



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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Proposal Name: **Bellevue Pilates Plus, LC**

Proposal Address: 10410 NE 2<sup>nd</sup> Street

Proposal Description: Proposal to locate a pilates studio within the Avalon Meydenbauer development in the DNTN-02 Land Use District.

File Number: **11-105500-LA**

Planner: Antoinette Pratt, Senior Planner

Applicant: Keith Smith

Decisions Included: Administrative Conditional Use

State Environmental Policy Act  
Threshold Determination: Exempt

Director's Decision: **Approval with Conditions**  
Mike Brennan, Director  
Department of Developmental Services

By: Carol V. Helland  
Carol V. Helland, Land Use Director

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Application Date: February 24, 2011  
Public Notice (500 feet): March 17, 2011  
Minimum Comment Period: March 31, 2011  
Bulletin Publication Date: **May 19, 2011**  
Appeal Deadline: **June 2, 2011**

For information on how to appeal a proposal, visit Development Services at City Hall or call (425) 452-4570. Appeal of the Decision must be made by 5 p.m. on the date noted for appeal of the decision.

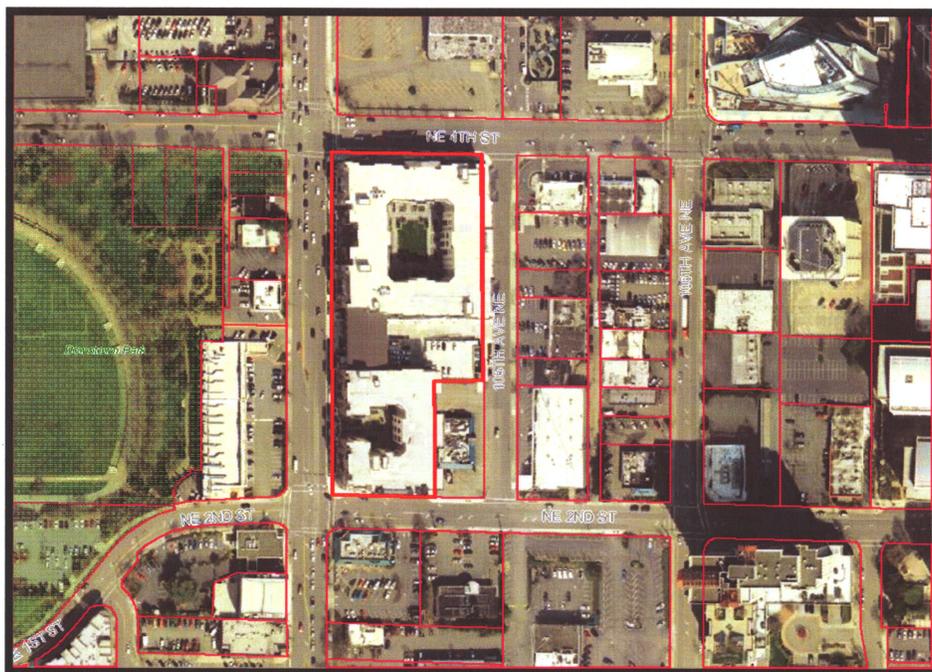
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**I. Request/Proposal Description**

The applicant, Keith Smith, requests approval of an Administrative Conditional Use Permit (ACU) to locate a pilates studio at 10410 NE 2<sup>nd</sup> Street in the Avalon Meydenbauer mixed-use development.

The site is located in the Downtown-Office District 2 (DNTN-02) zoning district which permits recreation instruction subject to an ACU Permit (see Section VI below for discussion).

**II. Site Context and Description**



Bellevue Pilates Plus is proposing to locate near the corner of NE 4<sup>th</sup> and Bellevue Way. The site is surrounded by restaurant and retail businesses. This site contains two mixed-use residential, multi-tenanted buildings called Avalon Meydenbauer constructed in 2007. The buildings are located on a parcel containing two different land use district zoning designations: DNTN-02 on the north half and Downtown-Multiple Use (DNTN-MU) towards the south.

The DNTN-02 portion of the Avalon Meydenbauer site requires 418 linear feet of pedestrian oriented frontage (POF) per Design Review decision (00-262448-LD). There is 514 linear feet of Avalon Meydenbauer street frontage to be occupied by businesses within this zone. This leaves a balance of 96 square feet available for non-POF uses.

Recently, the United Studios of Self- Defense took 42 square feet of the available 96 square feet of non-POF for a karate studio (10-121287 LA). This left a balance of 54 feet for future uses. Bellevue Pilates Plus is proposing approximately 48 feet of non-pedestrian oriented frontage. This will leave 6 linear

feet of non-pedestrian frontage. Additionally, the applicant shall not block views into the studio from pedestrians walking along Bellevue Way NE. See Section VII for a related condition of approval.

**III. Public Comment and City Department Response**

To date, no written correspondence has been received on this proposal.

**IV. State Environmental Policy Act (SEPA)**

This project is exempt from SEPA pursuant to WAC 197-11-800(6).

**V. Administrative Conditional Use  
Decision Criteria / Findings and Conclusions (LUC 20.30E.140)**

**A. The administrative conditional use is consistent with the Comprehensive Plan.**

This proposal is located within the Downtown Subarea Plan in the in the City Center South District. The Comprehensive Plan designation for this site is Downtown, which is consistent with the zoning classification of DNTN-02.

*Policy S-DT-1: Emphasis shall be placed on Downtown livability, with provisions made for the needs, activities, and interests of Downtown residents, employees, shoppers and visitors*

Finding: A pilates studio within a mixed-used development in the Downtown will provide a local opportunity for residents, visitors, and employees to participate in an exercise that is growing in popularity.

*Policy S-DT-2: Encourage a variety of land uses to occur in mixed-use buildings or complexes where appropriate.*

Finding: A pilates studio will add diversity in an area of the Downtown that currently does not offer this particular activity.

**B. The design is compatible with and responds to the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**

Finding: The business will be located within the Avalon Meydenbauer mixed-use development. There will be no exterior changes as a result of the tenant opening this business at this location except signage which will be reviewed for compliance with design criteria under the applicable sign permit application. See Section VII for related conditions of approval.

**C. The administrative conditional use will be served by adequate public facilities including streets, fire protection, and utilities.**

Finding: The site is served by adequate public facilities including fire protection and utilities.

**D. The administrative conditional use will not be materially detrimental to uses or property in the immediate vicinity of the subject property.**

Finding: As conditioned, the facility will not be materially detrimental to adjacent businesses in this complex.

**E. The administrative conditional use complies with the applicable requirements of this Code.**

Finding: Recreational Instruction facilities are permitted to be located within the DNTN-02 land use district as an Administrative Conditional Use. As conditioned the proposal meets the requirements of the Land Use Code.

**VII. Director's Decision and Conditions of Approval**

After conducting the various administrative reviews associated with this proposal, including applicable land use consistence, City Code, and standard compliance reviews, the Development Services Director hereby grants **APPROVAL** of the proposal, subject to the following conditions.

**1. Building/Sidewalk Relationships:** The applicant shall not block views into the studio from pedestrians walking along Bellevue Way NE.

Authority: Design Guidelines—Building/Sidewalk Relationships, Type C Rights-of-Way  
Reviewer: Antoinette Pratt, (425) 452-5374

**2. Tenant Improvements:** If changes are made to the internal structure of this facility, a tenant improvement permit shall be obtained.

Authority: Land Use Code 20.40.425  
Reviewer: Antoinette Pratt, (425) 452-5374

**3. Sign Permit:** All signage shall be submitted to the Permit Center for review and approval as an application for a Sign Permit with Land Use Exemption from Design Review.

Authority: Bellevue City Code 22B.025 and Land Use Code 20.25A.110  
Reviewer: Antoinette Pratt, (425) 452-5374

**Attachments**

Site plans and drawings

**- TENANT IMPROVEMENT -**  
**310 Bellevue Way NE, Suite F, Bellevue WA- 98004**

**BELLEVUE PILATES PLUS**  
**AVALON MEYDENBAUER**  
**310 Bellevue Way NE**  
**SUITE F**  
**BELLEVUE, WASHINGTON 98004**

PROJECT GENERAL NOTES	PROJECT DATA	PROJECT DIRECTORY	LANDLORD NOTES	DRAWING INDEX
<ol style="list-style-type: none"> <li>SEE APPROPRIATE DRAWINGS FOR GENERAL NOTES OF OTHER DISCIPLINES: STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING.</li> <li>DO NOT SCALE DRAWINGS- USE DIMENSIONS ONLY.</li> <li>DIMENSIONS WHERE SHOWN ARE NORMALLY GIVEN:                     <ol style="list-style-type: none"> <li>TO COLUMN CENTER LINE</li> <li>TO FINISH FACE OF CMU OR GWB.</li> </ol> </li> <li>DIMENSIONS SHOWN ON LARGER SCALE DRAWINGS GOVERN. FIELD VERIFY ALL EXISTING CONDITIONS. REVIEW EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK. NOTIFY ARCHITECT OF UNEXPECTED CONDITIONS.</li> <li>ALL NUMERICAL ELEVATIONS ARE TO TOP OF CONCRETE SLAB, UNLESS NOTED OTHERWISE.</li> <li>"ALIGN" AS INDICATED ON THE DRAWING SHALL BE UNDERSTOOD TO MEAN TO ALIGN THE FINISH MATERIAL OF THE WALLS OR COLUMNS INDICATED.</li> <li>ALL INTERIOR GYPSUM WALL BOARD IS 5/8" TYPE X GWB ON METAL STUDS OR FURRING CHANNELS UNLESS NOTED OTHERWISE. SIZES AS DIMENSIONED ON PLANS. SEE NOTE FOR LOCATION OF WATER RESISTANT GWB.</li> <li>PROVIDE WATER RESISTANT TYPE X GWB IN ALL TOILET ROOMS, WAREWASH AND WET AREAS.</li> <li>ALL FINISH CEILING HEIGHTS SHALL BE CONFIRMED UNLESS NOTED OTHERWISE ON THE ROOM FINISH SCHEDULE.</li> <li>PROVIDE FINISH WALL BEHIND ALL EQUIPMENT AND CASEWORK.</li> <li>PROVIDE ALL ACCESSIBLE SIGNAGE AS REQUIRED BY LOCAL OR APPLICABLE JURISDICTION.</li> <li>PROVIDE ONE TYPE SE-2A-10BC FIRE EXTINGUISHER PER 3,000 SF AND NOT MORE THAN 75 FT OF TRAVEL DISTANCE.</li> <li>THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE, OR OTHER OUTLETS. SEPARATE OUTLETS BY 6" AT NONRATED PARTITIONS. SEPARATE OUTLETS BY 24" MIN. AT FIRE RATED PARTITIONS.</li> <li>WHERE HVAC OR OTHER MECHANICAL ELECTRICAL AND PLUMBING ITEMS PENETRATE PARTITIONS, STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORT. ALL PENETRATIONS THROUGH RATED WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE AND/OR ACOUSTICAL ISOLATION OF SPACES WITH APPROPRIATE FIRE STOP MATERIAL.</li> <li>ALL CHANGES IN PROJECT SCOPE DUE TO CONTRACTOR GENERATED ALTERNATES OR EXISTING FIELD CONDITIONS SHALL BE TRANSMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.</li> <li>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING AND INSTALLING OF OWNER FURNISHED ITEMS LISTED, UNO.</li> <li>PROVIDE EXIT ILLUMINATION PER LOCAL CODES.</li> <li>MODIFY THE FIRE PROTECTION SYSTEM TO ACCOMMODATE THE CONFIGURATION INDICATED ON THE PLANS. COMPLY WITH ALL GOVERNING ORDINANCES AND LANDLORD CRITERIA. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.</li> <li>SPRINKLER HEADS MOUNTED IN HARD (GWB) CEILINGS TO BE FULLY RECESSED WITH WHITE CAPS.</li> <li>INSTALL ALL COMPONENTS OF FIRE RATED ASSEMBLIES PER RATING CRITERIA.</li> <li>INSTALL FIRE ALARM SYSTEMS TO COMPLY WITH LANDLORD CRITERIA AND LOCAL CODES AS REQUIRED.</li> <li>FIRE SPRINKLER SYSTEM WORK AND FIRE ALARM SYSTEM WORK IS TO BE SUBMITTED UNDER SEPARATE PERMITS.</li> <li>PROVIDE FINISH FLOOR UNDER ALL EQUIPMENT AND CASEWORK.</li> </ol>	<p>ADDRESS: 310 Bellevue Way NE, Suite F, Bellevue WA- 98004            CONSTRUCTION TYPE: EXISTING/ NEW CONSTRUCTION TYPE: TYPE I-B SPRINKLERED</p> <p>OCCUPANCY GROUP: PRIMARY OCCUPANCY: B- INSTRUCTION SERVICE OF PILATES STUDIO            APPLICABLE CODES: 2009 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL MECHANICAL CODES 2009 UNIFORM PLUMBING CODES 2008 NATIONAL ELECTRIC CODE CHAPTER 11 IBC AND OTHER INTERNATIONAL BUILDING CODE REQUIREMENTS FOR BARRIER-FREE DESIGN INCLUDING ICC/ANSI A117.1 - 2003 2009 WASHINGTON ENERGY CODE 2009 NATIONAL FIRE CODE WITH WASHINGTON STATE AMENDMENTS ALL LOCAL ORDINANCES HAVING JURISDICTION</p> <p>NUMBER OF EMPLOYEES: NA</p> <p>OCCUPANCY: B - INSTRUCTIONAL SERVICES</p> <p>SQ. FOOTAGE: 1,170 SQ. FT.            CUSTOMER: 1,315 SF/50 = 22            TOILET/CHANGING: 65 SF/200 = 1            STORAGE: 35 SF/300 = 1            OCCUPANT LOAD: = 24</p> <p>PROPOSE USE: INSTRUCTIONAL/EXERCISE AND RELATED SERVICES</p>	<p>ARCHITECT: smith co. LLC            1725 westlake avenue n.            suite 210            Seattle, WA 98109            t: 206.383.54850            f: 206.464.0700            PROJECT MANAGER: Keith Smith</p> <p>TENANT: Bellevue Pilates Plus, LLC            18004 51st Avenue South            Mukilteo, WA 98275            (206) 200-0666 M            mortonserra@frontier.com</p>	<ol style="list-style-type: none"> <li>ILLUMINATED SIGNAGE SHOULD BE CONTROLLED BY TIME CLOCK. LIGHT LEAKS FROM CASEWORK NOT PERMITTED. LANDLORD MUST APPROVE, IN WRITING, ALL PROPOSED SIGNAGE PRIOR TO INSTALLATION.</li> <li>ALL CABLING AND WIRES TO BE CONCEALED. AUDIO WILL NOT BE PERMITTED.</li> <li>SNEEZE GUARDS TO BE BUTT JOINTED, FRAMELESS. NO VERTICAL SUPPORTS WITH SQUARE EDGE DETAIL UV BONDING</li> <li>ALL LIGHTING REQUIREMENT TO BE INSTALLED WITHIN FLOATING RETAIL. LIGHTING TO BE SURFACE MOUNTED TO COUNTER DURING FABRICATION.</li> <li>TENANT MUST INSTALL LANDLORD APPROVED LATEX-RUBBER WATERPROOFING MATERIAL UNDER THE FLOOR FINISH. THE MEMBRANE MUST LAP UP PERIMETER WALLS UNDERNEATH THE COVED BASE TO MIN. HT. OF 12" AFF. AND UNDER THE COVED BASE OF THE DISPLAY CABINETS INSIDE OF THE RETAIL SPACE.</li> <li>ALL MECHANICAL &amp; PLUMBING SYSTEMS AND EQUIPMENT SHALL BE INSTALLED, BRACED AND INSULATED IN ACCORDANCE WITH ALL LOCAL CODE REQUIREMENTS. TENANT SHALL MAKE ALL CONNECTIONS TO THE UTILITY SERVICES PROVIDED.</li> <li>FOR FOOD COURT TENANTS, THE DOMESTIC WATER SERVICE SHALL BE 2". TENANTS WITH HIGH WATER USAGE SHALL PROVIDE AND INSTALL A DOMESTIC WATER SUB-METER. TENANTS SHALL PROVIDE AND INSTALL A REDUCED PRESSURE BACKFLOW PREVENTER ON THEIR WATER SERVICE. WATER PIPING SHALL BE TYPE "L" HARD COPPER TUBE ABOVE GRADE AND TYPE "K" SOFT COPPER TUBE BELOW GRADE. WATER HEATERS SHALL BE ELECTRIC.</li> <li>FOR FOOD RELATED TENANTS, GAS SERVICE IS AVAILABLE. TENANTS ARE REQUIRED TO INSTALL AN EARTHQUAKE VALVE.</li> <li>TENANT SHALL DESIGN AND INSTALL AN ELECTRICAL TELEPHONE BASED ON THE FOLLOWING: A 277 / 488 VOLT , THREE-PHASE, FOUR WIRE, 60 CYCLE SYSTEM. CONDUIT PROVISIONS FOR FLOATING FOOD KIOSKS: 200A (208Y / 120V) - (2) 3" CONDUIT. ELECTRICAL SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH LANDLORDS CRITERIA AS OUTLINED IN THE DESIGN MANUAL.</li> <li>TENANTS CONTRACTOR SHALL PROVIDE A FIRE WATCH AND PORTABLE FIRE EXTINGUISHER.</li> </ol>	<p>ARCHITECTURAL</p> <p>T-1 GENERAL INFORMATION            T-2 SITE PLAN</p> <p>A-1 CONSTRUCTION PLAN            A-2 FLOOR FINISH PLAN            A-3 REFLECTED CEILING PLAN            A-4 INTERIOR ELEVATIONS            A-5 TOILET ELEVATIONS/DETAILS</p>
	<p><b>SEPARATE SUBMITTALS</b></p> <p>FIRE ALARM AND SIGNAGE UNDER SEPARATE SUBMITTAL.</p>	<p><b>PROJECT MAP</b></p> <p>PROJECT LOCATION</p> <p>SCALE: N.T.S.</p>	<p><b>LANDLORD NOTES</b></p> <p>VICINITY MAP</p> <p>SCALE: N.T.S.</p>	<p><b>DRAWING INDEX</b></p>
	<p><b>SCOPE OF WORK</b></p> <p>BUILDING: THE WORK INCLUDES, BUT NOT LIMITED TO TENANT IMPROVEMENTS FOR A RETAIL RETAIL SALES OF MARTIAL ARTS SUPPLIES AND RELATED SERVICES, WORK INCLUDES NON-STRUCTURAL WALLS, FINISHES.</p> <p>THE WORK ALSO INCLUDES, BUT NOT LIMITED TO, HVAC SYSTEMS, ENERGY MANAGEMENT SYSTEMS UNDER SEPARATE PERMIT</p> <p>ON SITE: NO WORK</p>			

**smith co.**

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Consultant

Consultant Registration Architect Registration

6294 REGISTERED ARCHITECT  
 KEITH L. SMITH  
 STATE OF WASHINGTON

Issues and Revisions

No.	Date	Issues	By	Check
1	04.05.11	PERMIT		KLS

Key Map

FOR ADDITIONAL ABBREVIATIONS SEE OTHER DESIGN DISCIPLINES

**ARCHITECTURAL ABBREVIATIONS**

ACOUS. ACOUSTICAL	ELEV. ELEVATION	L. LONG LENGTH	PR. PROJ.	PAIR. PAIR	T.O.S. TOP OF STEEL
ADJ. ADJUSTABLE	ELEC. ELECTRICAL	LAM. LAMINATE	PRJ. PROJECT	PRV. PRESSURE REDUCING VALVE	T.O.W. TOP OF WALL
A.F.F. ABOVE FINISHED FLOOR (SLAB)	ENCL. ENCLOSURE	LF. LINEAR FOOT, LINEAL FOOT	P.T. P.T.	P.T. PRESSURE TREATED	TAB. TOP AND BOTTOM
ALUM. ALUMINUM	EQ. EQUAL	LQ. LIQUID	Q.T. QUARTY TILE	Q.T. QUARTY TILE	TEL. TEMPERED GLASS
AND. ANODIZED	EXH. EXHAUST	L.P. LOW POINT	Q.T.R. QUARTER	R. RADIUS	TYP. TYPICAL
APPROX. APPROXIMATE	EXIST. EXISTING	LT.WT. LIGHT WEIGHT	R. RADIUS	R.C. REFRIGERATION CONTRACTOR	UTL. UTILITY
B.D. BOARD	EXP. EXPANSION	M.S. MAXIMUM	R.C. REFRIGERATION CONTRACTOR	R.C.P. REFLECTED CEILING PLAN	U.N.O. UNIFORM BUILDING CODE
B.F.F. BELOW FINISHED FLOOR (SLAB)	EXT. EXTERIOR	M.B.S. METAL BUILDING SUPPLIER	R.D. ROOF DRAIN	R.D. ROOF DRAIN	V.C.T. VINYL COMPOSITION TILE
BLDG. BUILDING	F.D. FLOOR DRAIN	M.C.H. MECHANICAL	R.L. ROOF LEADER	RECD. RECEIVED	V.F. VERTICAL
BLK. BLOCK	F.N. FOUNDATION	M.F. MECHANICAL MANUFACTURING	RECD. RECEIVED	REFRIG. REFRIGERATION	V.F. VERTICAL
BLK'G. BLOCKING	FF. FACTORY FINISH	MFR. MANUFACTURER	REFRIG. REFRIGERATION	REINFORC. REINFORCING	W. WITHOUT
BM. BEAM	FHS. FLAT HEAD SCREW	M.H. MANHOLE	REINFORC. REINFORCING	R.O. ROUGH OPENING	WD. WOOD
BTM. BOTTOM	FL. FLOOR	M.I. MISCELLANEOUS	SCHED. SCHEDULE	R.O. ROUGH OPENING	WD.W. WINDOW
BTWN. BETWEEN	F.I.O. FURNISHED AND INSTALLED BY OWNER	M.O. MASONRY OPENING	SCHED. SCHEDULE	SCHED. SCHEDULE	WHS. WELDED HEAD STUD
CB. CATCH BASIN	FIN. FINISH	M.R. MOISTURE RESISTANT	SHT. SHEET	SHT. SHEET	W.P. WATERPROOF
C.G. CORNER GUARD	FIN. FINISH	M.U. MULLION	SHT. SHEET	SHT. SHEET	W.R. WATER RESISTANT
C.I. CAST IRON	F.R.P.P. PANEL(S)	M.T. MOUNTED	SIM. SIMILAR	SIM. SIMILAR	WT. WEIGHT
C.I.P. CAST IN PLACE	F.R.P.P. PANEL(S)	M.TG. MOUNTING	S.I.O. SUPPLIED AND INSTALLED BY VENDOR	S.I.O. SUPPLIED AND INSTALLED BY VENDOR	W.W.F. WELDED WIRE FABRIC
C.L. CENTER LINE	FR. FIRE RETARDANT TREATED	M.TL. METAL	S.I.V. SUPPLIED AND INSTALLED BY CONTRACTOR	S.I.V. SUPPLIED AND INSTALLED BY CONTRACTOR	Y.D. YARD DRAIN
CLR. CLEAR	FTG. FOOTING	M.TS. MOUNTING	S.O.I.C. SUPPLIED BY OWNER INSTALLED BY CONTRACTOR	S.O.I.C. SUPPLIED BY OWNER INSTALLED BY CONTRACTOR	
CLG. CEILING	GA. GAUGE	M.TL. METAL	S.Q. SQUARE	S.Q. SQUARE	
CMU. CONCRETE MASONRY UNIT	GALV. GALVANIZED	N.I.C. NOT IN CONTRACT	S.S. SERVICE SINK, SANITARY SEWER	S.S. SERVICE SINK, SANITARY SEWER	
COL. COLUMN	G.C. GENERAL CONTRACTOR	N.I.C. NOT TO SCALE	S.S.T. STAINLESS STEEL	S.S.T. STAINLESS STEEL	
CONC. CONCRETE	GWB. GYPSUM WALLBOARD, GYPSUM BOARD	N.A. NOT TO SCALE	STD. STANDARD	STD. STANDARD	
CONT. CONTINUOUS	H.B. HOSE BIBB	N.C. NOT TO SCALE	STD. STANDARD	STD. STANDARD	
CONSTR. CONSTRUCTION	H.C. HANDICAPPED	N.O.C. ON CENTER	STL. STEEL	STL. STEEL	
CONTR. CONTRACTOR	H.M. HOLLOW METAL	N.O.C. ON CENTER	STRUCT. STRUCTURE, STRUCTURAL	STRUCT. STRUCTURE, STRUCTURAL	
C.T. CERAMIC TILE	H.O. HORIZONTAL	N.O.C. ON CENTER	SUSP. SUSPENDED	SUSP. SUSPENDED	
DBL. DOUBLE	H.P. HIGH POINT	N.O.C. ON CENTER	SYS. SYSTEM	SYS. SYSTEM	
DM. DIMENSION	H.T. HEIGHT	N.O.C. ON CENTER	T. TREAD, TOP	T. TREAD, TOP	
DTL. DETAIL	HTR. HEATER	N.O.C. ON CENTER	T.O.J. TOP OF JOIST	T.O.J. TOP OF JOIST	
D.F. DRINKING FOUNTAIN	HVAC. HEATING, VENTILATION, AND AIR CONDITIONING	N.O.C. ON CENTER	T.O.M. TOP OF MASONRY	T.O.M. TOP OF MASONRY	
D.S. DOWNSPOUT	IBC. INTERNATIONAL BUILDING CODE	N.O.C. ON CENTER	T.O.P. TOP OF PARAPET	T.O.P. TOP OF PARAPET	
DWG. DRAWING	INSUL. INSULATION	N.O.C. ON CENTER			
E.A. EACH	INT. INTERIOR	N.O.C. ON CENTER			
E.F.S. EXTERIOR FINISH SYSTEM	INT. INTERIOR	N.O.C. ON CENTER			
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	JT./JTS. JOINT, JOINTS	N.O.C. ON CENTER			

**ARCHITECTURAL SYMBOLS**

<p><b>SYMBOLS</b></p> <p>DETAIL - DETAIL IDENTIFICATION            CUT LINE - DEFINES THE DETAILED ELEMENT</p> <p>3 - SHEET WHERE DRAWN</p> <p>WALL SECTION - DETAIL IDENTIFICATION            CUT LINE - DEFINES THE DETAILED ELEMENT</p> <p>2 - SHEET WHERE DRAWN</p> <p>BUILDING SECTION - DETAIL IDENTIFICATION</p> <p>6 - SHEET WHERE DRAWN</p> <p>EXTERIOR ELEVATION - DETAIL IDENTIFICATION</p> <p>8 - SHEET WHERE DRAWN</p> <p>INTERIOR ELEVATION - DETAIL IDENTIFICATION</p> <p>5 - SHEET WHERE DRAWN</p>	<p><b>NORTH ARROW</b></p> <p>PROJECT NORTH ARROW</p> <p>TRUE NORTH INDICATOR</p> <p>DOOR MARK - DOOR CODE - REFER TO SCHEDULE</p> <p>WINDOW, RELITE OR LOUVER MARK - WINDOW NUMBER - REFER TO SCHEDULE</p> <p>EQUIPMENT MARK - EQUIPMENT NUMBER - REFER TO SCHEDULE</p> <p>ROOM MARK - ROOM - ROOM NAME            100 - ROOM NUMBER</p> <p>2 - COLUMN GRIDS</p> <p>WALL TYPE MARK - WALL TYPE            NOTE</p>	<p>REVISION CLOUD AND DELTA</p> <p>50'-0" A.F.F. - WORK CONTROL OR DATUM POINT</p> <p>SLOPE DIRECTION WITH DATUM MARK</p> <p>SLOPE DOWN 1/8" PER FOOT</p> <p>SPRINKLER MAIN</p> <p>PROPERTY LINE</p> <p>FENCE</p> <p>BREAKLINE</p> <p>WALL TYPE MARK</p> <p>WALL TYPE</p> <p>NOTE</p> <p>FE - FIRE EXTINGUISHER</p>	<p>ITEM S.I.O. OR N.I.C.</p> <p>ITEM S.O.I.C. OR S.I.C.</p> <p>NEW CONSTRUCTION - SHOWN SOLID</p> <p>EXISTING CONSTRUCTION TO REMAIN - SHOWN LIGHT BACKGROUND</p> <p>EXISTING CONSTRUCTION TO BE REMOVED - SHOWN DASHED</p>	<p><b>MATERIALS</b></p> <p>GYPSUM BOARD</p> <p>CONCRETE</p> <p>EARTH</p> <p>GRAVEL</p> <p>CMU OR BRICK</p> <p>PLYWOOD</p> <p>RIGID INSULATION</p> <p>BATT INSULATION</p> <p>WOOD MEMBER</p> <p>WOOD BLOCKING</p> <p>FINISHED WOOD</p> <p>ACOUSTICAL TILE</p> <p>STEEL</p> <p>ALUMINUM</p> <p>E.I.F.S.</p> <p>SOUND INSULATION</p>
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Project Name: Bellevue Pilates Plus

Project Number: 02010088.00

Description: GENERAL INFORMATION

Computer File: CW05-2010-T1.DWG

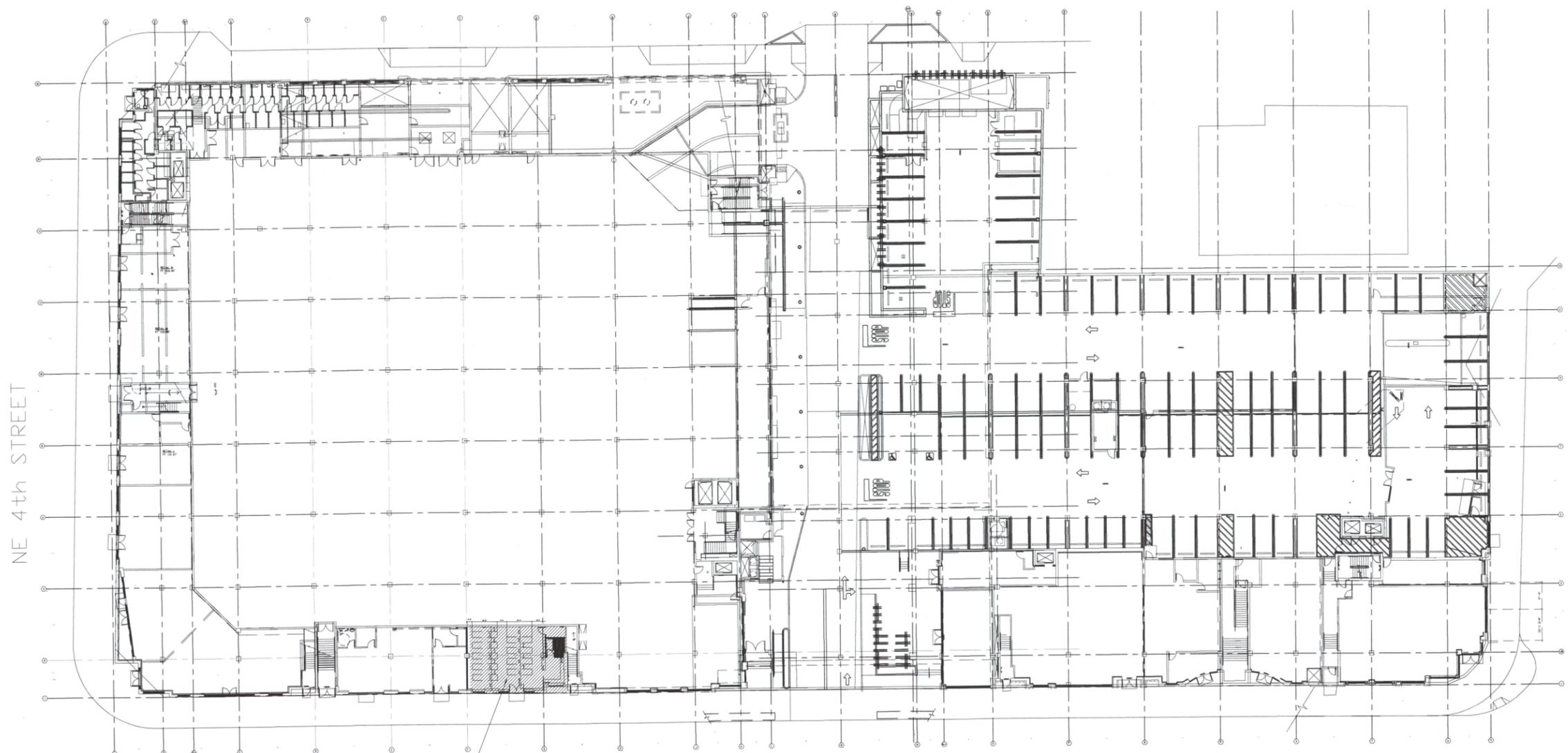
Scale: AS NOTED

Template: 4.3 (120101)

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**Received**

105th AVENUE NE



PROJECT LOCATION

BELLEVUE WAY NE

1 SITE PLAN  
SCALE: 1/32" = 1'-0"



**BELLEVUE PILATES PLUS**  
AVALON MEYDENBAUER  
310 Bellevue Way NE  
SUITE F  
BELLEVUE, WASHINGTON 98004

**smith co.**

1725 westlake avenue n  
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206.838.5485 p  
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206.464.0700 f  
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http://www.smithco.org/

Consultant

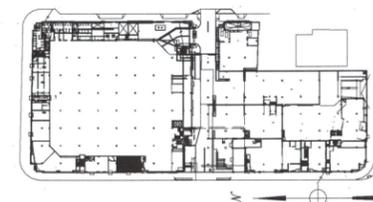
Consultant Registration Architect Registration



Issues and Revisions

No.	Date	Issues	By	Check
1	04.05.11	PERMIT		KLS

Key Map



Project Name Bellevue Pilates Plus

Project Number 02009013.01

Description SITE PLAN

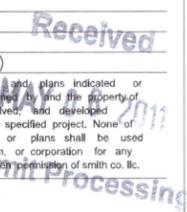
Computer File T20.DWG

Scale AS NOTED

Template 4.3 (120101)

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T-2



**BELLEVUE PILATES PLUS**  
 AVALON MEYDENBAUER  
 330 Bellevue Way NE  
 SUITE F  
 BELLEVUE, WASHINGTON 98004

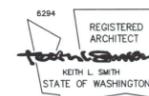
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Consultant

Consultant Registration

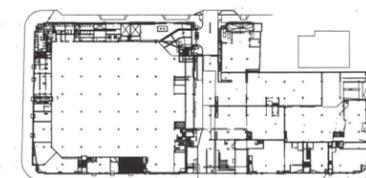
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Issues and Revisions

No.	Date	Issues	By	Check
1	03.14.11	PERMIT		KLS

Key Map



Project Name United Studios of Self Defense

Project Number 02009013.01

Description OVERALL FLOOR PLANS

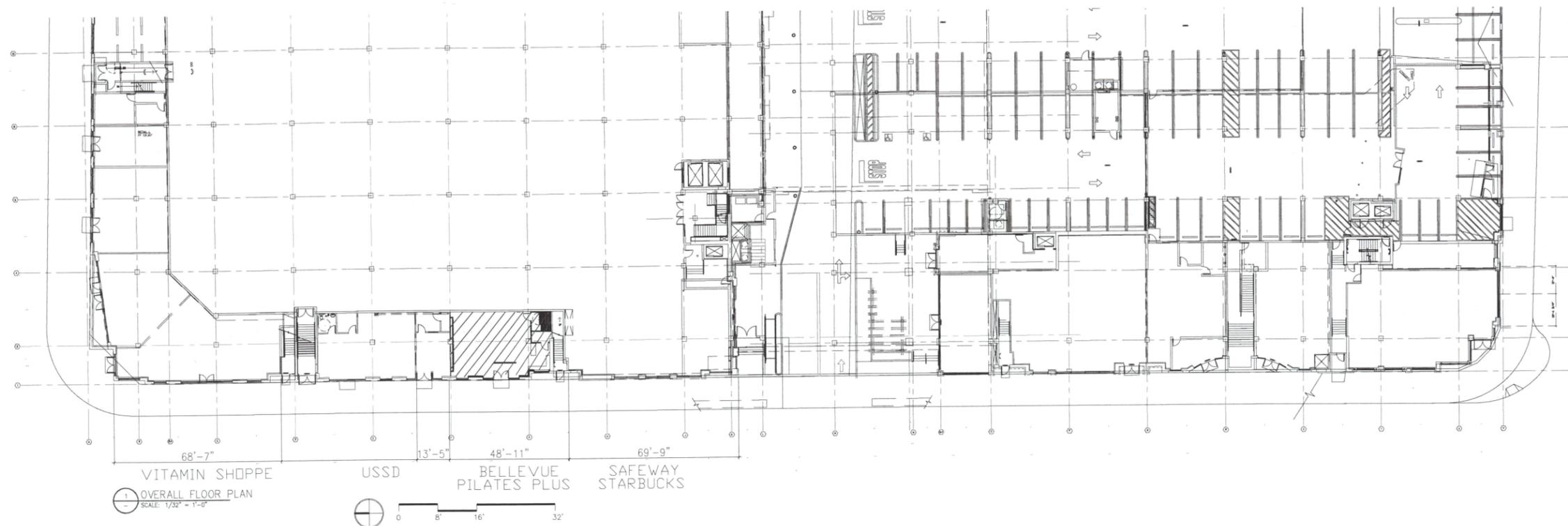
Computer File T30.DWG

Scale AS NOTED

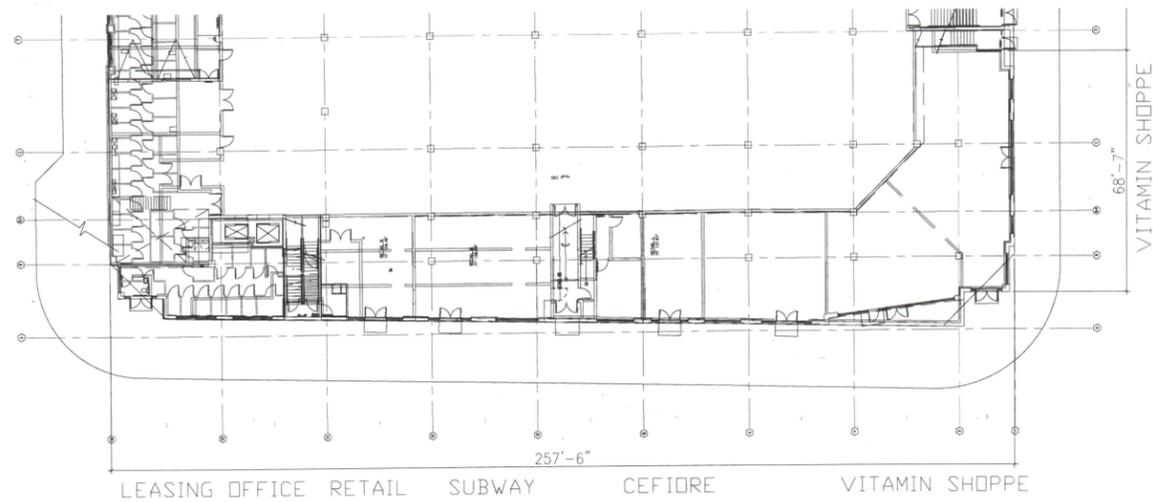
Template 4.3 (120101)

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**T-3.0**



PROJECT DATA	PROJECT DIRECTORY	VICINITY MAP
ADDRESS: Bellevue Way NE, Bellevue WA- 98004 Required Pedestrian-oriented Frontage 419 lineal feet Actual Pedestrian-oriented Frontage +457 lineal feet	ARCHITECT: smith co. LLC 1725 westlake avenue n. suite 210 Seattle, WA 98109 t: 206.838.5485 f: 206.464.0700 PROJECT MANAGER: Keith Smith  TENANT: Bellevue Pilates Plus Don Morton 5710 128th Street SW Mukilteo, WA 98275 206.200.0666 M morton@serra@frontier.com	



1 NE 4th STREET FLOOR PLAN  
SCALE: 1/32" = 1'-0"



1 NE 4th STREET FLOOR PLAN  
SCALE: 1/32" = 1'-0"



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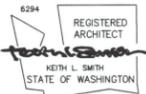
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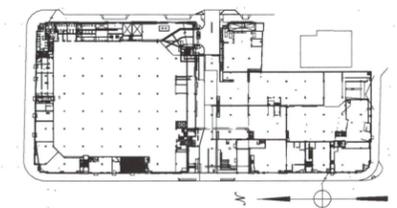
Architect Registration



Issues and Revisions

No.	Date	Issues	By	Check
1	03.14.11	PERMIT		KLS

Key Map



PROJECT DATA	PROJECT DIRECTORY	VICINITY MAP
<p>ADDRESS: Bellevue Way NE, Bellevue WA- 98004</p> <p>Required Pedestrian-oriented Frontage 419 lineal feet</p> <p>Actual Pedestrian-oriented Frontage +457 lineal feet</p>	<p>ARCHITECT: smith co. LLC            1725 westlake avenue n.            suite 210            Seattle, WA 98109            t: 206.383.54850            f: 206.464.0700            PROJECT MANAGER: Keith Smith</p> <p>TENANT:            Bellevue Pilates Plus            Don Morton            5710 128th Street SW            Mukilteo, WA 98275            206.200.0666 M            mortonserra@frontier.com</p>	

Project Name	United Studios of Self Defense
Project Number	02009013.01
Description	OVERALL FLOOR PLANS
Computer File	T30.DWG
Scale	AS NOTED
Template	4.3 (120101)

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T-3.1

### DOOR SCHEDULE

NO.	SIZE	THK.	QTY.	TYPE	DESCRIPTION	HARDWARE	REMARKS
01	6'-0" X 7'-0"	EXISTING	1	A	EXISTING ALUM STOREFRONT	RE-KEY	
02	3'-0" X 7'-0"	1 3/4"	1	B	STORAGE	2,4,5,6	SC WOOD DOOR ESPRESSO STAIN
03	3'-0" X 7'-0"	1 3/4"	2	B	TOILET	2,4,5,6,8	SC WOOD DOOR ESPRESSO STAIN

**DOOR NOTES**  
 - ALL DOORS TO BE COMPLIANT WITH STATE ACCESSIBILITY CODES.  
 - EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 LBS. LABELED DOORS SHALL NOT EXCEED 5 LBS. SUCH PULL AND PUSH EFFORT BEING APPLIED AT A RIGHT ANGLE TO THE DOOR.  
 - MOUNT HARDWARE BETWEEN 30" AND 40" ABOVE THE FINISH FLOOR.  
 - PROVIDE VINYL CUT LETTERS NOT LESS THAN 1" HIGH WHICH CONTRAST WITH BACKGROUND STATING "THIS DOOR TO REMAIN UNLOCKED WHEN OCCUPIED".  
 - "SC" IS SOLID CORE DOOR  
 - ALL FRAMES TO BE WOOD

### HARDWARE SCHEDULE

NO.	DESCRIPTION	MANUFACT.	CATALOG NO.	NO.	DESCRIPTION	MANUFACT.	CATALOG NO.
1	LEVER HANDLE W/ KEYED LOCK	RE-KEY		6	CLOSER	STANLEY OR EQUAL	D3550 US26D
2	LEVER HANDLE W/ KEYED LOCK	SCHLAGE AL 10S		7	PEEP HOLE	STANLEY OR EQUAL	US26D
3	HC ACCESSIBLE HARDWARE			8	KICKPLATE	STANLEY OR EQUAL	US26D
4	WALL/FLOOR MTD STOP	IVES US26D					
5	DOOR HINGES	STANLEY US26D	1-1/2 PAIR				

### LEGEND

===== : DENOTES EXISTING WALL  
 ===== : DENOTES EXISTING WALL TO BE REMOVED  
 ===== : DENOTES NEW 3-5/8" 20 GA. @ 24" O.C. DIETRICH METAL STUDS ICGO # 4784P LA R.R. NO. 25132  
 ○ : SYMBOL DENOTES DOOR, SEE DOOR SCHEDULE FOR ADD'L INFO.

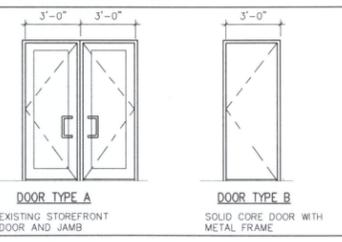
### KEY SCHEDULE

- 1 : EXISTING FRONT ENTRY
- 2 : GC TO PROVIDE GWB, PAINT AND FINISH
- 3 : EXISTG CONC COLUMNS
- 4 : EXISTING SIDEWALK
- 5 : ELECTRICAL PANEL RELOCATED

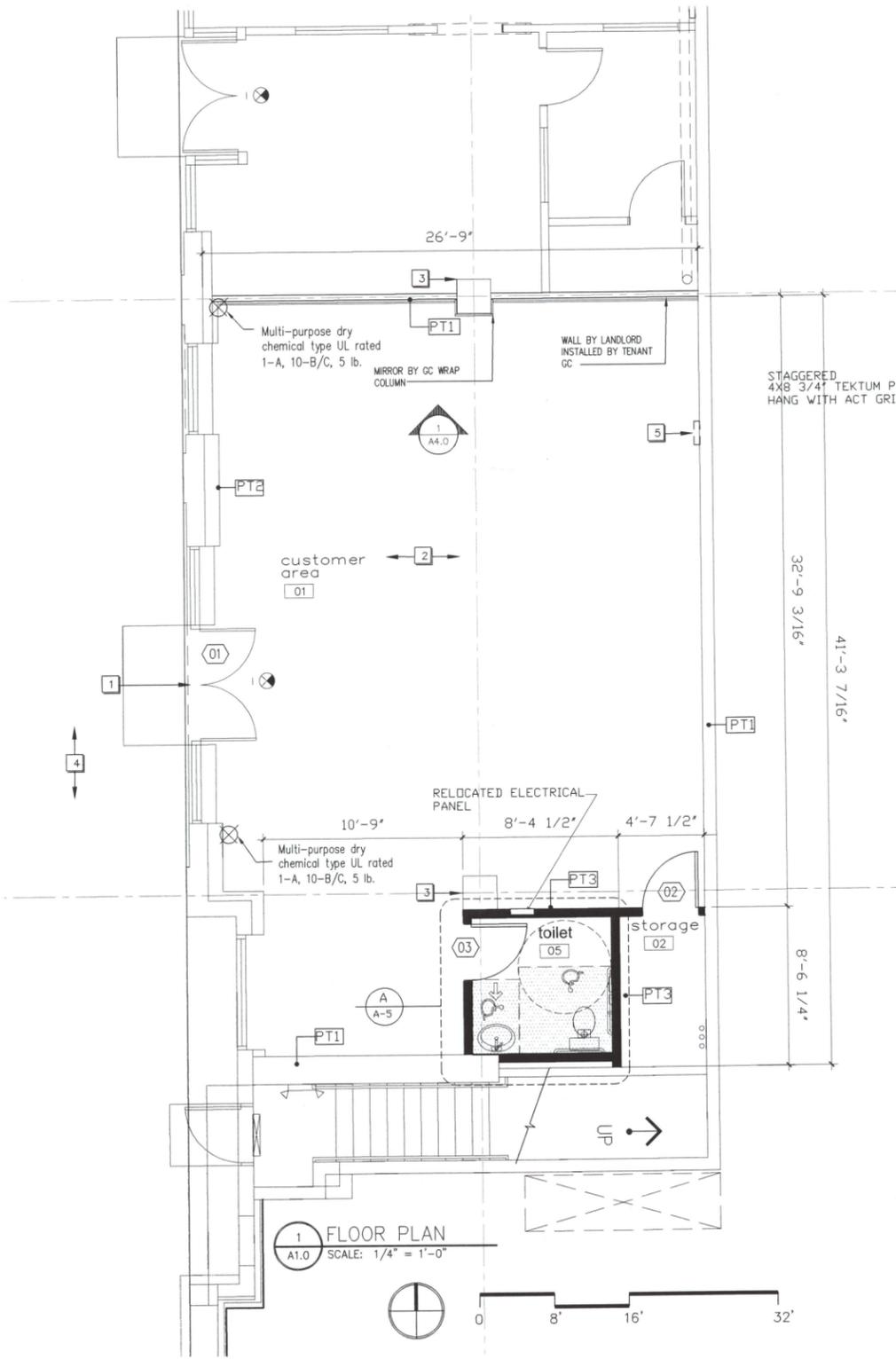
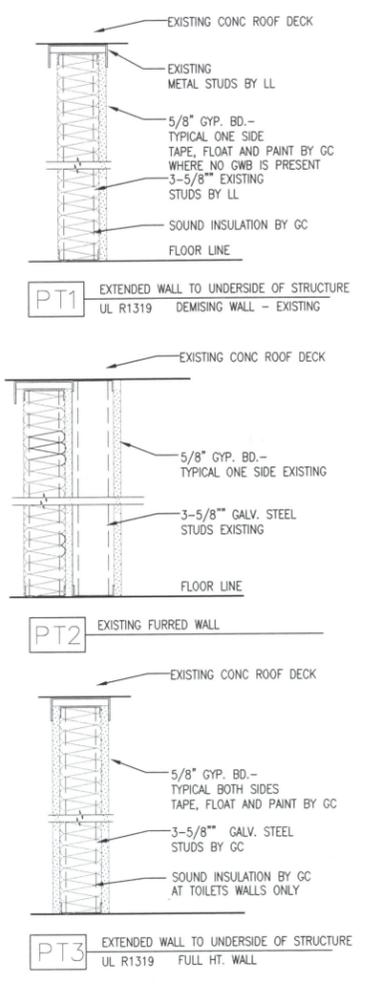
### FINISH DESCRIPTION

WALL BASE FINISHES		
B-1	1/2 X 3-1/2" MDF	MDF PAINT BLACK
B-2	4" RUBBER BASE	RDPPEE #191 - Carmel 3/8" Radius Curve
CEILING FINISHES		
C-1	OPEN CEILING	PAINT
C-2	5/8" GWB	Smooth PAINT
FLOOR FINISHES		
F-1	NOT USED	
F-2	NOT USED	
F-3	WOOD FLOORING	Armstrong TP069 Tigerwood Warm Brown
PAINT		
P-1	General Wall	FN81-SW6080 UTTERLY BEIGE Eggshell or approved equal
P-2	Accent Wall	FN79-SW6078 REALIST BEIGE Eggshell Low Sheen (eggshell) or approved equal
P-3	TRIM	FN81-SW6080 UTTERLY BEIGE Oil Base, Semi-gloss or approved equal
P-4	CEILING	BENJAMIN MOORE 2125-20 DEEP SPACE Eggshell No substitutions allowed.
WALL FINISHES		
W-1	5/8" GWB	Smooth, New walls to match existing
W-2	PLAM WAINSCOT	WILSONART #4873-60 "WESTERN BRONZE"

### DOOR TYPES:

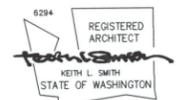


### WALL SCHEDULE

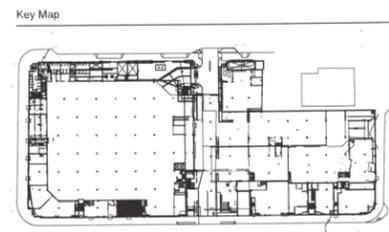


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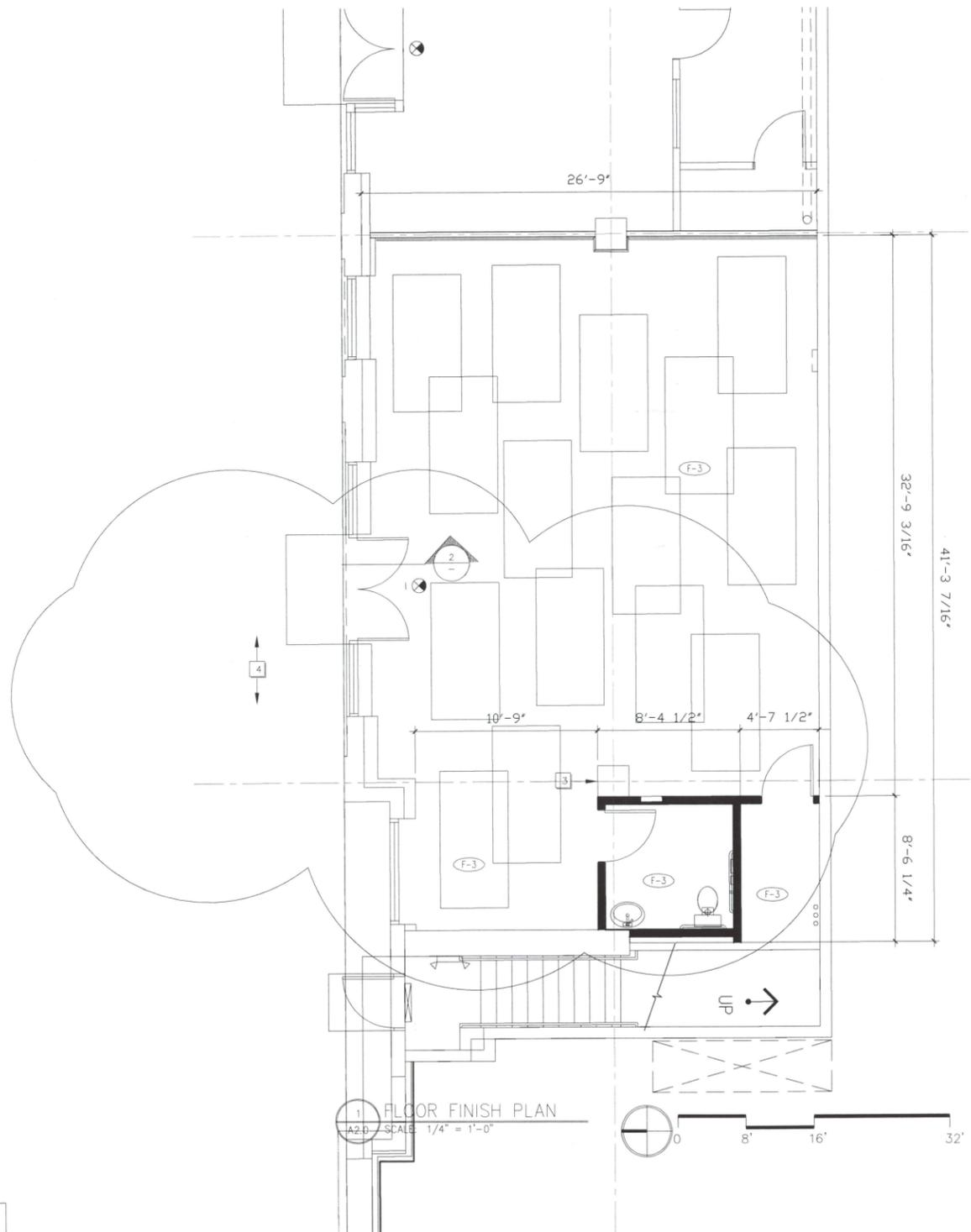


Project Name	Bellevue Pilates Plus
Project Number	02009013.01
Description	FLOOR PLAN
Computer File	A10.DWG
Scale	AS NOTED
Template	4.3 (12018)

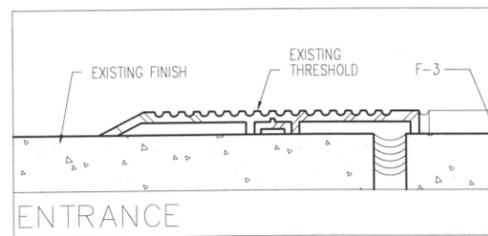
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**A-1.0**

LEGEND	KEY SCHEDULE								
DENOTES EXISTING WALL DENOTES EXISTING WALL TO BE REMOVED DENOTES NEW 3-5/8" x 20 GA. @ 24" O.C. DIETRICH METAL STUDS ICBO # 4784P LA R.R. NO. 25132 SYMBOL DENOTES DOOR, SEE DOOR SCHEDULE FOR ADD'L INFO.	<table border="1"> <tr><td>1</td><td>EXISTING FRONT ENTRY</td></tr> <tr><td>2</td><td>GC TO PROVIDE GWB, PAINT AND FINISH</td></tr> <tr><td>3</td><td>EXISTG CONC COLUMNS</td></tr> <tr><td>4</td><td>EXISTING SIDEWALK</td></tr> </table>	1	EXISTING FRONT ENTRY	2	GC TO PROVIDE GWB, PAINT AND FINISH	3	EXISTG CONC COLUMNS	4	EXISTING SIDEWALK
1	EXISTING FRONT ENTRY								
2	GC TO PROVIDE GWB, PAINT AND FINISH								
3	EXISTG CONC COLUMNS								
4	EXISTING SIDEWALK								
<p>1. CONTRACTOR TO VERIFY ALL DIMENSIONS  2. DO NOT SCALE DRAWINGS !!!</p>									



1 FLOOR FINISH PLAN  
A2.0 SCALE: 1/4" = 1'-0"



ENTRANCE  
2 FL. TRANSITION  
SCALE: N.T.S.

**CONTRACTOR'S NOTE**  
WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. CONTRACTOR'S MUST VISIT JOB SITE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS. REPORT ANY DISCREPANCIES OF ANY CONDITIONS WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF WORK, TO TENANT REPRESENTATIVE. REPORT DISCREPANCIES DURING BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR JOB OR CODE COMPLIANCE CONDITIONS AFTER COMMENCEMENT OF CONSTRUCTION.

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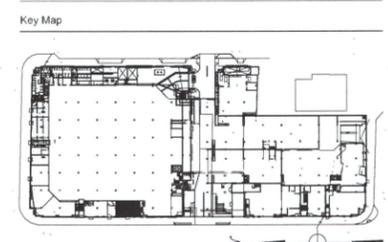
Consultant

Consultant Registration Architect Registration



Issues and Revisions

No.	Date	Issues	By	Check
1	04.05.11	PERMIT		KLS



Project Name Bellevue Pilates Plus

Project Number 02009013.01

Description FLOOR FINISH PLAN

Computer File a2.0.DWG

Scale AS NOTED

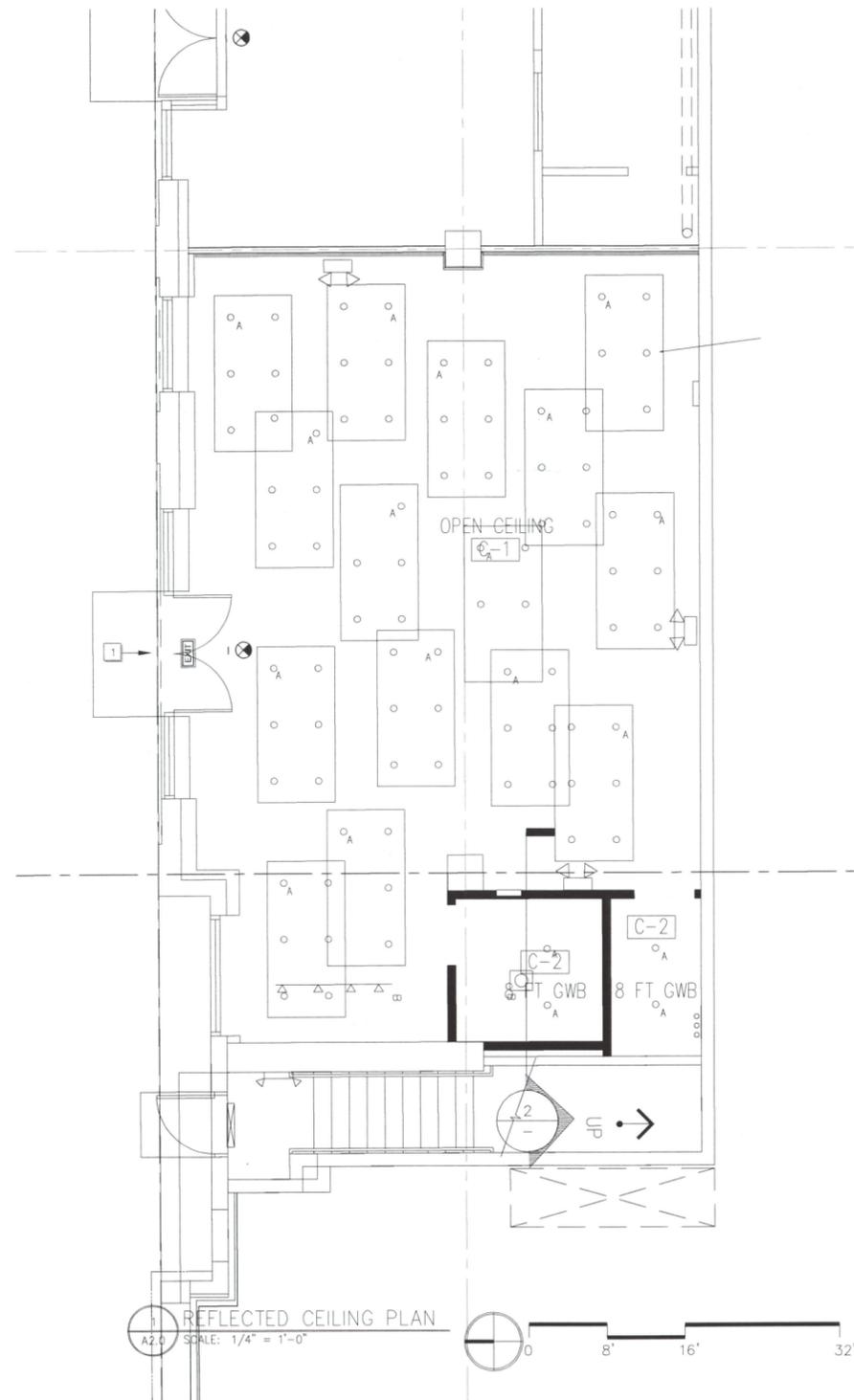
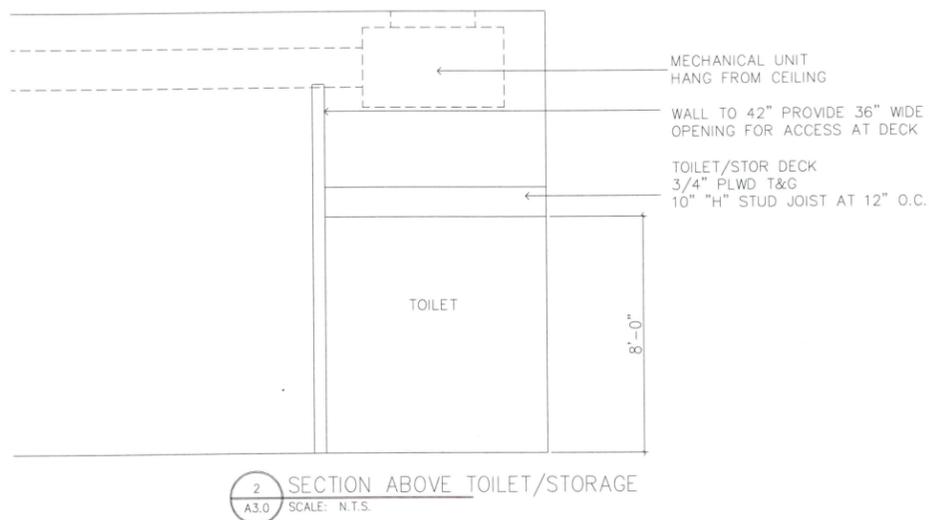
Template 4.3 (10/10)

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**A-2.0**

LEGEND	KEY SCHEDULE
<p>————: DENOTES EXISTING WALL</p> <p>- - - - -: DENOTES EXISTING WALL TO BE REMOVED</p> <p>————: DENOTES NEW 3-5/8" x 20 GA. @ 24" O.C. DIETRICH METAL STUDS ICB0 # 4784P LA R.R. NO. 25132</p> <p>◻: SYMBOL DENOTES DOOR, SEE DOOR SCHEDULE FOR ADD'L INFO.</p> <p>1. CONTRACTOR TO VERIFY ALL DIMENSIONS</p> <p>2. DO NOT SCALE DRAWINGS !!!</p>	<p>1: EXISTING FRONT ENTRY</p> <p>2: NOT USED</p>

SYMBOL LEGEND		
SYMBOL	DESCRIPTION	REMARKS
○ <sub>A</sub>	RECESSED FLUOR. FURNISHED BY GC INSTALLED BY GC	6" JUNO OR EQUAL CLEAR ALZAK TRIM 32W
▽ <sub>B</sub>	TRACK LIGHT VOLTAGE INSTALLED BY GC	JUNO OR EQUAL BLACK WITH 24" EXTENSIONS
•••	4XB 3/4" TEKTUM PANEL FURNISHED BY GC INSTALLED BY GC	ATTCAH TO ACT GRID OFFSET HTS BY 12" STAGGERED
◎	SPRINKLER HEAD	SPRINKLER UNDER SEPARATE PERMIT BY SUB-CONTRACTOR
EXIT	ILLUMINATED EXIT SIGN NEW	SEE ELECTRICAL PLANS FOR SPECIFICATIONS INSTALLED BY GC
◁▷	EMERGENCY LIGHTS FURNISHED BY GC INSTALLED BY GC	SEE ELECTRICAL PLANS NAVILITE N4BL 10W BLACK INSTALLED BY GC



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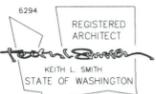
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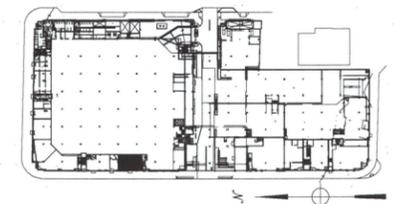
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Issues and Revisions

No.	Date	Issues	By	Check
1	04.05.11	PERMIT		KLS

Key Map



Project Name Bellevue Pilates Plus

Project Number 02009013.01

Description REFLECTED CEILING

Computer File 03.0.DWG

Scale AS NOTED

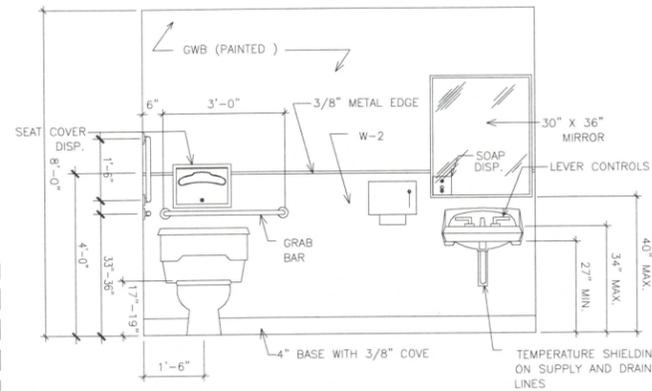
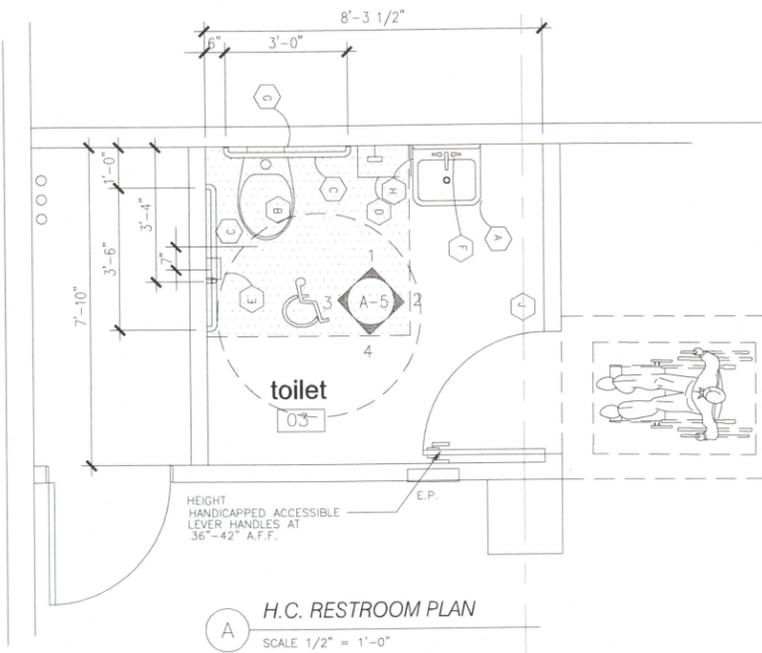
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**A-3.0**



# RESTROOM PLANS AND DETAILS

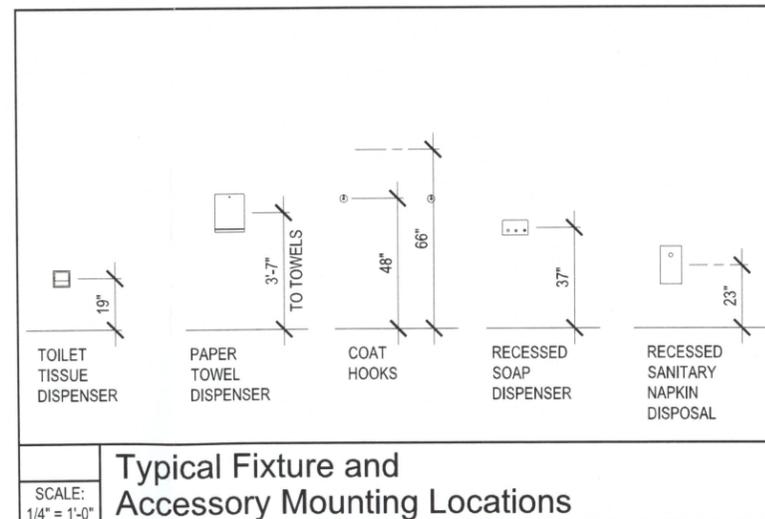
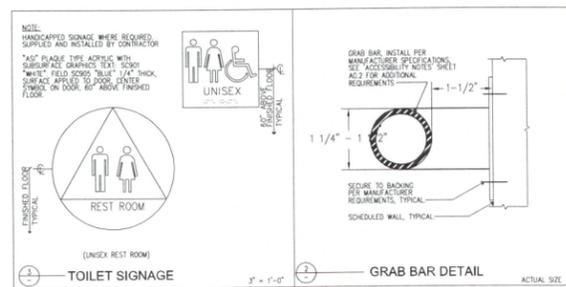
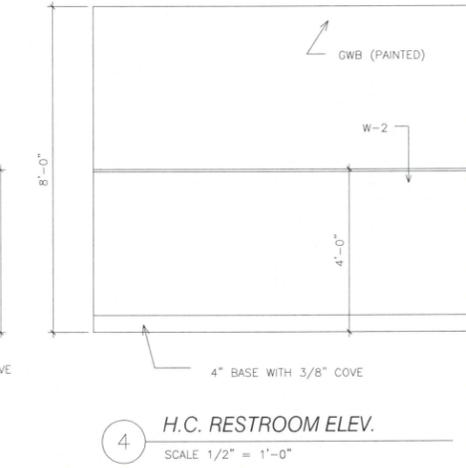
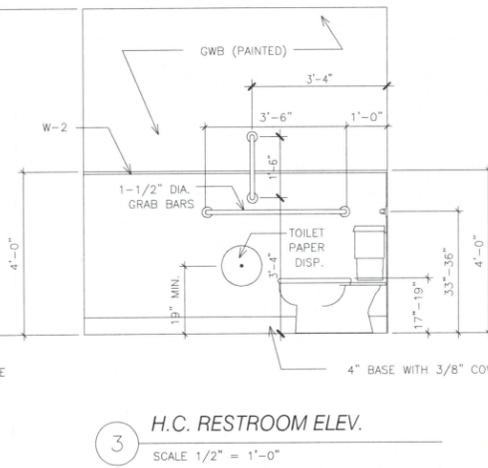
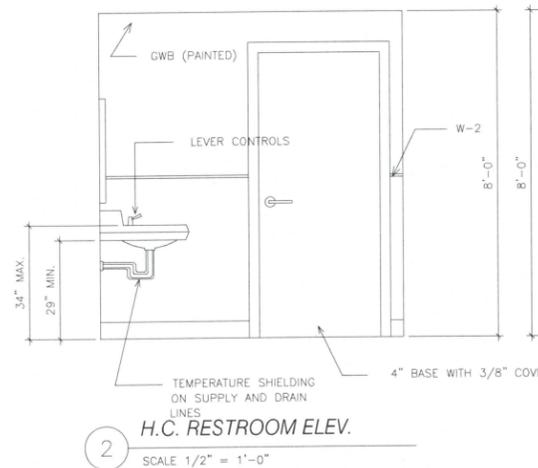


## RESTROOM ACCESSORIES SCHEDULE

MARK	DESCRIPTION	FURN./INST.	REMARKS	FINISH
A	LAVATORY AND FAUCET	G.C. / G.C.	HANDICAPPED ACCESSIBLE	WHITE/CHROME
B	WATER CLOSET	G.C. / G.C.	HANDICAPPED ACCESSIBLE	WHITE
C	GRAB BARS	G.C. / G.C.	36" REAR / 42" SIDE 1-1/2" DIA.	STAINLESS STEEL TEXTURED GRIP
D	PAPER TOWEL DISPENSER	G.C. / G.C.	SURFACE MOUNT, HANDICAPPED MOUNTING HEIGHT	PLASTIC ACRYLIC
E	TOILET PAPER DISPENSER	G.C. / G.C.	SURFACE MOUNT, HANDICAPPED MOUNTING HEIGHT	PLASTIC ACRYLIC
F	MIRROR	G.C. / G.C.	30" X 36" HANDICAPPED MOUNTING HEIGHT	STAINLESS STEEL FRAME
G	TOILET SEAT COVER DISPENSER	G.C. / G.C.	SURFACE MOUNT, HANDICAPPED MOUNTING HEIGHT	PLASTIC
H	SOAP DISPENSER	G.C. / G.C.	MOUNT ON MIRROR FACE	CLEAR ACRYLIC
I	DOOR SIGNS	G.C. / G.C.	HANDICAPPED ACCESSIBLE SIGNAGE	BLACK WITH WHITE LETTERING
J	EXHAUST FAN	G.C. / G.C.	DIRECT WIRE TO LIGHT SWITCH	WHITE

## RESTROOM NOTES

- GRAB BARS 1-1/4"-1-1/2" DIAMETER MOUNTED 1-1/2" FROM WALL. BARS SHALL BE CAPABLE OF SUPPORTING 300 LBS. LIVE LOAD WITHOUT PERMANENT DEFLECTION. PROVIDE BLOCKING IN EXISTING WALLS AS REQUIRED.
- FLOORS SHALL BE SMOOTH, HARD, NONABSORBENT SURFACE.
- PROVIDE 4" COVED SANITARY BASE.
- DIMENSIONS, NOTES AND EQUIPMENT TYPICAL FOR ALL TOILET ROOMS UNLESS OTHERWISE NOTED.
- TOILET ROOM FAN TO BE INTEGRALLY SWITCHED WITH TOILET LIGHT, AND VENTED TO THE OUTSIDE.
- GYPSUM BOARD APPLIED TO PLUMBING WALLS SHALL BE WATER-RESISTANT.
- COMPLY WITH ADA REQUIREMENTS AND LOCAL HANDICAPPED CODE.
- PROVIDE A 4'-0" HIGH PLASTIC LAMINATE WAINSCOT WITH STAINLESS STEEL TRIM, ON ALL WALLS.
- HOT WATER TANK CALL-OUT SEE 2.02.



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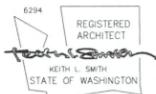
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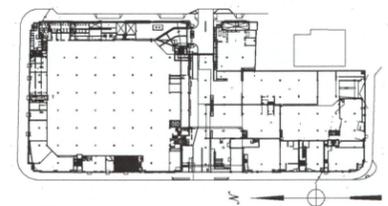
Consultant Registration Architect Registration



Issues and Revisions

No.	Date	Issues	By	Check
1	04.05.11	PERMIT		KLS

Key Map



Project Name: Bellevue Pilates Plus  
Project Number: 02008018.00  
Description: TOILET DETAILS  
Computer File: A5.DWG  
Scale: AS NOTED  
Template: 4.3 (120101)

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**A-5**