMENTS. (TITLE-24 WHEN APPLICABLE)
30. ALL GLASS AND GLAZING IS TO COMPLY WITH CHAPTER 54 OF THE U.S. CONSUMER SAFETY COMMISSION - SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (42 FR 1428, CFR PART 1201) AND LOCAL SECURITY REQUIREMENTS.
31. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
32. CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
33. NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL MATCH IN FORM, TEXTURE, FINISH, AND IN MATERIALS EXCEPT AS NOTED IN THE PLANS AND SPECIFICATIONS.
34. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING, BLOCKING, AND/OR SLEEVES REQUIRED FOR THE INSTALLATION OF FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, HARDWARE, AND FINISH ITEMS TO INSURE A PROPER AND COMPLETE JOB.
35. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PROJECT LEVEL, STRAIGHT, AND TRUE ACCORDING TO THE PLANS. THE CONTRACTOR SHALL COMPARE THE LINES AND LEVELS OF THE EXISTING CONDITIONS WITH THOSE SHOWN ON THE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. TOWER NETWORK CARRIER SHALL BE NOTIFIED OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES PRIOR TO ANY CONSTRUCTION.
36. THE CONTRACTOR IS TO PROVIDE PROTECTION FOR ADJOINING PROPERTIES FROM PHYSICAL HARM, NOISE, DUST, DIRT, AND FIRE AS REQUIRED BY THE GOVERNING AGENCIES.
37. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AND/OR REVISIONS AVAILABLE AS REQUIRED BY THE GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
38. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE OF ALL MATERIALS AND SHALL NOT DO SO ON PUBLIC PROPERTY WITHOUT A PERMIT TO DO SO FROM THE GOVERNING AGENCIES FOR THIS PURPOSE.
39. GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
40. TRADES INVOLVED IN THE PROJECT SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING, FITTING, PATCHING, ETC., SO AS TO BE RECEIVED PROPERLY BY THE WORK OF OTHER TRADES.
41. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT PREMISES AND SHALL BE LEFT IN A CLEAN (BROOM FINISH) CONDITION AT ALL TIMES BY EACH TRADE AS THEY PERFORM THEIR OWN PORTION OF THE WORK.
42. TOWER NETWORK CARRIER DOES NOT GUARANTEE ANY PRODUCTS, FIXTURES, AND/OR ANY EQUIPMENT NAMED BY A TRADE OR MANUFACTURER. GUARANTEE OR WARRANTY THAT MAY BE IN EFFECT IS DONE SO THROUGH THE COMPANY OR MANUFACTURER PROVIDING THE PRODUCT, FIXTURE, AND/OR EQUIPMENT ONLY. UNLESS SPECIFIC RESPONSIBILITY IS ALSO PROVIDED BY THE CONTRACTOR/SUBCONTRACTOR IN WRITTEN FORM.
43. CAUTION! CALL BEFORE YOU DIG! BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE-CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. 1-800-227-2600.
44. CONTRACTOR TO REPLACE AND/OR REROUTE ANY EXISTING UNDERGROUND UTILITIES ENCOUNTERED DURING TRENCHING AND GENERAL CONSTRUCTION.
45. WHEN APPLICABLE, CONTRACTOR IS RESPONSIBLE TO CALL, COORDINATE AND MAKE ARRANGEMENTS FOR ROW AND/OR PRIVATE PROPERTY LOCATE MODIFICATION CONSTRUCTION; BASED ON SPECIFIC SITE REQUIREMENTS.
46. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
47. CONTRACTORS TO DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS AND SUBMIT TO TOWER NETWORK CARRIER ALONG WITH REDLINED CONSTRUCTION SET.
48. CONTRACTOR SHALL DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP (REDLINING) THE APPROVED CONSTRUCTION SET AND SUBMITTING THE REDLINED ALONG WITH PHOTOGRAPHS PER NETWORK CARRIER REQUIREMENTS.
49. GENERAL CONTRACTOR IS TO COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. CONTRACTOR TO REPORT POWER INSTALLATION COORDINATION SOLUTION(S) TO NETWORK CARRIER REPRESENTATIVE, PROJECT CONSTRUCTION MANAGER AND ARCHITECT.
50. ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY TOWER NETWORK CARRIER CONSTRUCTION MANAGER.
51. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY, INFERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE AND ACCEPTED UNDER THIS CONTRACT; UNLESS NOTED OTHERWISE IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR. (EXCEPTION) THE ROOFING SUBCONTRACTOR SHALL FURNISH A MAINTENANCE AGREEMENT FOR ALL WORK DONE, COSIGNED BY THE GENERAL CONTRACTOR, TO MAINTAIN THE ROOFING IN A WATERTIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT, UNLESS OTHERWISE WRITTEN IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
52. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE SAFETY OF THE OWNER'S EMPLOYEES, WORKMEN, AND ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
53. THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR ALL NECESSARY PERMITS AND/OR FEES WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN PERMIT AND MAKE FINAL PAYMENT FOR SAID DOCUMENT.
54. NOT USED
55. TOWER NETWORK CARRIER WILL REVIEW AND APPROVE SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT. TOWER NETWORK CARRIER PROJECT APPROVAL OF A SEPARATE ITEM SHALL NOT INCLUDE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
56. ALL ANTENNAS MOUNTED ON ROOF SUPPORT FRAMES TO BE PROVIDED BY TOWER NETWORK CARRIER COMMUNICATIONS.
57. CONTRACTOR TO PROVIDE TRENCH AS REQUIRED TO INSTALL BOTH ELECTRICAL AND TELEPHONE UNDERGROUND CONDUITS (#40 PVC) PER S.C.E. WORKORDER. BACKFILL WITH CLEAN SAND AND COMPACT TO THE SATISFACTION OF THE DISTRICTS INSPECTOR. REPLACE FINISH GRADE WITH MATCHING MATERIALS (GRASS, ASPHALT, CONCRETE, ETC.)
58. CONTRACTOR TO PROVIDE HEAVY STEEL PLATES AT OPEN TRENCHES FOR SAFETY AND TO PROTECT EXISTING GROUND SURFACES FROM HEAVY EQUIPMENT UTILIZED DURING CONSTRUCTION.
59. CONTRACTOR TO PATCH AND REPAIR ALL GROUND SURFACES WITHIN THE CONSTRUCTION AREA AS NECESSARY TO PROVIDE A UNIFORM SURFACE AND MAINTAIN EXISTING SURFACE DRAINAGE SLOPES.
60. CONTRACTOR TO REPLACE LANDSCAPE VEGETATION THAT WAS DAMAGED DUE TO CONSTRUCTION, AND TO MODIFY REMAINING IRRIGATION LINES TO OPERATING CONDITION, PROVIDING FULL COVERAGE TO IMPACTED AREAS.
61. IN THE CASE OF ROOFTOP SOLUTIONS FOR EQUIPMENT AND/OR ANTENNA FRAMES WHERE PENETRATION OF EXISTING ROOFING MATERIALS OCCUR, THE GENERAL CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER AND BUILDING ROOFING CONTRACTOR OF RECORD FOR INSTALLATION, PATCH, REPAIR OR ANY AUGMENTATION TO THE ROOF, AND HAVE THE WORK GUARANTEED UNDER THE ROOFING CONTRACTOR'S WARRANTY FOR MOISTURE PENETRATION OR AND OTHER FUTURE BREACH OF ROOFING INTEGRITY.
62. IN THE CASE OF ROOFTOP SOLUTIONS WITH THE INSTALLATION OF ANTENNAS WITHIN CONCEALED (SHROUDED) SUPPORT FRAMES OR TRIPODS, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE FRP DESIGNER/FABRICATOR TO ENSURE THAT THE FINAL FRP SHROUD IS SIMULATING (IN APPEARANCE) DESIGNATED EXISTING EXTERIOR BUILDING FACADE MATERIALS, TEXTURES, AND COLORS. THE CONTRACTOR SHALL FURTHERMORE ENSURE THE USE OF COUNTERSUNK FASTENERS IN ALL FRP CONSTRUCTION. WHEN PHOTOSIMULATIONS ARE PROVIDED, THE CONTRACTOR SHALL ENSURE THAT FINAL CONSTRUCTION REPRESENTS WHAT IS INDICATED IN PHOTOSIMULATION. SHOP DRAWINGS SHALL BE PROVIDED TO THE GENERAL CONTRACTOR, CONSTRUCTION COORDINATOR, AND ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION.
63. IN THE CASE OF ROOFTOP SOLUTIONS FOR EQUIPMENT AND/OR ANTENNA FRAMES WHERE ANCHORING TO A CONCRETE ROOF SLAB IS REQUIRED, CONTRACTORS SHALL CONFIRM (PRIOR TO SUBMITTING BID) WITH CONSULTING CONSTRUCTION COORDINATOR AND ARCHITECT THE PRESENCE OF POST TENSION TENDONS WITHIN THE ROOF SLAB - RESULTING FROM AN UNDOCUMENTED DESIGN CHANGE IN THE EXISTING BUILDING "AS-BUILT DRAWING SET" - HAVING INDICATED AN ORIGINAL DESIGN SOLUTION OF REINFORCED CONCRETE W/ EMBEDDED STEEL REBAR. IN THE EVENT POST TENSION SLAB SOLUTION IS PRESENT, CONTRACTOR SHALL INCLUDE PROVISIONS FOR X-RAY PROCEDURES (INCLUDED IN BID) FOR ALL PENETRATION AREAS WHERE ANCHORING OCCURS.
64. GENERAL & SUB CONTRACTORS SHALL USE STAINLESS STEEL METAL LOCKING TIES FOR ALL CABLE TRAY TIE DOWNS AND ALL OTHER GENERAL TIE DOWNS (WHERE APPLICABLE). PLASTIC ZIP TIES SHALL NOT BE PERMITTED FOR USE ON TOWER NETWORK CARRIER PROJECTS. RECOMMENDED MANUFACTURE SHALL BE: PANDUIT CORP. METAL LOCKING TIES MODEL NO. MLT4S-CP UNDER SERIES-304 (OR EQUAL). PANDUIT PRODUCT DISTRIBUTED BY TRIARC.
65. NOT USED.



8828 REGISTERED ARCHITECT
Richard B. Hall
RICHARD B. HALL
 STATE OF WASHINGTON

EXPIRATION DATE OF THE LICENSE: 08/20/11

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SD62

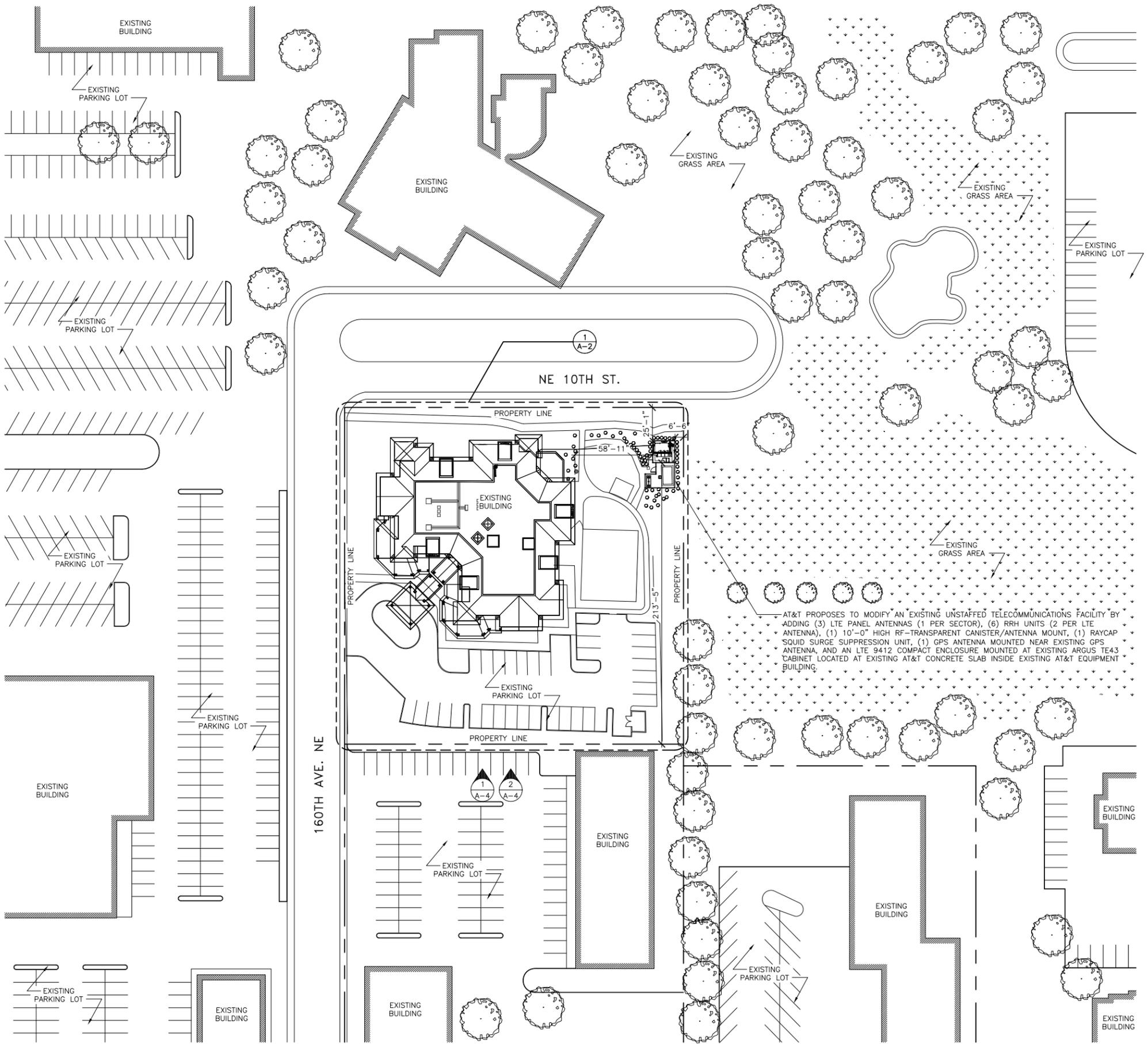
15928 NE 8TH ST.
 BELLEVUE, WA 98008

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
A	03/02/11	ISSUED FOR PCD REVIEW	WC
0	05/10/11	ISSUED FOR FINAL CONSTRUCTION	NL

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
 GENERAL NOTES

SHEET NUMBER
G-1



LEGEND

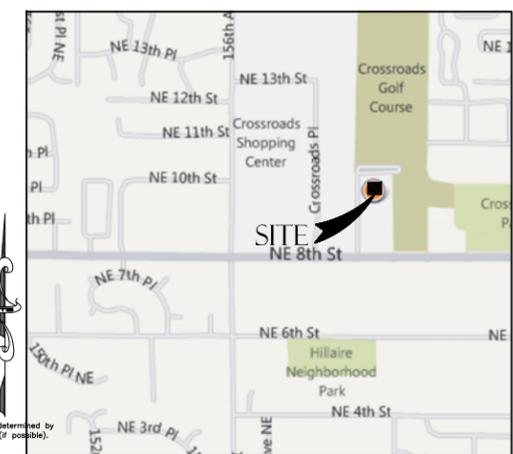
---	SUBJECT BOUNDARY LINE	---	VEGETATION LINE
---	RIGHT-OF-WAY CENTERLINE	---	CHAIN LINK FENCE
---	RIGHT-OF-WAY LINE	---	WOOD FENCE
---	ADJACENT BOUNDARY LINE	---	BARBED WIRE/WIRE FENCE
---	SECTIONAL BREAKDOWN LINE	---	TRANSFORMER
---	OHP	---	FIRE HYDRANT
---	OHP	---	GATE VALVE
---	UGP	---	WATER METER
---	UGP	---	FIRE STAND PIPE
---	BURIED POWER LINE	---	CATCH BASIN, TYPE I
---	BURIED GAS LINE	---	CATCH BASIN, TYPE II
---	OHT	---	SIGN
---	OHT	---	BOLLARD
---	BURIED TELEPHONE LINE	---	MAIL BOX
---	BURIED WATER LINE	---	SPOT ELEVATION
---	BURIED SANITARY SEWER	---	
---	BURIED STORM DRAIN	---	
---	DITCH LINE/FLOW LINE	---	
---	ROCK RETAINING WALL	---	
---	UTILITY POLE	---	
---	POLE GUY WIRE	---	
---	GAS VALVE	---	
---	GAS METER	---	
---	TELEPHONE VAULT	---	
---	TELEPHONE RISER	---	

NOTE: PROPOSED AT&T LTE ANTENNAS, MOUNTING HARDWARE AND EQUIPMENT TO BE PAINTED TO MATCH EXISTING

LEGAL DESCRIPTION:
 FIRST AMERICAN TITLE INSURANCE COMPANY ORDER NO. 820165-C4, DATED NOVEMBER 2, 2000:
 PARCEL "A":
 THAT PORTION OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SUB-DIVISION; THENCE SOUTH 88°42'24" EAST ALONG THE SOUTH LINE THEREOF, AND ALONG THE CENTERLINE OF NORTH-EAST 8TH STREET, 1030.00 FEET; THENCE NORTH 01°11'55" EAST, 420.82 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 01°11'55" EAST, 253.58 FEET; THENCE SOUTH 88°42'24" EAST, 308.11 FEET; THENCE SOUTH 01°17'36" WEST, 253.58 FEET; THENCE NORTH 88°42'24" WEST, 307.70 FEET TO THE POINT OF BEGINNING;
 (ALSO KNOWN AS PARCEL A OF CITY OF BELLEVUE LOT LINE ADJUSTMENT NO. 81-09R, RECORDED UNDER RECORDING NO. 8303179010.)
 PARCEL "B":
 AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS A STRIP OF LAND 45 FEET IN WIDTH, ADJOINING AND EASTERLY OF A LINE DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 26; THENCE SOUTH 88°42'24" EAST ALONG THE SOUTH LINE THEREOF, 1030.00 FEET; THENCE NORTH 01°11'55" EAST PARALLEL WITH THE WEST LINE OF SAID SUBDIVISION, 30 FEET TO THE NORTH MARGIN OF NORTHEAST 8TH STREET AND THE TRUE POINT OF BEGINNING OF THIS LINE; THENCE CONTINUING NORTH 01°11'55" EAST, 390.82 FEET TO THE SOUTH BOUNDARY OF SAID PARCEL A AND THE TERMINUS OF SAID LINE.

PARCEL NUMBER(S):
 262505-9225

VICINITY MAP



8828 REGISTERED ARCHITECT
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 RICHARD B. HALL
 STATE OF WASHINGTON

EXPIRATION DATE OF THE LICENSE: 08/20/11

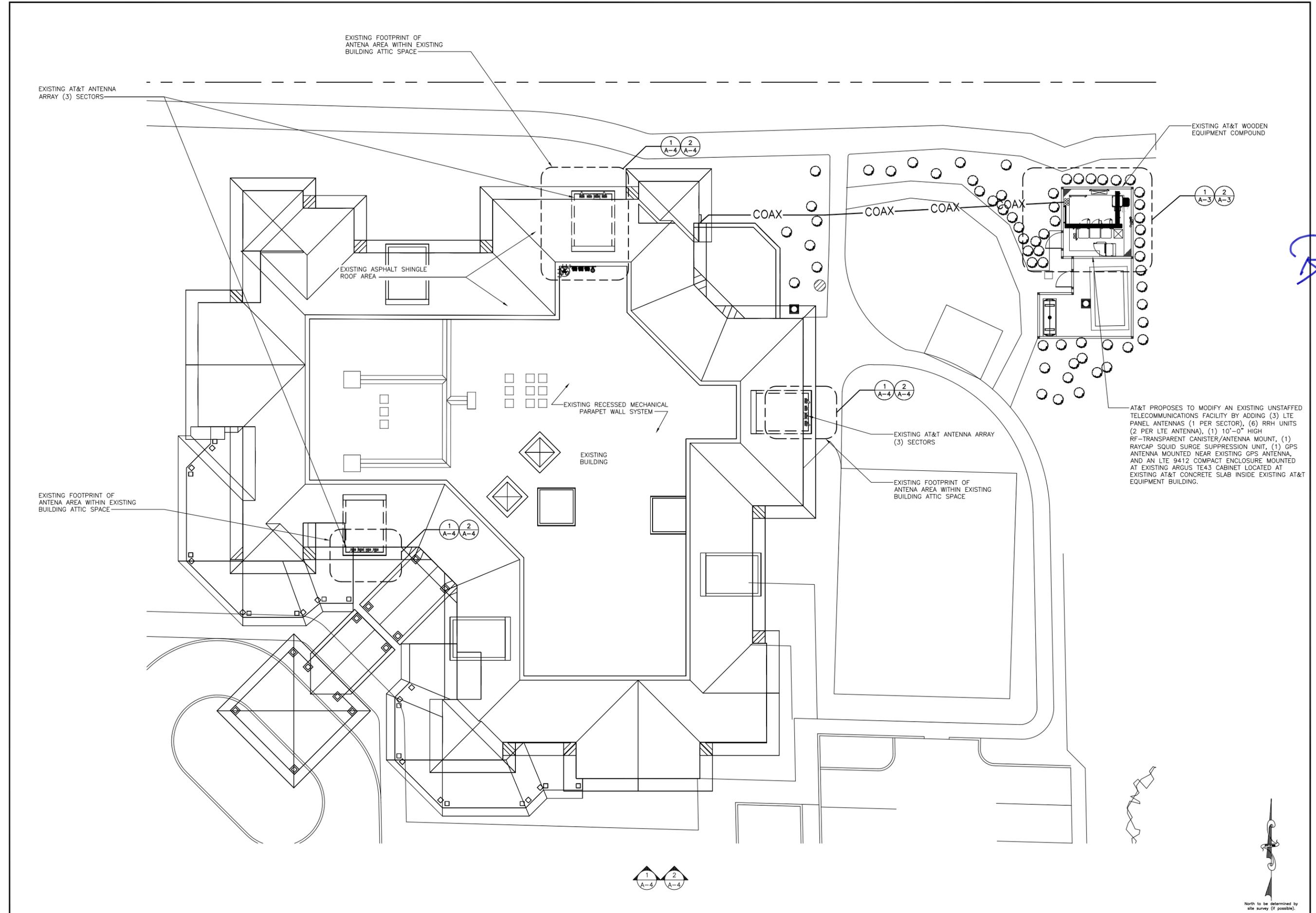
CROSS ROADS
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REVISIONS			
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A	03/02/11	ISSUED FOR PC D REVIEW	WC
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SHEET TITLE
 SITE PLAN

SHEET NUMBER
 A-1



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PTS
PACIFIC TELECOM SERVICES, LLC

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Richard B. Hall
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STATE OF WASHINGTON

EXPIRATION DATE OF THE LICENSE: 08/20/11

CROSS ROADS
SD62
15928 NE 8TH ST.
BELLEVUE, WA 98008

AT&T PROPOSES TO MODIFY AN EXISTING UNSTAFFED TELECOMMUNICATIONS FACILITY BY ADDING (3) LTE PANEL ANTENNAS (1 PER SECTOR), (6) RRH UNITS (2 PER LTE ANTENNA), (1) 10'-0" HIGH RF-TRANSPARENT CANISTER/ANTENNA MOUNT, (1) RAYCAP SQUID SURGE SUPPRESSION UNIT, (1) GPS ANTENNA MOUNTED NEAR EXISTING GPS ANTENNA, AND AN LTE 9412 COMPACT ENCLOSURE MOUNTED AT EXISTING AT&T ARGUS TE43 CABINET LOCATED AT EXISTING AT&T CONCRETE SLAB INSIDE EXISTING AT&T EQUIPMENT BUILDING.

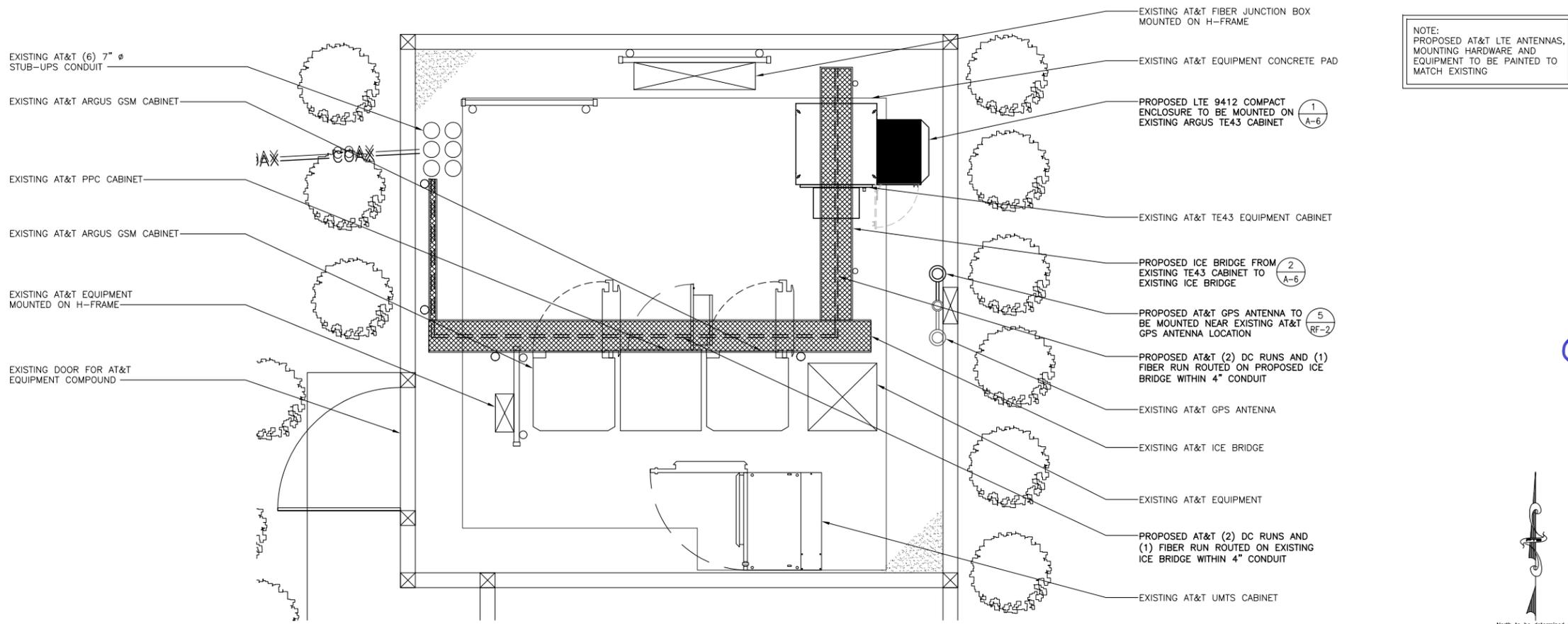
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SHEET TITLE
EXISTING ENLARGED ROOF PLAN

SHEET NUMBER
A-2

24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0"
8' 4' 0'

EXISTING ENLARGED ROOF PLAN | 1

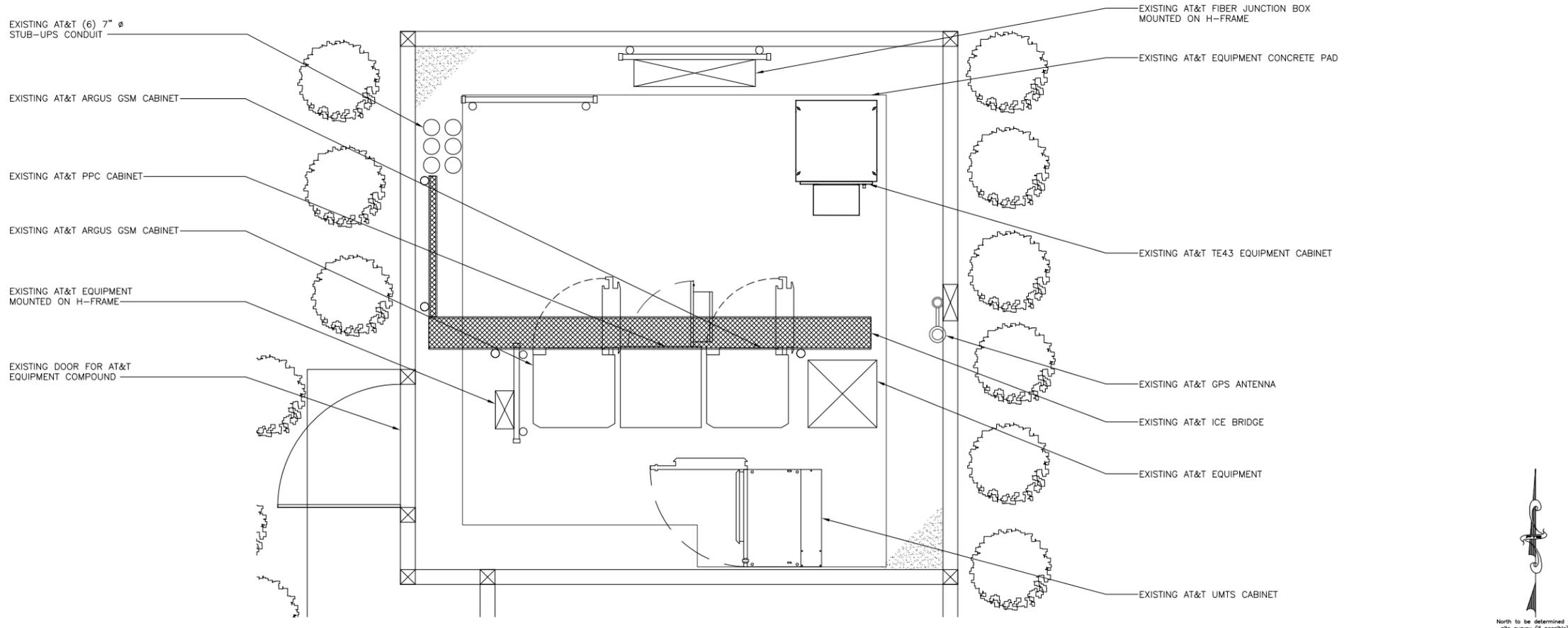


NOTE:
PROPOSED AT&T LTE ANTENNAS,
MOUNTING HARDWARE AND
EQUIPMENT TO BE PAINTED TO
MATCH EXISTING

North to be determined by
site survey (if possible).

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

PROPOSED EQUIPMENT PLAN 2



North to be determined by
site survey (if possible).

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

EXISTING EQUIPMENT PLAN 1

PACIFIC TELECOM SERVICES, LLC

8828 REGISTERED ARCHITECT

Richard B. Hall

RICHARD B. HALL
STATE OF WASHINGTON

EXPIRATION DATE OF THE LICENSE: 08/20/11

CROSS ROADS
SD62
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SHEET TITLE
EXISTING & PROPOSED EQUIPMENT PLAN

SHEET NUMBER
A-3



NOTE:
PROPOSED AT&T LTE ANTENNAS,
MOUNTING HARDWARE AND EQUIPMENT
TO BE PAINTED TO MATCH EXISTING

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"

PROPOSED SOUTH ELEVATION 2



24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"

EXISTING SOUTH ELEVATION 1

PACIFIC TELECOM SERVICES, LLC

8828 REGISTERED ARCHITECT
Richard B. Hall
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STATE OF WASHINGTON

EXPIRATION DATE OF THE LICENSE: 08/20/11

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SD62

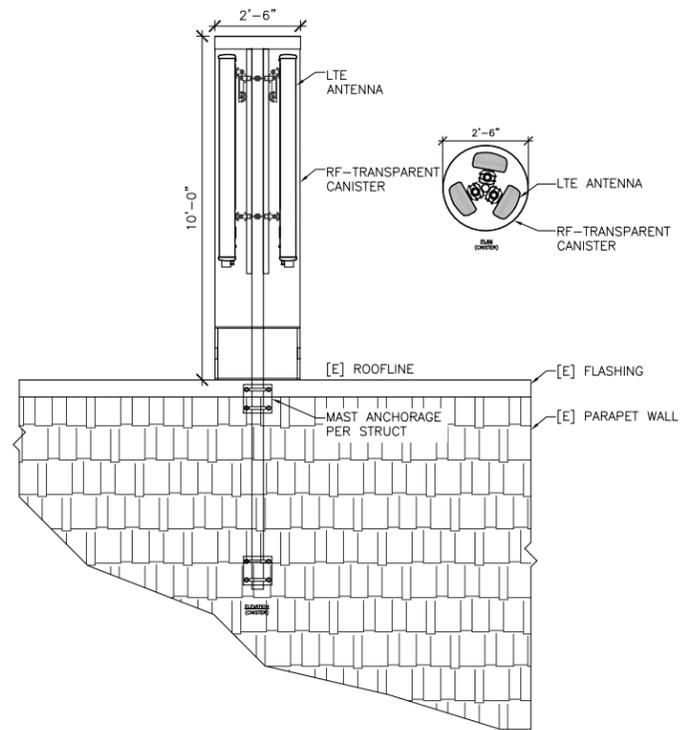
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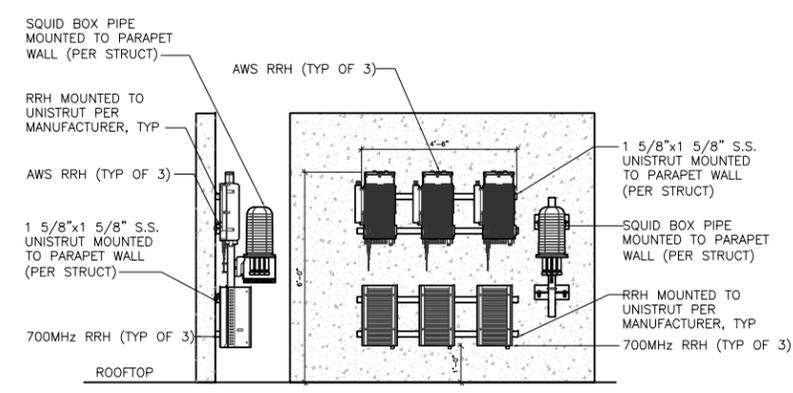
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SHEET TITLE
EXISTING & PROPOSED SOUTH ELEVATIONS

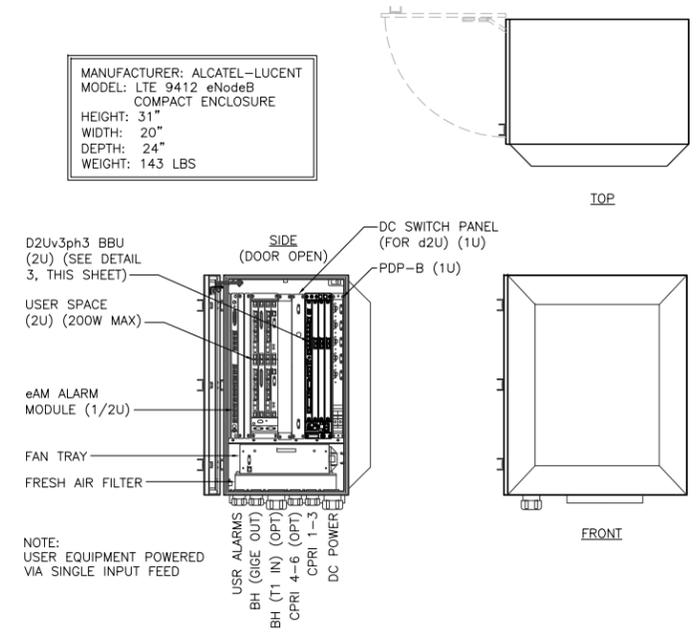
SHEET NUMBER
A-5



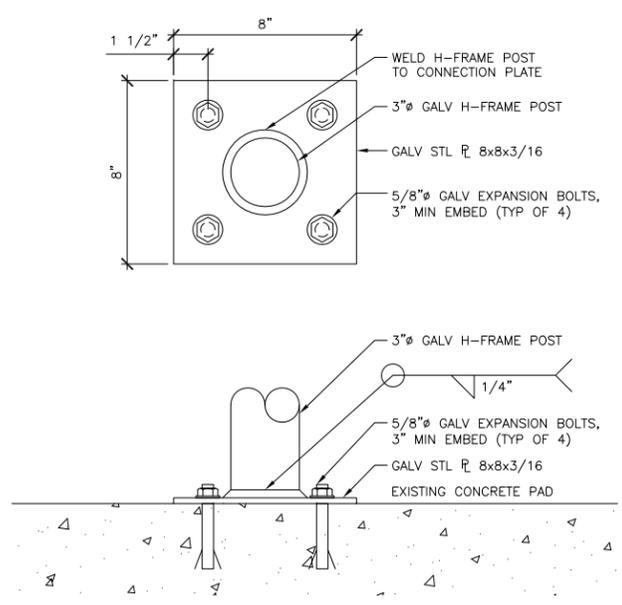
LTE ANTENNA MOUNT/CANISTER 5
 24"x36" SCALE: 3/8"=1'-0"
 11"x17" SCALE: 3/16"=1'-0"



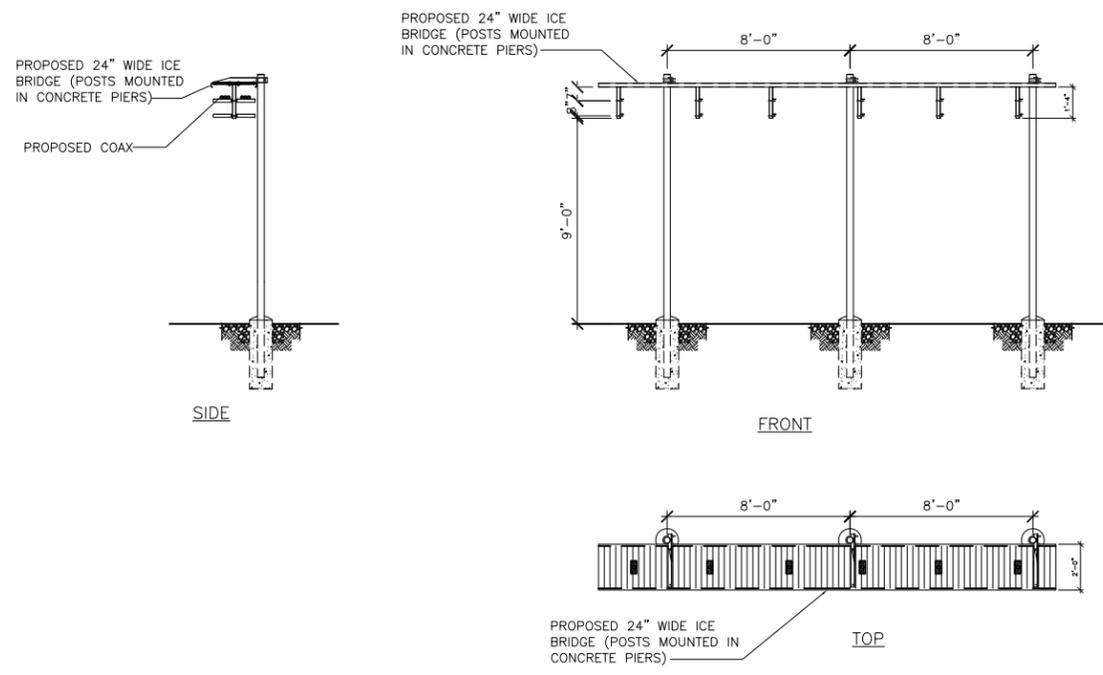
RRH MOUNTING 4
 24"x36" SCALE: 3/8"=1'-0"
 11"x17" SCALE: 3/16"=1'-0"



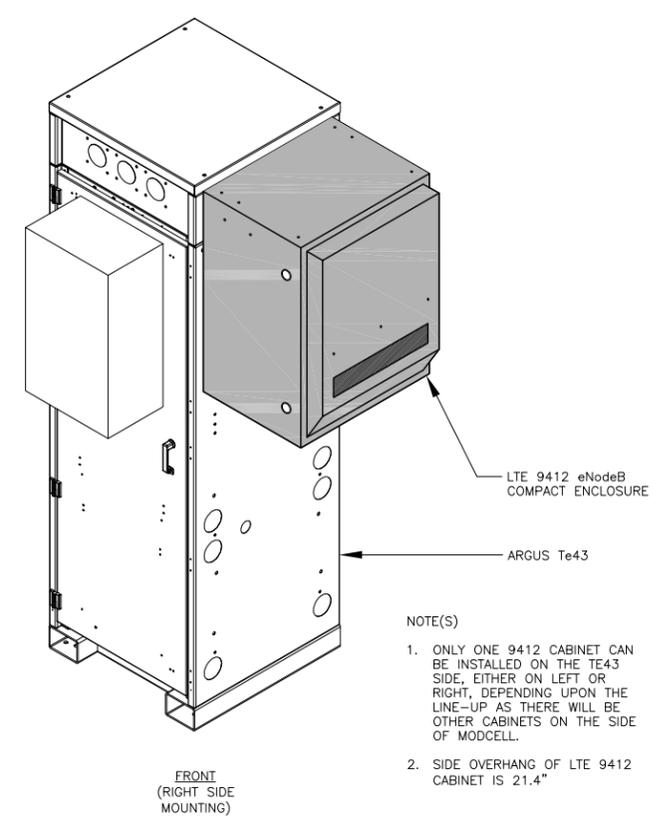
LTE 9412 eNodeB DETAIL 3
 24"x36" SCALE: 1"=1'-0"
 11"x17" SCALE: 1/2"=1'-0"



PIPE MOUNTING DETAIL 2
 24"x36" SCALE: 3"=1'-0"
 11"x17" SCALE: 1 1/2"=1'-0"



ICEBRIDGE DETAILS 2
 24"x36" SCALE: 1/4"=1'-0"
 11"x17" SCALE: 1/8"=1'-0"



LTE COMPACT ENCLOSURE MOUNTING 1
 24"x36" SCALE: NOT TO SCALE
 11"x17" SCALE: NOT TO SCALE

8828 REGISTERED ARCHITECT
Richard B. Hall
RICHARD B. HALL
 STATE OF WASHINGTON

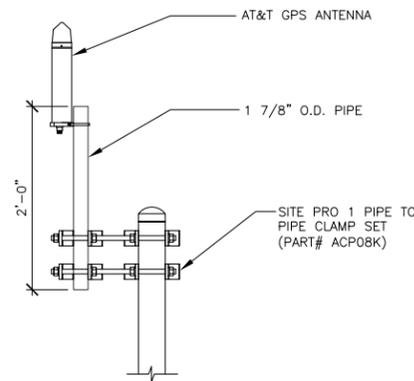
EXPIRATION DATE OF THE LICENSE: 08/20/11

CROSS ROADS
 SD62
 15928 NE 8TH ST.
 BELLEVUE, WA 98008

REVISIONS				
NO.	DATE	DESCRIPTION	INITIAL	
A	03/02/11	ISSUED FOR PCD REVIEW	WC	
0	05/10/11	ISSUED FOR FINAL CONSTRUCTION	NL	

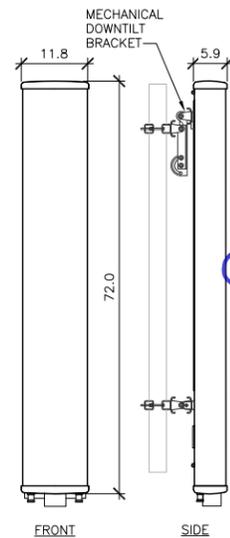
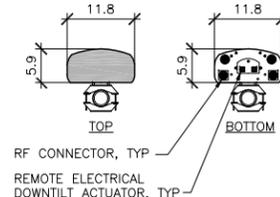
SHEET TITLE
 EQUIPMENT DETAILS

SHEET NUMBER
A-6



NOTES:
1. LOCATION OF ANTENNA MUST HAVE CLEAR VIEW OF SOUTHERN SKY AND CANNOT HAVE ANY BLOCKAGES EXCEEDING 25% OF THE SURFACE AREA OF A HEMISPHERE AROUND THE GPS ANTENNA.

MANUFACTURER: KMW COMMUNICATIONS
MODEL: AM-X-CD-16-65-00T-RET (72")
WEIGHT: 48.5 LBS
DIMENSIONS: 11.8" X 5.9" X 72.0"
FREQUENCY: REFER TO RF DATA SHEET

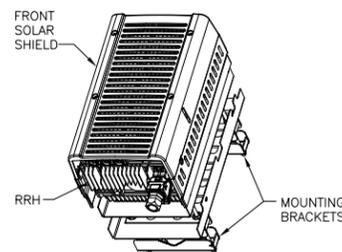
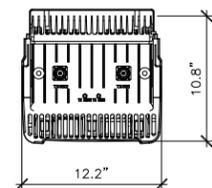


NOT USED
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE 6

GPS MOUNTING DETAIL
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE 5

KATHREIN ANTENNA SPECIFICATIONS
24"x36" SCALE: 3/4"=1'-0"
11"x17" SCALE: 3/8"=1'-0" 4

NOTE:
MOUNT RRH UNITS PER
MANUFACTURES SPECIFICATIONS

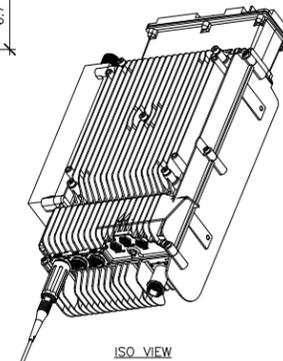
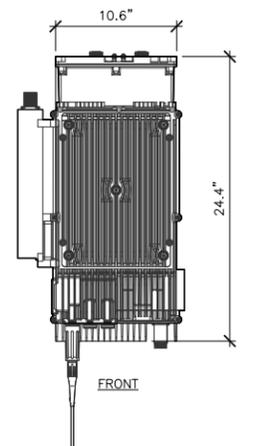
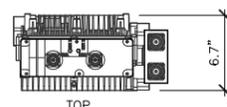


MANUFACTURER: ALCATEL-LUCENT
MODEL: 9442 RRH 700MHz_15.5 (Lower Band)
HEIGHT: 21"
WIDTH: 12.2"
DEPTH: 10.8"
WEIGHT: 51 LBS

RRH 700MHZ DETAIL 3

24"x36" SCALE: 1 1/2"=1'-0"
11"x17" SCALE: 3/4"=1'-0"

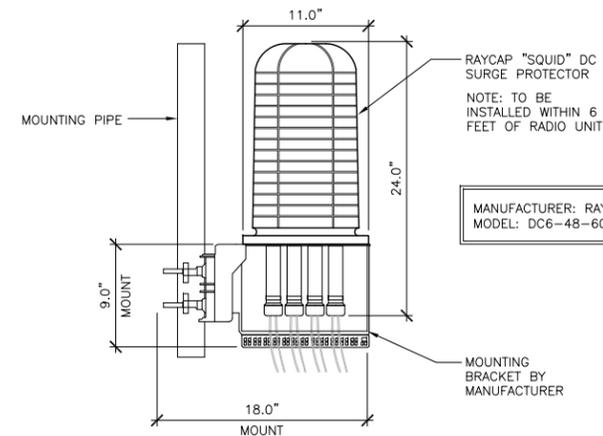
NOTE:
MOUNT RRH UNITS PER
MANUFACTURES SPECIFICATIONS



MANUFACTURER: ALCATEL-LUCENT
MODEL: 9442 RRH AWS
HEIGHT: 24.4"
WIDTH: 10.6"
DEPTH: 6.7"
WEIGHT: 43 LBS

RRH AWS DETAIL 2

24"x36" SCALE: 1 1/2"=1'-0"
11"x17" SCALE: 3/4"=1'-0"



MANUFACTURER: RAYCAP
MODEL: DC6-48-60-18-8F \"SQUID\"

RAYCAP SQUID DETAIL 1

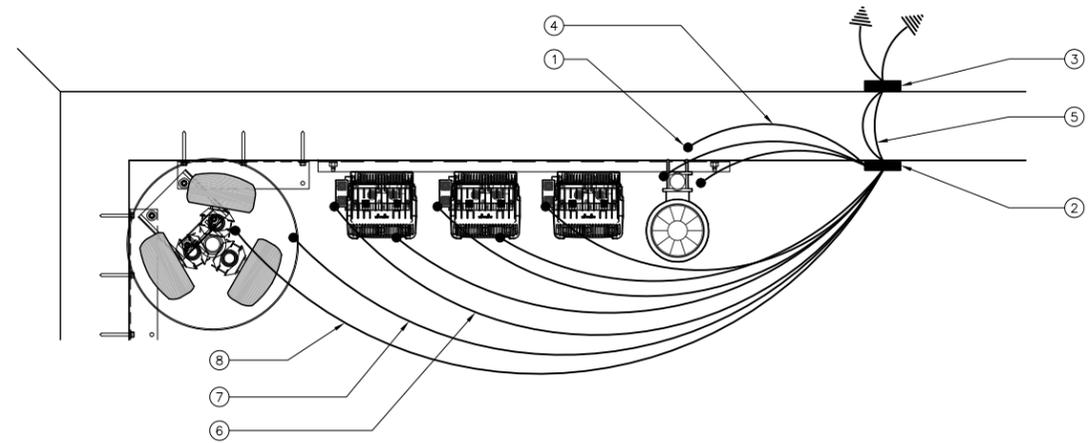
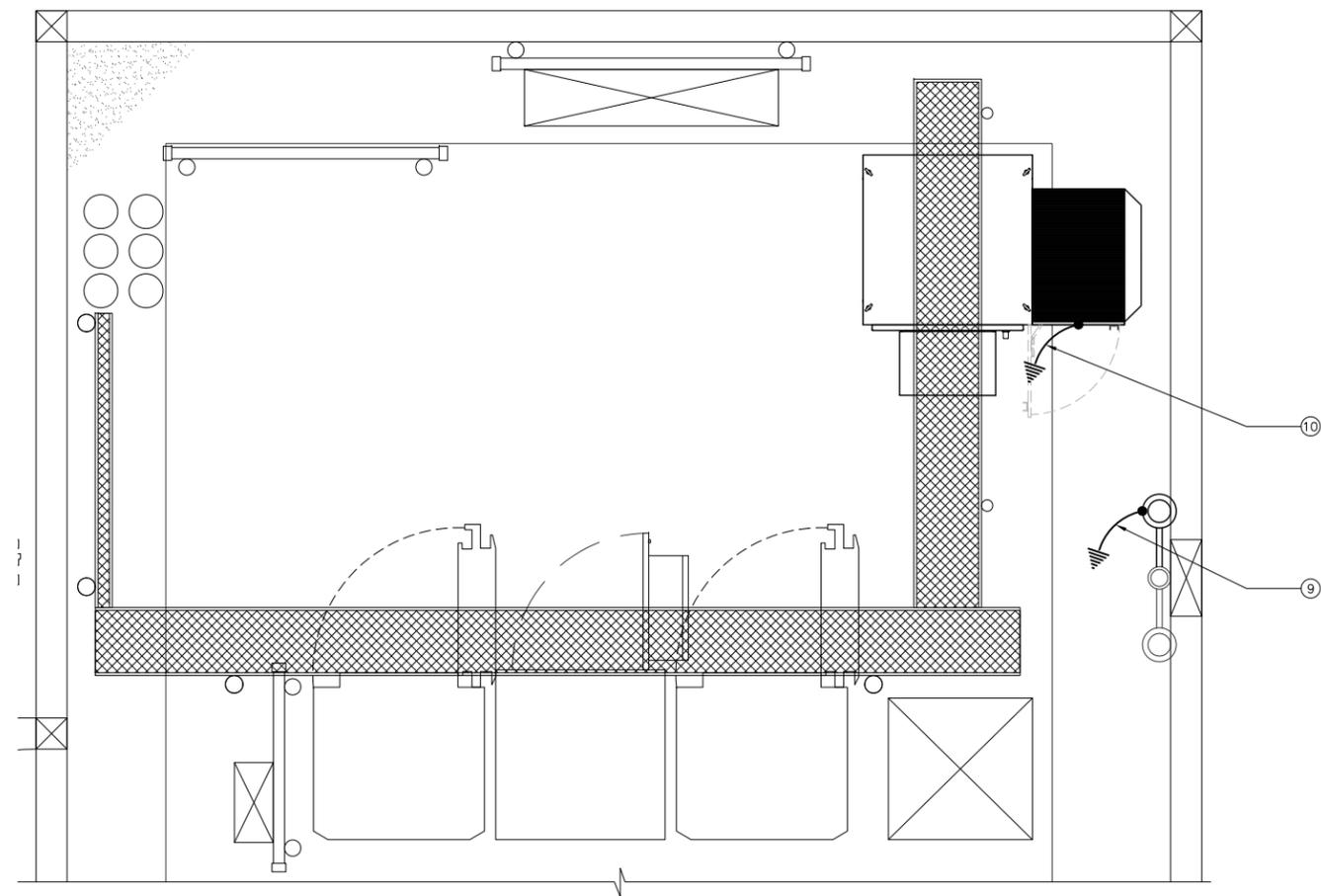
24"x36" SCALE: 1 1/2"=1'-0"
11"x17" SCALE: 3/4"=1'-0"

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
A	03/02/11	ISSUED FOR PCD REVIEW	WC
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LABELED AS CONSTRUCTION SET

SHEET TITLE
RF & EQUIPMENT DETAILS

SHEET NUMBER
RF-2



- GROUNDING KEYED NOTES:**
- ① CAD WELD (TYP). SEE DETAIL 2/E-2.
 - ② EXISTING ANTENNA GROUND BUS BAR NEAR AT TOP OF MONOPOLE WITH COAX GROUND KIT. SEE DETAIL 9/E-2 FOR GROUND BAR CONSTRUCTION, SEE DETAIL 7/E-2 FOR GROUND WIRE CONNECTIONS, AND SEE DETAIL 6/E-2 FOR COAX GROUNDING.
 - ③ EXISTING MONOPOLE GROUND BUS BAR AT BASE OF MONOPOLE. SEE DETAIL 9/E-2 FOR GROUND BAR CONSTRUCTION, SEE DETAIL 7/E-2 FOR GROUND WIRE CONNECTIONS, AND SEE DETAIL 6/E-2 FOR COAX GROUNDING.
 - ④ #6 AWG ANTENNA MOUNT GROUND TO ANTENNA GROUND BUS BAR (TYP OF 3) SEE DETAIL 5/E-2.
 - ⑤ EXISTING GROUND FROM ANTENNA GROUND BUS BAR TO MONOPOLE GROUND BUS BAR (TYP OF 2) PLACES). SEE DETAIL 7/E-2.
 - ⑥ #6 AWG AWS RRH UNIT GROUND TO ANTENNA GROUND BUS BAR (TYP OF 3) SEE DETAIL 5/E-2.
 - ⑦ #6 AWG 700 RRH UNIT GROUND TO ANTENNA GROUND BUS BAR (TYP OF 3) SEE DETAIL 5/E-2.
 - ⑧ #6 AWG RAYCAP SQUID GROUND TO ANTENNA GROUND BUS BAR (TYP OF 3) SEE DETAIL 5/E-2.
 - ⑨ #6 AWG GPS ANTENNA TO TIE INTO EXISTING GROUNDING SYSTEM
 - ⑩ #6 AWG LTE EQUIPMENT CABINET TO TIE INTO EXISTING GROUNDING SYSTEM

- ROOFTOP GROUNDING NOTES**
1. GC SHALL VERIFY (2) #2 AWG THHN GROUND LEADS FROM EACH OF SEVERAL REMOTE INDIVIDUAL BUSES TO BE COLLECTED AT ONE MAIN MGB AND FURTHER ROUTED TO BUILDING STEEL OR OTHER DESIGNATED BUILDING GROUNDING SYSTEM (FINAL DESIGNATED POINT OF GROUNDING TO BE COORDINATED WITH BUILDING OWNER).
 2. ALL ROOF TOP GROUND LEADS SHALL BE THERMOPLASTIC HIGH HEAT-RESISTANT NYLON-COATED (THHN).
 3. WHERE APPLICABLE, AT&T'S GC SHALL TIE INTO EXISTING BUILDING GROUNDING SYSTEM FOR NEW ELECTRICAL & TELCO PANEL(S) AT SAME LOCATION AS EXISTING ELECTRICAL & TELCO SERVICE.

- GROUNDING NOTES & LEGEND**
- GENERAL GROUNDING NOTES**
1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
 2. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING GROUND WIRES AND CONNECT TO SURFACE MOUNTED BUS BARS. FOLLOW ANTENNA AND BITS MANUFACTURERS PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS AND EXIT FROM TOWER OR POLE USING MFR'S PRACTICES.
 3. ALL GROUND CONNECTIONS SHALL BE CADWELD. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRE SHALL BE GREEN INSULATED WIRE ABOVE GROUND.
 4. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY AT&T WIRELESS, LLC. REPRESENTATIVE.
 5. REFER TO DIVISION 16 GENERAL ELECTRIC; GENERAL ELECTRICAL PROVISION AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
 6. ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY AUTHORIZED AT&T MOBILITY REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CADWELDS AND GROUND RING
 7. NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.

GROUNDING ROD NOTES
(WHERE APPLICABLE)

ELECTRICAL CONTRACTOR SHALL ORDER GROUND RESISTANCE TESTING ONCE THE GROUND SYSTEM HAS BEEN INSTALLED; A QUALIFIED INDIVIDUAL, UTILIZING THE FALL OF POTENTIAL METHOD, SHOULD PERFORM THE TEST. THE REPORT WILL SHOW THE LOCATION OF THE TEST AND CONTAIN NO LESS THAN 9 TEST POINTS ALONG THE TESTING LINE, GRAPHED OUT TO SHOW THE PLATEAU.

2 POINT GROUND TEST OR 3 POINT 62% TESTS WILL NOT BE ACCEPTED AS ALTERNATIVES TO THE AFORE MENTIONED GROUND TESTS. TEST SHALL BE PERFORMED WHILE THE COUNTERPOISE IS ISOLATED FROM THE A/C SYSTEM GRIDS AND EXISTING COMMUNICATIONS FACILITY.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊗	COPPER GROUND ROD	⊗	TEST WELL
●	CADWELD CONNECTION	—	GROUND BAR
■	SIDE SPLICE CADWELD	—	
⚡	FIELD VERIFY & TIE INTO EXISTING GROUNDING SYSTEM		



8828 REGISTERED ARCHITECT
Richard B. Hall
RICHARD B. HALL
 STATE OF WASHINGTON

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 BELLEVUE, WA 98008

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SHEET TITLE
 SCHEMATIC GROUNDING PLAN

SHEET NUMBER
E-1

24"x36" SCALE: 3/4" = 1'-0"
 11"x17" SCALE: 3/8" = 1'-0"
 1" = 6' 0"

SCHEMATIC GROUNDING PLAN 1

NOT USED 15
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

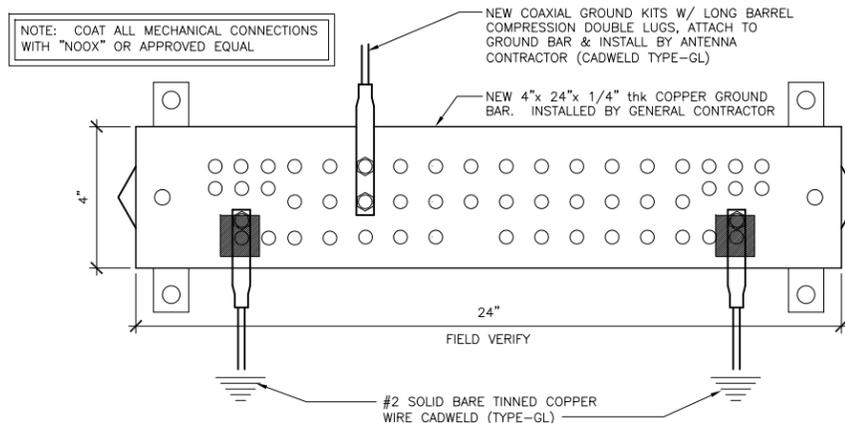
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NOT USED 13
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NOT USED 12
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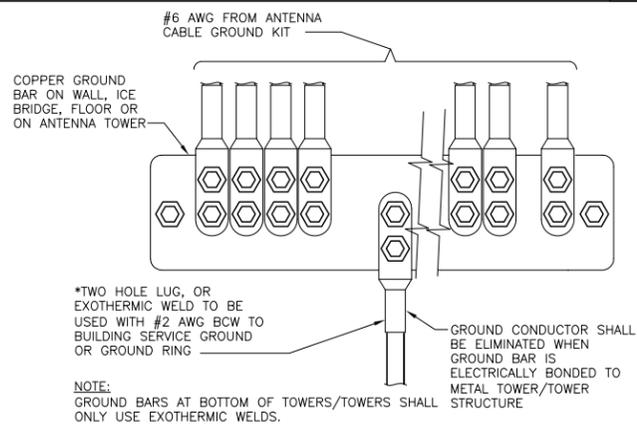
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NOT USED 10
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11"x17" SCALE: NOT TO SCALE

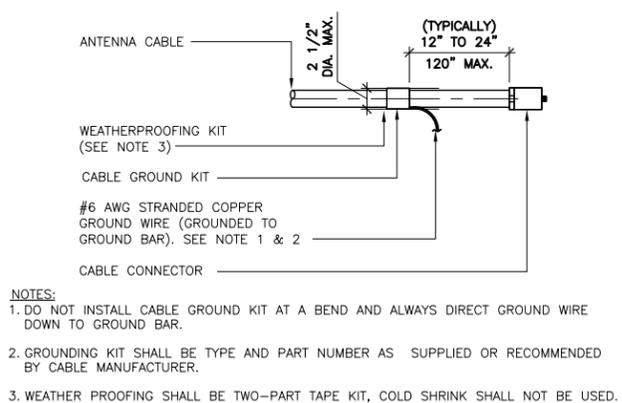


GROUND BAR 9
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

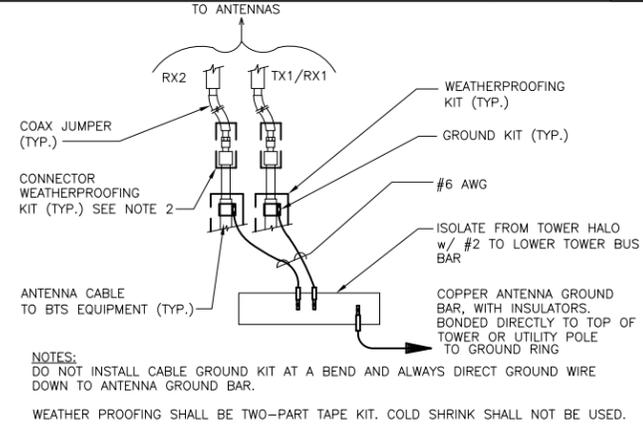
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11"x17" SCALE: NOT TO SCALE



GROUND WIRE INSTALLATION 7
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11"x17" SCALE: NOT TO SCALE



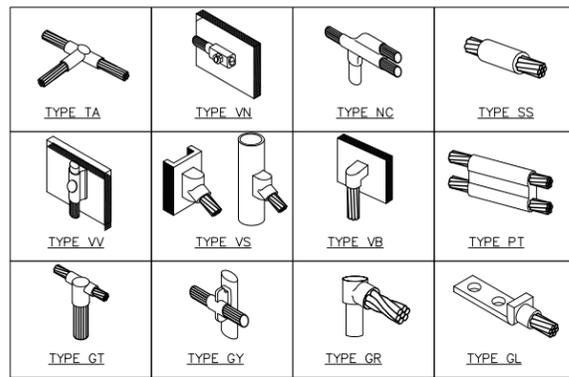
CABLE GROUND KIT CONNECTION 6
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE



GROUND CABLE CONNECTION 5
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED 4
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED 3
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE



CADWELD GROUNDING CONNECTIONS 2
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED 1
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

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SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
E-2