



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 450 110<sup>th</sup> AVENUE NE  
 BELLEVUE, WA 98009-9012

**DETERMINATION OF NON-SIGNIFICANCE**

**PROPONENT:** Overlake Hospital Medical Center  
**LOCATION OF PROPOSAL:** 2610 116<sup>th</sup> Avenue NE

**DESCRIPTION OF PROPOSAL:** To remodel an existing two-story building to accommodate the Overlake Specialty School. No exterior changes are proposed to building exterior with exception of one exterior door for required egress.

**FILE NUMBER:** 11-104562 LA

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on May 26, 2011.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carole V. Holland  
 Environmental Coordinator

5/12/11  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

- State Department of Fish and Wildlife
- State Department of Ecology,
- Army Corps of Engineers
- Attorney General
- Muckleshoot Indian Tribe



City of Bellevue  
Development Services Department  
Land Use Staff Report

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Proposal Name: **Overlake Specialty School**

Proposal Address: 2610 116<sup>th</sup> Avenue NE

Proposal Description: To remodel an existing two-story building to accommodate the Overlake Specialty School. No exterior changes are proposed to building exterior with the exception of one exterior door for required egress.

File Number: **11-104562 LA**

Applicant: Overlake Hospital Medical Center

Decisions Included: Administrative Conditional Use, Process II

Planner: Antoinette Pratt, Senior Planner, (425) 452-5374

State Environmental Policy Act  
Threshold Determination: Carol V. Helland  
Carol V. Helland, Environmental Coordinator  
Development Services Department

Director's Decision: **Approval with Conditions**  
Michael A. Brennan, Director  
Development Services Department

By: Carol V. Helland  
Carol V. Helland, Land Use Director

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Application Date: February 24, 2011  
Public Notice (500 feet): March 17, 2011  
Public Meetings: April 14, 2011  
Minimum Comment Period: March 31, 2011  
Bulletin Publication Date: **May 12, 2011**  
Appeal Deadline: **May 26, 2011**

For information on how to appeal a proposal, visit Development Services at City Hall or call (425) 452-4570. Appeal of the Decision must be made by 5 p.m. on the date noted for appeal of the decision.

## I. Request and Project Description

Overlake Hospital Medical Center requests Administrative Conditional Use approval to move the Overlake Specialty School from 2840 Northup Way to an existing building that was previously used as an elementary school by Bright Horizons at 2610 116<sup>th</sup> Avenue NE. The applicant will be making minimal exterior changes to the existing structure by installing a new door at the west elevation of the building. Overlake Hospital Medical Center will conduct a tenant improvement to modify the building interior under permit number 11-110765 BZ (which is currently under review). The remodel is scheduled to begin June 2011. No changes are proposed to the existing site conditions.

Overlake Hospital Medical Center currently runs a private specialty school program serving students in grades 3 through 12. Overlake's Specialty School program is licensed through the Office of Superintendent of Public Instruction as a non-public agency (NPA) school. The school program serves students with special learning needs that stem from emotional challenges and learning disabilities. The students are referred to the Overlake Specialty School by their home school district if they qualify for special education placement.

Overlake's Specialty School program began operations on January 4, 2000, in response to community need expressed directly to Overlake Hospital Medical Center by both the Issaquah and Bellevue School Districts. The program is considered a leading model by contracted districts both for its ability to successfully transition students back to their home districts and communities as well as collaborate with all stakeholders in meeting the student's individualized educational needs.

Overlake's Specialty School program operates Monday-Friday from 7am to 5pm. Teachers and staff are on site before and after school. The school is open year round, offering 212 days of scheduled educational instruction and is closed during the typical designated breaks and holidays. This facility will allow for an increase in the number of students served from 49 to approximately 70 students. This will be helpful to area school districts that have students in need of placement. The Overlake Specialty School is designed to provide students with direct supervision and oversight. Therefore, class sizes are limited to no more than 10 students and there are most often three teachers/staff in each classroom depending on student needs. The staff to student ratio typically exceeds 1 to 3. See further discussion regarding this in Section IV.C—parking.

See attached plans and drawings.

## II. Site Context and Description



This site is located north and east of 116<sup>th</sup> Avenue NE which is just north of SR-520. The existing building was constructed in 1998 and met the applicable codes in effect at that time for a school. The site is surrounded by other commercial uses at its east and west property boundaries and single-family residential to the north. The site contains one commercial building with 29 parking stalls along with a play area located along the north property line. The applicant is not proposing to change any of the existing site conditions.

### III Proposed Site and Building Design



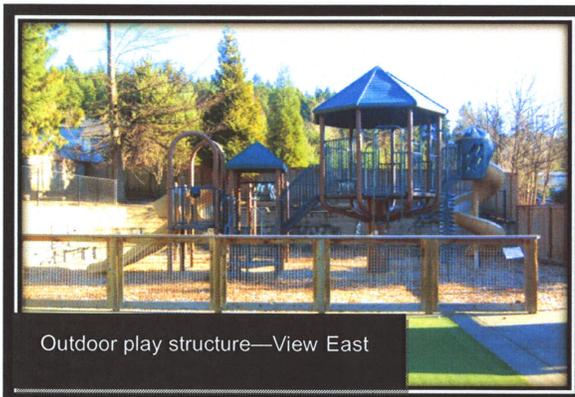
The building footprint is triangular in form as it was defined by the setbacks of the Office/Limited Business (OLB) district. It is two stories in height with a pitched roof form. The exterior of the building is composed of brick at base of the building with stucco at the second story level. The second story cantilevers out over the building base by 3'-6". Building entry occurs at the east elevation with exiting doors along the west and north elevations. An additional exiting

door will be added at the west elevation to fulfill new the IBC exiting requirements for school uses. If the applicant decides to make additional exterior changes beyond the exiting door, a Land Use Exemption application will be required. See Section X for related condition.



The existing parking lot will not be modified with this application. Within the site is a looped access route approximately 570 feet long. Approaching the south side of the site from 116<sup>th</sup> Avenue NE is a driveway approximately 62 feet long. If necessary during peak times, the loop and the driveway can combine to temporarily accommodate at least 20 vehicles in a one way direction that loops around the building to the west, north and then south towards 116<sup>th</sup> Avenue NE.

See Section IV.C below for further discussion regarding parking and circulation.

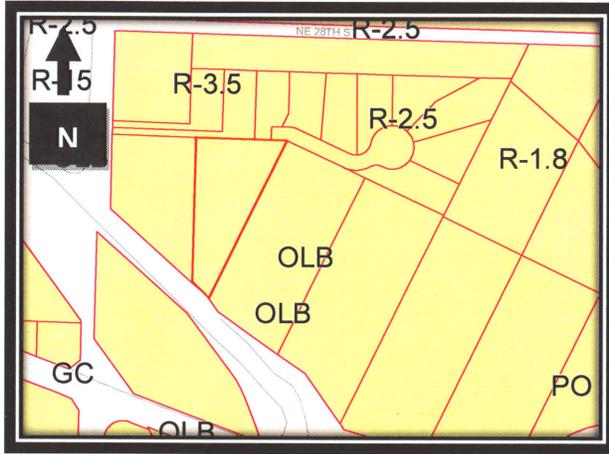


There is an existing pedestrian bridge which allows students to walk over the loop road to an existing play area north of the building for the elementary aged students. There is also a restroom facility that is embedded at the base of the stairs leading from the pedestrian bridge. This area is fenced and self-contained for student play. No changes will occur to this area.

The site contains a recycle/dumpster area located at the northeast corner of the property. It will remain in this location with this application. It is fenced with similar materials as the existing building. See Section XI for related condition.

#### IV. Consistency with Land Use Code/Zoning Requirements

##### A. General Provisions of the Land Use Code



This site is located within the Office Limited Business (OLB) zoning district, in transition from single-family uses located to the north. As such, the Land Use Code (LUC) 20.10.440, Services (chart) permits primary and secondary educational facilities subject to prior Administrative Conditional Use approval. The applicant has fulfilled this requirement by submitting this application for review and approval.

##### B. Schools

LUC Chapter 20.20.740 provides development standards for schools in office districts. The proposal meets the dimensional standards for schools in regards to building setbacks, lot coverage, landscaping, and site and building design guidelines.

##### C. Parking Standards and Site Circulation

LUC 20.20.590 does not define the number parking stalls required for an educational facility. As such, this proposal will be classified as an unspecified use per 20.20.590.F.2. To comply with the standards for unspecified uses, the applicant has submitted a Transportation Plan for staff review.

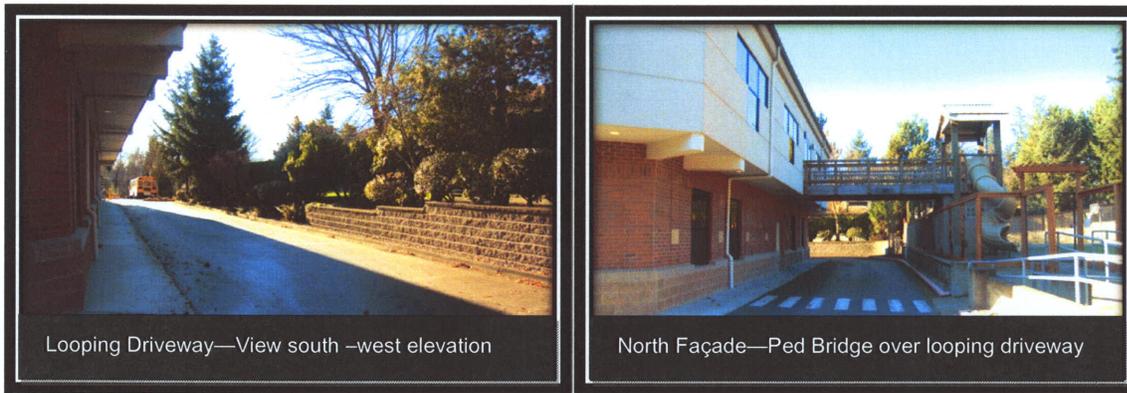
The site contains 29 parking stalls along with parking lot landscaping that contains overstory and understory vegetation. Vehicles entering the property will move in a counter clockwise movement. Upon entry to the site, a vehicle will head north from 116<sup>th</sup> Avenue NE and immediately trend to the west to either park or use the loop road to wind through the site to conduct drop off at the main entry at the east elevation. Once drop off is concluded the vehicle will continue south back to 116<sup>th</sup> Avenue NE. This is the same vehicular movement that was used for Chestnut Hill Academy. Staff conducted a site visit and reviewed the driveway conditions. The existing striping is faded and will need to be repainted to provide vehicular guidance to and through the site. See Section XI for related condition.

##### Findings and Conclusions:

Bus service is provided by the contracting school districts that have students attending this facility. The Overlake Specialty School does own three vans to transport students to scheduled events. Students arrive to this site via their district's transportation which is comprised of full size and short buses, vans, cabs, and a few private vehicles. Drop off is supervised and managed by staff. Two way radios are used to facilitate communication at the drop off lane to ensure smooth arrival and departure of students. At this time, there are currently 49 students who are dropped off at this current facility.

Staff understands that Overlake Hospital Medical Center has contracts with each school district that utilizes its services. These current contracts require that the school districts provide transportation for their own students. However, future contracts may not contain such specifications. A condition requiring a transportation management plan will be required in the event that the contracting school districts are no longer capable of providing transportation of their students to and from this facility. See Section XI for related condition.

The school operates from 8:00 a.m. to 2:00 p.m. Teachers arrive around 7:00 a.m. and depart anywhere from at 3:30 p.m. to 5:00 p.m. Students arrive from 7:45 a.m. to 8:15 a.m. while departure occurs at 1:45 p.m. to 2:15 p.m. Overlake Hospital Medical Center employs 32 teachers at this site where a majority come to work in an alternate method of commuting. Based on current employee commute patterns, teachers utilize approximately 17 to 20 parking stalls. Overlake's existing facility is approximately one mile from this location which will maintain teacher commuting patterns. Six stalls will be reserved for visitor parking.



Overlake Hospital Medical Center will use its main campus which is one mile away (1035 116<sup>th</sup> Avenue NE) for additional parking during scheduled events such as parent night and parent/teacher conferences that are generally held on a quarterly basis. Shuttles would be provided to move staff between the sites during these events. However, student count will still be monitored to in accordance with 20.10.440, subnote 25.b. (i) to ensure that any increase in student growth beyond 20 percent shall require subsequent Conditional Use review. See Section XI for related condition.

## V. Public Comment

The Land Use Code (LUC) requires that the City hold a public meeting on this proposal. Staff held this meeting on April 14, 2011. No one attended this meeting with the exception of the applicant and his consultant. To date, no written correspondence has been received on this proposal.

## VI. City Department Analysis

### 1. Transportation Department

Based on the trip generation analysis below in the section entitled State Environmental Policy Act, the proposed development will not generate an increase in traffic. Therefore, the Transportation Department will not require any further traffic analysis, concurrency testing, payment of transportation impact fees, or street frontage improvements.

**2. Clear and Grade Division**

The Clear and Grade Division has reviewed and approved this permit.

**3. Utilities Department**

The Utilities Department has reviewed and approved this permit.

**4. Fire Department**

The Fire Department has reviewed and approved this permit. Technical review will occur under associated building permits for this proposal.

**VII. State Environmental Policy Act (SEPA)**

The environmental review indicates no probability of significant adverse environmental impacts resulting from the proposal. Issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

Adverse impacts which are less than significant are usually subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory requirements correspond, no further documentation is necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

**A. Transportation**

The applicant estimates that the school's AM peak hour (7 to 8 AM) would include a total of approximately 43 vehicle trips. The school's afternoon peak hour (1 to 2 PM) would include approximately 34 vehicle trips. A secondary afternoon peak (3 to 4 PM) when the teachers depart would include approximately 20 vehicle trips. In comparison, data obtained from the previous users of the site (Chestnut Hill Academy) indicates that Chestnut Hill Academy generated approximately 71 vehicle trips in the PM peak hour. Chestnut Hill Academy's AM peak trip generation is not known, but schools typically have more trips in the AM peak than in the afternoon peak. Thus, the proposed new use of the site will generate fewer vehicle trips than were generated by the previous use. On that basis, the proposed development will not have any new transportation impacts. No transportation mitigation is required, provided that the proposed operation does not change in a way that would generate significantly more traffic than the Chestnut Hill Academy generated at this site.

**B. Noise**

Construction activities will be limited to the normal hours of construction which are 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. If the school desires to work outside of these hours, a noise permit shall be submitted at least two weeks prior to the time requested for staff review and approval. Construction hours listed will be required to be placed on signage visible to all contractors on site. See Section XI for related condition.

### **VIII. Applicable Decision Criteria**

**Administrative Conditional Use:** The Director may approve or approve with modifications an application for Administrative Conditional Use if it complies with the decision criteria of Land Use Code Section 20.30E.140.

The approval of an Administrative Conditional Use may at any time be revoked if the use of on-site facilities is changed from the stated application. See Section XI for related condition. After conducting the various administrative reviews of this project, including Comprehensive plan goals and policies and the Land Use Code provisions, the following conclusions are made with regard to the Administrative Conditional Use decision criteria:

**1. The Administrative Conditional Use is consistent with the Comprehensive Plan.**

This proposal is located within the Bridle Trails Subarea. The Comprehensive Plan designation for this site is Office/Limited Business (OLB), which is consistent with the OLB zoning classification. This proposal is consistent with the Comprehensive Plan's goals and policies.

The following are applicable Comprehensive Plan policies for the Bridle Trails subarea:

*Policy S-BT-1: Protect Bridle Trails from encroachment by more intense uses to ensure that the Subarea remains an area of residential neighborhoods.*

Response: This facility is not located within a residential zoning district but an office district so will have no affect on the residential districts of Bridle Trails. Overlake Hospital's current facility has 49 students. This facility will allow for an increase to approximately 70 students which is a modest increase beyond their current population. This facility will provide an alternate school model that addresses and supports the public school districts in the area.

**2. The design is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.**

The building exterior will remain in its current form with the exception of an additional exiting door. The applicant has filed a tenant improvement permit 11-110765 BZ that is currently in review.

**3. The Administrative Conditional Use will be served by adequate public facilities, including streets, fire protection and utilities.**

The site will be served by adequate public facilities including fire protection and utilities.

The Transportation Department determined that the project will be served by adequate streets, provided that the proposed operation does not change in a way that would generate significantly more traffic than the Chestnut Hill Academy generated at this site. See Section X for related conditions of approval.

**4. The Administrative Conditional Use will not be materially detrimental to uses or property in the immediate vicinity of the subject property.**

As conditioned, this facility will not be materially detrimental to adjacent uses in the vicinity of this site. Staff has reviewed transportation and parking impacts and finds conclusions reached by Overlake Hospital Medical Center to be acceptable. See Section X and XI for related conditions.

As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Normal construction hours are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. See Section X for related condition.

**5. The Administrative Conditional Use complies with the applicable requirements of this Code.**

New school facilities are permitted to be located within office zones as an Administrative Conditional Use. As conditioned, the proposal meets the requirements of the LUC. See Sections X and XI for related conditions.

**IX. Decision of the Director**

After conducting the various administrative reviews associated with this proposal, including applicable Land Use consistency, SEPA and City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE WITH CONDITIONS:**

**X. Conditions of Approval Prior to Issuance of the Tenant Improvement Permit:**

1. **Signs:** If any change is made to the existing sign, a separate sign package shall be submitted to DSD for staff review and approval. Any proposed sign shall be architecturally compatible with the existing building.

Authority: BCC 22B.10.040.B.1,2  
Reviewer: Antoinette Pratt, (425) 452-5374

2. **Right of Way Use Permit:** The applicant is required to apply for a right-of-way use permit from the City of Bellevue Transportation Department, Right of Way division, before the issuance of any clearing and grading, building, foundation, or demolition permit. In some cases, more than one right of way use permit may be required, such as one for hauling and one for construction work within the right of way. A right of way use permit regulates activity within the city right of way, including but not limited to the following:

- a. Designated truck hauling routes.
- b. Truck loading and unloading activities.
- c. Hours of construction and hauling.
- d. Continuity of pedestrian facilities.
- e. Temporary traffic control and pedestrian detour routing for construction activities.
- f. Street sweeping and maintenance during excavation and construction.
- g. Location of construction fences.
- h. Parking for construction workers.
- i. Construction vehicles, equipment, and materials in the right of way.
- j. All other construction activities as they affect the public street system.

Authority: BCC 14.30 and 14.60.250  
Reviewer: Ron Kessack, 425-452-4631

3. **Construction Hours:** Normal construction hours are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. No deliveries shall be scheduled prior to 7:00 a.m. to 6:00 p.m. as well. Exceptions to the construction hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction on schools which cannot be undertaken during exempt hours. No blanket exemption exists. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. If expanded hours are necessary to accommodate a specific component of the school construction, if expanded hours are necessary to accommodate a specific component of the school construction, the applicant must apply for a separate noise permit for review and approval by staff. In this time period, the site shall be posted on all street frontages prior to the start of construction activity.

Authority: BCC 9.18.040  
Reviewer: Antoinette Pratt (425) 452-5374

4. **Land Use Exemption (LUX):** If exterior changes are proposed beyond the noted exiting door, a Land Use Exemption application will be required.

Authority: LUC 20.30E/175.C  
Reviewer: Antoinette Pratt (425) 452-5374

#### **XI. Conditions of Approval Prior to Certificate of Temporary Occupancy and Certificate of Occupancy:**

1. **On-Site Parking, Circulation Improvements and Monitoring:** In the event that the contracting school districts are no longer capable of providing transportation of their students to this facility, Overlake Hospital Medical Center shall implement an on-site traffic control and parking program, with the goal of managing pick-up and drop-off traffic to improve safety and reduce impacts on city streets. The applicant shall provide information as needed to parents regarding proper traffic behavior and safety during pick-up and drop-off periods.

Authority: BCC 20.30E.140 and Comprehensive Plan Policy TR-119  
Reviewer: Carl Wilson, 425-452-4228, and Toni Pratt, 425-452-5374

2. **Future Land Use Review:** The applicant shall be required to apply for a full conditional use if the number of students increases beyond 20 percent of the 70 students approved for this facility.

Authority: LUC 20.10.440, subnote 25, b.i  
Reviewer: Antoinette Pratt, (425) 452-5374

3. **Repaint Striping:** The existing striping is faded and will need to be repainted to provide vehicular and pedestrian guidance to and through the site.

Authority: LUC 20.20.590.K.2  
Reviewer: Antoinette Pratt, (425) 452-5374

- 4. Revocation of Administrative Conditional Use permit:** Approval of an Administrative Conditional Use permit may at any time be revoked if the uses of on-site facilities, traffic pattern/parking or transportation methods are changed from the submitted application.

Authority: LUC 20.30E.175.B  
Reviewer: Antoinette Pratt, (425) 452-5374

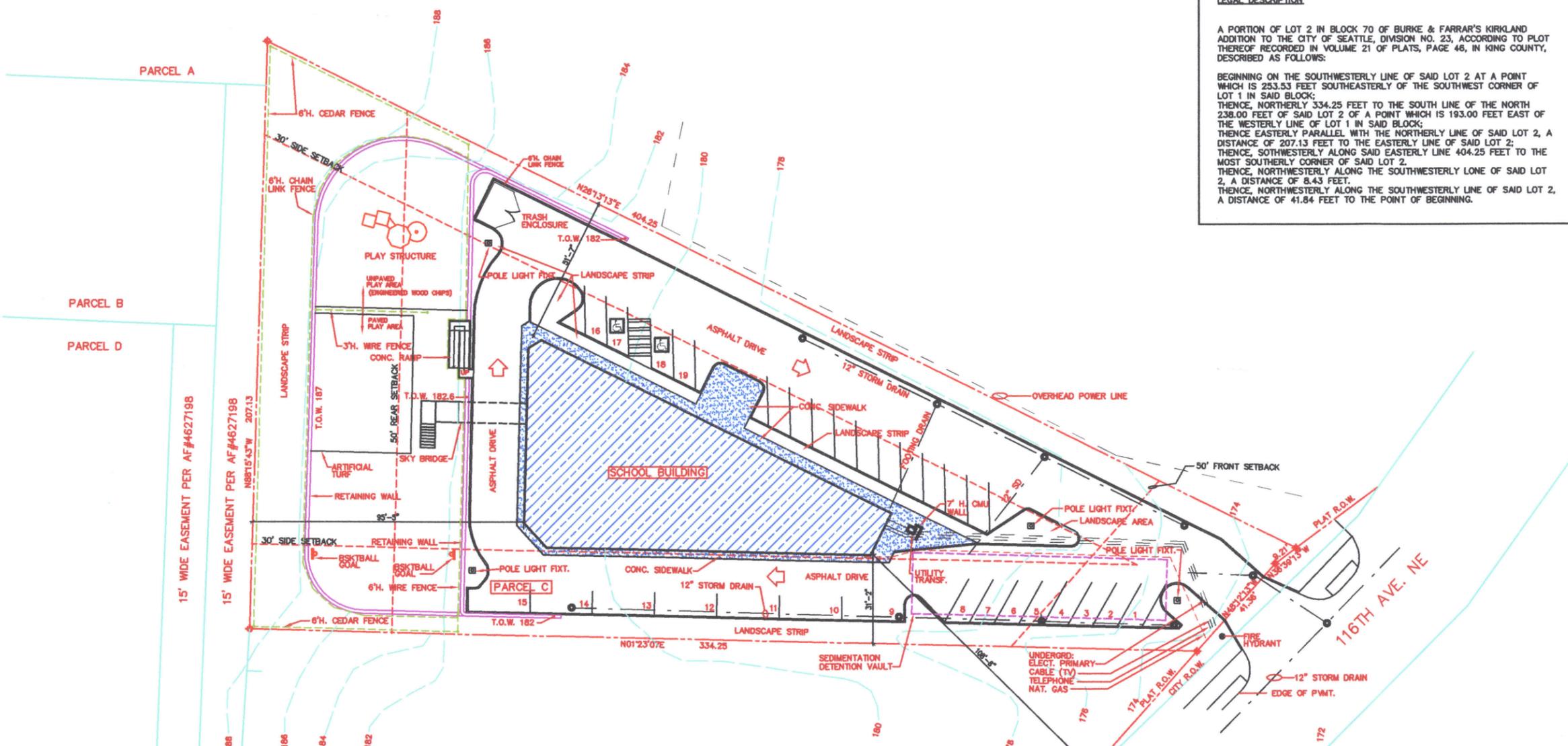
#### **Attachments**

Plans and Drawings

**LEGAL DESCRIPTION**

A PORTION OF LOT 2 IN BLOCK 70 OF BURKE & FARRAR'S KIRKLAND ADDITION TO THE CITY OF SEATTLE, DIVISION NO. 23, ACCORDING TO PLOT THEREOF RECORDED IN VOLUME 21 OF PLATS, PAGE 48, IN KING COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING ON THE SOUTHWESTERLY LINE OF SAID LOT 2 AT A POINT WHICH IS 253.53 FEET SOUTHEASTERLY OF THE SOUTHWEST CORNER OF LOT 1 IN SAID BLOCK;  
 THENCE, NORTHERLY 334.25 FEET TO THE SOUTH LINE OF THE NORTH 238.00 FEET OF SAID LOT 2 OF A POINT WHICH IS 193.00 FEET EAST OF THE WESTERLY LINE OF LOT 1 IN SAID BLOCK;  
 THENCE EASTERLY PARALLEL WITH THE NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 207.13 FEET TO THE EASTERLY LINE OF SAID LOT 2;  
 THENCE, SOUTHWESTERLY ALONG SAID EASTERLY LINE 404.25 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 2.  
 THENCE, NORTHWESTERLY ALONG THE SOUTHWESTERLY LONE OF SAID LOT 2, A DISTANCE OF 8.43 FEET.  
 THENCE, NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 2, A DISTANCE OF 41.84 FEET TO THE POINT OF BEGINNING.



# OVERLAKE SPECIALTY SCHOOL SITE PLAN A

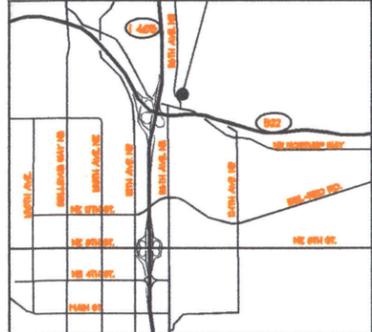


SCALE: 1"=20'-0"



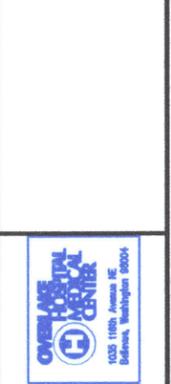
IMPERVIOUS SURFACE:		IMPERVIOUS SURFACE PERCENTAGE:	
BUILDING FOOTPRINT	5,566 SF	TOTAL SITE AREA	44,176 SF
PARKING & DRIVES	24,609 SF	TOTAL IMPERVIOUS SURFACE	32,318 SF
PLAYGROUND HARD SURFACE	2,063 SF	PER CENT IMPERVIOUS SURFACE	73.1%
TOTAL IMPERVIOUS SURFACE	32,318 SF	SITE DISTURBANCE AREA: 34,695 SF = 78.5%	

PROPOSED SITE  
OVERLAKE  
SPECIALTY SCHOOL



BELLEVUE, WASHINGTON NORTH  
VICINITY MAP (N.T.S.)

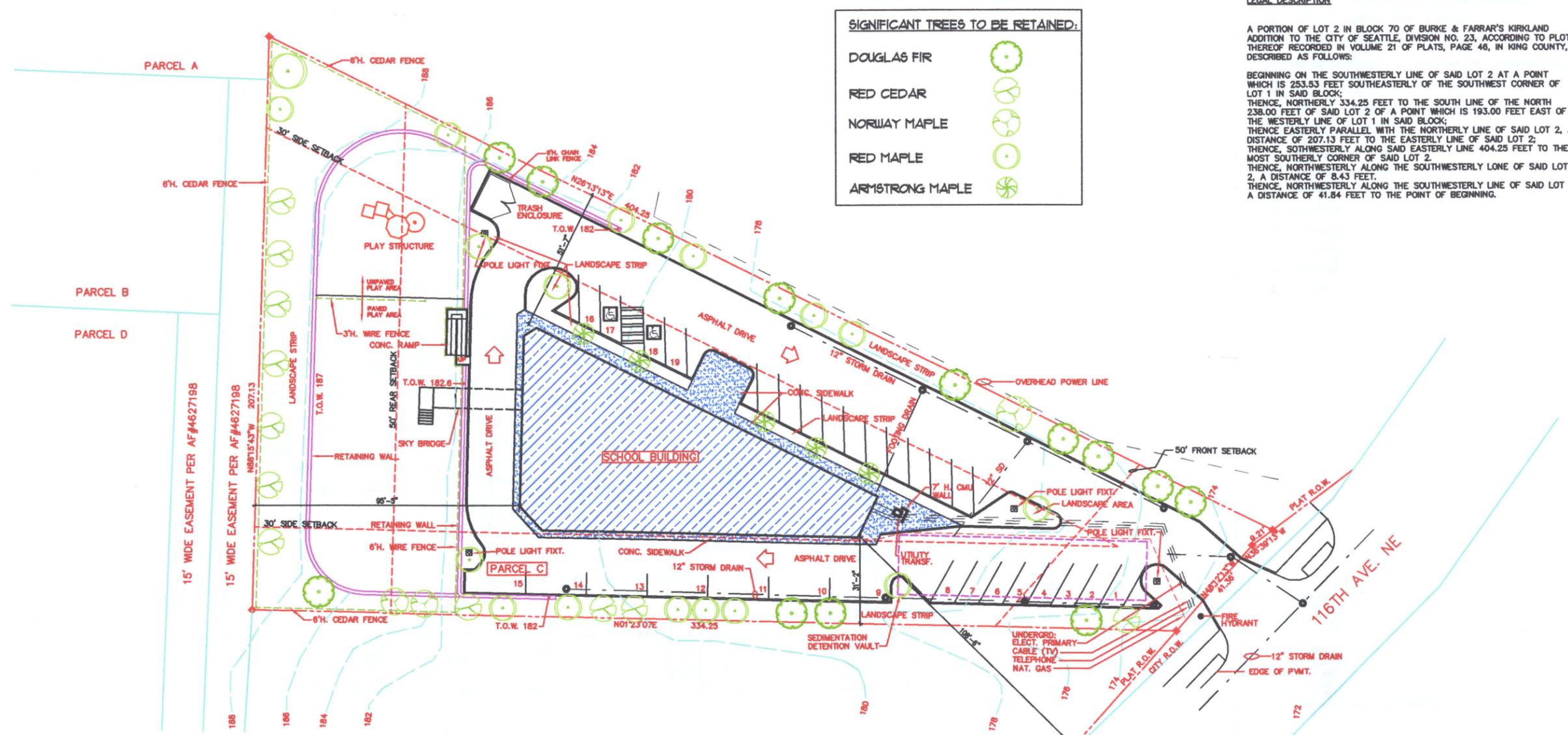
NO.	DATE	REVISION



OVERLAKE SPECIALTY SCHOOL  
2610 116th Avenue NE  
Bellevue, Washington  
Site Plan A

WANGERIN ASSOCIATES, LLC  
1011 190th Place SW, #6020  
Lynnwood, Washington 98037  
Telephone: 425-872-5719  
Fax: 425-872-7182

Date of Issue: February 1, 2011  
Job Number: 201015  
Sheet: A0.1  
Sheet of



- SIGNIFICANT TREES TO BE RETAINED:**
- DOUGLAS FIR 
  - RED CEDAR 
  - NORWAY MAPLE 
  - RED MAPLE 
  - ARMSTRONG MAPLE 

**LEGAL DESCRIPTION**

A PORTION OF LOT 2 IN BLOCK 70 OF BURKE & FARRAR'S KIRKLAND ADDITION TO THE CITY OF SEATTLE, DIVISION NO. 23, ACCORDING TO PLOT THEREOF RECORDED IN VOLUME 21 OF PLATS, PAGE 46, IN KING COUNTY, DESCRIBED AS FOLLOWS:

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## OVERLAKE SPECIALTY SCHOOL SITE PLAN B

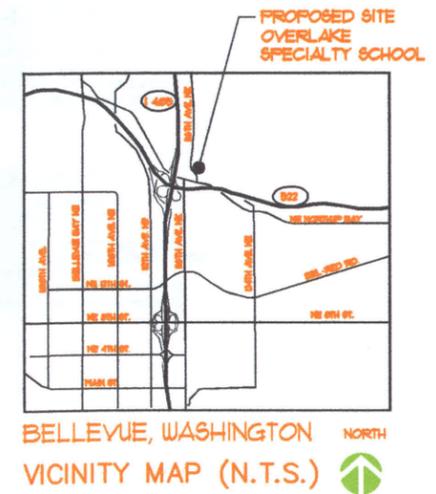


SCALE: 1"=20'-0"



NAVD 88 DATUM. BENCHMARK CITY OF BELLEVUE B.M. 63 BRASS CAP IN S/W @ RR CROSSING 116TH AVE. NE AND NORTHUP WAY. ELEVATION 183.11'

IMPERVIOUS SURFACE:		IMPERVIOUS SURFACE PERCENTAGE:	
BUILDING FOOTPRINT	5,566 SF	TOTAL SITE AREA	44,176 SF
PARKING & DRIVES	24,689 SF	TOTAL IMPERVIOUS SURFACE	32,318 SF
PLAYGROUND HARD SURFACE	2,063 SF	PER CENT IMPERVIOUS SURFACE	73.1%
<b>TOTAL IMPERVIOUS SURFACE</b>	<b>32,318 SF</b>	<b>SITE DISTURBANCE AREA: 34,695 SF = 78.5%</b>	



DATE	2-28-15	SCALE	AS SHOWN	NO.		REVISION			
									
<b>OVERLAKE SPECIALTY SCHOOL</b> 2610 116th Avenue NE Bellevue, Washington									
<b>WANGERIN ASSOCIATES, LLC</b> 1011 190th Place SW Lynnwood, Washington 98035 Telephone: 425-872-7718 Fax: 425-872-7182									
Date of Issue: February 1, 2015 Job Number: 201015 Sheet: <b>A0.2</b>									
Sheet _____ of _____									



**FIRST FLOOR PLAN**  
**SCALE: 1/8" = 1'-0"**

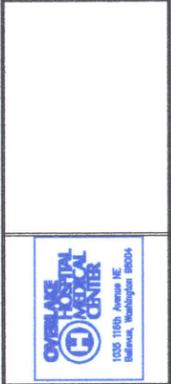
**CONSTRUCTION NOTES**

- 1 COUNTER TOP W/ P-LAM FINISH, 48" AFF.
- 2 COUNTER TOP W/ P-LAM FINISH, 36" AFF. OPEN ADJ. SHELVES BELOW W/ WHITE MELAMINE FINISH
- 3 ADD LEXAN PANEL IN FRONT OF WINDOW.
- 4 ADD OPAQUE FILM EA. SIDE OF DOOR VISION PANEL.
- 5 REPLACE ELEVATOR CALL BUTTON WITH KEY-OPERATED CALL.
- 6 REMOVE RELITE, IN-FILL W/ STUDS 4 5/8" TYPE X GUB.
- 7 ADD LOCKS TO EXISTING CASEWORK TO REMAIN.
- 8 SMART BOARD, 120V, DATA, (O.F.C.I.), 48" H, 12" W
- 9 WHITE BOARD, 48" H, 12" W
- 10 ELECT RANGE, (O.F.C.I.)
- 11 NEW PASS-THRU WINDOW.
- 12 SS SINK UNIT
- 13 WARMING TABLE (O.F.C.I.)
- 14 ICE MACHINE (O.F.C.I.)
- 15 REFRIGERATOR (O.F.C.I.)
- 16 FREEZER (O.F.C.I.)

**WALL TYPES**

- 1 NON-RATED INTERIOR WALL  
 5/8" GUB TYPE 'X' EA. SIDE OF  
 3-5/8" x 20 GA STUDS @ 16" O.C.  
 3" FIBERGLASS INSULATION  
 EXTEND GYPSOBOARD TO 4" ABOVE CEILING.  
 4" RUBBER WALL BASE TO MATCH EXISTING.  
 SEE 1/AB.0
- 2 NON-RATED INTERIOR WALL  
 SMOKE PARTITION  
 5/8" GUB TYPE 'X' EA. SIDE OF  
 3-5/8" x 20 GA STUDS @ 16" O.C.  
 3" FIBERGLASS INSULATION  
 EXTEND GYPSOBOARD TO STRUCTURE ABOVE  
 4" RUBBER WALL BASE TO MATCH EXISTING.  
 SEE 2/AB.0
- 3 NON-RATED INTERIOR WALL  
 SOUND PARTITION  
 5/8" GUB TYPE 'X' EA. SIDE OF  
 3-5/8" x 20 GA STUDS @ 16" O.C.  
 ON ROOM SIDE:  
 FACE LAYER - 5/8" TYPE 'X' "QUIET ROCK"  
 OR 5/8" TYPE 'X' "TOUGH ROCK" SOUND BOARD.  
 3" FIBERGLASS INSULATION  
 EXTEND GYPSOBOARD TO STRUCTURE ABOVE  
 4" RUBBER WALL BASE TO MATCH EXISTING.  
 SEE 3/AB.0

NO.	DATE	REVISION



Project: **OVERLAKE SPECIALTY SCHOOL**  
 2610 116th Avenue NE  
 Bellevue, Washington

Sheet Title: **FIRST FLOOR PLAN**

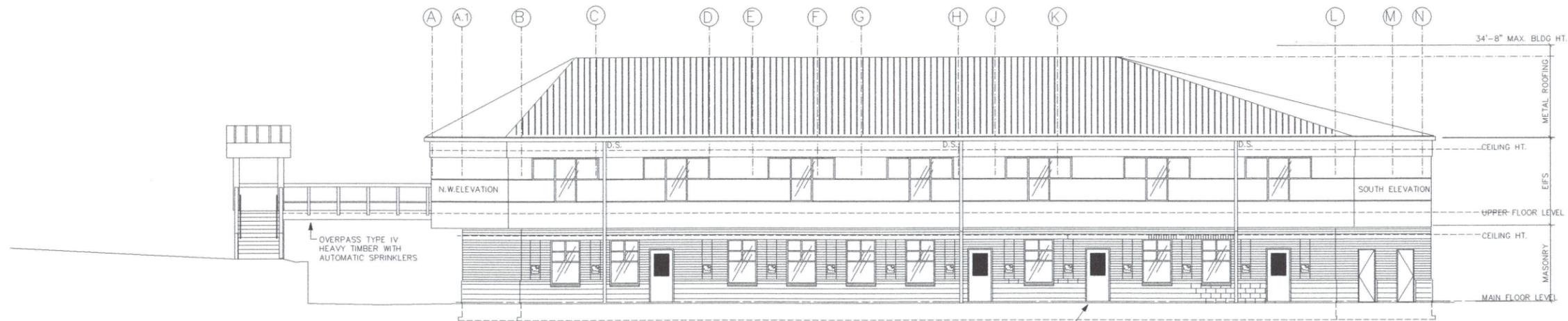
WANGERIN ASSOCIATES, LLC  
 1011 196th Place SW, 98036  
 Lynnwood, Washington 98188  
 Telephone: 425-872-7110  
 Fax: 425-872-7112

Date of Issue: February 1, 2011  
 Job Number: 201015  
 Sheet: **A2.0**



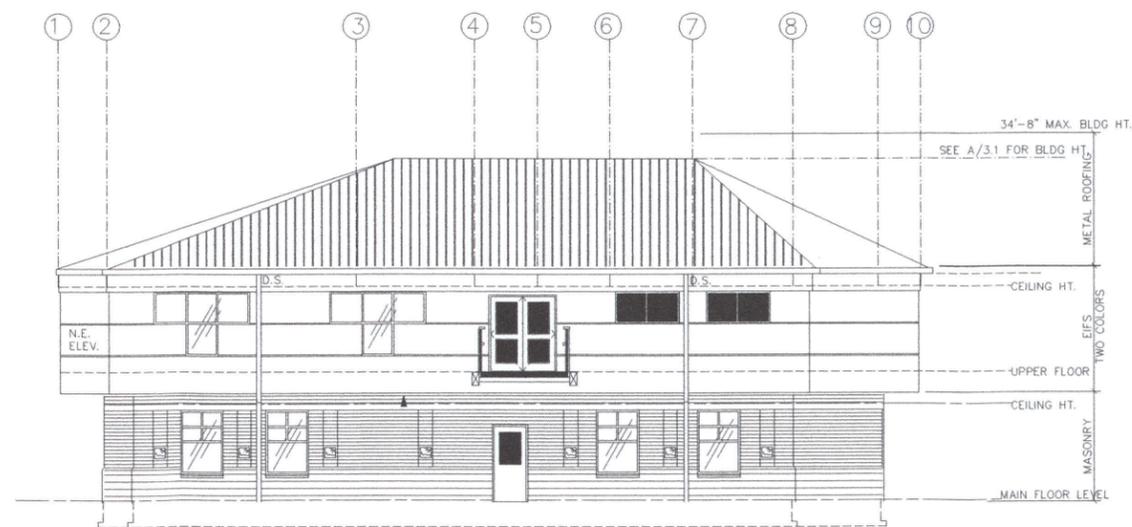


East Elevation

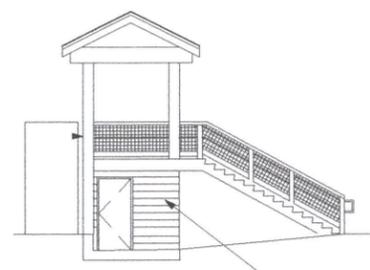


West Elevation

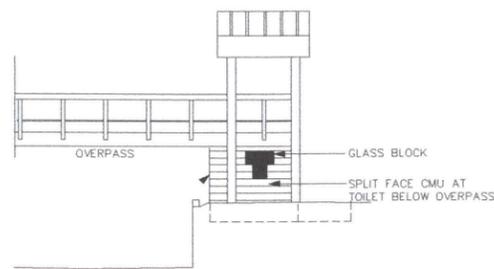
NOTE:  
NO CHANGES TO BUILDING EXTERIOR EXCEPT FOR THE ADDITION  
OF NEW EXTERIOR DOOR 02 ON THE WEST SIDE.



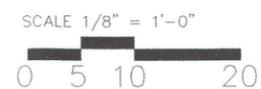
North Elevation



Toilet 121 North Elevation



Toilet 121 East Elevation



Date	Checked	Drawn	NO.	DATE	REVISION
2-25-11					
4-16-11					



Project  
**OVERLAKE SPECIALTY SCHOOL**  
2610 116th Avenue NE  
Bellevue, Washington

Sheet Title  
**EXTERIOR ELEVATIONS**

WANGERIN ASSOCIATES, LLC  
1011 198th Place SW  
Lynnwood, Washington 98036  
Telephone: 425-672-8719  
Fax: 425-672-7182

Date of Issue  
February 1, 2011

Job Number  
201015

Sheet  
**A4.0**

Sheet \_\_\_ of \_\_\_

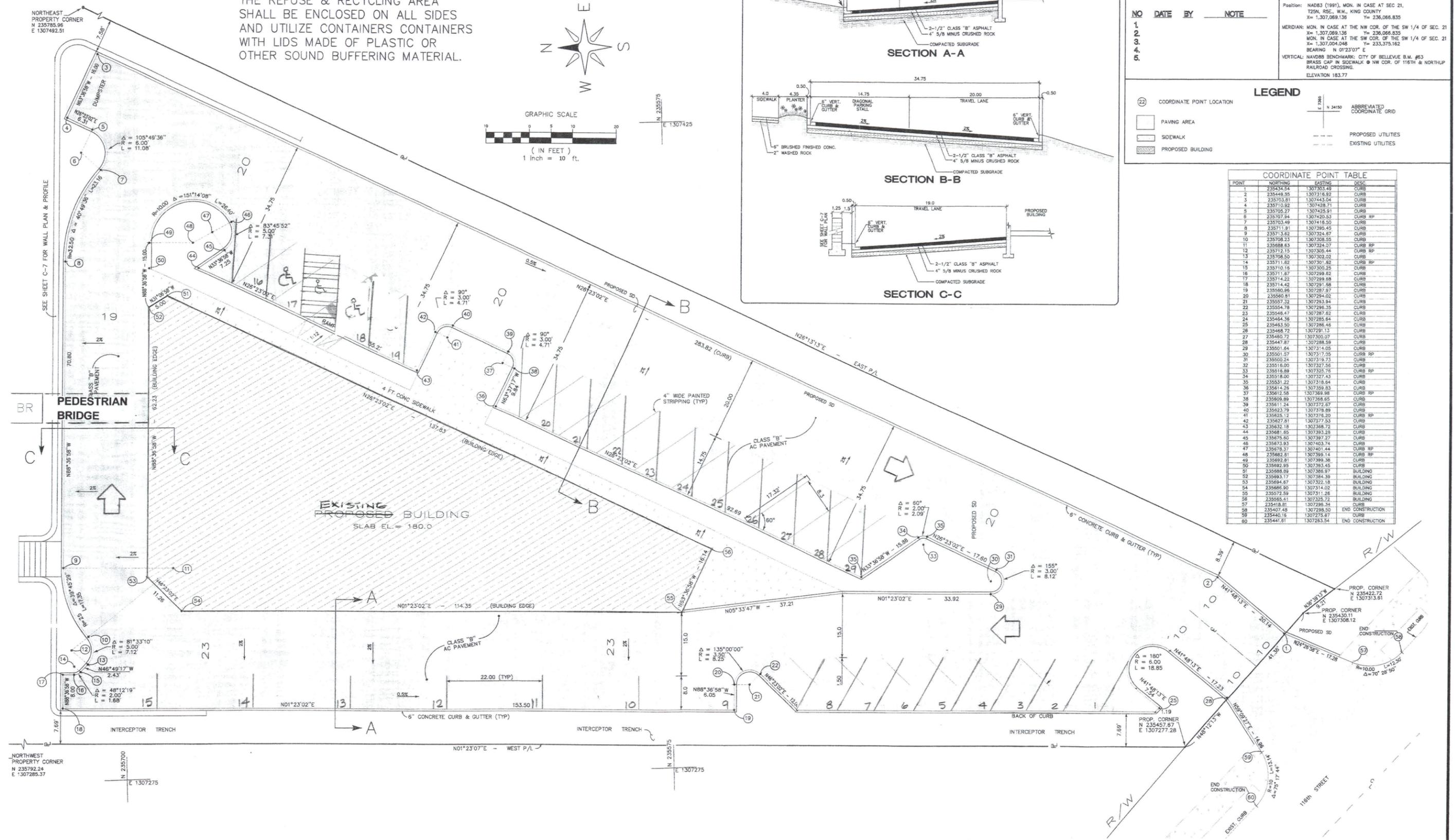
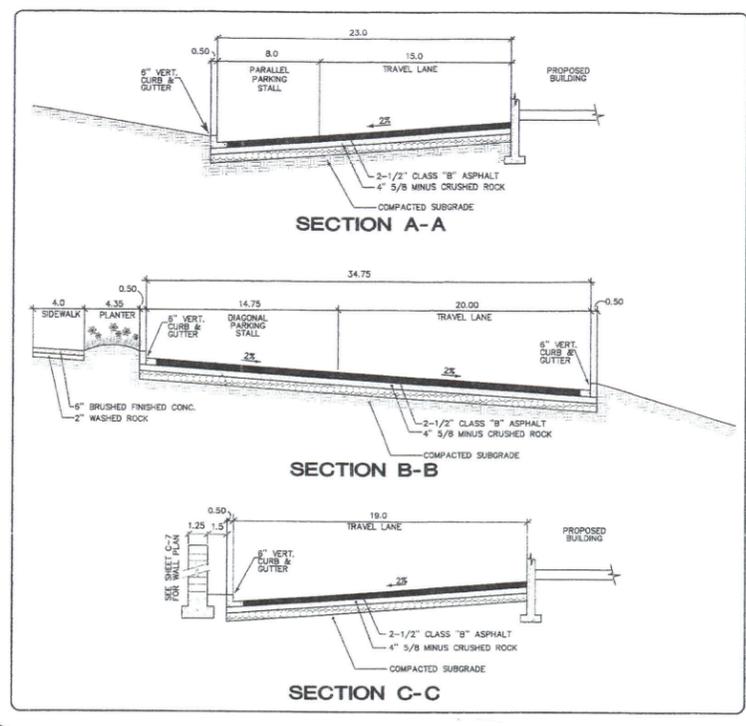
A PORTION OF THE SW 1/4 OF THE SW 1/4, SEC. 25, T25N, R5E, W.M.

REVISIONS				CONTROL DATUM	
NO	DATE	BY	NOTE	Position:	
1				NAD83 (1991), MON. IN CASE AT SEC 21,	
2				T25N, R5E, W.M., KING COUNTY	X = 236,066.835
3				MON. IN CASE AT THE NW COR. OF THE SW 1/4 OF SEC. 21	Y = 1,307,069.136
4				MON. IN CASE AT THE SW COR. OF THE SW 1/4 OF SEC. 21	X = 1,307,004.048
5				BEARING N 01°23'07" E	Y = 233,375.152
				VERTICAL: NAVD83 BENCHMARK: CITY OF BELLEVUE B.M. #3	
				BRASS CAP IN SIDEWALK @ NW COR. OF 115TH & NORTHUP	
				RAILROAD CROSSING.	
				ELEVATION 183.77	

LEGEND	
(22)	COORDINATE POINT LOCATION
[Symbol]	PAVING AREA
[Symbol]	SIDEWALK
[Symbol]	PROPOSED BUILDING
[Symbol]	ABBREVIATED COORDINATE GRID
[Symbol]	PROPOSED UTILITIES
[Symbol]	EXISTING UTILITIES

COORDINATE POINT TABLE			
POINT	NORTHING	EASTING	DESC.
1	235434.54	1307303.49	CURB
2	235444.25	1307316.23	CURB
3	235703.81	1307443.04	CURB
4	235710.92	1307428.71	CURB
5	235705.27	1307425.91	CURB
6	235707.84	1307426.23	CURB RP
7	235703.49	1307418.50	CURB
8	235711.81	1307395.45	CURB
9	235713.62	1307324.67	CURB
10	235708.23	1307308.55	CURB
11	235698.83	1307324.07	CURB RP
12	235712.15	1307305.44	CURB
13	235708.50	1307302.02	CURB
14	235711.62	1307301.82	CURB RP
15	235710.16	1307305.25	CURB
16	235711.87	1307299.82	CURB
17	235714.22	1307299.88	CURB
18	235714.42	1307291.58	CURB
19	235660.86	1307287.87	CURB
20	235660.81	1307294.02	CURB
21	235657.32	1307283.84	CURB
22	235654.78	1307296.35	CURB
23	235648.47	1307287.62	CURB
24	235644.38	1307285.64	CURB
25	235651.50	1307286.45	CURB
26	235648.72	1307291.13	CURB
27	235640.72	1307300.07	CURB
28	235647.81	1307288.58	CURB
29	235601.64	1307314.05	CURB
30	235601.57	1307317.05	CURB RP
31	235600.24	1307319.73	CURB
32	235616.00	1307327.56	CURB
33	235618.89	1307325.78	CURB RP
34	235618.00	1307327.43	CURB
35	235631.22	1307318.64	CURB
36	235614.26	1307359.83	CURB
37	235612.56	1307369.98	CURB RP
38	235608.89	1307368.85	CURB
39	235611.24	1307372.67	CURB
40	235623.79	1307378.89	CURB
41	235626.12	1307374.20	CURB RP
42	235627.81	1307377.53	CURB
43	235632.18	1307368.72	CURB
44	235681.85	1307393.28	CURB
45	235675.60	1307397.27	CURB
46	235673.93	1307403.74	CURB
47	235678.37	1307401.44	CURB RP
48	235682.81	1307398.14	CURB RP
49	235682.81	1307399.38	CURB
50	235692.95	1307393.45	CURB
51	235688.99	1307386.97	BUILDING
52	235693.17	1307384.39	BUILDING
53	235694.67	1307322.18	BUILDING
54	235686.90	1307314.02	BUILDING
55	235672.59	1307311.26	BUILDING
56	235685.61	1307325.72	BUILDING
57	235618.81	1307286.34	CURB
58	235407.48	1307298.50	END CONSTRUCTION
59	235440.18	1307274.87	CURB
60	235441.81	1307263.54	END CONSTRUCTION

NOTE  
THE REFUSE & RECYCLING AREA SHALL BE ENCLOSED ON ALL SIDES AND UTILIZE CONTAINERS WITH LIDS MADE OF PLASTIC OR OTHER SOUND BUFFERING MATERIAL.



BJ DATE 10/19/96  
DATE  
# 96070 FOR: Northup Omega

**CHESTNUT ELEMENTARY SCHOOL**  
"The Learning Garden"  
Northup Omega

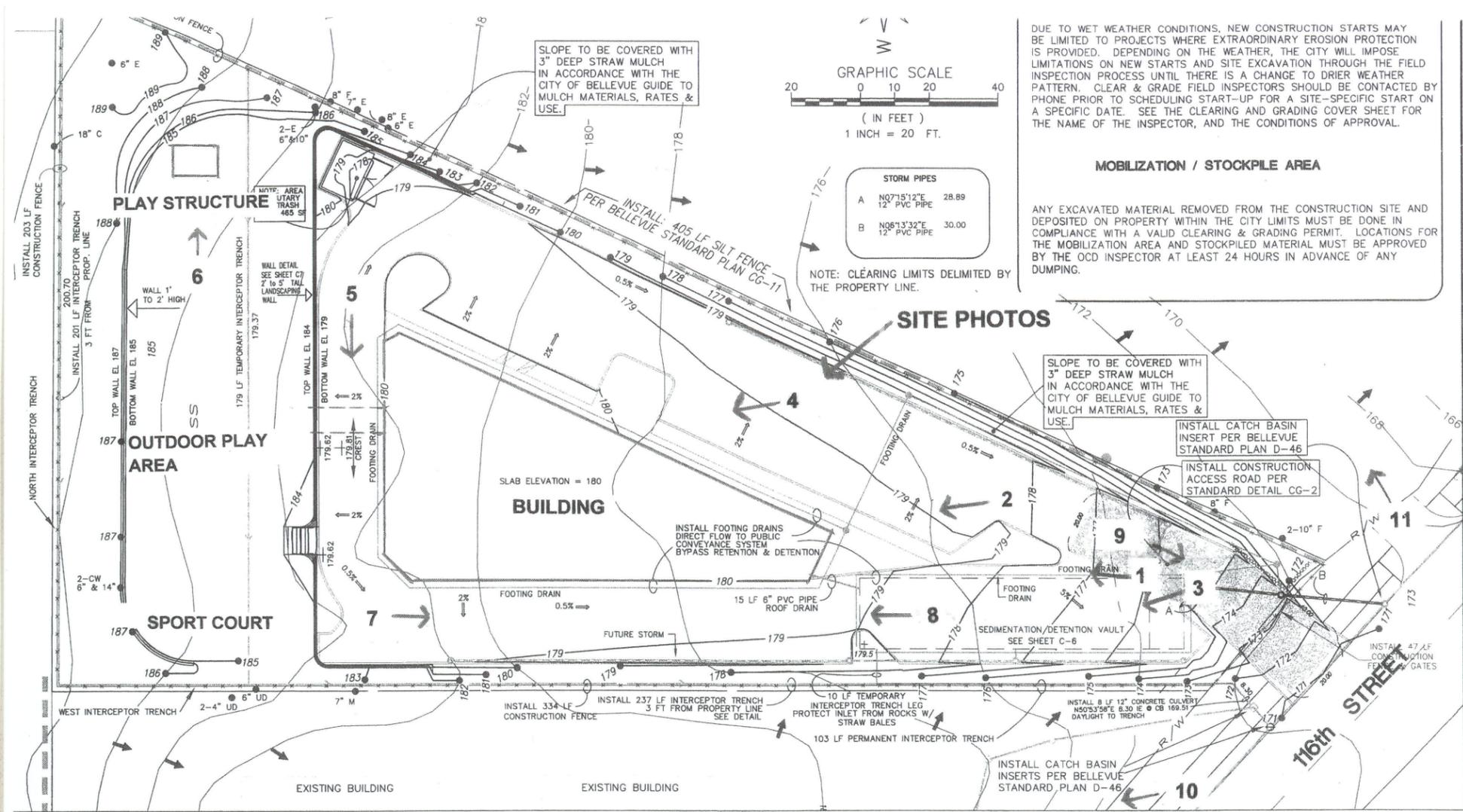
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THIS DOCUMENT, CONSISTING OF PLANS, DESIGNS, AND SPECIFICATIONS, WAS PREPARED UNDER MY PERSONAL SUPERVISION AND MEETS CITY OF BELLEVUE CODES AND STANDARDS AND FURTHER THAT SAID PLANS MEET THE GENERALLY ACCEPTED STANDARDS OF PRACTICE WITHIN THE STATE OF WASHINGTON.  
Harry P. Jones 2/4/88  
HARRY P. JONES, PLS DATE



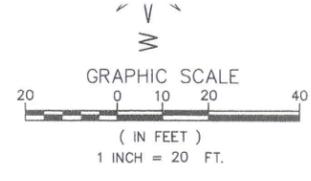
**JONES ENGINEERS INCORPORATED, P.S.**  
CONSULTING ENGINEERS  
851 COHO WAY, SUITE 307  
BELLINGHAM, WA 98225 (206) 733-8888

**SITE PLAN**  
**ROADWAY AND PARKING PLAN**  
**CONTRACT DOCUMENT**

SHEET  
**C-2**



DUE TO WET WEATHER CONDITIONS, NEW CONSTRUCTION STARTS MAY BE LIMITED TO PROJECTS WHERE EXTRAORDINARY EROSION PROTECTION IS PROVIDED. DEPENDING ON THE WEATHER, THE CITY WILL IMPOSE LIMITATIONS ON NEW STARTS AND SITE EXCAVATION THROUGH THE FIELD INSPECTION PROCESS UNTIL THERE IS A CHANGE TO DRIER WEATHER PATTERN. CLEAR & GRADE FIELD INSPECTORS SHOULD BE CONTACTED BY PHONE PRIOR TO SCHEDULING START-UP FOR A SITE-SPECIFIC START ON A SPECIFIC DATE. SEE THE CLEARING AND GRADING COVER SHEET FOR THE NAME OF THE INSPECTOR, AND THE CONDITIONS OF APPROVAL.



**STORM PIPES**

A	N07'15\"/>
B	N08'13\"/>

**MOBILIZATION / STOCKPILE AREA**

ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE OCD INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY DUMPING.

**SITE PHOTOS**

SLOPE TO BE COVERED WITH 3\"/>

INSTALL CATCH BASIN INSERT PER BELLEVUE STANDARD PLAN D-46

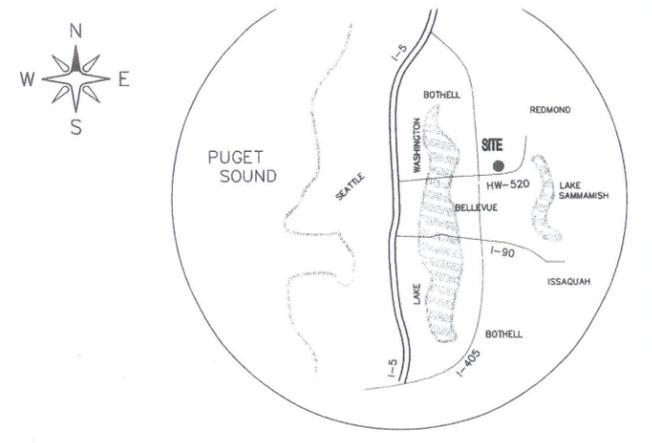
INSTALL CONSTRUCTION ACCESS ROAD PER STANDARD DETAIL CG-2

**GEOTECHNICAL NOTES**

THE PROJECT GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE MUST BE ONSITE DURING CRITICAL EARTHWORK OPERATIONS. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL EXCAVATIONS AND FILL AREAS. IN ADDITION, THE ENGINEER SHALL INSPECT THE SOIL CUTS PRIOR TO CONSTRUCTION OF THE ROCKERIES AND INSPECT THE COMPACTION IN FILL AREAS. THE ENGINEER MUST SUBMIT FIELD REPORTS IN WRITING TO THE OCD INSPECTOR FOR SOILS VERIFICATION AND FOUNDATION CONSTRUCTION. ALL EARTHWORK SHOULD BE IN CONFORMANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

THE GEOTECHNICAL ENGINEER OF RECORD MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING. IN ADDITION THE FOLLOWING CONSTRUCTION STAGES MUST BE INSPECTED, MONITORED, AND TESTED AS NECESSARY BY THE GEOTECHNICAL ENGINEER:

1. SITE CLEARING & STRIPPING OF ORGANIC TOPSOIL FOR ALL AREAS TO RECEIVE STRUCTURAL FILL, PAVEMENTS OR FOUNDATIONS.
2. CUT SLOPES OVER FOUR FEET HIGH.
3. BENCHING FOR FILL TO BE PLACED ON SLOPES.
4. PROPOSED IMPORT FILL MATERIAL, PRIOR TO PLACEMENT.
5. PLACEMENT OF STRUCTURAL FILL, INCLUDING OBSERVATION AND TESTING OF PROPER MOISTURE CONTENT LIFT THICKNESS, AND MINIMUM COMPACTION.
6. SUBGRADES FOR RETAINING WALLS, FOUNDATIONS AND FOR THE BASE OF ROCKERIES.
7. INSTALLATION OF SUBSURFACE DRAINAGE FACILITIES.
8. UTILITY TRENCH BEDDING AND BACKFILL INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT LIFT THICKNESS AND MINIMUM COMPACTION.
9. UTILITIES ON STEEP SLOPES; SLOPE ANCHORS AND/OR BACKFILL SLOPE STABILIZATION.
10. ANY UNUSUAL SEEPAGE, SLOPE OR SUBGRADE AS DELINEATED IN THE IN THE GEOTECHNICAL REPORT OR DISCOVERED IN THE FIELD.



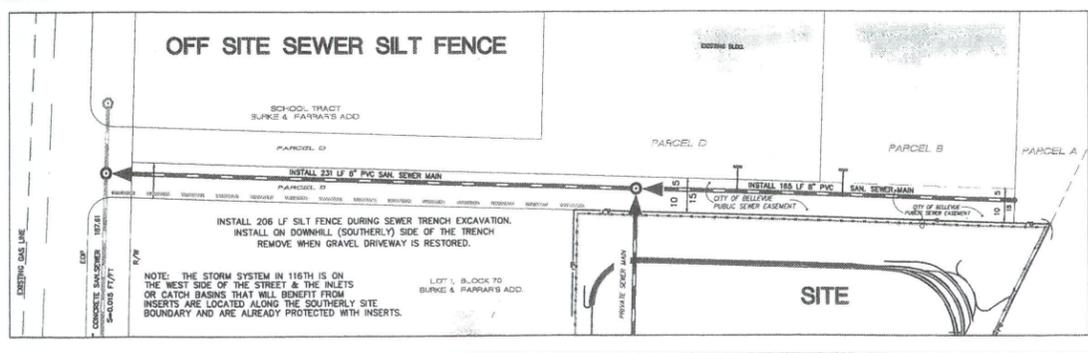
A PORTION OF THE SW 1/4 OF THE SW 1/4, SEC. 25, T25N, R6E, W.M.

**EARTHWORK QUANTITIES**

EXCAVATION = 1400 CY  
EMBANKMENT = 500 CY

**CLEARING AND GRADING NOTES**

1. All clearing and grading construction must be in accordance with City of Bellevue Clearing & Grading Code, Clearing & Grading Erosion Control Standard Details (CG-1) through CG-16m Development Standards, Land Use Code, Uniform Building Code, permit conditions, and all other applicable codes, ordinances and standards. The design elements within these plans have been reviewed according to these requirements. Any variance from adopted erosion control standards is not allowed unless specifically approved by the City of Bellevue Department of Community Development prior to construction. It shall be the sole responsibility of the applicant and the professional civil engineer to correct any error, omission, or variation from the above requirements found in these plans. All corrections shall be at no additional cost or liability to the City of Bellevue. All details for geogrid and soldier pile walls (including Clearing & Grading Standard Details CG-01 through CG-20) must be stamped by a professional engineer.
2. A copy of the approved plans must be on-site whenever construction is in progress. The applicant is responsible for obtaining any other required or related permits prior to beginning construction.
3. All locations of existing utilities have been established by field survey or obtained from available records and should, therefore, be considered only approximate and not necessarily complete. It is the sole responsibility of the contractor to independently verify the accuracy of all utility locations and to discover and avoid any other utilities not shown which may be affected by the implementation of this plan.
4. The area to be cleared and graded must be flagged and then inspected and approved by the clearing and grading inspector prior to beginning any work on the site.
5. A siltation fence must be constructed following slope contours and down slope from the building site per City of Bellevue Clearing & Grading Standard Detail CG-11 or CG-12.
6. A hard-surface construction access pad is required by Clearing & Grading Standard Detail CG-2 or CG-3. This pad must remain in place until paving is put down.
7. Clearing shall be limited to the area of construction activity. During the wet weather season (November 1 through April 30), the time of disturbed soil exposure shall not exceed 24 hours. From May 1 to October 31, the time of exposure shall not be more than 5 days. Exposed soil must be covered at the end of the construction week and also at the threat of rain.
8. To reduce the potential for erosion of exposed soils, or when rainy season construction is permitted, the following Best Management Practices (BMPs) are required:
  - Preserve natural vegetation for as long as possible or as required by the City of Bellevue. Per inspector and as required, stabilize soil per the City of Bellevue Guide to Mulch Materials and Use Chart, or cover with plastic. See detail CG-1.
  - Seal loose surface soil at night by compacting.
  - Install catch basin protection or insert as required by inspector or permit conditions of approval.
  - Install sediment pond. Installation of exposed aggregate surfaces requires a separate effluent collection pond onsite.
9. Final site grading must direct drainage away from all building structures at a minimum 2% slope, per the Uniform Building Code.



**QUANTITIES**

4\"/>	
BRUSH CLEARING	1.01 AC
REINFORCED SILT FENCE	405 LF
SILT FENCE	208 LF
INTERCEPTOR TRENCH	730 LF
CATCH BASIN INSERTS	3 EA
CONSTRUCTION BARRIER FENCE	897 LF
TOTAL EXCAVATION	1,330 CY
TOTAL EMBANKMENT	1,190 CY

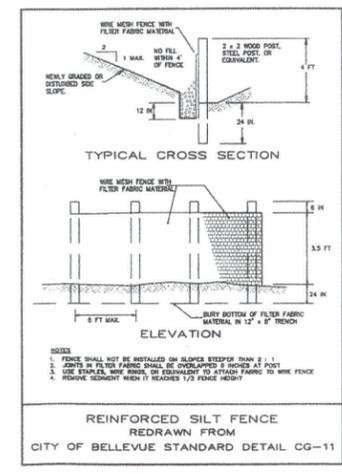
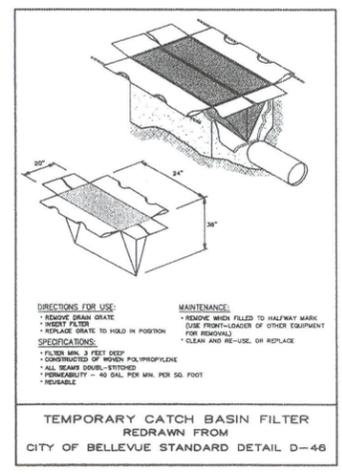
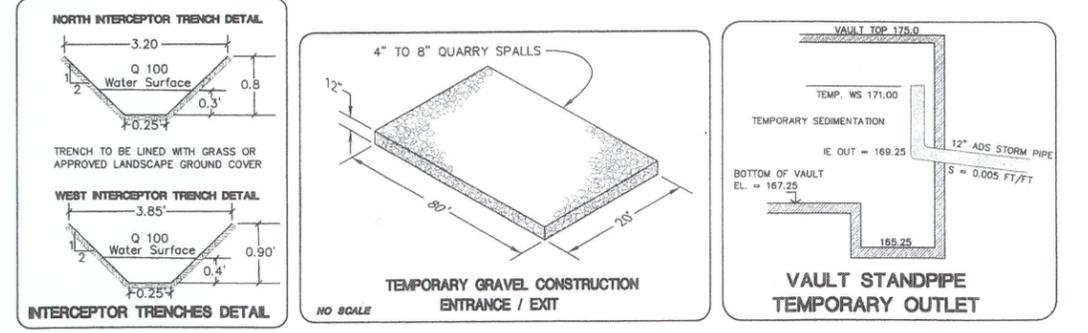
**CLEARING LIMITS**

THE CLEARING LIMITS ARE REPRESENTED BY THE PROPERTY LINE

**CONSTRUCTION SEQUENCE**

1. INSTALL CATCH BASIN INSERTS
  2. INSTALL CONSTRUCTION ACCESS ROAD.
  3. INSTALL SILT FENCE ALONG THE EASTERLY PROPERTY LINE AND ALONG THE PUBLIC RIGHT OF WAY.
  4. INSTALL CONSTRUCTION BARRIER ALONG NORTH AND WEST PROPERTY LINES
  5. CLEAR BRUSH NEAR PROPOSED SEDIMENTATION VAULT.
  6. CONSTRUCT SEDIMENTATION / DETENTION VAULT.
  7. CONSTRUCT PERMANENT STORM DRAINAGE CONVEYANCE SYSTEM FROM TO THE PUBLIC STORM DRAIN IN 116TH AVE.
  8. CLEAR & GRUB ALL BRUSH FROM THE SITE.
  9. CLEAR TREES OUTSIDE THE 7.5 FT SIDE BUFFER AND 20 FOOT REAR BUFFER.
  10. CONSTRUCT INTERCEPTOR DITCHES.
  11. DURING CLEARING AND GRADING OPERATIONS THE CONTRACTOR SHALL UNDERTAKE APPROPRIATE MEASURES TO ENSURE THAT SITE RUNOFF ENTERS THE SEDIMENTATION VAULT.
  12. INSTALL 12\"/>
- CONSTRUCT PERIMETER INTERCEPTOR DITCHES TO CONNECT TO PUBLIC DRAINAGE SYSTEM.
- PERFORM MASS GRADING OPERATIONS.
- MULCH EXPOSED SLOPES WITH 3\"/>

REVISIONS			CONTROL DATUM	
NO	DATE	BY	NOTE	
1.				Position: NAD83 (1991), MON. IN CASE AT SEC 21, T25N, R6E, W.M., KING COUNTY X= 1,307,089.136 Y= 236,066.835
2.				MERIDIAN: MON. IN CASE AT THE NW COR. OF THE SW 1/4 OF SEC. 21 X= 1,307,089.136 Y= 236,066.835
3.				MON. IN CASE AT THE SW COR. OF THE SW 1/4 OF SEC. 21 X= 1,307,004.048 Y= 233,375.162
4.				BEARING N 01°23'07\"/>
5.				VERTICAL: NAVD83 BENCHMARK: CITY OF BELLEVUE B.M. #63 BRASS CAP ON SIDEWALK @ NW COR. OF 116TH & NORTHUP RAILROAD CROSSING. ELEVATION 183.77



WN BY BJ DATE 10/19/06  
XED BY DATE

**CHESTNUT ELEMENTARY SCHOOL**  
"The Learning Garden"  
Northup Omega

OB # 96070 FOR:

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THIS DOCUMENT, CONSISTING OF PLANS, DESIGNS, AND SPECIFICATIONS, WAS PREPARED UNDER MY PERSONAL SUPERVISION AND MEETS CITY OF BELLEVUE CODES AND STANDARDS AND FURTHER THAT SAID PLANS MEET THE GENERALLY ACCEPTED STANDARDS OF PRACTICE WITHIN THE STATE OF WASHINGTON.

HARRY P. JONES 2/3/98  
HARRY P. JONES, PLS DATE

EXPIRES: MAY 10, 1998

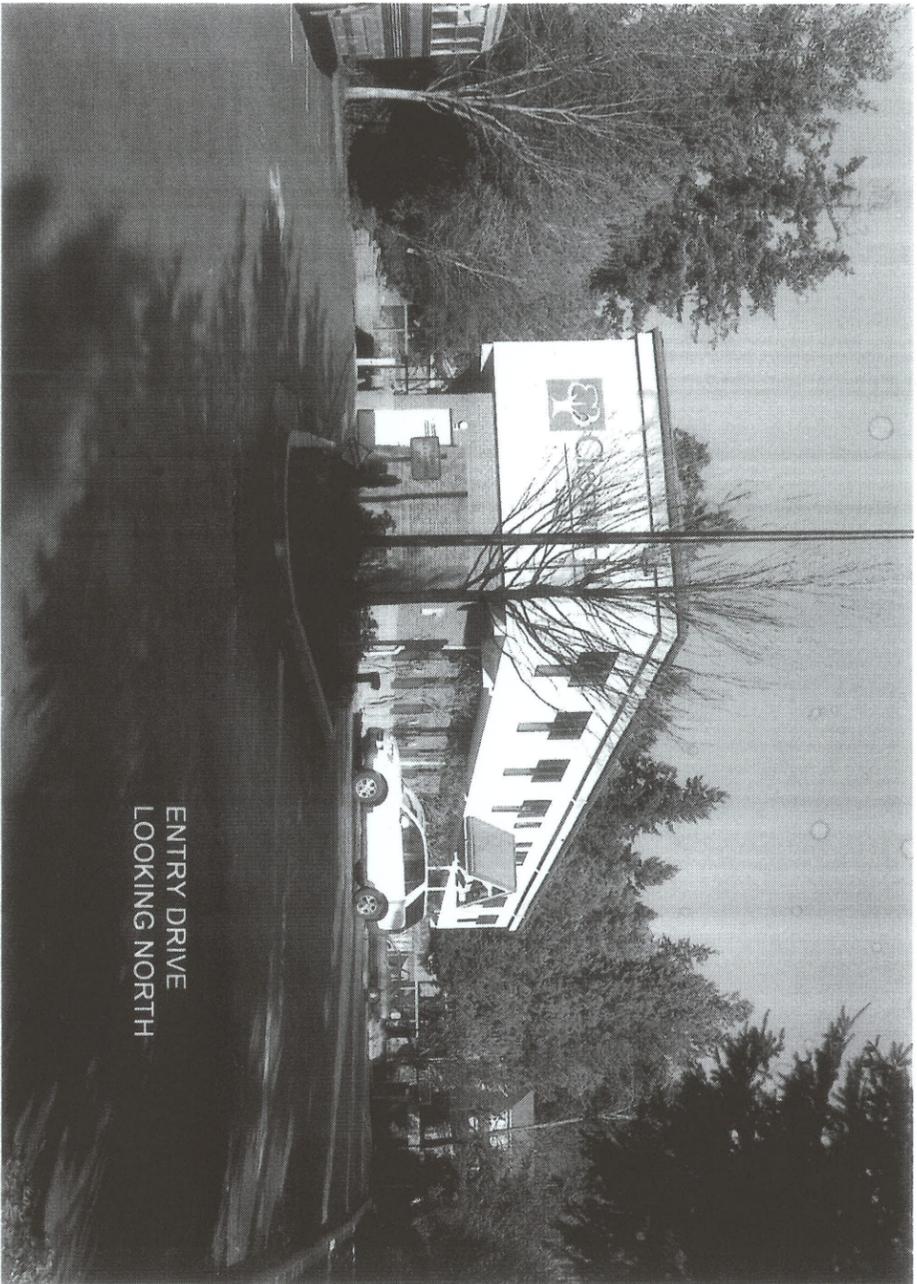
**JONES ENGINEERS INCORPORATED, P.S.**  
CONSULTING ENGINEERS

851 COHO WAY, SUITE 307  
BELLINGHAM, WA 98225 (208) 733-8888

**CLEARING, EROSION CONTROL PLAN**  
**CONTRACT DOCUMENT**

SHEET **C-3**

1



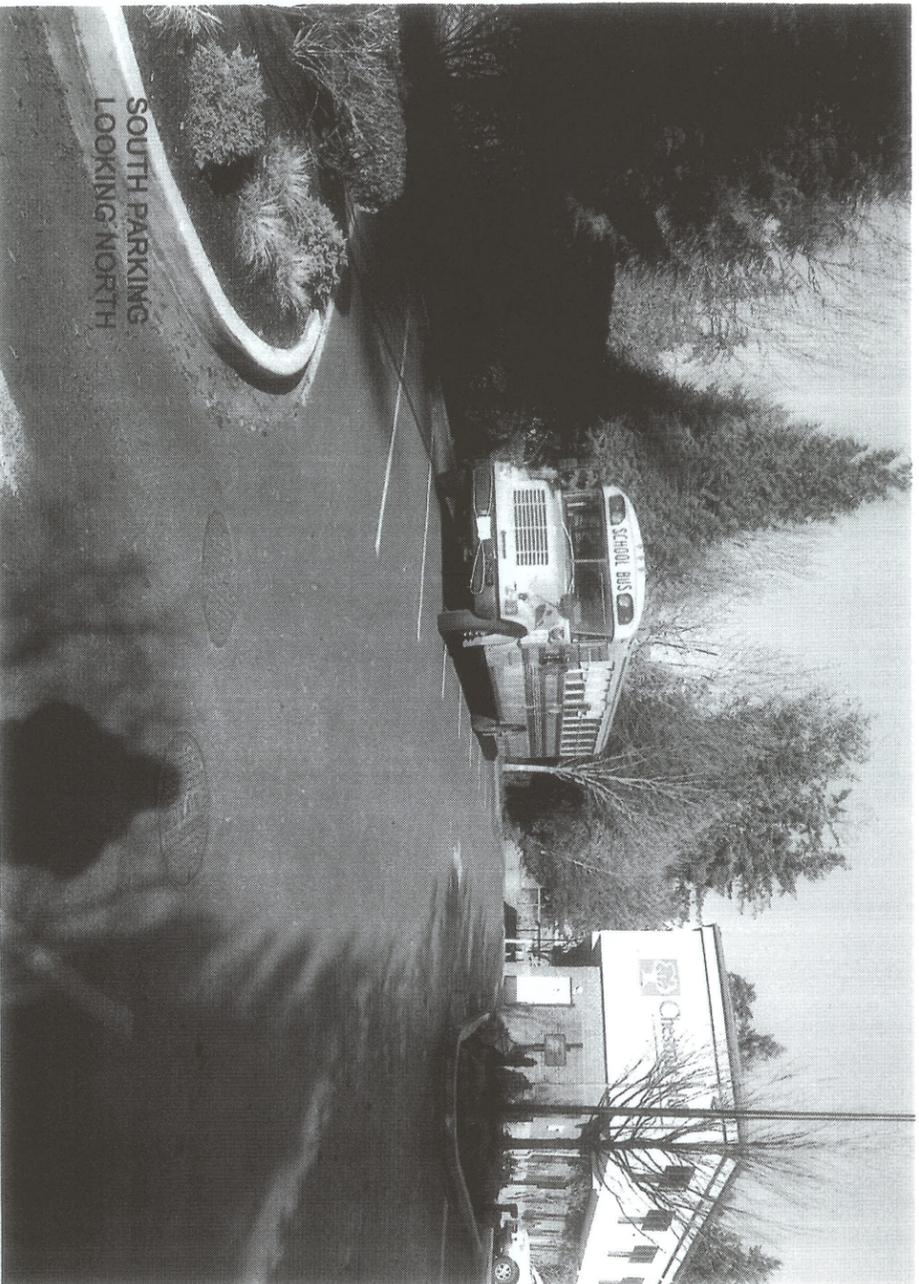
ENTRY DRIVE  
LOOKING NORTH

2



VIEW FROM SOUTHEAST

3



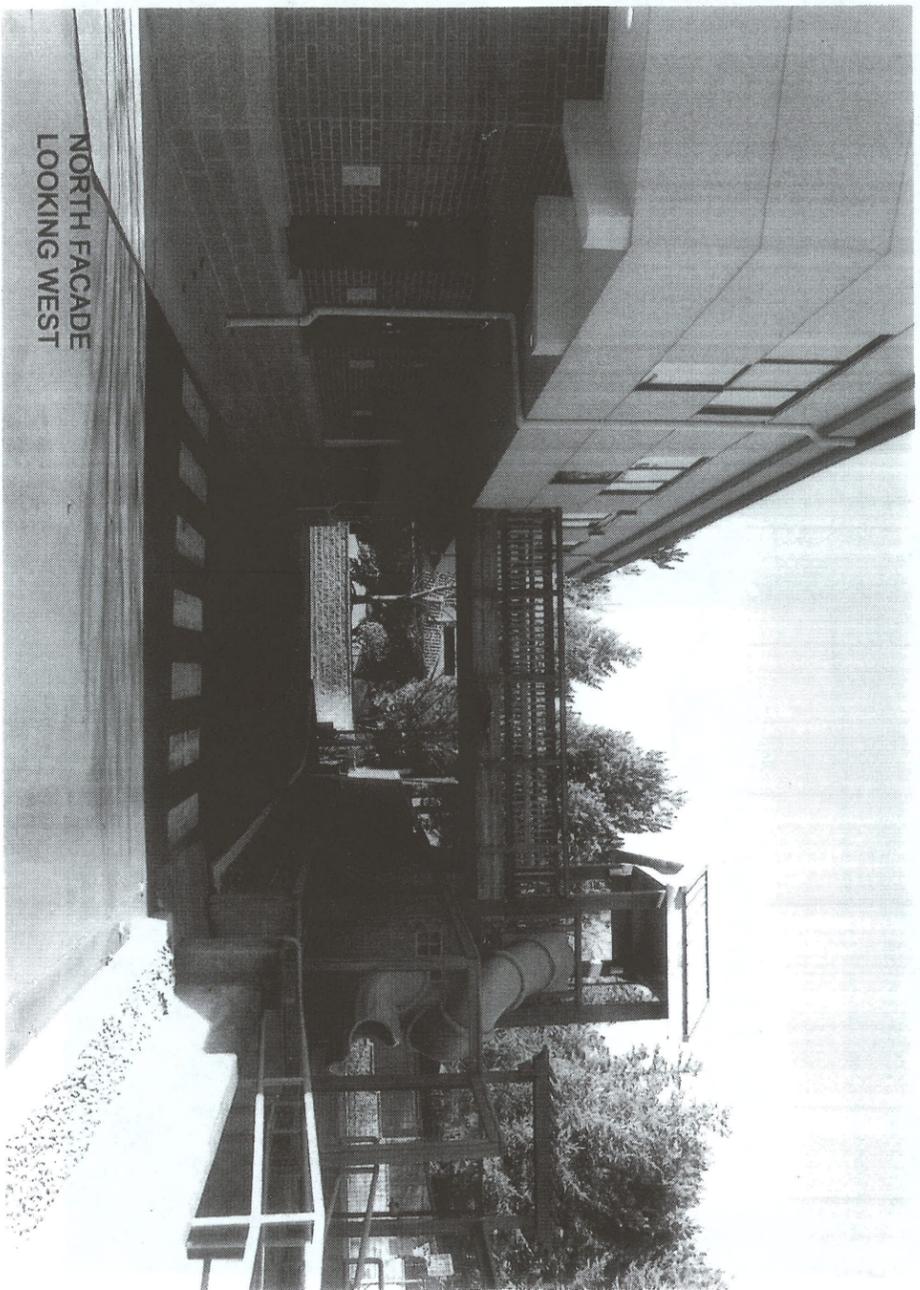
SOUTH PARKING  
LOOKING NORTH

4



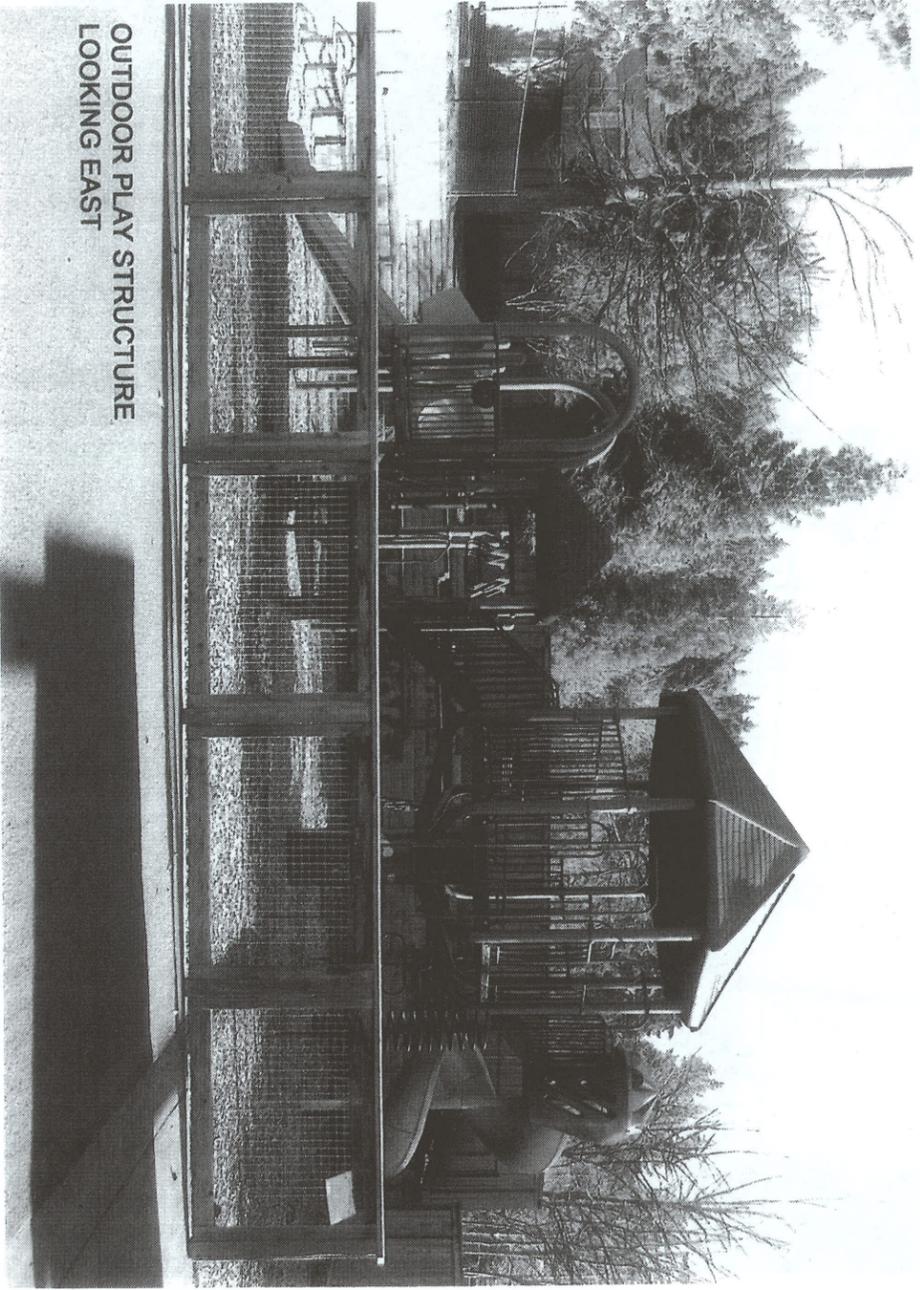
MAIN ENTRY  
LOOKING NORTHWEST

5



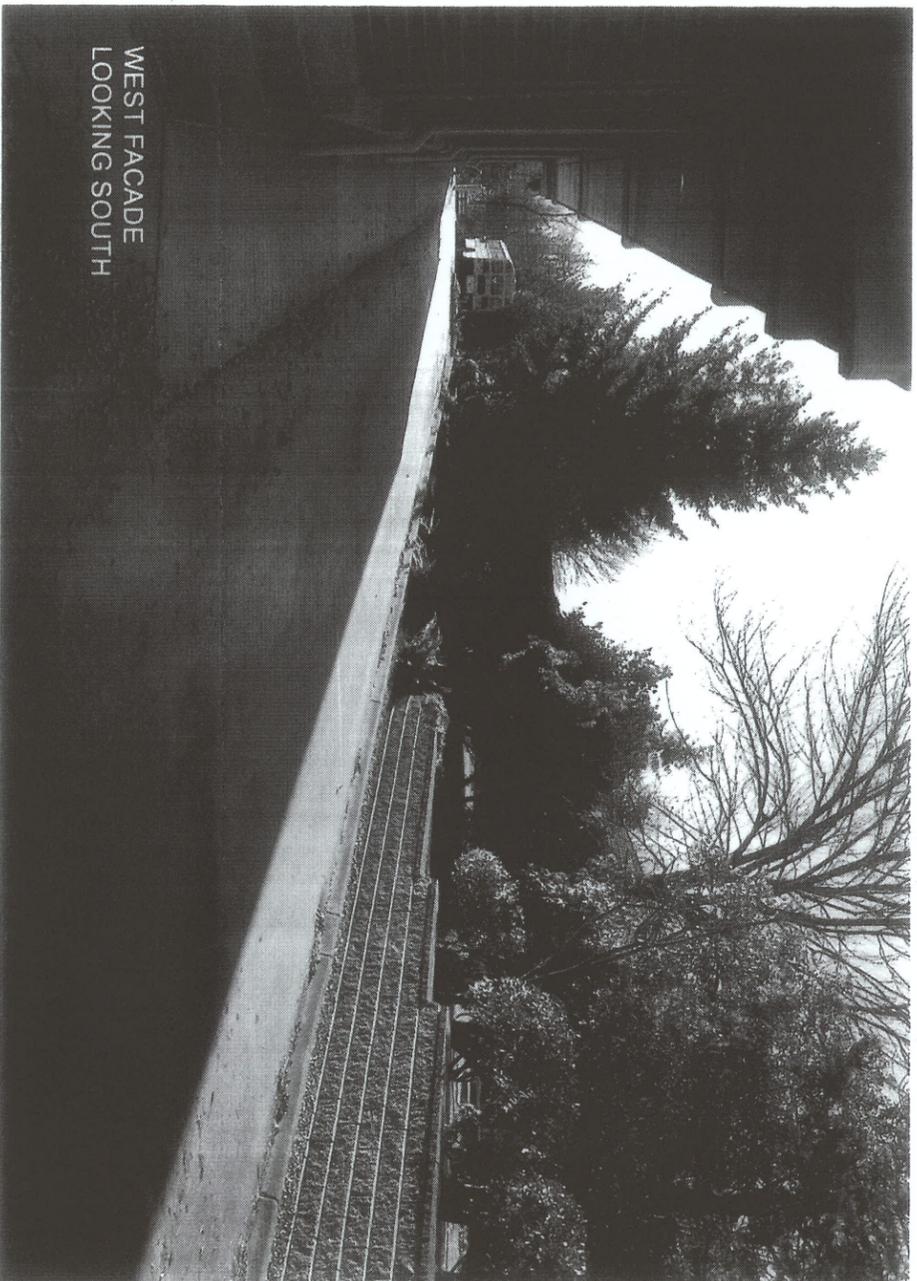
NORTH FACADE  
LOOKING WEST

6



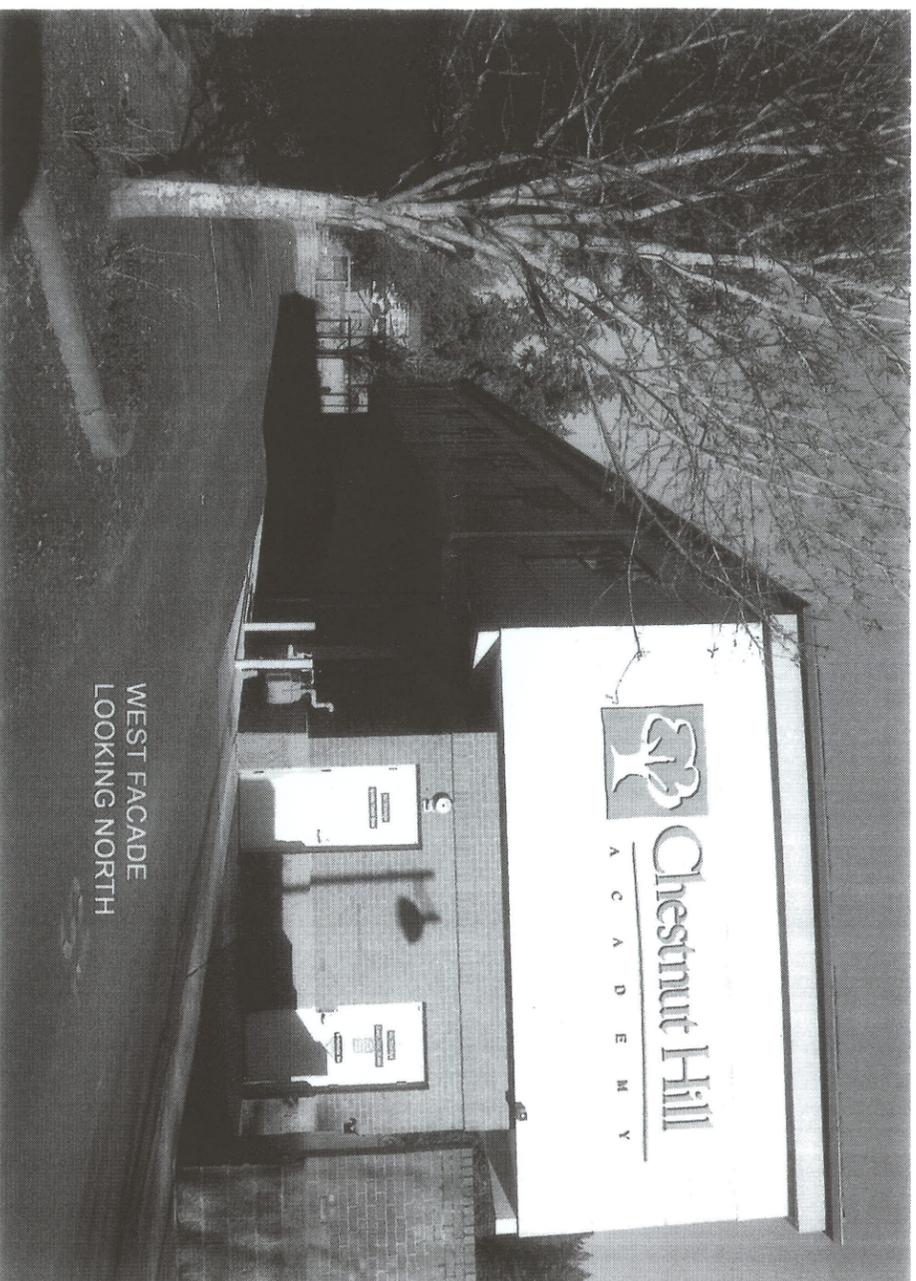
OUTDOOR PLAY STRUCTURE  
LOOKING EAST

7



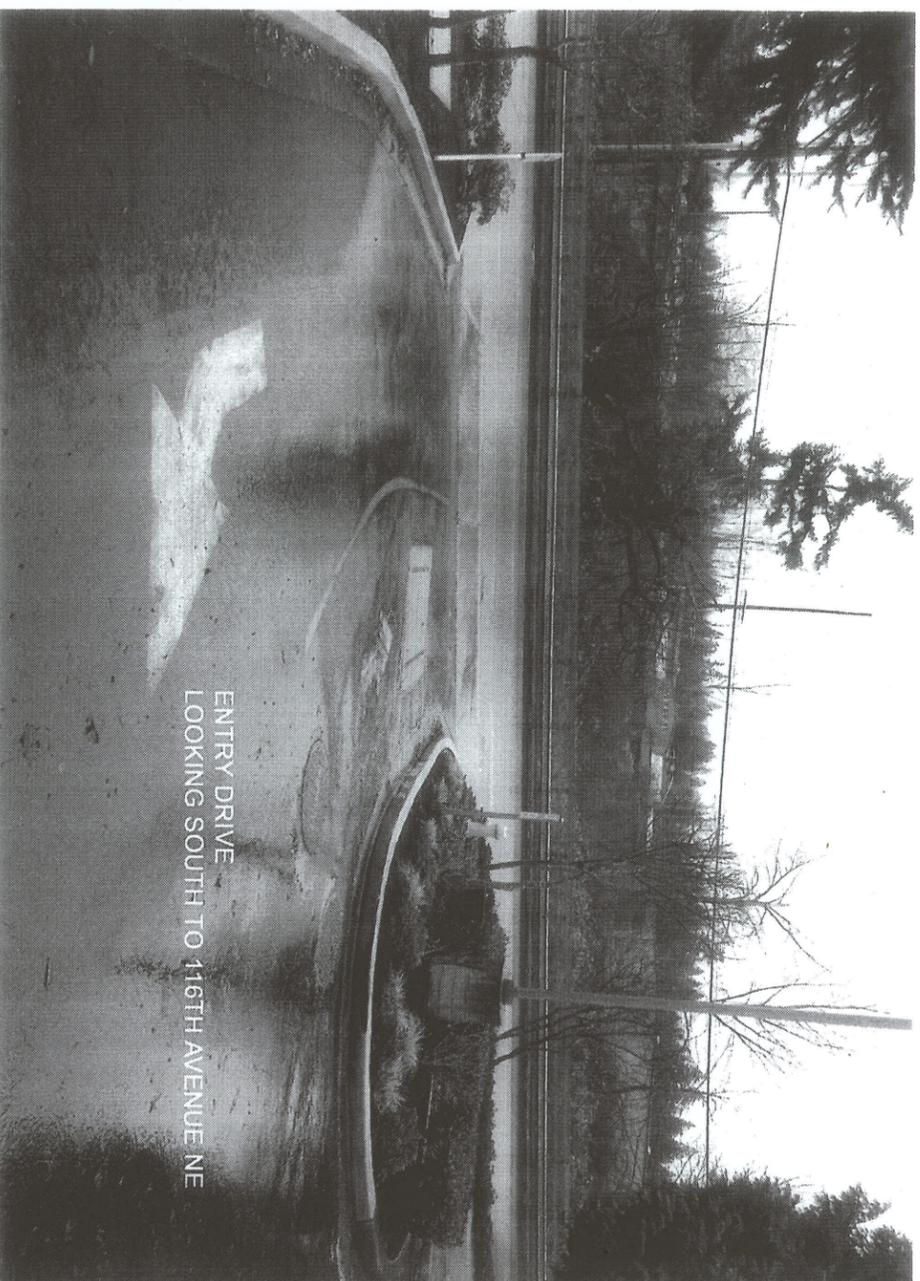
WEST FACADE  
LOOKING SOUTH

8



WEST FACADE  
LOOKING NORTH

9



ENTRY DRIVE  
LOOKING SOUTH TO 16TH AVENUE NE

10



ADJACENT PROPERTY  
TO THE WEST

11



ADJACENT PROPERTY TO THE EAST