



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
11511 MAIN ST., P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Bellevue Apartments

LOCATION OF PROPOSAL: 204 111th Avenue NE

DESCRIPTION OF PROPOSAL: Proposal to construct a 50,670 SF residential apartment building with 57 workforce residential units, 1,300 SF of ground level social service space and underground parking for 24 vehicles, on a 0.24 acre site in the DNTN-MU land use district.

FILE NUMBERS:

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on June 21, 2012.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carole V. Hellard
Environmental Coordinator

6/17/2012
Date

OTHERS TO RECEIVE THIS DOCUMENT:

State Department of Fish and Wildlife
State Department of Ecology,
Army Corps of Engineers
Attorney General
Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: **Bellevue Apartments**

Proposal Address: 204 111th Avenue NE

Proposal Description: Downtown residential project with 57 workforce residential units, approximately 1,300 SF of ground level social service space and underground parking for 24 vehicles on a 0.24 acre site zoned DNTN-MU.

File Number: **10-126206-LD**

Applicant: Bellevue Apartment Development LLLP
(Maria Barrientos, Interim Housing Director, LIHI)

Decisions Included: Process II, Combined Design Review decision and SEPA Determination

Planner: Sally Nichols

State Environmental Policy Act Threshold Determination: Determination of Non-significance (DNS)

Carol V. Helland
Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: *Carol V. Helland*
Carol V. Helland, Land Use Director

Date of Application: November 16, 2010
Notice of Application: December 23, 2010
Decision: June 7, 2012
Appeal Deadline: June 21, 2012

For information on how to appeal a proposal, visit the Development Services Center at City Hall, 450 110th Avenue NE, or call (425) 452-6800. Comments on State Environmental Act Determinations can be made with or without appealing the proposal within the noted comment period for the SEPA determination. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for appeal of the decision.

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Attachments

- A. Project Drawings
- B. SEPA Checklist

I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests Design Review approval and SEPA threshold determination for an apartment building containing 57 workforce housing units. The building will have 50,670 square feet with six floors of housing over one floor of underground parking for 24 vehicles. The site is approximately 0.24 acres and it is located in the DNTN-MU (Downtown – Mixed Use) land use district.

NE 2nd Street Elevation



A. Review Process

A Design Review is a Process II administrative decision by the Director of the Development Services Department (DSD). The SEPA Threshold Determination is also a Process II decision by the Environmental Coordinator. Appeals of the Process II administrative decisions are heard and decided by the Hearing Examiner.

B. Building and Site Design

Site Design:

The proposal building will be on a small downtown site at the intersection of NE 2nd Street and 111th Avenue NE. The footprint of the building will take up most of the site and the residential entry and addressing will be on 111th Avenue NE. There will be an improved streetscape along both street frontages:

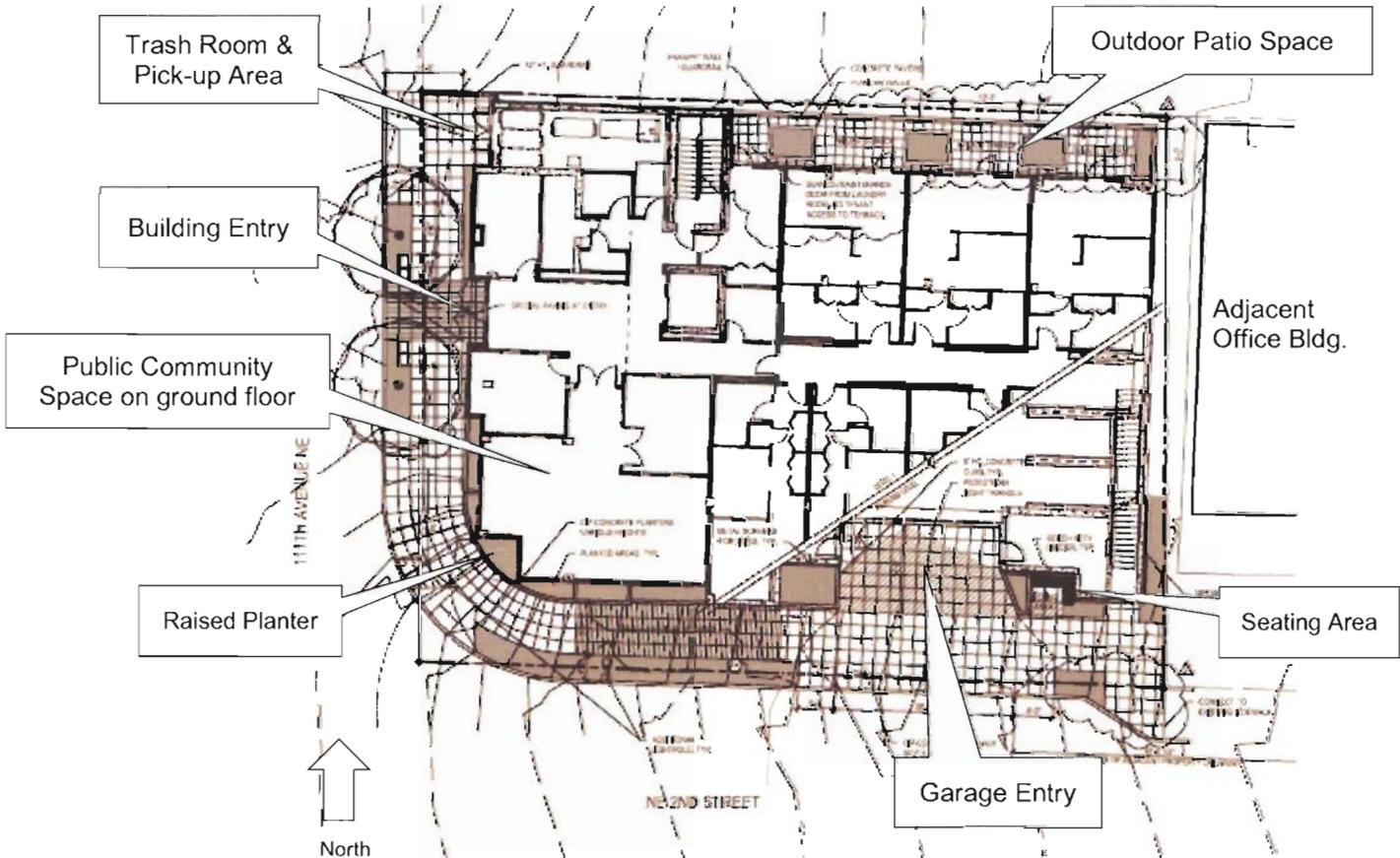
111th Avenue NE:

The streetscape will include a new 8-foot wide sidewalk, 4-foot wide planting strip with plantings and street trees, benches, a raised planter along the building base, and a marquee to provide continuous weather protection. These improvements will create a “welcome mat” to the building entry. Large windows at the street level will provide visual access into the common community spaces on the first floor of the building.

NE 2nd Street:

This streetscape will also include a new 12-foot wide sidewalk and 4-foot wide planting strip. The landscaped planter at the base of the building on 111th Avenue NE will turn the corner and continue on NE 2nd Street. Because of site distance issues at the street intersection and at the garage entry, there will be no street trees on NE 2nd Street. The entry to the garage will be off of NE 2nd Street, at the southeastern corner of the building, where the topography allows for direct, on-grade access into the garage. Additional plantings and a small seating area will be placed near the garage entry at the low point of the site.

Site Plan



Building Design:

The proposed building will contain five stories of residential apartments over one level on the ground floor that will include both apartments, social service spaces, and the residential lobby. There will also be one level of partially-underground parking that will have space for 23 vehicles and will also accommodate loading and delivery functions

for the entire building. The apartment mix will be a combination of studios and two and three-bedroom units.

The design intent/concept of the building is to celebrate the uniqueness of the inhabitants by developing a building character that is unique and playful, while still being respectful of the downtown context and adjacent development. The exterior of the building is a simple pairing of feature and background areas, with a prominent corner feature. Rhythm, created via changes in color and materials on the different planes of the building, and façade articulation, will provide interest on each facade of the building.

South (NE 2nd Street) and West (111th Avenue NE) Façades:

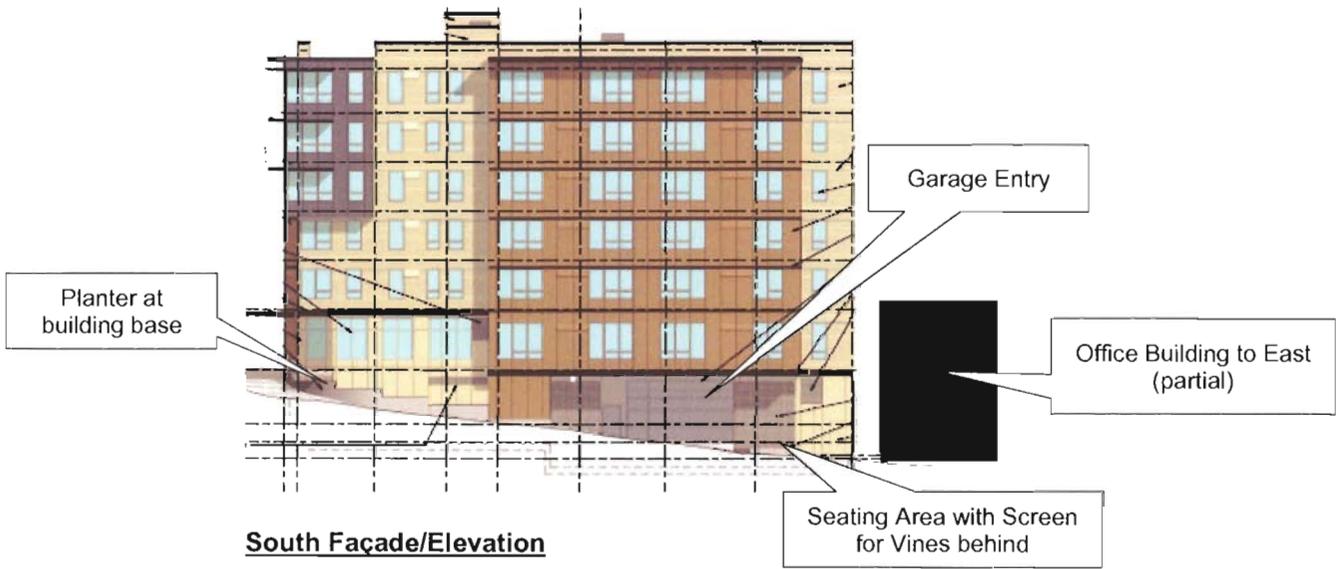
These two street frontage façades will be punctuated with a prominent corner feature. This feature will be pulled out from the building and will incorporate the upper three floors of the building. This area will be highlighted with dark grey panel siding (color 3 on the project drawings) and dark grey vinyl windows, which will contrast with the materials and lighter color of the lap siding areas behind. Because it faces southwest, the corner feature will also have metal louvered sunshades. The corner will be further emphasized with a landscape planter that is incorporated into the base of the building. This planter will begin south of the building entry and wrap around the entire corner.



Building Entry on 111th Avenue NE



West Façade/Elevation



South Façade/Elevation



**Corner at Street Intersection of
NE 2nd Street and 111th Avenue NE**

The remainder of the building facades will consist of feature areas of a brown panel siding (color 2 on project drawings) and recessed areas of a lighter-colored lap siding behind (color 1). Black metal fascia and trim bands will provide additional architectural interest on these brown feature areas. A black metal marquee will also extend along the entire western façade. On all building planes (except for the corner feature), the windows will be a warm tan vinyl which will add richness to the composition. Siding materials will carry down to the street levels of the building, which will have a modest concrete base.

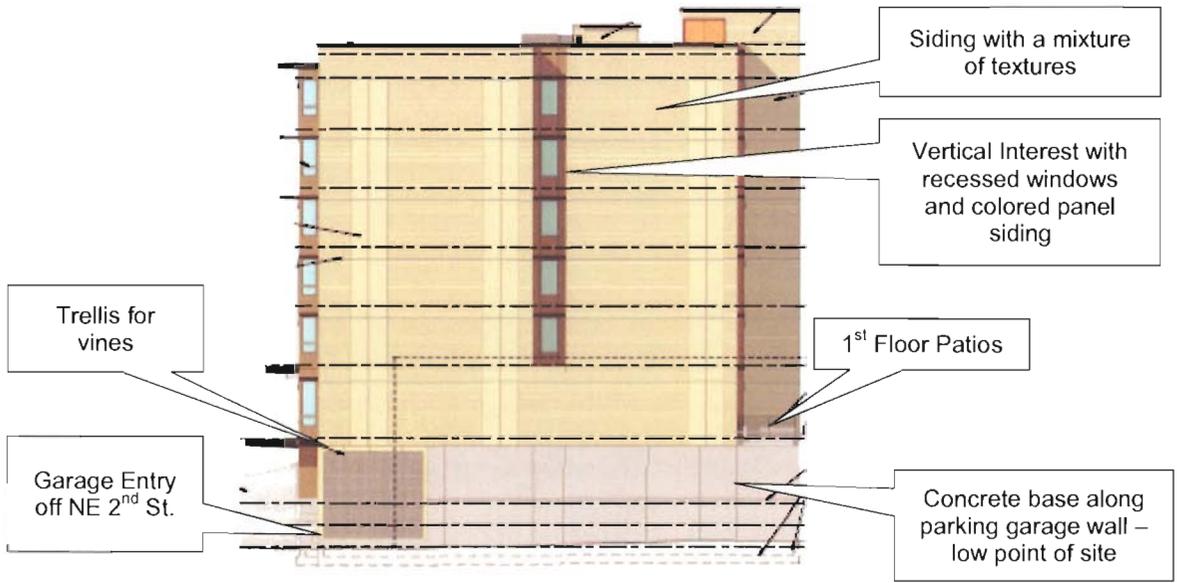
The pedestrian entry to the building will be on 111th Avenue NE. In addition to the front entry, the garbage and recycling pick-up functions will occur at the northern end of this façade. The dumpsters will be located in a trash room behind double doors and garbage bins will be moved back into the building right after pick-up by building staff. **Refer to Condition of Approval regarding solid waste/recycling containers in Section X of this report.**

Building Entry on 111th Avenue NE



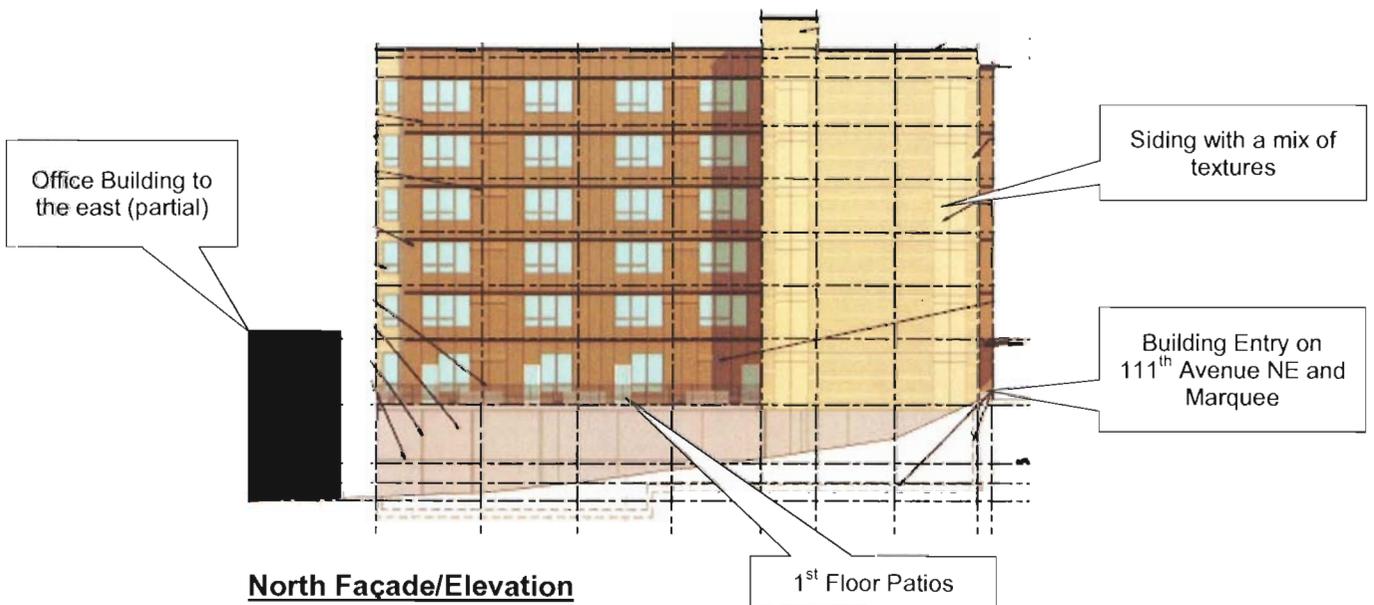
East and North Facades:

1. The eastern elevation will be very close to the property line. Due to fire codes regarding the interior building spaces and the close proximity to the property line, there will be few penetrations in the building wall. The majority of the façade will be lap siding with a vertical punctuation comprised of a strip of recessed windows and painted panel siding. An interplay of the different textures of lap and panel siding will also create some interest, along with metal through-wall flashing that runs horizontally. The base of the building will be concrete and a mesh screen to support vines will be provided in the southeast corner.



East Façade/Elevation

2. The northern façade will be comprised of a large area of residential windows that will be pulled back from the property line to allow for light, air and the provision of outdoor open space for three of the ground floor residential units. Each patio will have a large raised planter and paved area. This area of the façade will be clad with the brown panel siding with vinyl windows in a color to complement the siding. The western third of this façade will feature the interplay of lap and panel siding in one color. Windows are not located in this area due to the interior service functions which include the elevator and stairwell core.



North Façade/Elevation

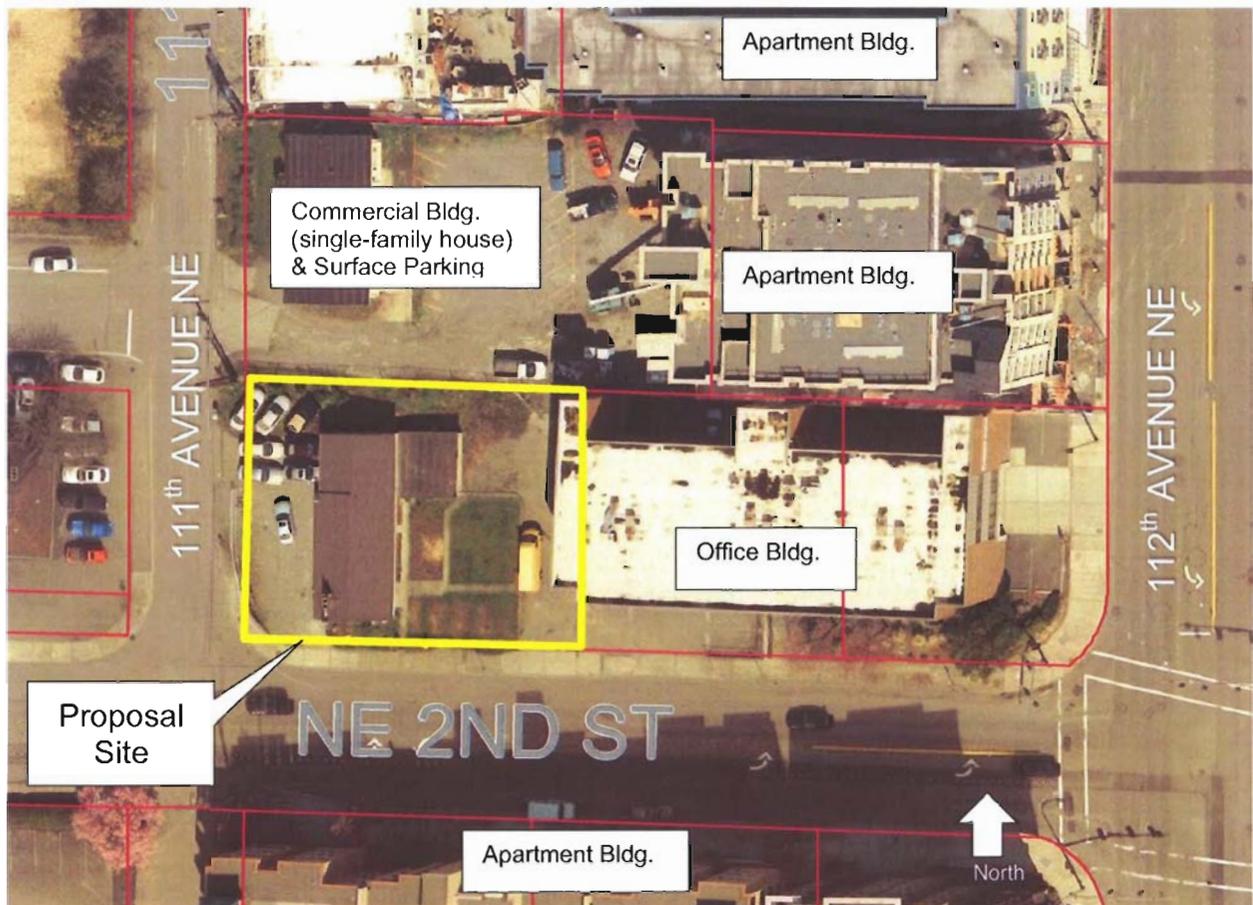
II. SITE DESCRIPTION, ZONING, & CONTEXT

A. Site Description (Existing)

The proposal site is one small lot on the corner of NE 2nd Street (designated as a minor arterial street) and 111th Avenue NE. It is currently occupied by an older two-story, single-family home. This home has been used for various retail and commercial enterprises, including the car dealership in the aerial photo below. The home is currently vacant and will be demolished prior to the construction of this proposal. The home fronts onto 111th Avenue NE, but also has access to the rear of the home off of NE 2nd Street.

The site is steeply sloped with over 17-feet of fall from a high point on the western property line, down NE 2nd Street, to a low point along the eastern property line. The highest proposed finish grade along the western property line on 111th Avenue NE is approximately 116-feet.

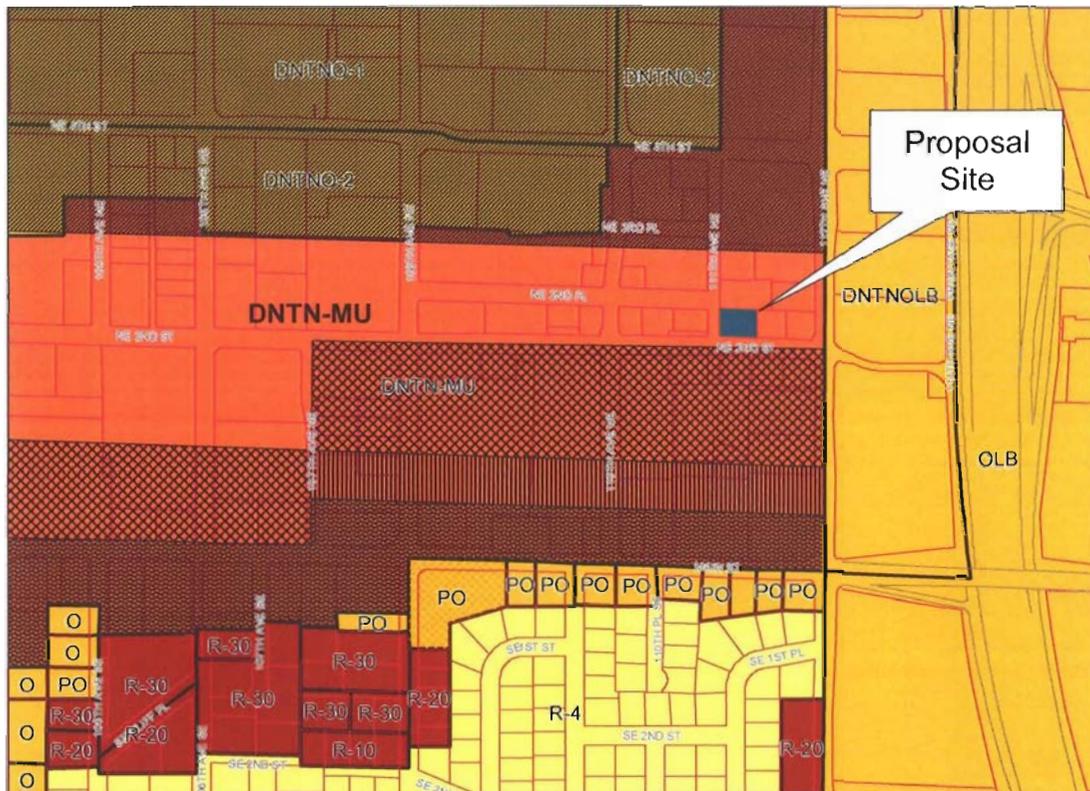
Aerial Photograph



B. Site Zoning

A site zoning map is provided below. The proposed site lies within the Downtown – Mixed-Use land use district, near the in the southeastern corner of the Downtown. It is neither within the Downtown Core nor within a Perimeter Subdistrict. The proposed residential use and ancillary social services are allowed outright in this land use district.

Land Use Districts

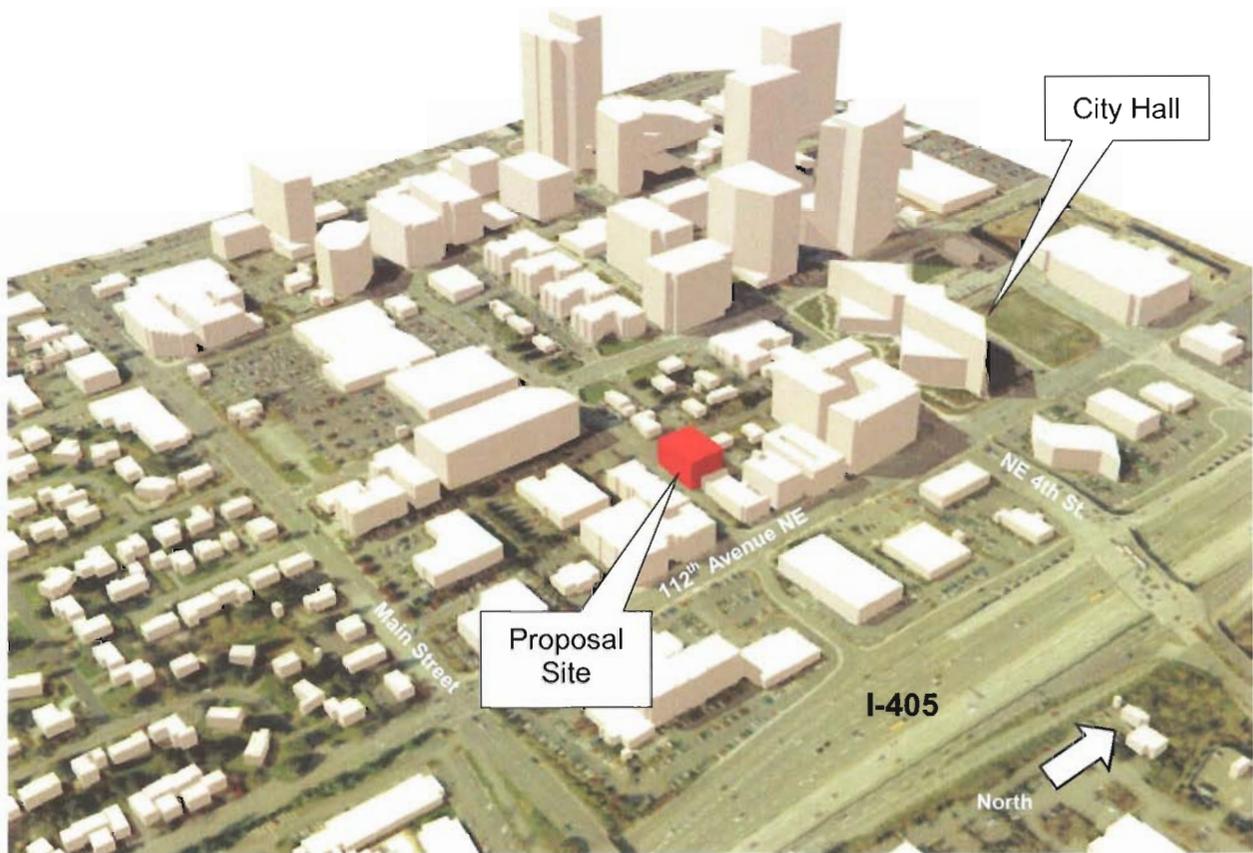


C. Site Context

NE 2nd Street and 111th Avenue NE are both designated as a Type “D/R” streetscapes per the LUC’s Design Guidelines Building/Sidewalk Relationships (DG-B/SR). These streetscapes are to have low to moderate orientation to pedestrians and shall complement residential uses. The surrounding properties are all located in the same land use district, DNTN-MU. Many of the surrounding properties are underutilized according to current zoning and occupied with older, single-story homes with house retail uses. This is also the case of the proposal site. The surrounding uses include the following:

- North:** DNTN-MU, retail use with an open parking lot and a one-story older single-family home
- East:** DNTN-MU, commercial/office use with a 4-story office building
- West:** DNTN-MU, with older, one-story single-family homes housing retail uses
- South:** DNTN-MU, Subdistrict C; multi-family residential buildings within the Downtown Perimeter Design District ‘C’

Bird's Eye View - Context



III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Uses

The proposed residential use and ancillary social service use that will take place in the social services space on the ground floor are permitted in the Downtown-MU land use district.

2. Dimensional Requirements

The dimensional/area requirements that apply in DNTN-MU are listed below and compared to the proposal.

Dimensional Requirements

Item	Permitted/Required	Proposed	Comments/Conditions
Project Limit	No minimum	10,383 SF	Located in DNTN-MU
Building Height	Basic: 150 FT Max.: 200 FT plus 15 FT for non-habitable space	70 FT (plus 10 FT for the stair penthouse and 16 FT for the elevator penthouse)	Measured from average finish grade to the roof-top 15-FT allowed for rooftop mechanical equip. LUC 20.50.012 Meets requirement.
Building Coverage	100%	Approx. 100%	LUC 20.25A.020.B.5.b applies.
Total Gross Square Feet (GSF)	No maximum GSF	50,671 SF	LUC 20.50.022 <u>excludes</u> vent shafts, stairwells and balconies.
Floor Area Ratio (FAR)	Residential: 2.0 Min. 5.0 Max.	5.0	Meets requirements. Refer to Section III.B below.
Floor Area per Floor Above 40 Feet	20,000 GSF/FLR	7,499 SF	LUC 20.25A.020 Meets requirement.
Setbacks	<u>Front</u> : 0 FT – measured from back of sidewalk <u>Rear</u> : 0/20 FT* <u>Side</u> : 0/20 FT* * 20 FT if building exceeds 75 FT	0 FT 1'-6" 1'-6"	LUC 20.25A.020 Building height is less than 75 FT. Meets Requirement
Refuse & Recycling	Minimum: 1.5 SF/unit @ 160 units = 240 SF	Provided: 510 SF trash room - exceeds minimum.	LUC 20.20.725 Meets requirement. Allied Waste reviewed the plans and provided written support for the size of and the access to the refuse and recycling area. <u>Refer to Condition of Approval regarding solid waste/recycling containers in Section XI of this report.</u>
Sidewalk Width	12.5 FT (including 4-foot planting strip & curb)	12.5 FT (including 4-foot planting strip & curb)	Special paving allowed if it meets Trans. & ADA req. and indemnification agreement is in place. <u>Refer to Condition of Approval regarding alternative streetscape designs in Section XI of this report.</u> LUC 20.25A.060.A

Item	Permitted/Required	Proposed	Comments/Conditions
Street Tree Caliper & Species	111 th Avenue NE: Acer rubrum/Red Maple No trees required on NE 2 nd due to site distance issues.	111 th Avenue NE: Acer rubrum/Red Maple 3-inch caliper	Meets requirement LUC 20.25A.060.B (Street Tree Map)

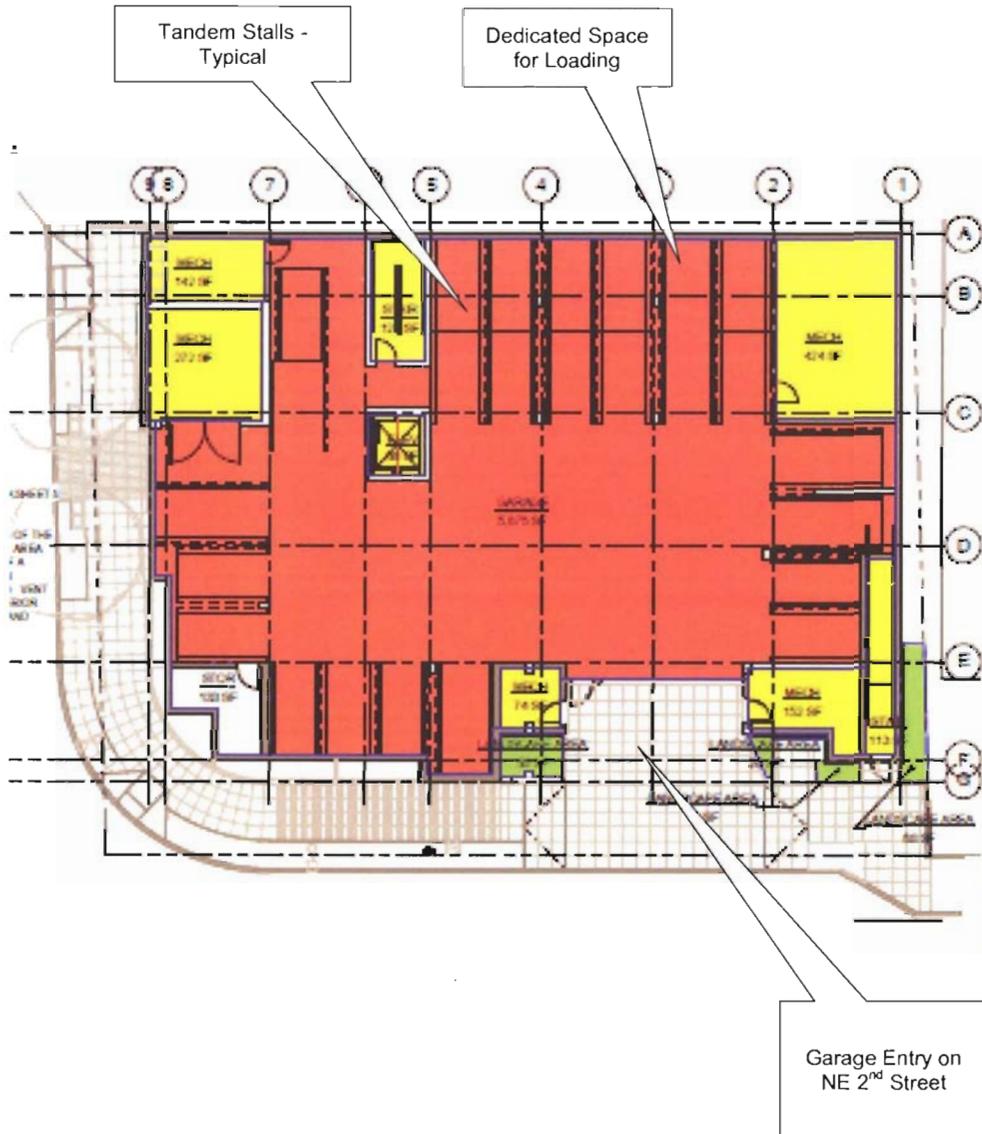
3. Parking and Loading

PARKING & LOADING REQUIREMENTS

Item	Required	Proposed	Comments/Conditions
Residential (57 Units) 47 Studios 5 2-bedroom 5 3-bedroom Office	Studios: Min. .25/unit = 12 (47 X .25 = 12) Min. 1/unit = 5 Min. 1/unit = 5 Min. 2.5/1000 nsf (332 nsf provided) = 1 Total Minimum: 23 May include tandem stalls	12 5 5 1 Plus 1 ADA Van stall = 24 12 of the stalls above are tandem	LUC 20.25A.050.B Footnote (5) – to allow .25 stalls/ Unit, studios must be rented to persons earning 60% or less of median income* LUC 20.20.128 allows tandem stalls in affordable housing Meets requirement.
Compact Stalls	No Compact stalls required. Up 85% of required parking stalls may be compact with affordable housing. 24 x .85 = Max. 20 stalls	19 compact stalls: 18 compact stalls 1 ADA compact stall	LUC 20.20.128 allow 85% of stalls to be compact in Downtown with affordable housing Meets requirement.
Loading Area	10 FT wide x 50 FT long	Area provided within the garage	Modification allowed per LUC 20.20.590K.4 <u>Refer to Condition of Approval regarding provisions for loading in Section XI of this report.</u>

* The reduction of the parking requirements for affordable housing can only be met if the studio units are rented in perpetuity to persons earning 60% or less of the median income. **Refer to Conditions of Approval regarding affordable housing in Section XI of this report**

Parking Level P-1



B. Special Requirements

1. Floor Area Ratio (FAR) and Amenity Incentive System Requirements

The proposal has met both the BASIC and Non-BASIC requirements for development within the DNTN-MU land use district. Refer to the tables below:

BONUS AMENITY AREA EARNED

Project Area (Site)		10,383 SF
Project Gross Floor Area (GFA) Proposed		50,671 SF
BASIC Permitted Floor Area (FAR) for Residential DNTN-OB		20,766 SF
Basic Residential FAR (2.0) X Project Area		<i>2.0 X 10,383 SF = 20,766 SF</i>
MAXIMUM Permitted Floor Area (FAR) for Residential DNTN-OB		51,915 SF
Maximum Residential FAR (5.0) X Project Area		<i>5 x 10,383 SF = 51,915 SF</i>
Basic FAR	BASIC FAR Amenity Required Basic <u>Non-Residential</u> FAR (.5) x 20% of the Project Area	1,038 SF <i>0.5 x (0.2 x 10,383) = 1,038 SF *</i> <i>* 1,038 "buys" 20,766 SF</i>
	BASIC FAR Amenity Earned (See Table 4 below)	6,054 SF <i>6,054 SF > 1,038 SF – Meets requirement of LUC 20.25A 020.C</i>
	<u>Excess BASIC</u> points that may be used to earn Non-Basic FAR Basic Amenity Earned – Basic Required	5,016 SF <i>6,054 SF – 1,038 SF = 5,016 SF</i>
Non-Basic FAR	NON-BASIC Earned	82,453 SF
	Remaining NON-BASIC FAR Amenity to Earn GFA – Basic Permitted FAR of 2.0	29,905 SF <i>50,671SF – 20,766 SF = 29,905 SF</i>
	<u>Excess NON-BASIC</u> points	52,548 SF <i>82,453 SF – 29,905 = 52,548 SF</i> Meets requirement of LUC 20.25A.030
BONUS AMENITY SUMMARY		
Total FAR Amenity Earned BASIC FAR Amenity Earned + NON-BASIC FAR Amenity Earned		88,507 SF (Refer to Table 4 below) <i>6,054 SF + 82,453 SF = 88,507 SF</i>

Excess FAR Amenity Earned (Excess BASIC FAR Amenity + Excess NON-BASIC FAR) or (Total FAR Earned – BASIC FAR Amenity Required – Remaining FAR Amenity to Earn)	57, 564 SF $(5,016 SF) + (52,548 SF) = 57,564 SF$ OR $(88,507 SF) - (1,038 SF) - (29,905 SF)$
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FAR BONUS AMENITIES

Amenity		Units of Measure/ Amt. Provided	Bonus Ratio	Bonus Floor Area Earned	How it Meets the Design Criteria & Benefits the Public
BASIC Amenities	Space for Non-Profit Social Services- Counted as Pedestrian-Oriented Frontage per LUC 20.25A.030.C.2 1	SF 1,288	4:1	5,000 SF* *Note: Max. bonusable area for Social Service Space is 5,000 SF	Space made available to charitable and social service organizations which provide social services directly to the public
	Marquee	SF 527 SF	2:1	1,054 SF	Horizontal orientation, and constructed of metal & glass.
	Sub-Total Basic			6,054 SF	
NON-BASIC Amenities	Landscape Area	SF 859 SF	1:1	859 SF	Landscaping in the planter that wraps around the corner of the building and in planters on terrace level along north side of building.
	Residential Uses	SF 39,378	2:1	78,756 SF	Excludes parking and circulation areas
	Underground Parking	SF 5,675	0.5:1	2,838 SF	Area covered with building and below average finished grade.
	Sub-Total Bonus			82,453 SF	
	COMBINED TOTAL			88,507 SF	

The proposal meets the FAR requirements for the proposed building with 50,671 GSF. The floor area earned through the Amenity Incentive System and the total bonus floor area utilized for the project, must be recorded with King County, Division

of Records (LUC 20.25A.030.D). **Refer to Conditions of Approval regarding amenity designs and statistics and bonus system recording in Section XI of this report.**

IV. Design Guidelines & Design Criteria

A. Building/Sidewalk Design Guidelines

The street frontages on both 111th Avenue NE and NE 2nd Street are designated as Type 'D/R' right-of-way per the Design Guidelines Building/Sidewalk Relationships LUC 20.25A.115.

Intent:

Rights-of-way designated 'D/R' shall have low to moderate orientation to pedestrians and shall complement residential uses. This shall be achieved by designing some relationship between exterior and interior activities with respect to visual access, and by incorporating landscape features that soften the urban edge. Design attention should be given to amenities that complement these areas' residential character and moderate the urban environment, while providing attractive visual access for pedestrians and other passersby.

Guidelines:

1. *At least 50 percent of the street level edges of the entire project limit shall incorporate service and commercial activities, landscape features, terraced planters, residential entry courtyards, plazas, or a combination of these features.*
2. *The following characteristics shall be incorporated into the design of the structure:*
 - Windows at ground level*
 - Street walls*
 - Differentiation of ground level*

Finding: The majority of the 111th Avenue NE street frontage will have windows that will provide visual access into the ground floor social service and community rooms. Streetscape amenities will include benches, a 4-foot wide planting strip, street trees and a marquee. In addition, a continuous cast-in-place landscape planter will be constructed at the base of the building to highlight the corner feature. It will begin south of the building entry, wrap around the corner, and continue stepping down NE 2nd Street. The storefront windows will also wrap around the corner. An additional landscape area, which will incorporate a bench, plantings and screens to support vines, will be placed near the garage entry at the low point of the site.

B. Design Review Criteria – LUC 20.25A.110

The proposal meets the Design Review Criteria of LUC 20.25A.110 for ***SITE DESIGN*** and ***DOWNTOWN PATTERNS AND CONTEXT.***

1. **SITE DESIGN**

a. **Vehicular Circulation and Parking**

Parking & Service Areas: All required parking will be incorporated in the one level of partially-underground garage, which will be set into the topography of the slope. Code requirements for affordable housing in LUC 20.20.128 allow

for reduced parking totals, resulting in the need for only 24 parking stalls in this project. Refer to Section III.A.3 above regarding the parking and how it meets LUC requirements. Access to the garage will be from a single location off of NE 2nd Street. The exit from the parking garage is required to meet the requirements for sight distance. The loading area for delivery and moving vehicles will be within the parking garage.

The pick-up function for solid waste and recycling will be on 111th Avenue NE at the northwest corner of the building, which houses the trash room. Prior to issuance of a clearing and grading permit, the applicant will have to enter into an agreement which will require all recycling bins, refuse containers and similar items to be moved out of the building on the day of pick up and then these items will be moved back into the building IMMEDIATELY upon completion of pick-up. **Refer to Condition of Approval regarding provisions for loading and solid waste/recycling containers in Section XI of this report.**

b. Pedestrian Circulation and Amenities (see LUC 20.25A.060)

i. Frontage Sidewalks: Both frontage sidewalks are 12-feet wide, which includes 4-foot wide planting strips.

ii. Street Trees:

NE 2nd Street: Because of site distances at the corner with 111th Avenue NE and the location of the parking garage entry, street trees could not be accommodated along this relatively short street frontage. There will, however, be ornamental plantings within the 4-foot wide planting strip.

111th Avenue NE: Acer rubrum/Red Maple, 3-inch caliper.

iii. Walkways: Per LUC 20.25A.060.4, this proposal is not required to provide a mid-block connection.

c. Wind and Sun

The building has been designed so that a majority (34 out of 57 units total) of the residential units, including all of the two and three bedroom units, are oriented to capture the sun and face either south or west. The northern-facing units have been pulled back from the property line to allow more light into the units and provide an opening between the proposed building and any building that might be developed to the north.

The building entry and pedestrian space with benches and landscaping in front of the building faces west to provide a warm, pleasant environment. A continuous marquee also provides shade in the hot months and year round weather protection along this frontage.

d. Open Space

The applicant has not proposed any open space at the ground level due to the extremely tight and small site. However, a pleasant pedestrian environment will be created with plantings in the 4-foot wide planting strip, benches, and a planter along the base of the building. Private open space has been provided on the first level along the northern façade of the building for three of the residential units.

e. Light and Glare

All exterior building lighting is required to include cut-off shields to minimize the impacts of light to the future residents and to off-site properties. **Refer to Conditions of Approval regarding exterior lighting in Section XI of this report.**

2. DOWNTOWN PATTERNS AND CONTEXT

a. Natural Setting and Topography

The proposed project is on a sloped site with an urban context. The partially underground parking for the proposal will be set into the slope such that the first occupied floor and pedestrian entry is flush with 111th Avenue NE. The entry to the garage will be off of NE 2nd Street.

b. Landscape Design

Street Frontage: The proposed street frontage development includes 8-foot wide sidewalks and 4-foot wide planting strips between the sidewalk and the curb. The planting within the strips will visually soften the building and improve separation between vehicles and pedestrians. The planting strips are required to be irrigated by a separate system with its own meter. In addition, there will be a raised landscaped planter running along the base of the building beginning at the entry on 111th Avenue NE, wrapping the corner, and continuing part way down NE 2nd Street. A third small planting area with a bench will be located near the garage entry.

Assurance devices for landscape installation and maintenance will be required to ensure plant establishment. Prior to the release of the maintenance assurance device, the applicant will be required to enter into an agreement with the City to determine future maintenance responsibilities for the right of way and right of way plantings. **Refer to Condition of Approval regarding the planting strip irrigation system, landscape installation and maintenance assurance devices and agreement with the City of Bellevue in Section XI of this report.**

c. Views

Because this building has only six stories (similar to most surrounding buildings) and is set into an existing slope, it will have a minor impact on views from existing buildings and future developable or redevelopable sites.

No public views from public spaces will be impacted.

d. Building Height and Bulk

The footprint of the proposed building is relatively small compared to some of the surrounding residential buildings. In addition, it will be a low building with a height of 70-feet, which is well below the maximum height of 200-feet allowed in this land use district. This is consistent with the surrounding buildings.

Modulations and changes in building colors, textures, and materials will also help to break down the apparent bulk of the building. Attention to detail at the ground level will further break down the feeling of bulk for the pedestrian.

e. Transitions

The building will have a relatively small amount of street frontage. However, within this frontage, the applicant will provide pleasant pedestrian spaces that encourage pedestrian activity, particularly for residents of this development and adjacent residential properties and they walk to and from the Bellevue Transit Center.

f. Patterns of Activity

The proposal will include 8-foot wide frontage sidewalks, benches, and 4-foot wide planting strips to separate autos and pedestrians. See response to Transitions above.

g. Signage

The applicant must submit a complete sign package for City review and approval prior to the issuance of any occupancy permits or sign permits. All signs must be an integral part of the architectural design, and scaled to the pedestrian environment. **Refer to Conditions of Approval regarding the sign permit package in Section XI of this report.**

V. PUBLIC NOTICE AND COMMENT

Application Date: November 16, 2010
Notice of Application: December 23, 2010
Minimum Comment Period: January 6, 2011

The minimum required public comment period ended on January 6, 2011, but comments were accepted up to the date of this decision. Five citizens submitted written comments on the proposal. The comments are summarized below, followed by a response from staff.

1. Comment: What does “workforce” housing mean?

Response: Although there is no one universal definition, in Bellevue workforce housing provides housing units for workers who earn less than the average median income for all households in King County. For example, all of the studio units in this proposal will be available only to persons earning 60% or less of average median income.

2. Comment: Why is there so little parking? 23 parking spaces for 57 units feels inadequate. Where is the visitor and/or service vehicle parking? How will this property be a “good neighbor” to adjacent properties?

Response: The Land Use Code allows for a reduction in the minimum number of parking spaces required for studio apartments when the renters earn 60 percent or less of the median income for the Seattle Metropolitan Area. All of the studio units in this proposal will meet this criterion. Service parking and loading will occur within the building. Anecdotally, the apartment owner and developer has other affordable properties and has found that many of the renters do not have cars and use public transit. One of the reasons this site was chosen was because of its proximity to the Bellevue Transit Center. In addition, all renters will need to show proof of insurance before they are given a parking stall. Visitors will be required to either find on-street parking or use public transit.

3. Comment: There is already a predominance of low-income apartment buildings in the southeast area of downtown. This will not be good for neighborhoods, property values and safety.

Response: The Land Use Code does not look at uses based on the incomes of the people who will occupy those uses. The use for this proposal is multi-family residential and as such is permitted outright in the DNTN-MU land use district. This proposal will have to meet the same design review criteria as any other residential building within the Downtown. The only accommodation for affordable housing is the reduction in the number of parking stalls and the percentage of compact stalls allowed, which is allowed by the LUC and further supported by the project's close proximity to the Bellevue Transit Center. Refer to discussion of parking in Section III.A.3 of this report.

4. Comment: A receptacle needs to be provided for abandoned shopping carts.

Response: Abandoned shopping carts are now regulated through City of Bellevue Ordinance 5892. The Land Use Code does not require the provision of receptacles for shopping cars if there are no retail centers on site.

5. Comment: There should be open space provided with this development and smoking areas provided at least 25 feet from each property line.

Response: Because this is such a small site, the applicant was unable to provide public outdoor open space. However, there will be benches and landscaping near the front door on 111th Avenue NE and adjacent to the garage entry on NE 2nd Street. Outdoor patios will be provided for three units on the first floor. In addition, social service space, also on the first floor, will be provided for use by the residents of the building. This space will include a kitchen area, intimate gathering spaces, and a multipurpose/children's room. There are also existing Park's Department properties one block to the west on the corners at the intersection of NE 2nd Place and 110th Avenue NE. These corner lots have open lawn spaces that may be used by the public and it is the intent of Parks to further develop these spaces in the future. Lastly, the provision of designated smoking areas is not required to be provided by City codes. It was not feasible to do so on such a small site. State law dictates that smoking is prohibited within 25-feet of public places per RCW 70.160.075. Bellevue Apartments residents are required to comply with the state law.

6. Comment: A condition of development should be to prohibit dogs.

Response: Land Use Code (LUC), Section 20.20.130 allows household pets, regardless of whether the property is the Downtown or in a single-family land use district. It will be up to the building management to regulate pets in the building.

VI. TECHNICAL REVIEW

A. Transportation Department

Site Access

The site is bounded on two sides by public rights of way. NE 2nd Street, which is classified as a minor arterial, is adjacent to the site's south side. 111th Avenue NE is

classified as a local street and is adjacent to the site's west side. Access in and out of the proposed development will be provided via only one vehicular connection directly into the south side of the building from NE 2nd Street. Left turns out onto NE 2nd Street will not be allowed due to proximity to the 111th Avenue NE intersection. A pedestrian access and a curb ramp for trash removal are provided on 111th Avenue NE.

All loading, unloading, and deliveries are intended to take place within the building. Backing onto NE 2nd Street will not be allowed. All vehicles must be able to turn around safely within the garage even when all stalls are occupied. The minimum garage entrance clearance is 11 feet.

No stopping or standing for deliveries will be allowed on either NE 2nd Street or 111th Avenue NE. Garbage and recycling pickup will be allowed on 111th Avenue NE per the requirements described in Section IV.B of this report. **Refer to Condition of Approval regarding provision for loading and solid waste/recycling containers in Section XI of this report.**

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), the Transportation Department Design Manual, and any requirements stated in this document. **Refer to Conditions of Approval regarding civil engineering plans and building and site plans for transportation in Section XI of this report.**

1. **Combined street tree, landscaping, and streetlight plan:** Plans submitted to date are adequate for Design Review approval regarding the general location of street trees, planter strips, and street furnishings. Prior to approval of the clearing and grading permit, a combined plan showing all street trees, street landscaping, street furniture, and streetlights is required for review and approval, along with all engineering details and specifications needed for installation of the lighting.

Some light level analysis to help determine the location, wattage, and style of streetlights (one for each street frontage) has been submitted, but is not yet complete. Additional design work will be required with the clearing and grading application. The future street lighting design work will need to be coordinated with the city's planned NE 2nd Street/111th Avenue NE intersection improvement and widening. City staff will provide further design information and guidance at that time.

2. **The Americans with Disabilities Act:** ADA requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the

building. City inspectors may require spot surveys during construction in order to confirm the required elevations

ADA requires provision of a safe pedestrian travel zone for visually handicapped pedestrians. Streetlight contactor cabinets and other hardware must be located so as not to interfere with the pedestrian travel zone. Buildings shall be designed so that doors do not swing out into the pedestrian travel zone.

3. Curb, gutter, and sidewalk construction: On both NE 2nd Street and 111th Avenue NE adjacent to the site, the existing curb, gutter, and sidewalk shall be completely removed and reconstructed with new sidewalk. This project's clear and grade plans shall be consistent with the most current design plans for the city's NE 2nd Street Roadway Improvements project, currently at the 30% stage. Along NE 2nd Street, the future face of curb will be approximately 27.5 feet north of the centerline of the right of way. The required new sidewalk width is 12.5 feet, which includes a six inch curb and a four foot landscape section between the roadway and the sidewalk, in conformance with LUC 20.25A.060.A. Transition slopes back to existing grade at the east end of the property along NE 2nd Street cannot exceed a 4% cross slope. Contact the Transportation Department prior to continuing engineering design work for clearing and grading plans for this project.

Along 111th Avenue NE, the face of curb will be at approximately 14 feet from the centerline of the right of way, to provide a future 28 foot wide paved cross section. The required sidewalk width is 12.5 feet wide, with a six inch curb and a four foot landscape section included in that width.

4. Driveway design: The driveway entering the building from NE 2nd Street shall have at least 20 feet of width at the garage door, and shall be designed to achieve adequate pedestrian sight distance per BCC 14.60.241. Any pillars or other sight obstructions within the sight triangles shall be designed with minimum width. In no case shall the width of such sight obstructions exceed 30 inches when viewed from the applicable angle, and a clear view at least two feet wide must be provided inside such obstructions, on the side away from the intersection of the driveway and NE 2nd Street. The minimum clearance at the garage entrance shall be 11 feet. The driveway width at the back of sidewalk shall be 28 feet and constructed per Development Standard 7F or as directed by the Development Review Engineer. The garage door shall remain open between the hours of 8 a.m. and 5 p.m.
5. Traffic signs and markings: Engineering plans for the development must show all existing and proposed traffic and street name signs and pavement markings. Some existing pavement markings may need to be refreshed at the developer's expense if badly worn or if damaged during construction.
6. Site drainage to street or sidewalk: Per IBC section 3201.4, drains from the building or roof shall not discharge onto a public sidewalk. In addition, treatment of storm water from the site flowing to any city street or public sidewalk shall meet the standards of the Utilities Department.

Utility Vaults

To the extent feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk. If the location of any utility vaults within a sidewalk cannot be avoided, then vault lids must be outside the pedestrian travel zone, and the elevation of vault lids must correspond to the sidewalk elevation needed to achieve ADA compliance. Vault lids within a sidewalk must have a non-skid surface meeting the latest standards. **Refer to Condition of Approval regarding ground-mounted mechanical equipment screening in Section XI of this report.**

Overhead Utility Lines

No new overhead utility lines will be allowed within or across any right of way or transportation easement, and existing overhead lines along 111th Avenue NE must be relocated underground. **Refer to Condition of Approval regarding street frontage improvements in Section XI of this report.**

Soil Nailing

No soil nailing is allowed under a street right of way, sidewalk/utility easement, or vehicular easement without an indemnification agreement that protects the city. Temporary shoring walls may be allowed under a sidewalk easement (but not under right of way) if the wall and pilings will not interfere with existing or planned utilities, and if pilings under the sidewalk are cut off at least eight feet below grade. **Refer to Condition of Approval regarding soil nailing and shoring in Section XI of this report.**

Structure above Sidewalk

Any awning, marquee, balcony, etc. over a sidewalk or utility easement must be at least 16 feet above grade, or be removable (with an agreement regarding removal and replacement); and must have at least 3 feet horizontal clearance from any streetlight. No supports will be allowed within a public sidewalk. No structure will be allowed above a city right of way without a long-term lease of airspace. **Refer to Condition of Approval regarding removable marquees in Section XI of this report.**

Right of Way Dedication

The developer shall dedicate a section of right of way at the intersection of NE 2nd Street and 111th Avenue NE such that the traveled street and curb at that corner will be located within right of way. **Refer to Condition of Approval regarding right of way dedication in Section XI of this report.**

Easements Dedication

The property owner shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. The applicant shall also provide easements to the City for all locations of street light cabinets, equipment, and below-grade vaults. **Refer to Condition of Approval regarding sidewalk and utility easements in Section XI of this report.**

Existing Utility Easements

Any existing utility easements contained on this site must be identified. Any negative impact that this development has on those utility easements must be mitigated or

easements relinquished. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. **Refer to Condition of Approval regarding existing utility easements in Section XI of this report.**

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department. **Refer to Condition of Approval regarding holiday construction and traffic restrictions in Section XI of this report.**

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks or travel lanes may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Condition of Approval regarding right-of-way use permit in Section XI of this report.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Near this project the following requirements apply:

- a. NE 2nd Street is presently classified as "Overlay Required." Any cuts in the street surface shall be restored with a grind and overlay at least 50 feet long for the full width of any affected lane.
- b. 111th Ave NE is presently classified as a "No Cut" street. Street cutting is permitted only with extraordinary pavement restoration and prior approval from the Right of Way Manager. Full width pavement restoration will be required. Exact pavement restoration requirements will be specified with the Right of Way permit for this project.

These classifications change from time to time, based on pavement conditions. Prior to construction, the final pavement restoration requirements will be established in the right of way use permit for this development. **Refer to Condition of Approval regarding pavement restoration in Section XI of this report.**

B. Utilities

The conceptual plan submitted for Bellevue Apartments proposes preliminary civil engineering that will make it feasible to develop the property with connections to water, sewer and storm drainage to support an apartment building. Water service will connect to an existing 8" cast iron water main located in NE 2nd St. Sewer will also connect in NE 2nd St. to an existing 8" PVC sewer main. The project will be required to connect with a new 8" sewer stub to a new manhole installed on the existing 8" main. Storm drainage connections are proposed to connect at an existing catch basin on

the south side of NE 2nd St. The development proposes to provide flow control and storm water treatment in an underbuilding detention system. The storm detention and water quality system will be required to meet Storm Water Engineering Standards under building requirements. **Refer to Condition of Approval regarding preliminary design, utility codes and engineering standards in Section XI of this report.**

C. Parks Department

All new street trees are to be 3-inch caliper or greater and are required to be planted per the City of Bellevue Parks Department Environmental Best Management Practices and Design Standards. It is highly recommended that the planting strip on 111th Avenue NE be in one continuous strip of growing medium to promote healthy street tree growth. Silva Cells or other devices could be used such that the growing medium is continuous under the paving material for the walkway that extends from the curb to the required 8-foot wide sidewalk .

The irrigation for all right-of-way plantings shall be on a separate meter to allow accessibility for any necessary maintenance work by the City of Bellevue. Prior to the release of the landscape maintenance assurance device, the applicant and the City of Bellevue shall enter into an agreement regarding future maintenance of the streetscape and right-of-way. **Refer to Conditions of Approval regarding planting strip/right-of-way irrigation, planting in the right-of-way/streetscape and maintenance agreement with the City of Bellevue in Section XI of this report.**

D. Fire

The Fire Department has reviewed the proposal for compliance with applicable codes and standards. As conditioned, this proposal will conform to these requirements. **Refer to Conditions of Approval regarding Fire Department requirements in Section XI of this report.**

E. Clearing and Grading

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and has determined that the clearing and grading portion of this Land Use application can be approved without conditions of approval. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC23.76).

VII. STATE ENVIRONMENTAL POLICY ACT

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see Environmental Checklist in the project file at City Hall Records Office). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2009-2020 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS), dated November 2008 and adopted April 2009 (available in the Records Office at City Hall). This document analyzes the transportation and air quality impacts of the City's Traffic Task Force recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Code or

Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below together with specific conditions of approval. These impacts will be mitigated through exercise of Code authority as well as through project-specific conditions of approval, contained in Section XI of this report.

A. Earth

There are no Critical Areas or environmental issues associated with this site. An issuance of a DNS is the appropriate threshold determination under the SEPA requirements.

B. Environmental Health/Noise

Construction Noise: While construction noise and increased vehicle trips are expected during the construction period, the Bellevue Noise Control Ordinance, BCC 9.18, regulates hours of construction-related noise emanating from the site. The Ordinance provides for an exemption from the noise restrictions for the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. on Saturdays which are not legal holidays. Therefore, no specific measures to reduce noise during this period are proposed.

Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction. The Director, as outlined in the Noise Control Ordinance, may grant an approval to expand the hours for which construction-related noise emanates from the site subject to meeting the criteria of BCC 9.18.020.C.1&2. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. **Refer to Conditions of Approval regarding noise and construction hours, holiday construction and traffic restrictions, and best available noise abatement technology in Section XI of this report.**

Interior Noise: Bellevue City Code, 9.18, prohibits the approval of new residential structures where the exterior noise level exceed Ldn of 65 dBA anywhere along the site boundary, unless the construction can achieve *interior* noise levels of 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. *Prior to the issuance of any building permit*, the applicant must submit an Acoustical Engineer's report on the proposed construction and the anticipated maximum noise thresholds inside the units facing a street frontage. Before any occupancy permits are issued, the noise levels must be measured inside a random sample of the residential units and the report revised to reflect the results. If the actual noise levels exceed the maximum required thresholds, the acoustical report must include recommendations to modify the construction to meet the interior noise thresholds. **Refer to Conditions of Approval regarding the acoustical engineer's report and noise measurements in Section XI of this report.**

Garage Exhaust Noise/Air: The garage exhaust vents must be designed and located to prevent adverse impacts to the pedestrian environment on public sidewalks and to the people living in or near the project. The applicant must provide certification by a noise consultant that the operation of the garage exhaust fans will not exceed 60

dBA and assurance that the velocity and direction of airflow will not adversely affect the pedestrian environment or the residents of the project/neighborhood. **Refer to Condition of Approval regarding noise measurements and garage exhaust in Section XI of this report.**

C. Water

The City of Bellevue has adequate capacity for providing water and sanitary sewer capacity for this proposal.

D. Transportation

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2020 have been addressed in the City's Transportation Facilities Plan. The impacts of projected growth are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan Bellevue divides the City into several Mobility Management Areas (MMAs) for analysis purposes. The LIHI Bellevue Apartments development lies within MMA # 3, which has a 2020 total growth projection of 7043 new multi-family dwelling units and 1,259,252 square feet of new retail space. The LIHI Bellevue Apartments development proposes 57 new multi-family dwelling units, following the removal of one single family home. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. This proposal for low income housing is exempt from the requirements of the Transportation Impact Fee Program under BCC 22.16.070.B.2, provided the developer signs an agreement satisfactory to the City which assures that the units shall remain affordable for the life of the project. "Affordable housing" is defined in the Bellevue Land Use Code, LUC 20.50.010. **Refer to Condition of Approval regarding affordable housing in Section XI of this report.**

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (Bellevue City Code 14.10) requires that development proposals generating 30 or more net new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained. With 57 units and a trip rate of .37 p.m. peak hour trips per unit in the downtown, this development will generate 21 new p.m. peak hour trips and, therefore, the Traffic Standards Code does not apply.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included accident rates at nearby intersections and PM peak hour traffic operations and level of service at nearby intersections. No problems associated with additional volumes from the proposed development were identified in those analyses. Left turns out onto NE 2nd Street will not be allowed due to proximity to the 111th Avenue NE intersection. **Refer to Condition of Approval regarding vehicular access restriction in Section XI of this report.**

VIII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Building

- The generator exhaust was located within the building and vented on to the roof.
- Building colors and materials were altered to work better within the Downtown context.
- The corner element was strengthened.
- Loading was accommodated within the garage.

IX. DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

1. The proposal is consistent with the Comprehensive Plan.

This project is consistent with the Comprehensive Plan, which includes policies for the provision of housing along with policies that address the goals of site and building design. The addition of new residential units is consistent with the City's goal of creating housing for its population and the region under the State's Growth Management Act. The most relevant Comprehensive Plan Policies related to this proposal are outlined below:

Policy LU-9: *Maintain compatible use and design with surrounding built environment when considering new development or redevelopment within an already developed area.*

Finding: The majority of the buildings adjacent to the site are residential apartments. The overall height, architectural detailing, and use of urban materials and colors will ensure compatibility with the surrounding Downtown neighborhood.

Policy HO-17: *Encourage infill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.*

Finding: The existing parcel is an under-utilized site within the Downtown MU subarea. The existing single-family home has a density significantly less than is allowed on the site. Many of the properties surrounding the proposal site are also residential apartment buildings.

Policy HO-14: *Encourage housing development Downtown, including innovative, affordable housing.*

Policy HO-24: *Ensure that all affordable housing development is consistent with currently adopted building codes and design standards.*

Policy HO-29: *Encourage the building of affordable housing Downtown.*

Policy HO-35: *Ensure that all affordable housing created in the city with public funds or by regulation remains affordable for the longest possible term.*

Finding: The proposal is for a visually interesting, affordable housing project within the Downtown. The code requirements and design standards applied in this design review are consistent with market-rate development. In order to qualify for a reduction in parking spaces and exemption from paying transportation impact fees,

the applicant will be required to sign an agreement that applies for the life of the project to ensure long-term affordability. **Refer to Condition of Approval regarding affordable housing agreement in Section XI of this report.**

Policy UD-2: *Support designs for the built environment that are visually stimulating and thoughtful and which convey excellence in architecture and workmanship, and durability in building materials.*

Finding: The applicant has worked with the City to propose a building that is visually interesting via the use of modulation and interplay of different building materials and colors – while still providing an affordable housing product.

Policy S-DT-40. *Enhance the appearance of all types of streets and adjoining sidewalks with street trees, landscaping, water features, pedestrian-scaled lighting, street furniture, paving treatments medians, or other softening treatments as appropriate.*

Policy UD-75. *Use urban design features to soften the public right-of-way and sidewalk environment as appropriate. These features include, but are not limited to, street trees, landscaping, water features, raised planter boxes, potted plantings, pedestrian-scaled lighting, street furniture, paving treatments, medians, and the separation of pedestrians from traffic.*

Finding: The proposal enhances the pedestrian right-of-way along both public street frontages, thereby helping to create a pleasant pedestrian experience connecting the proposed building with the Downtown core and Bellevue Transit Center. This has been accomplished by the provision of marquees, landscaped planting strips that also include street trees and seating, and a landscape planter that runs along the base of the building.

Policy UD-8. *Design rooftop mechanical screening so that it is integral with building architecture. Consider the visual effects of technical advances such as satellite dishes, on building design.*

Finding: The rooftop screening will consist primarily of the penthouses for the elevator and stairway cores. These penthouses will be clad in the same materials as the rest of the building and, in the case of the main tower in the northwest corner, will appear to be extensions of the overall façade.

Policy UD-11. *Encourage architectural elements that provide for both rain cover and access to sunlight in pedestrian areas.*

Finding: The applicant has proposed a metal marquee to provide weather protection along the entire street frontage on 111th Avenue NE. The building entry, and thus the majority of the pedestrian activity, will be along this façade.

2. The proposal complies with the applicable requirements of this Code.

Finding: The proposal complies with all applicable LUC dimensional requirements, including but not limited to those for building height, lot coverage, floor area ratio and parking. The tables in Section III of this report summarize the dimensional, parking and FAR requirements and compare them to that for the proposed project. The proposal also conforms to the applicable design guidelines and decision criteria, as described in Section IV.

3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

Finding: Refer to Section IV of this report, which includes information on how the design guidelines and criteria are met.

- 4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**

Finding: The proposal is compatible with the scale and character of surrounding residential development in the Downtown-MU land use district. Architectural detailing, including colors and materials, responds to the design motifs found in surrounding buildings.

- 5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.**

Finding: The proposal site has access to water, sewer and electrical services.

X. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal.

XI. CONDITIONS OF APPROVAL:

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL:

The following conditions are per each phase of the development:

1. Compliance with Bellevue City Codes and Ordinances

Compliance with all applicable Bellevue City Codes and Ordinances including but not limited to the following is required:

Clearing and Grading Code - BCC 23.76	Savina Uzunow, 425-452-7860
Bellevue Development Standards	Chris Dreaney, 425-452-5264
Transportation Code - BCC 14.60	Chris Dreaney, 425-452-5264
Trans. Improvement Program - BCC.22.16	Chris Dreaney, 425-452-5264
Right-of-Way Use Permit - BCC 14.30	Tim Stever, 425-452-4294
Bellevue Utilities Code - BCC Title 24	Mark Dewey, 425-452-6179
Construction Codes - BCC Title 23	Lee Kranz, 425-452-2732
Code - BCC Title 20	Sally Nichols, 425-452-2727
Sign Code - BCC Title 22B	Sally Nichols, 425-452-2727
Noise Control - BCC 9.18	Sally Nichols, 425-452-2727
Uniform Fire Code - BCC 23.11	Adrian Jones, 425-452-6032

2. Construction Hours

Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be

granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to noise created by extended hour construction activity would likely have a significant impact on the surrounding residents. In order to minimize detriment to nearby residential uses, the contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. Exemptions from the Noise Control Code must be submitted in writing two weeks prior to the scheduled onset of extended hour construction activity. Such request shall include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

AUTHORITY: BCC 9.18.040
REVIEWER: Sally Nichols, Land Use

3. Use of Best Available Noise Abatement Technology

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020F
REVIEWER: Sally Nichols, Land Use

4. Provisions For Loading

The building shall be designed to accommodate all loading, unloading, and deliveries within the building. The garage door shall remain open between the hours of 8 a.m. and 5 p.m. The minimum garage entrance vertical clearance is 11 feet. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4, BCC 14.60.150
REVIEWER: Chris Dreaney, Transportation

5. Holiday Construction & Traffic Restrictions

Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

AUTHORITY: BCC 14.30.060
REVIEWER: Tim Stever, Right of Way

6. Vehicular Access Restrictions

Exit from the driveway on NE 2nd Street will be restricted to right turn out only.

AUTHORITY: BCC 14.60.150
REVIEWER: Chris Dreaney, Transportation

7. Preliminary Design, Utility Codes And Engineering Standards

Utility review has been completed on the preliminary information submitted at the time of this application. The review of this application has no implied engineering

approvals for water, sewer and storm drainage components of the project. Final plan approval will occur under a Utility Extension Agreement which will be required for review and approval of the utility design. The applicant is required to apply for Developer Extension Agreements for review and approval of the storm, water and sewer improvement for the project. Submittal of the utility extension will coincide with future clearing and grading permit review. Final civil engineering may require changes to the site layout to accommodate the utilities.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Mark Dewey, Utilities

8. Fire Department Conditions

- a) Provide automatic fire sprinklers per NFPA 13. (IFC 903)
- b) The Fire Department Connection (FDC) shall be located at the front entrance with a fire hydrant located within 50 ft of the FDC. (IFC 903/912)
- c) Provide fire alarm system per NFPA 72. (IFC 907)
- d) Provide carbon monoxide alarms for each separate sleeping area if fuel fire appliances are present. (IFC 907.2.9)
- e) Provide complete information for the generator. (IFC Chapters 27 & 34) Need specific information on intake and exhaust for generator room and refueling station.
- f) Provide standpipes for the building. (IFC 905)
- g) Provide an elevator that will accommodate 24 inch bt 84 inch ambulance stretcher. (IBC 3002.4)
- h) Provide a Knox Box with keys to the building at an approved location. (IFC 506)
- i) Provide a smoke control system for the building meeting the requirements of Bellevue amended IBC 503 (e).

AUTHORITY: IFC 503 (e), 506, 903, 905, 907, 912; IBC 3002.4
REVIEWER: Adrian Jones, Fire Department

B. PRIOR TO CLEARING & GRADING PERMIT:

The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements and to mitigate adverse environmental impacts not addressed through applicable Code provisions. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.

- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access. The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever, Transportation

2. Civil Engineering Plans – Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) All engineering details for handicapped ramps and crosswalk revisions.
- d) All engineering details for installation or relocation of streetlights and related equipment, as well as the location of street trees.
- e) Location of fixed objects in the sidewalk, near the driveway approach, or near the intersection of NE 2nd Street and 111th Avenue NE.
- f) Trench restoration within any right of way or access easement.
- g) Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.
- h) Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

AUTHORITY: BCC 14.60, Transportation Department Design Manual, and
Transportation Department Design Manual Standard Drawings.
REVIEWER: Chris Dreaney, Transportation

3. Alternative Streetscape Designs

Any sidewalk design that includes non-standard pattern, color, or other features such as street furnishings not required by Transportation Department standards (benches, raised planters, etc.) will be allowed only if it meets Transportation and

ADA requirements, and is reviewed and approved by both the Transportation Department and Land Use. If alternative paving materials are proposed, samples must be submitted for review. If approved, any non-standard patterns, colors, or other features may be installed only if an agreement is recorded against the property to hold the landowners responsible for maintenance and replacement of all such non-standard sidewalk features.

AUTHORITY: BCC 14.30
REVIEWER: Chris Dreaney, Transportation

4. Removable Marquees

Any awning, marquee, balcony, etc. over a sidewalk or utility easement must be at least 16 feet above grade, or be easily removable (with a recorded agreement regarding removal and replacement); and must have at least 3 feet horizontal clearance from any streetlight or traffic signal pole. No supports will be allowed within a public sidewalk. No structure will be allowed above a city right of way without a long-term lease of airspace.

AUTHORITY: BCC 24.04.160.B4, LUC 20.25A.030
REVIEWER: Chris Dreaney, Transportation

5. Solid Waste/Recycling Containers

The applicant shall sign an agreement that shall remain in effect for the life of the project which requires all recycling bins, refuse containers and similar items to be moved out of the building on the day of pick up, and moved back into the building **immediately upon completion of pick-up.**

AUTHORITY: LUC 20.20.725
REVIEWER: Sally Nichols, Land Use

C. PRIOR TO BUILDING PERMIT:

The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building permit application:

1. Building and Site Plans – Transportation

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. The city may impose requirements on the building permit to assure that construction will comply with the required elevations. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate traffic markings and signs, sidewalk designs, and driveway designs as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241
REVIEWER: Chris Dreaney, Transportation

2. Existing Utility Easements

Any existing utility easements contained on this site must be identified. Any negative impact that this development has on those utility easements must be mitigated or easements relinquished prior to issuance of a building permit.

AUTHORITY: BCC 14.60.100, BCC 14.30
REVIEWER: Tim Stever, Transportation

3. Sidewalk and Utility Easements on Adjacent Streets

The applicant shall provide sidewalk and utility easements to the City such that sidewalks and the adjacent maintenance area outside of the City right of way along the property frontages are located within a sidewalk and utility easement area. The applicant shall also provide easements to the City for all locations of street light facilities such as above-grade boxes and below-grade vaults.

AUTHORITY: BCC 14.60.100
REVIEWER: Chris Dreaney, Transportation

4. Right of Way Dedication

The applicant shall dedicate right of way at the NE 2nd Street/111th Avenue NE intersection such that the traveled street and curb will be located within public right of way.

AUTHORITY: BCC 14.60.090
REVIEWER: Chris Dreaney, Transportation

5. Soil Nailing and Shoring

Soil nailing will be allowed under a street right of way, sidewalk/utility easement, or vehicular easement only if an indemnification agreement that protects the city is completed prior to issuance of the shoring permit. Temporary shoring walls will be allowed under a sidewalk easement (but not under right of way) if the shoring wall and pilings will not interfere with existing or planned utilities, and if pilings under the sidewalk are cut off at least eight feet below grade.

AUTHORITY: BCC 14.30
REVIEWER: Chris Dreaney, Transportation

6. Ground-Mounted Mechanical Equipment Screening

No mechanical equipment (including power, telephone, traffic control, etc) shall be located in above ground cabinets in required sidewalk areas. Such equipment shall be located in underground vaults, in a building, or substantially screened per the approval of the Development Services Department.

AUTHORITY: LUC 20.20.650, 20.25A.110.B, 20.20.730
REVIEWER: Sally Nichols, Land Use

7. Garage Exhaust

Provide certification by a noise consultant or mechanical engineer that the noise from the exhaust fans will not exceed 60 dBA and that the velocity and direction of airflows from the exhaust system will not adversely affect pedestrian comfort.

AUTHORITY: BCC 9.18.030 and LUC 20.30F.145
REVIEWER: Sally Nichols, Land Use

8. Amenity Designs and Statistics

The building permit submittal plans and drawings shall include a detailed design for each proposed FAR amenity with a design component and a statistical summary for each amenity.

AUTHORITY: LUC 20.25A.030
REVIEWER: Sally Nichols, Land Use

9. Exterior Glazing

All glazing which faces an abutting right-of-way at grade level shall be clear and non-reflective.

AUTHORITY: LUC 20.25A.090.E.3
REVIEWER: Sally Nichols, Land Use

10. Planting Strip Irrigation and Electrical Service

The construction plans shall include a separate water service and irrigation system (including meter) for all street trees and landscaping within the right-of-way, which can be accessed 24 hours a day by the City of Bellevue Parks Department. Coordinate the exact location with the Parks Department prior to irrigation installation and submit proof that the irrigation design for the right-of-way has been approved by the Parks Department prior to building permit issuance. If the irrigated area exceeds 500 square feet then the landscape irrigation budgeting section of the Water Code applies.

Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.

AUTHORITY: BCC 24.02.205
REVIEWER: Sally Nichols, Land Use

11. Planting in Right of Way/Streetscape

- a) It is suggested than any paving over the planting strip shall be designed using Silva Cells or any other technique such that the paving can be placed OVER growing medium (versus over compacted soil required for traditional concrete sidewalks).
- b) Planting shall be done according to the Parks Department Environmental Best Management Practices and Design Standards in place at the time of construction.
- c) **Parks Department representative shall be on-site to inspect street trees prior to planting and at the time of planting to observe the installation. Contact Parks Department Resource Management at (425) 452-6855 at least 24 hours before planting to schedule the inspection.**

AUTHORITY: LUC 20.25A.060.B
REVIEWER: Sally Nichols, Land Use
Tom Kuykendall, Parks Department

12. Exterior Lighting

All exterior building lighting is required to include cut-off shields to minimize impacts of light and glare.

AUTHORITY: LUC 20.25A.110.A.5.a and b

REVIEWER: Sally Nichols, Land Use

13. Acoustical Engineer's Report

The applicant shall submit an Acoustical Engineer's report on the proposed construction and the anticipated maximum noise thresholds inside the units facing each street frontage, including the alleys.

AUTHORITY: BCC 9.18

REVIEWER: Sally Nichols, Land Use

D. PRIOR TO TCO:

The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. Street Frontage Improvements

All street frontage improvements and other required transportation elements, including street light installation and/or revisions, must be constructed by the applicant and accepted by the Transportation Department Inspector. All existing street light apparatus affected by this development must be relocated as necessary. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines along 111th Avenue NE must be relocated underground. All transportation improvements required by city code or by other sections of this document must be constructed per the approved plans or as directed by the Transportation Department Inspector. Sidewalks, crosswalks, and streetlights must be fully functional, safe for public use, and ADA compliant. Bonding or other types of assurance devices will not be accepted in lieu of construction.

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-39; and
Transportation Department Design Manual

REVIEWER: Chris Dreaney, Transportation

2. Pavement Restoration

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as listed below. Pavement restoration classifications change from time to time, based on pavement conditions. Prior to construction, the final pavement restoration requirements will be established in the right of way use permit for this development.

NE 2nd Street *and* 111th Avenue NE are presently classified as "Overlay Required." Any cuts in the street surface shall be restored with a grind and overlay at least 50 feet long for the full width of any affected lane.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #21

REVIEWER: Tim Stever, Transportation

3. Bonus System & Pedestrian-Oriented Frontage Recording

The applicant shall record 1) a copy of the approved bonus point calculations outlined in Section III.B.1 of this report and 2) the project drawings and conditions of approval of this Design Review with the King County Office of Records and Elections.

AUTHORITY: LUC 20.25A.020.D.3
REVIEWER: Sally Nichols, Land Use

4. Affordable Housing

a) In order to qualify for the reduced parking ratio of .25 stalls per studio unit, all studio apartments may only be rented to persons earning 60 percent or less than the median income, as determined by the United States Department of Housing and Urban Development for the Seattle Metropolitan Statistical Area; **AND**

b) In order to be exempt for the requirements of the Transportation Impact Fee Program, all units must be "Affordable" per the definition of Affordable Housing in LUC 20.50.010.

Therefore, prior to TCO, the applicant shall record the following agreement, which shall remain in effect for the life of the project, with the King County Division of Records and a copy of each shall be submitted to the Land Use Division/Development Services Department of the City of Bellevue.

An agreement that all residential units (except the studio units) shall be rented as affordable housing units per the definition of Affordable Housing in Land Use Code Section 20.50.010 for the life of the project, and that all studio units must be rented or sold to an individual earning 60 percent or less of the median income per Land Use Code Section 20.25A.050 footnote (5), for the life of the project.

AUTHORITY: LUC 20.20.128, LUC 20.25A.050.B, BCC 22.16.070.B.2
REVIEWER: Sally Nichols, Land Use
Chris Dreaney, Transportation

5. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the following may be submitted: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation, inspection and approval by the land use reviewer for the project.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

6. Landscape Maintenance Assurance Device

File with the Development Services Department a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or

letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490
REVIEWER: Sally Nichols, Land Use

7. Maintenance Agreement with the City of Bellevue

After one-year, the landscape shall be inspected by Land Use and the Parks Department. Prior to the release of the Landscape Maintenance Assurance Device, the applicant and the City of Bellevue shall enter into an agreement to determine future maintenance responsibilities for the streetscape and streetscape plantings. If any electrical connections for lighting in tree wells or planter strips has been installed, "as-built" drawings of these connections shall be included in the Agreement.

AUTHORITY: LUC 20.25A.060
REVIEWER: Sally Nichols, Land Use

8. Sign Permit Package

The applicant shall submit a complete sign design permit package for City review and approval prior to the issuance of any occupancy permits or sign permits. All signs shall be an integral part of the architectural design, and scaled to the pedestrian environment.

AUTHORITY: LUC 20.25A.B.7.a-c, BCC Title 22, Sign Code
REVIEWER: Sally Nichols, Land Use

9. Noise Measurements

The noise levels must be measured inside a random sample of the residential units facing each street and the original acoustical report shall be revised to reflect the results. If the actual noise levels exceed the maximum required thresholds, the acoustical report must include recommendations to modify the construction to meet the interior noise thresholds.

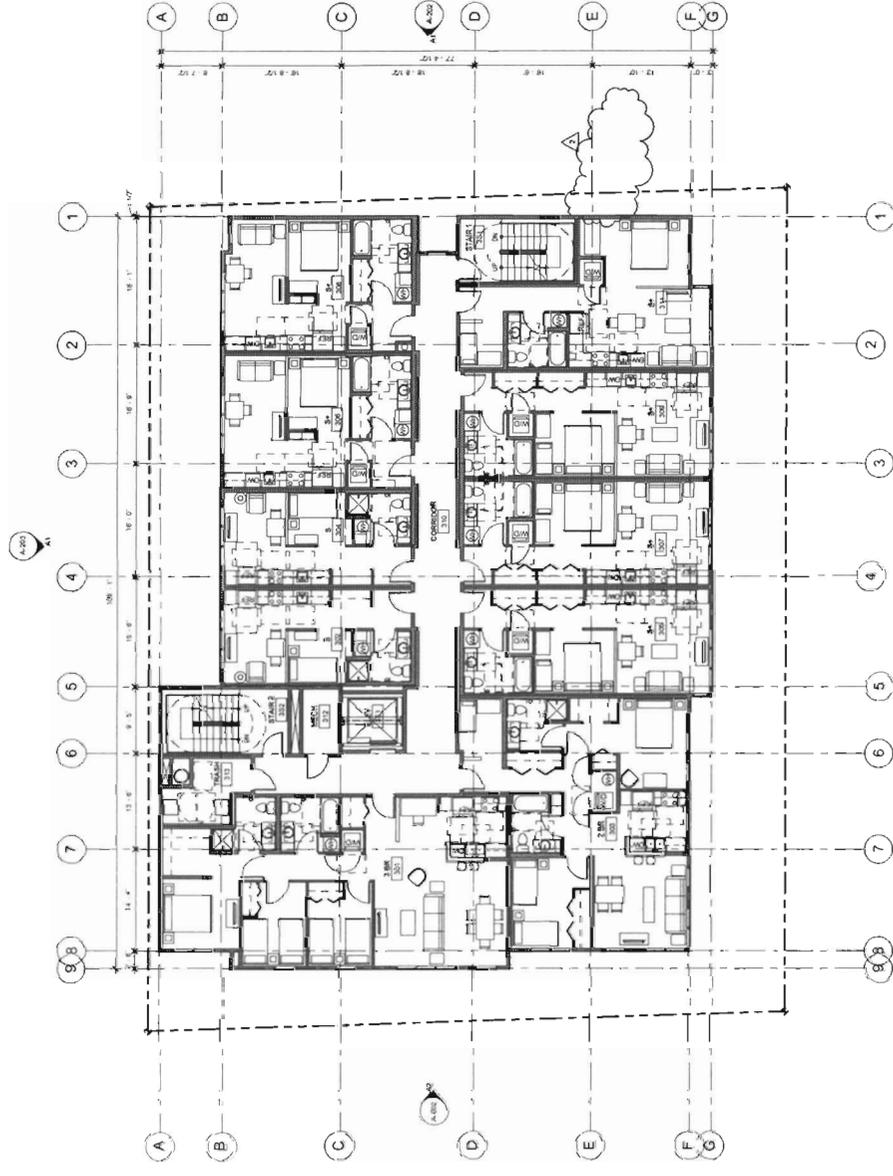
AUTHORITY: BCC 9.18
REVIEWER: Sally Nichols, Land Use

Attachments

- A. Project Drawings
- B. SEPA Checklist (annotated)



- GENERAL NOTES - FLOOR PLAN**
1. FINISH SCHEDULE PERMANENT.
 2. PLAN DIMENSIONS ARE TO FACE OF CONCRETE WALL CENTERLINE. COLUMN CENTERLINE TO FACE OF CONCRETE WALL CENTERLINE FOR CORNER COLUMNS.
 3. DOOR AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS TO SHOW THE LOCATION OF THE DOOR AND CASE. CASES SHALL BE LOCATED TO THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL AT THE INTERIOR.
 4. CASES SHALL BE LOCATED TO THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL AT THE INTERIOR.
 5. SEE SHEET A-102 FOR DOOR SCHEDULE AND SET TALLS.
 6. SEE SHEET A-102 FOR WINDOW SCHEDULE AND SET TALLS.
 7. SEE SHEET A-102 FOR DOOR SCHEDULE AND SET TALLS.
 8. SEE SHEET A-102 FOR WINDOW SCHEDULE AND SET TALLS.
 9. GLOBET BATHROOM AND SHOWER REF. A-102.
 10. SEE SHEET A-102 FOR WINDOW SCHEDULE AND SET TALLS.
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A1 LEVEL 3
 18'-11" x 110'

PROJECT:
BELLEVUE APARTMENTS

PROJECT ADDRESS:
 10010 BELLEVUE AVENUE
 BELLEVUE, WA 98004

OWNER:
 BELLEVUE APARTMENTS
 10010 BELLEVUE AVENUE
 BELLEVUE, WA 98004

REVISIONS

MARK	DATE	DESCRIPTION
1	12/15/11	FOR RESPONSE 02

DESIGN INFORMATION

PROJECT NO.	2009013.00
DATE	12/15/11
DESIGNED BY	GGLO
CHECKED BY	GGLO
DATE OF PRELIMINARY REVIEW	12/15/11
DATE OF FINAL REVIEW	12/15/11
DATE OF SUBMITTAL	12/15/11
DATE OF APPROVAL	12/15/11
DATE OF CLOSURE	12/15/11

SHEET TITLE:
OVERALL BUILDING PLAN - LEVEL 3

SHEET NO.:
A-104

DESIGN REVIEW RESUBMITTAL 12/15/2011



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PROJECT:
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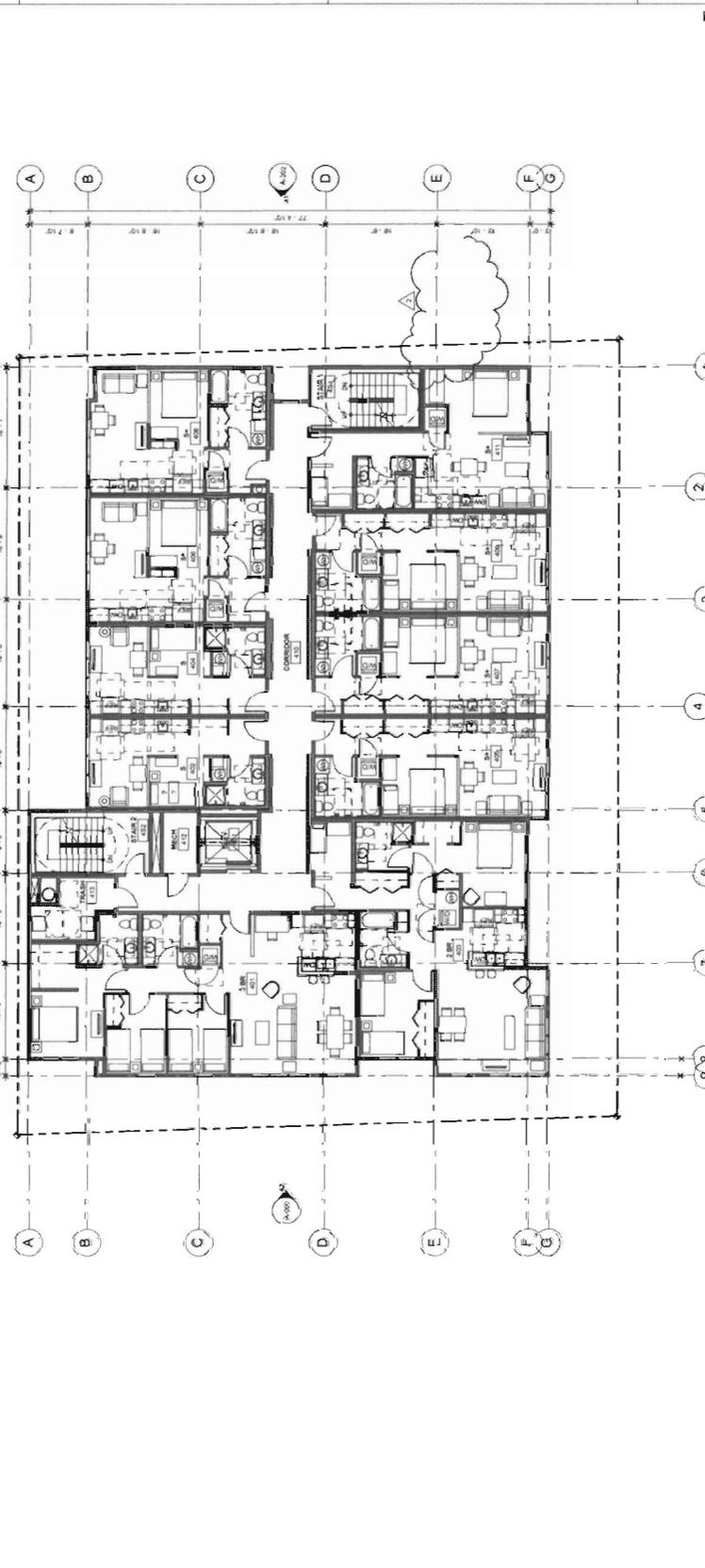
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GENERAL NOTES - FLOOR PLAN

1. FLOOR SLAB FINISHES
2. PLAN DIMENSIONS ARE TO FACE OF CONCRETE WALL, CENTERLINE OF OPENING, OR CENTERLINE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
3. DOORS AND CASES OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE SET TO FACE OF WALL AND FOUR INCHES FROM THE ADJACENT WALL AT THE EXTERIOR AND FOUR INCHES FROM THE ADJACENT WALL AT THE INTERIOR UNLESS OTHERWISE NOTED.
4. SEE SHEET A-100 FOR WINDOW SCHEDULE AND DETAILS.
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20. SEE SHEET A-100 FOR CASE SCHEDULE AND DETAILS.



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NO.	DATE	DESCRIPTION
1	12/14/09	FOR RESPONSE 02

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BELLEVUE APARTMENTS

ARCHITECT:
 HOK
 1000 Third Avenue
 Seattle, WA 98101

OWNER:
 BELLEVUE APARTMENTS
 1000 Third Avenue
 Seattle, WA 98101

DATE:
 2009/13/00

DESIGNED BY:
 GGLO
CHECKED BY:
 GGLO
DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK

DATE:
 2009/13/00

DESIGNED BY:
 GGLO
CHECKED BY:
 GGLO
DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK
 1000 Third Avenue
 Seattle, WA 98101

OWNER:
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 1000 Third Avenue
 Seattle, WA 98101

DATE:
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 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK

DATE:
 2009/13/00

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 GGLO
DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK
 1000 Third Avenue
 Seattle, WA 98101

OWNER:
 BELLEVUE APARTMENTS
 1000 Third Avenue
 Seattle, WA 98101

DATE:
 2009/13/00

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 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK

DATE:
 2009/13/00

DESIGNED BY:
 GGLO
CHECKED BY:
 GGLO
DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK
 1000 Third Avenue
 Seattle, WA 98101

OWNER:
 BELLEVUE APARTMENTS
 1000 Third Avenue
 Seattle, WA 98101

DATE:
 2009/13/00

DESIGNED BY:
 GGLO
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DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK

DATE:
 2009/13/00

DESIGNED BY:
 GGLO
CHECKED BY:
 GGLO
DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

ARCHITECT:
 HOK
 1000 Third Avenue
 Seattle, WA 98101

OWNER:
 BELLEVUE APARTMENTS
 1000 Third Avenue
 Seattle, WA 98101

DATE:
 2009/13/00

DESIGNED BY:
 GGLO
CHECKED BY:
 GGLO
DATE:
 2009/13/00

PROJECT:
BELLEVUE APARTMENTS

PROJECT ADDRESS:
 1501 PARK AVENUE NE
 BELLEVUE, WA 98008

OWNER:
 BELLEVUE APARTMENTS
 1501 PARK AVENUE NE
 SUITE 201
 SEATTLE, WA 98101

NO.	DATE	DESCRIPTION
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48	06/11/2010	ISSUE INFORMATION
49	06/11/2010	ISSUE INFORMATION
50	06/11/2010	ISSUE INFORMATION

PROJECT NO.:
 2009013_00

DESIGNED BY:
 GSLO

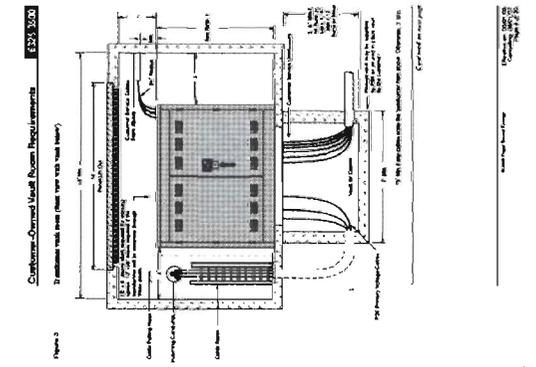
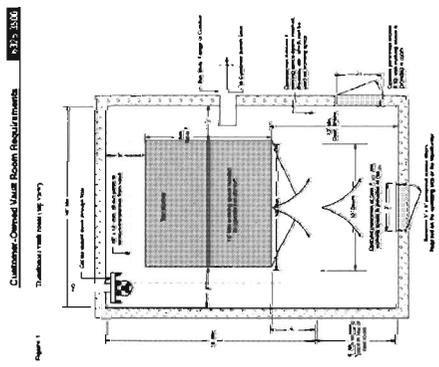
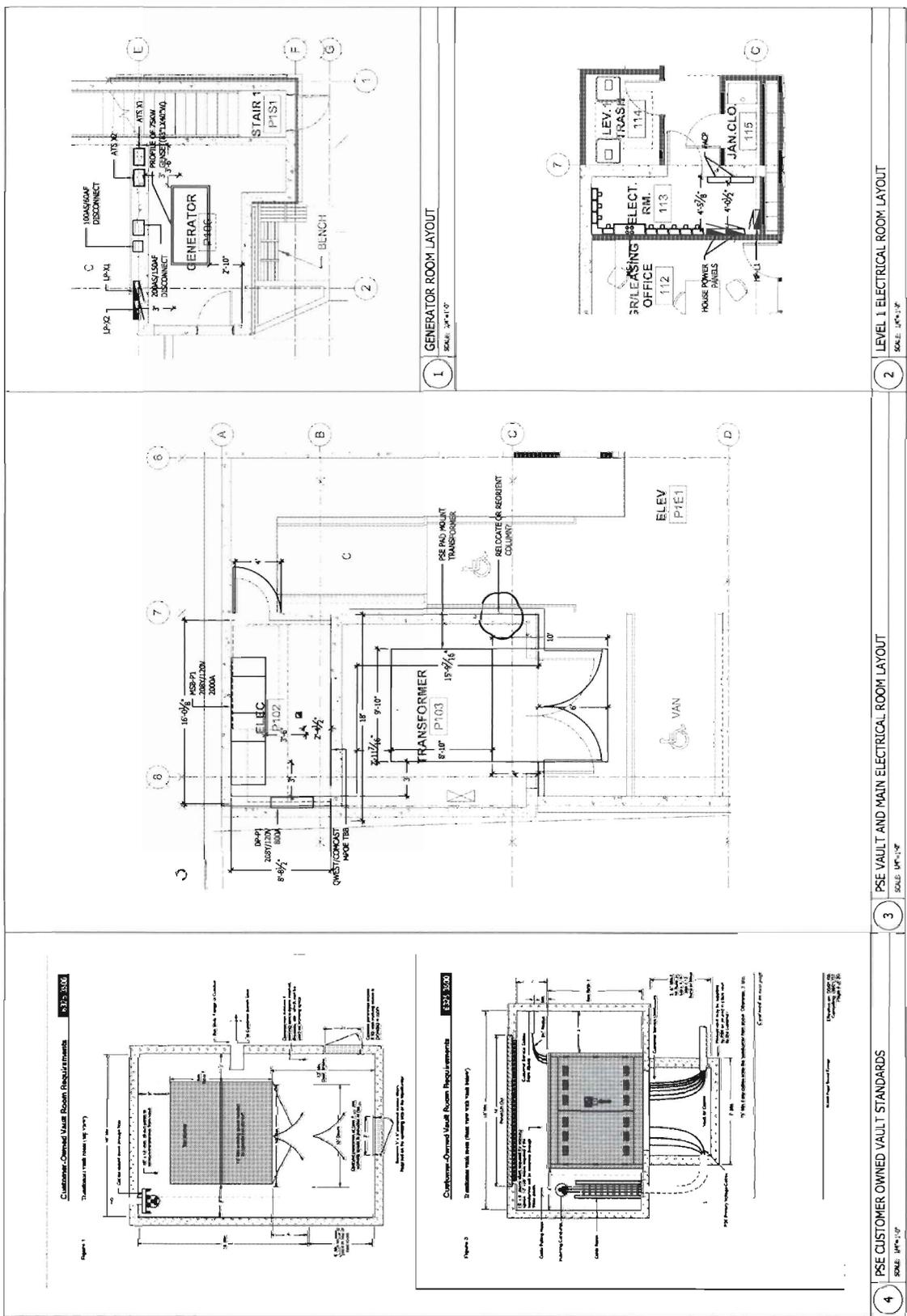
CHECKED BY:
 RUSHING

DATE:
 06/11/2010

SHEET TITLE:
ELECTRICAL ENLARGED POWER PLAN

SHEET NO.:
E-400

DESIGN REVIEW SUBMITTAL - NOVEMBER 12, 2010





LIH BELLEVUE APARTMENTS

PROJECT ADDRESS:
1111 BELLEVUE AVENUE NE
BELLEVUE, WA 98004

OWNER:
BELLEVUE APARTMENTS DEV. LLP
3401 1ST AVE. SUITE 200
SEATTLE, WA 98101

- ▲ 11/15/2011 20099013.80
- ▲ 11/15/2011 20099013.80
- ▲ 11/15/2011 20099013.80
- ▲ 11/15/2011 20099013.80

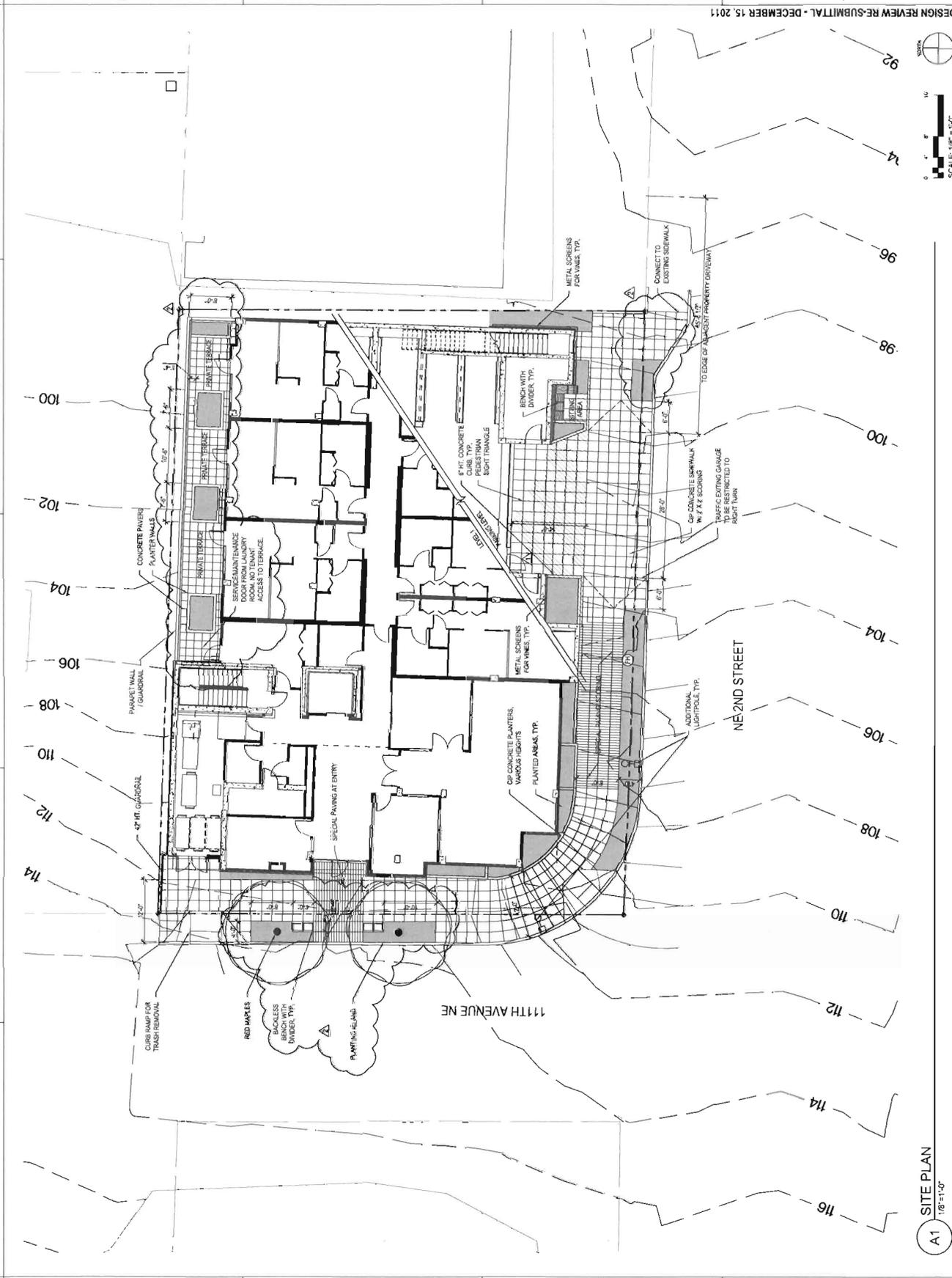
REVISIONS

NO.	DATE	DESCRIPTION
B	11/15/2011	DESIGN REVIEW RE-SUBMITTAL
D	09/22/2011	DESIGN REVIEW RE-SUBMITTAL
C	09/22/2011	DESIGN REVIEW RE-SUBMITTAL
B	11/15/2011	DESIGN REVIEW RE-SUBMITTAL
A	11/15/2011	DESIGN REVIEW RE-SUBMITTAL

PROJECT NO.: 20099013.80
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 GGLIO PROJECT IN CHARGE: [Name]
 GGLIO PROJECT MANAGER: [Name]
 OWNER APPROVAL: [Name]

PRELIMINARY LANDSCAPE PLAN SITE PLAN

L-101



A1 SITE PLAN
1/8"=1'-0"

DESIGN REVIEW RE-SUBMITTAL - DECEMBER 15, 2011

PROJECT
 BELLEVUE APARTMENTS

PROJECT ADDRESS
 204 - 11TH AVENUE NE
 BELLEVUE, WA 98004

OWNER
 BELLEVUE LANDMARKS
 DEVELOPMENT LLC
 1100 11TH AVENUE NE
 SUITE 1000
 SEATTLE, WA 98107

Architect & interior design | landscape architects | lighting & stage design

MARK	DATE	DESCRIPTION	REVISIONS
1	06/20/11	DRY RESPONSE TO "STUDY" RESPONSE 02	
2	06/20/11	DRY RESPONSE TO "STUDY" RESPONSE 02	
3	06/20/11	DRY RESPONSE TO "STUDY" RESPONSE 02	
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ISSUE INFORMATION

PROJECT NO. 2009013.00
 SHEET NO. 11/19/11
 DESIGN REVIEW RESUBMITTAL 12/16/2011

PROJECT MANAGER
 GLOD PROJECT MANAGER

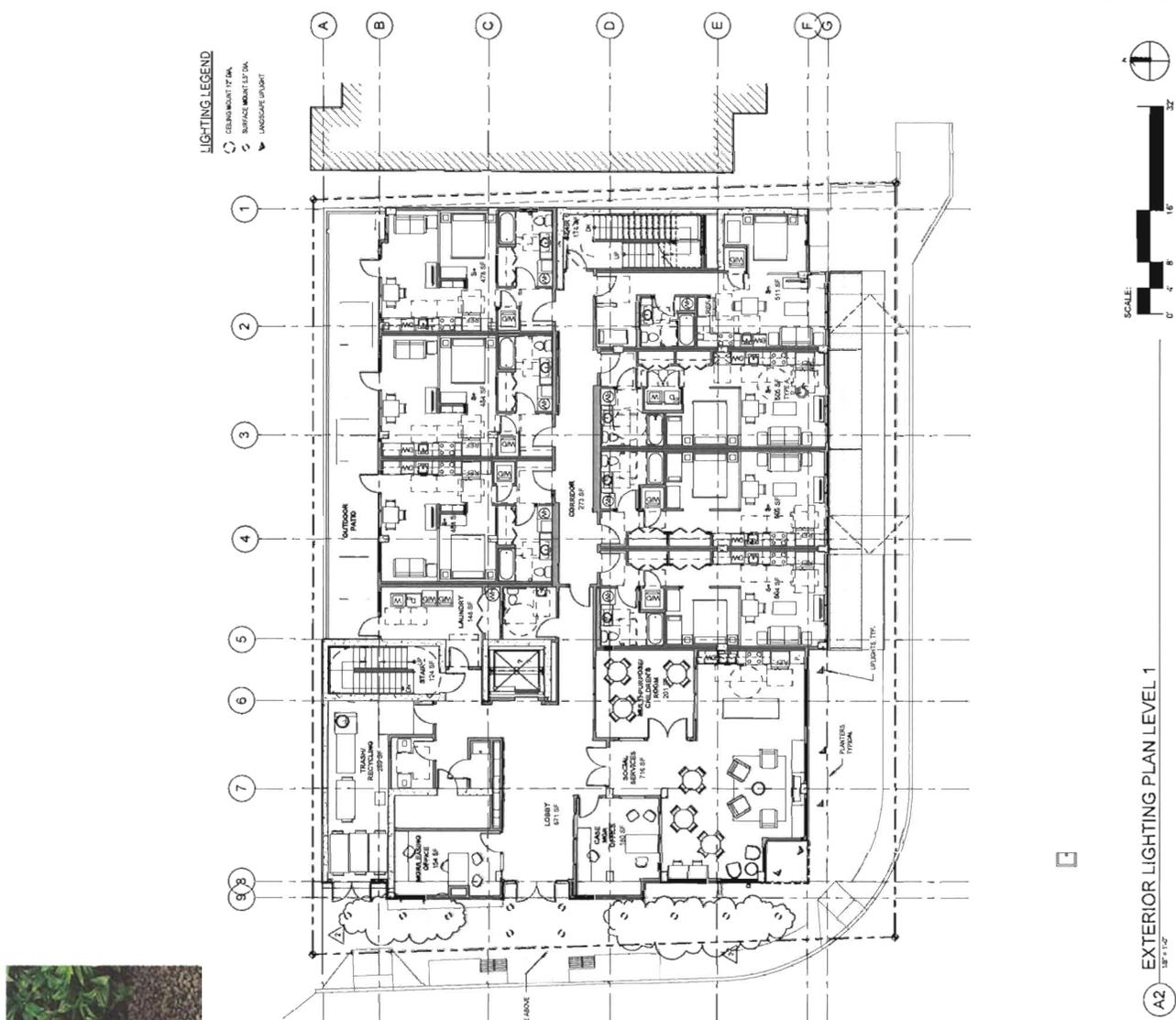
DESIGNER
 GLOD PROJECT MANAGER

CHECKED BY
 GLOD PROJECT MANAGER

DATE
 11/19/11

PROJECT TITLE
 EXTERIOR LIGHTING
 PLAN - LEVEL 1

SHEET NO.
 A-102-RCP



Life Star

Life Star is the most advanced LED lighting technology available today. It is the only lighting technology that can be used in both indoor and outdoor applications. Life Star is the only lighting technology that can be used in both indoor and outdoor applications. Life Star is the only lighting technology that can be used in both indoor and outdoor applications.

LANDSCAPE UPLIGHT
 1/8" = 1'-0"

Lighting Legend:
 ○ CEILING MOUNT LED FA
 ○ SURFACE MOUNT LED FA
 ○ LANDSCAPE UPLIGHT



SURFACE MOUNT 5.5" DIA. LIGHT
 1/8" = 1'-0"

designplan

CAST ALUM. HAZARDOUS MATERIAL RESISTANT 3000K/50
 5.520
 5.750

EXTERIOR MOUNT WITH 1/2" DIA. MOUNTING PLATE
 1/2" DIA. MOUNTING PLATE

8th & Evans-Exterior Type EN
 1/8" = 1'-0"
 11/19/11

1/8" = 1'-0"
 11/19/11

A2 EXTERIOR LIGHTING PLAN LEVEL 1
 1/8" = 1'-0"

A1 SURFACE MOUNT 5.5" DIA. LIGHT
 1/8" = 1'-0"

PROJECT
BELLEVUE APARTMENTS

PROJECT LOCUS
 244 HITCHCOCK BLVD
 BELLSVILLE, MD 20741

OWNER
 BELLEVUE APARTMENTS
 244 HITCHCOCK BLVD
 BELLSVILLE, MD 20741

Architects | Interior Design | Landscape Architecture | Planning & Urban Design

NO.	DATE	DESCRIPTION
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2	12/15/2011	FOR RESPONSE TO

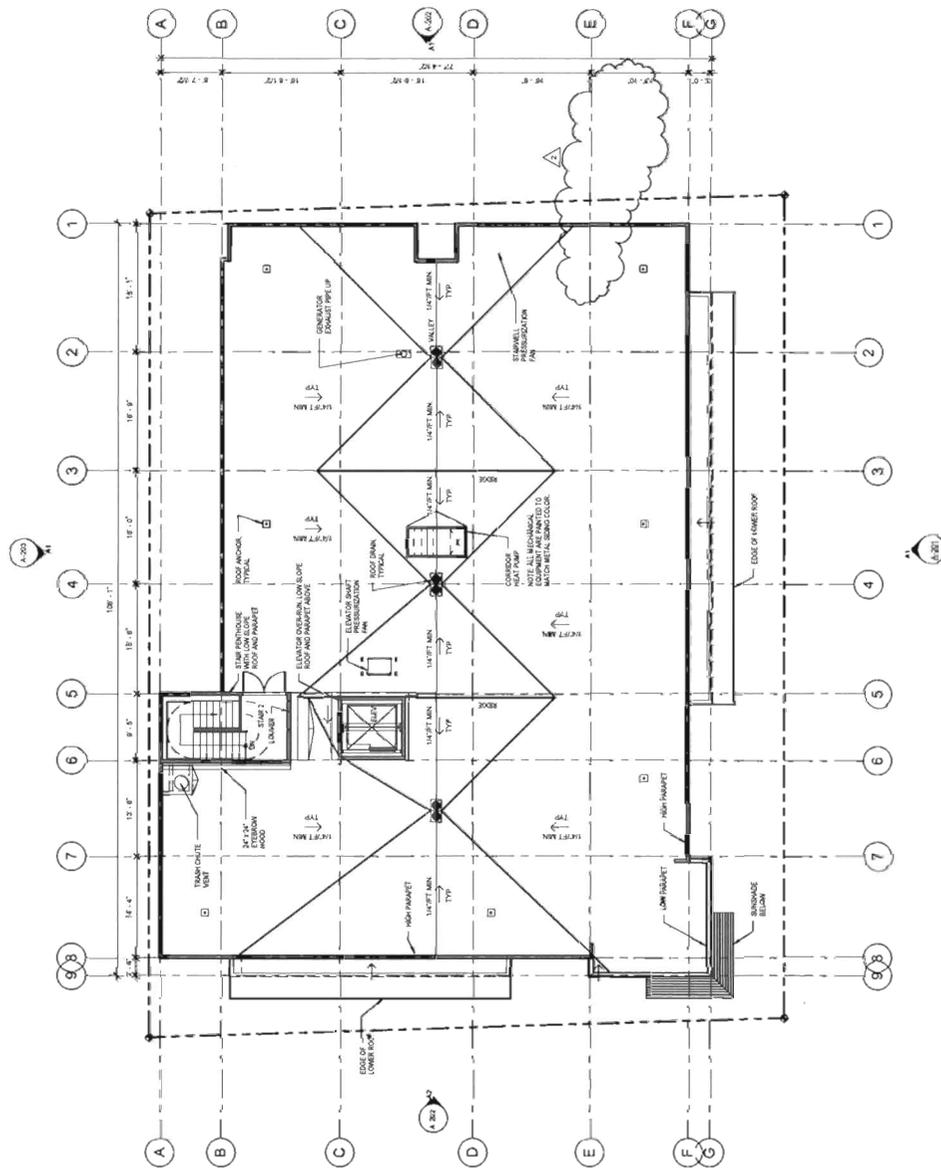
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DATE	DESCRIPTION
12/15/2011	DESIGN REVIEW SUBMITTAL
02/02/2012	DESIGN REVIEW SUBMITTAL
04/02/2012	DESIGN REVIEW SUBMITTAL
06/02/2012	DESIGN REVIEW SUBMITTAL
08/02/2012	DESIGN REVIEW SUBMITTAL
10/02/2012	DESIGN REVIEW SUBMITTAL
12/02/2012	DESIGN REVIEW SUBMITTAL

PROJECT NO. 2009013.00
DATE 12/15/2011
DESIGNED BY [Name]
CHECKED BY [Name]
PROJECT MANAGER [Name]
OWNER APPROVAL [Signature]

PROJECT TITLE
ROOF PLAN

PROJECT NO. 2009013.00
DATE 12/15/2011



A1 ROOF PLAN
 1/8" = 1'-0"



2 SIDEWALK VIEW
 N.E.S.



1 ENTRY VIEW
 N.E.S.

PROJECT: **BELLEVUE APARTMENTS**

PROJECT ADDRESS:
 2047 15TH AVENUE
 BELLEVUE, VA 22061

OWNER:
 BELLEVUE APARTMENTS
 2047 15TH AVENUE, SUITE 200
 BELLEVUE, VA 22061

ARCHITECT: | Interior Group | Landscape Architecture | Planning & Urban Design

MARK	DATE	DESCRIPTION
1	08/20/11	CONCEPT DESIGN
2	09/15/11	SCHEMATIC DESIGN
3	10/15/11	PRELIMINARY DESIGN
4	11/15/11	FINAL DESIGN
5	12/15/11	CONSTRUCTION DOCUMENTS

NO.	DATE	DESCRIPTION
1	08/20/11	CONCEPT DESIGN
2	09/15/11	SCHEMATIC DESIGN
3	10/15/11	PRELIMINARY DESIGN
4	11/15/11	FINAL DESIGN
5	12/15/11	CONSTRUCTION DOCUMENTS

PROJECT NO.	2009013.00
DRAWN BY	ADAM
CHECKED BY	ADAM
DATE	12/15/2011
DESIGNED BY	ADAM
PROJECT MANAGER	ADAM
OWNER APPROVAL	ADAM

SHEET TITLE:
RENDERED PERSPECTIVES

SHEET NO.
A-503



GGLO
1537 First Avenue
Suite 301
Seattle, WA 98101
Tel: (206) 467-0400
Fax: (206) 467-0405
Email: info@gglo.com
Web: www.gglo.com

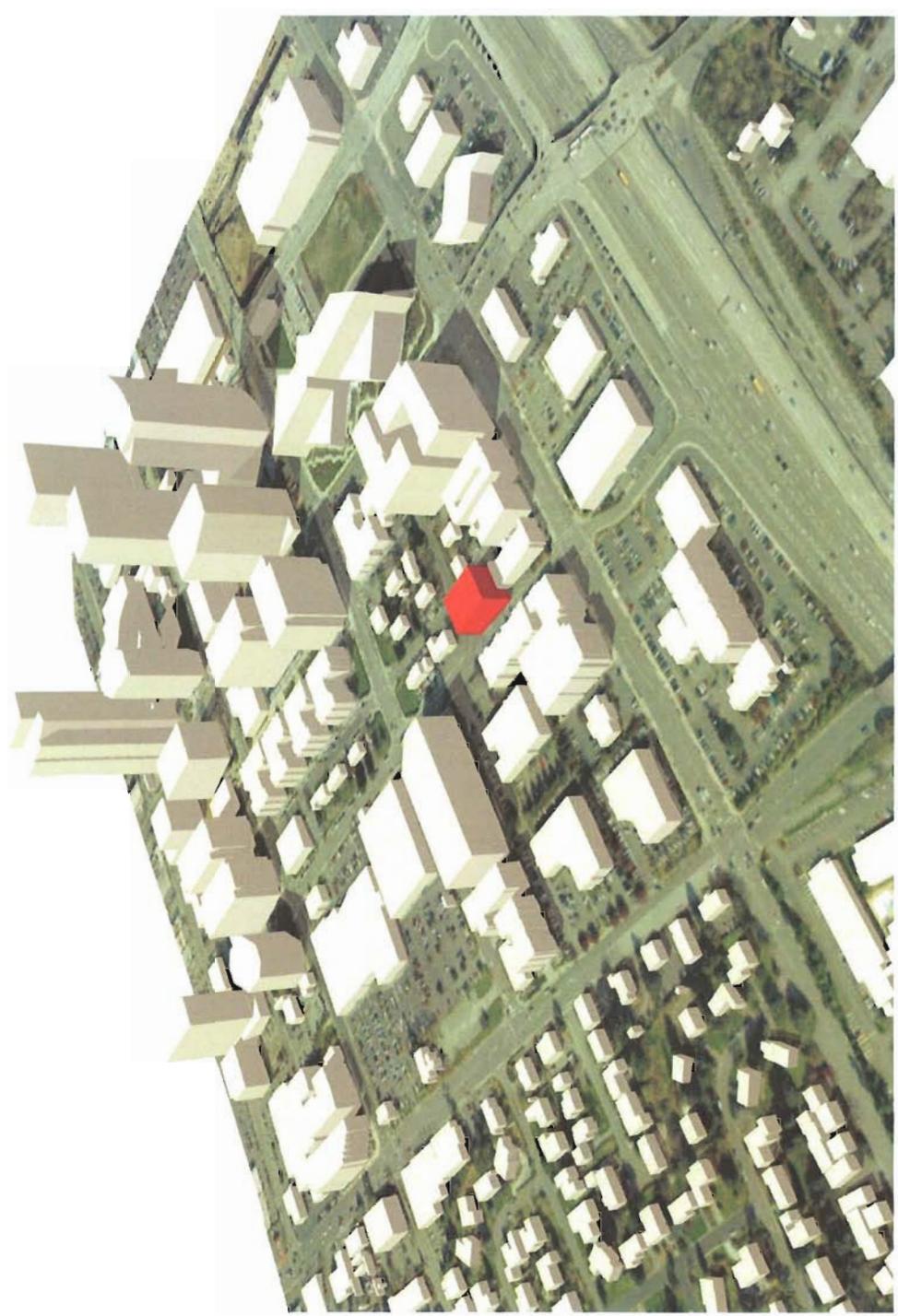
PRODUCT: **BELLEVUE APARTMENTS**
 PROJECT ADDRESS: **204 - 11TH AVENUE NE
 BELLEVUE, WA 98004**
 OWNER: **BELLEVUE APARTMENTS
 204 11TH AVENUE NE SUITE 100
 BELLEVUE, WA 98004**

NO.	ISSUE DATE	DESCRIPTION
1	08/20/11	FOR RESPONSE
2		
3		
4		
5		
6		
7		

NO.	ISSUE DATE	DESCRIPTION
1	07/25/11	DESIGN REVIEW SUBMITTAL
2	08/22/11	DESIGN REVIEW SUBMITTAL
3	08/22/11	DESIGN REVIEW SUBMITTAL
4	08/22/11	FOR PROCEED
5	07/25/11	DESIGN REVIEW SUBMITTAL
6	07/25/11	DESIGN REVIEW SUBMITTAL
7	08/22/11	100% FOR FINALS DESIGN

PROJECT NO.	2008013.00
DESIGNED BY	GGLO
CHECKED BY	GGLO
SCALE	AS SHOWN
DATE	08/22/11
PROJECT NAME	BELLEVUE APARTMENTS
PROJECT ADDRESS	204 - 11TH AVENUE NE BELLEVUE, WA 98004
OWNER	BELLEVUE APARTMENTS
OWNER ADDRESS	204 - 11TH AVENUE NE SUITE 100 BELLEVUE, WA 98004

SHEET TITLE: **BIRD'S EYE CONTEXT MAP**
 SHEET NO.: **A-504**



1 BIRD'S EYE CONTEXT MAP
 1/32" = 1'-0"



GLO
1301 First Avenue
Suite 307
Bellevue, WA 98005
Phone: (206) 451-9100
Fax: (206) 451-9027
Email: info@glo.com
http://www.glo.com

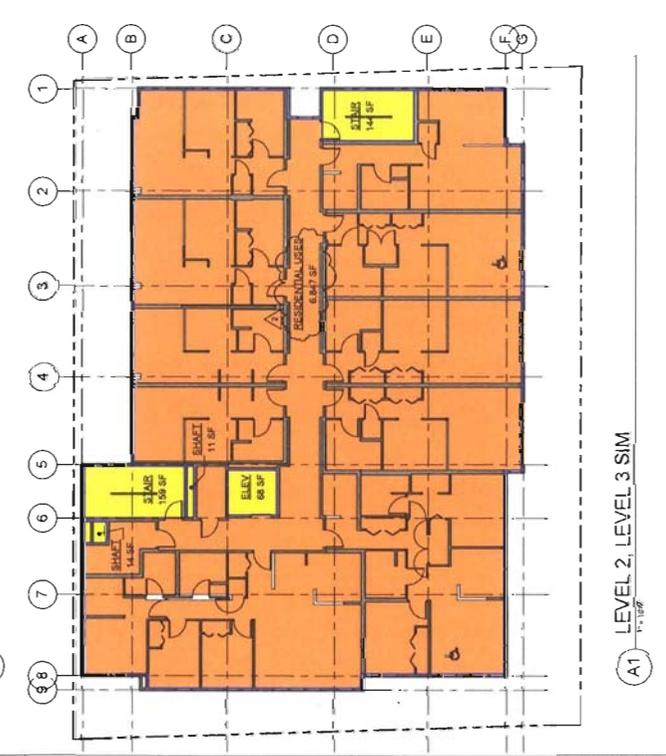
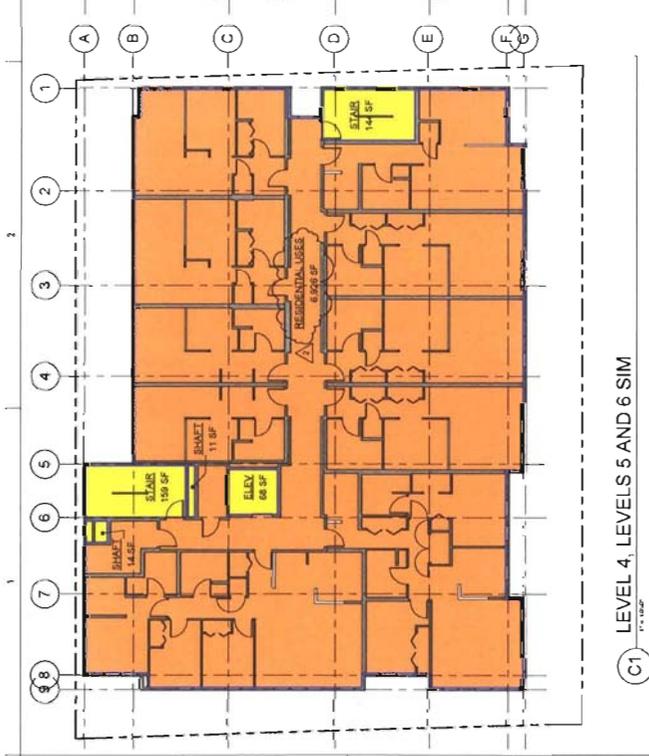
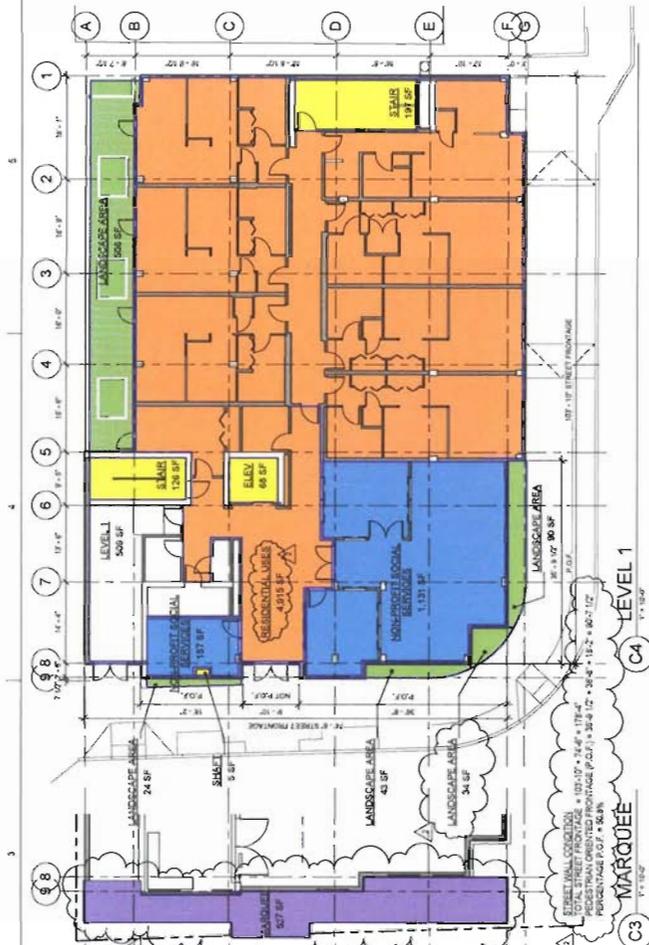
PROJECT: BELLEVUE APARTMENTS
PROJECT ADDRESS: 204-11TH AVENUE NE BELLEVUE, WA 98004
OWNER: BELLEVUE APARTMENTS 204-11TH AVENUE NE BELLEVUE, WA 98004
ARCHITECT: HOK GROUP | DESIGN ARCHITECTURE | DESIGN & ARCHITECTURE

NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR PERMIT	12/15/2011	PER RESPONSE 02
2	ISSUED FOR PERMIT	12/15/2011	PER RESPONSE 02

NO.	REVISION	DATE	DESCRIPTION
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NO.	REVISION	DATE	DESCRIPTION
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2	ISSUED FOR PERMIT	12/15/2011	PER RESPONSE 02

NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR PERMIT	12/15/2011	PER RESPONSE 02
2	ISSUED FOR PERMIT	12/15/2011	PER RESPONSE 02



SEE SHEET 0200 FOR AN WORKSHEET'S USE FOR THIS DRAWING.

NOTE: GROSS FLOOR AREA (GFA) OF THE BUILDING EXCLUDING INTERIOR STAIRS, STAIRWAYS, AND INTERIOR BALCONIES, OUTDOOR COURTS, AND EXTERIOR BALCONIES.

FAR LEGEND

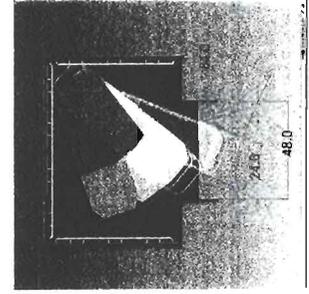
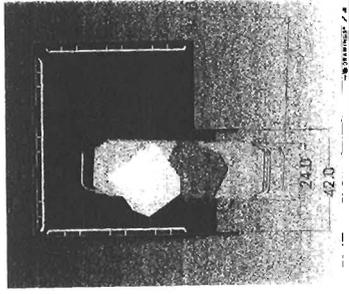
GREEN	LANDSCAPE AREA
YELLOW	MARQUEE
ORANGE	RESIDENTIAL USES
PURPLE	SPACE FOR HIGH-POUCH SOCIAL ACTIVITIES
RED	UNDERGROUND PARKING



GGLO
 1557 First Avenue
 Suite 307, Oak Ridge
 TN, 37830
 Tel: (615) 483-6288
 Fax: (615) 483-6287
 Email: ggl@gglo.com
 http://www.gglo.com

March 14, 2008

March 14, 2008



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ThyssenKrupp Elevator
 American Business Unit
 Product Development

1. Owen Architects, 445 Main Street, Nashville, TN 37203
 2. ThyssenKrupp Elevator Company
 3. March 14, 2008
 4. 2008 IBC for Structural Requirements, rev. 1

Dear Owen's Architect:

I am writing to provide information regarding the change in the IBC 2006 and later Editions for rooms in 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

We know that all these references apply to the new version of the Building Code that became mandatory in 2008. We are pleased to have been able to assist you in this regard. If you have any questions, please contact us at the following address:

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ThyssenKrupp Elevator
 American Business Unit
 Product Development

March 14, 2008

NOTE: SEE B1/A-101 FOR ELEVATOR PLAN

Page 3 of 3

Page 1 of 1

PROJECT: BELLEVUE APARTMENTS
 PROJECT ADDRESS: 3001 WYOMING AVE BELLEVUE, WA 98005
 OWNER: BELLEVUE APARTMENTS
 ARCHITECT: GGLLO
 DATE: 12/15/2011

MARK	DATE	DESCRIPTION
1	12/15/2011	ISSUE INFORMATION

MARK	DATE	DESCRIPTION
1	12/15/2011	ISSUE INFORMATION

MARK	DATE	DESCRIPTION
1	12/15/2011	ISSUE INFORMATION

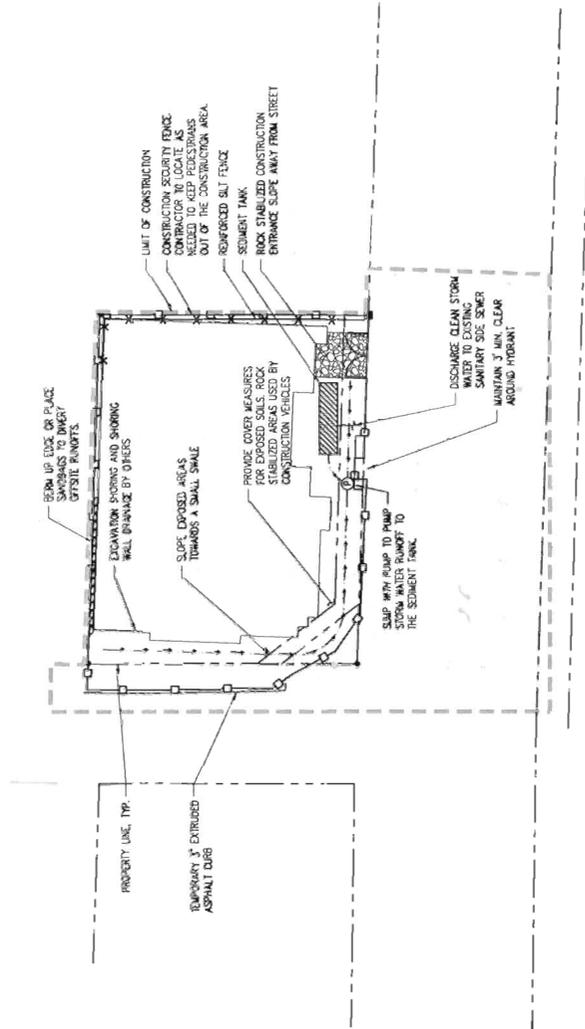
PROJECT NO: 2009013.00
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]
 IBC CODE - ELEVATORS

PROJECT NO: G-006

DESIGN REVIEW RESUMMITAL 12/16/2011

LEGEND

- *— REINFORCED SILT FENCE PER C.O.B. STD EC-5
- CONSTRUCTION FENCE
- - - - - LIMIT OF CONSTRUCTION
- - - - - INTERCEPTOR SHALE
- ▨ TEMPORARY CONSTRUCTION ENTRANCE PER C.O.B. STD EC-1



UTILITY GRID # F-7

TESC PLAN

SEC 32 TWP 25 RGE 5 SHT C-01

BELLEVUE APARTMENTS
 BELLEVUE APARTMENTS DEVELOPMENT, LLLP
 204 111TH AVENUE NE, BELLEVUE WA, 98004

DESIGNED BY: J. FRANKLIN
 CHECKED BY: E. SCHWARTZ
 DATE: 12/02/01
 DATE: 12/07/01

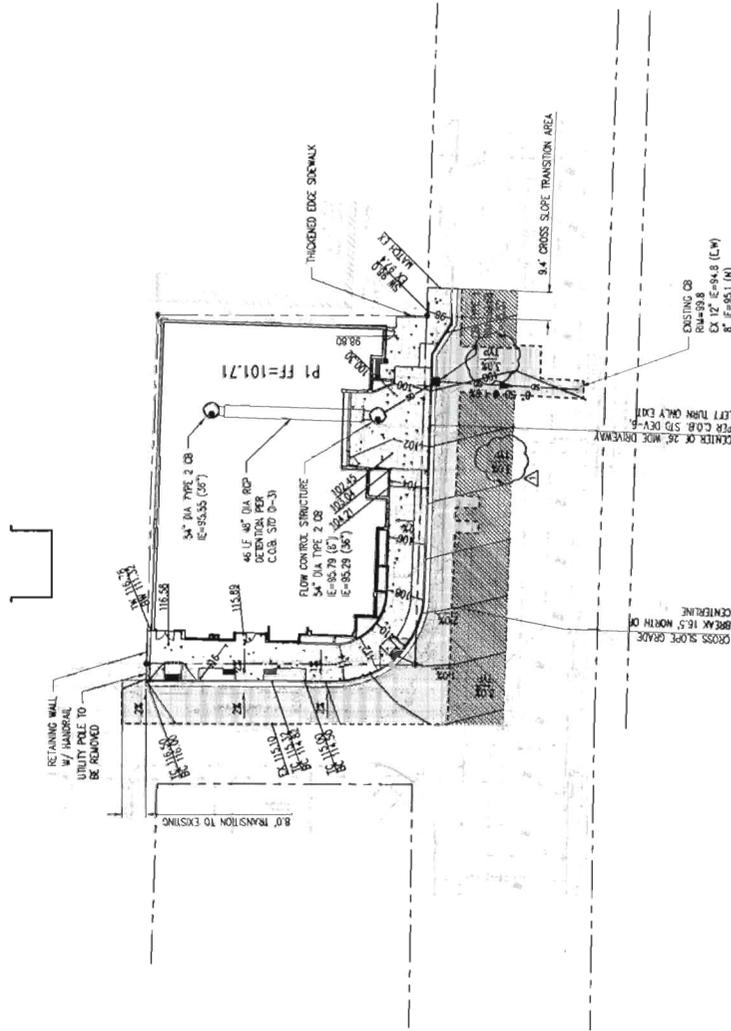
Approved By
NOT FOR CONSTRUCTION



CALL TWO BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555

kpsfi Consulting Engineers
 1601 Fifth Avenue, Suite 1600
 Seattle, Washington 98101-3655
 (206) 622-3622 fax (206) 622-6130

NO.	DATE	BY	APPROV.	REVISIONS



UTILITY GRID # F-7

GRADING AND STORM DRAINAGE PLAN

BELLEVUE APARTMENTS
 BELLEVUE APARTMENTS DEVELOPMENT, LLP
 204 111TH AVENUE NE, BELLEVUE WA 98004

REVISIONS
 12/07/11
 12/07/11
 12/07/11
 12/07/11

APPROVED BY
 NOT FOR CONSTRUCTION



CALL THE BUSINESS
 ANY TIME YOU LIKE
 1-800-474-5555

kpf Consulting Engineers
 1601 Fifth Avenue, Suite 1600
 Seattle, Washington 98101-3665
 (206) 622-5872 Fax (206) 622-8130

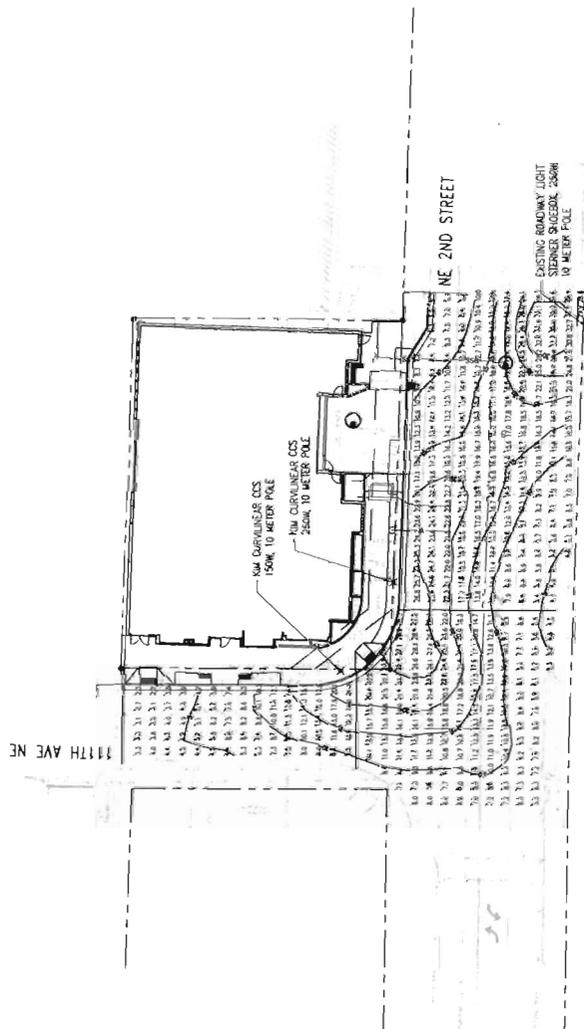
NO.	DATE	BY	REVISIONS
1	12/07/11	KH	ISSUE

STREET LIGHTING VALUES

111TH AVE NE:
ILLUMINANCE VALUES (lux)
AVERAGE=13.81
AVG/MIN=3.91

NE 2ND STREET:
ILLUMINANCE VALUES (lux)
AVERAGE=15.94
AVG/MIN=3.39

INTERSECTION 111TH AVE NE AND NE 2ND STREET
ILLUMINANCE VALUES (lux)
AVERAGE=13.88
AVG/MIN=3.02



UTILITY GRID # F-7

STREET LIGHTING PLAN

SEC 32, TWP 25, RGE 5, SHT C601

BELLEVUE APARTMENTS
BELLEVUE APARTMENTS DEVELOPMENT, L.L.P.
204 111TH AVENUE NE, BELLEVUE, WA 98004

DESIGNED BY: 12/07/11 DATE
DRAWN BY: D. SCHWARTZ 12/07/11 DATE
CHECKED BY: DATE

Approved By
NOT FOR CONSTRUCTION



CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555

kpff Consulting Engineers
1601 Fifth Avenue, Suite 1600
Seattle, Washington 98101-3665
(206) 622-3522 Fax (206) 622-8130

NO.	DATE	BY	REVISIONS

Sally Nichols
May 22, 2012

City of Bellevue Submittal Requirements

27a

ENVIRONMENTAL CHECKLIST

4/18/02

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

BACKGROUND INFORMATION

Property Owner: Bellevue Apartments Development LLLP

Proponent: Bellevue Apartments Development LLLP

Contact Person: Karen Anderson-Bittenbender
(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 2407 1st Avenue Suite 200, Seattle, WA 98105

Phone: (206) 383-2983

Proposal Title: Bellevue Apartments

Proposal Location: 204 111th Avenue NE (attached Legal Description)
(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

- 1. General description: A 57 unit apartment building with 1 level of parking ✓
- 2. Acreage of site: 0.238 Acres
- 3. Number of dwelling units/buildings to be demolished: 1 single story structure office use ✓ *res. bldg.*
- 4. Number of dwelling units/buildings to be constructed: 57 units in 1 building ✓
- 5. Square footage of buildings to be demolished: 2,160 SF ✓
- 6. Square footage of buildings to be constructed: 50,403 SF ✓
- 7. Quantity of earth movement (in cubic yards): Approximately 1,250 cubic yards ✓
- 8. Proposed land use: DTN-MU ✓
- 9. Design features, including building height, number of stories and proposed exterior materials:
 Building height is approximately 70 feet. 6 levels of residential use over 1 level of parking.
 Exterior materials to be combination of cementitious panels ~~and metal siding.~~
glass vinyl windows / metal accents.
- 10. Other *metal removed during design review*

Received

NOV 12 2010

Permit Processing

SN

Estimated date of completion of the proposal or timing of phasing:

Construction Start July 2011 and completion in Fall 2012.

Actual construction based on funding. As of 5/2012, funding still not guaranteed.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

Does Not Apply

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Phase I Environmental Report, Asbestos Survey, Geotechnical Study

Geotech consultant 11/3/2010

Letter from Dept. Arch & Historic Pres. 10/7/2012

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

Does Not Apply

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Clearing & Grading, Right Of Way, Utility and Building (and associated) Permits.

no applications as 5/2012

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

sloped site in downtown

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)?

Slight slope approximately 12%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Silty sand

SN

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. *SN*

No

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill. *SN*

Approximately 1,250 Cubic Yards will be removed from the site (Cut) to accommodate one level of underground parking. Approximately 180 Cubic Yards of fill is required on the east edge of the lot. Fill will be sourced from the on site Cut if the material meets structural fill criteria. If the material is unsuitable, Fill will be sourced from local suppliers.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. *✓*

Short term and limited erosion of open cut soil faces may occur during periods of heavy rain during construction. Excavation and onstruction will comply with the approved TESC Plan.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? *✓*

Approximately 98%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Temporary shoring will be utilized as required by an approved shoring plan, all under the direction of a qualified geotechnical engineer. All construction activities will comply with the approved Temporary Erosion and Sediment Control Plan prepared by a qualified civil engineer. All appropriate BMP's will be used in accordance with the Stormwater Management Manual.

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Some dust emission to the air could occur during demolition and excavation.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. *✓*

No

c. Proposed measures to reduce or control emissions or other impacts to the air, if any: *✓*

During demolition and construction the site will be watered as required to minimize dust levels.

3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If

appropriate, state what stream or river it flows into. ✓

No

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans. ✓

Does not apply

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. ✓

Does not apply

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. ✓

No

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. ✓

No

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. ✓

No

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description. ✓

During construction excavation, some ground water may escape to the open excavation and will be removed by de-watering methods to City storm sewer. The quantity will be related to the seasonal levels of ground water in the vicinity. Amounts, if any, are not known at this time.

Planting strips & plantlets will have irrigation.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. ✓

None

SN

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Rain falling on the roof of the building or paved areas outside the building will be directed to drains and piped to the City storm sewer after passage through retention/detention tanks designed to City standards. Unpaved landscape areas will absorb some rainfall. Rainfall in the adjacent public property will drain into the street gutters and flow into the City's storm sewer system.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

No

✓
Storm drainage detention
per COB & DCE requirements
Per 24.06
Utilities code

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Construction will be performed in accordance with the Grading and Storm Drainage Plan prepared by our civil engineer and approved by the City of Bellevue.

4. Plants

- a. Check or circle types of vegetation found on the site: ✓

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

scrub vegetation -
no significant trees

- b. What kind and amount of vegetation will be removed or altered? ✓

Shrubs and grasses on approximately 3,500 SF will be removed during excavation.

- c. List threatened or endangered species known to be on or near the site. ✓

None on the site.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The project will comply with the landscape requirements of the City of Bellevue.

MLC 20.20.320

5. ANIMALS

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

- Birds: hawk, heron, eagle, songbirds, other:
- Mammals: deer, bear, elk, beaver, other:
- Fish: bass, salmon, trout, herring, shellfish, other:

on birds using Pacific flyway.

b. List any threatened or endangered species known to be on or near the site.

None on the site.

c. Is the site part of a migration route? If so, explain.

No

Pacific flyway - entire Puget sound region

d. Proposed measures to preserve or enhance wildlife, if any:

None

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Electric power will be used as the principal power for heat, lighting, hot water, and for cook stoves.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

Although the proposed structure is within the zoning height limit, the adjacent properties to the north and east may be shaded during some hours of the day.

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

The building will conform to the Washington State Energy code and all City of Bellevue energy code requirements. The project will participate in the Evergreen Sustainable Development program and possibly participate in the PSE Multifamily New Construction energy efficiency program.

however! at 90' will be allowed 200'

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

Asbestos removal required during demolition of existing structure.

*Required of affordable projects
see asbestos survey req'd for demo.*

(1) Describe special emergency services that might be required.

None

(2) Proposed measures to reduce or control environmental health hazards, if any.

Phase 1 Environmental Report has been completed. The project will also comply with all applicable code requirements.

SW

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

Traffic noise from NE 2nd Street and 111th Ave NE.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Construction noise will be generated on a short-term basis only in conformance with City ordinances relating to noise levels and limiting hours. No long term noise increase is proposed.

- (3) Proposed measures to reduce or control noise impacts, if any:

Noise generated during construction activity will be limited to that allowed under City regulations, including any permits for special circumstances which may be issued by the City. Traffic noise could possibly be mitigated via staggered studs or resilient channels on exterior walls and double pane glass at residential units.

Construction noise & Hours per Dec 7.1 8

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

The site currently contains a vacant building. Adjacent properties are used for housing and offices.

used for car sales. Was a single family home being used for office/retail for many years.

- b. Has the site been used for agriculture? If so, describe.

No

- c. Describe any structures on the site.

Single story wood-framed 2,160 SF residential structure with basement and attached garage.

other bldg in post shape

- d. Will any structures be demolished? If so, what?

Yes, the existing 1,788 SF residential structure.

(one)

- e. What is the current zoning classification of the site?

DNTN-MU

- f. What is the current comprehensive plan designation of the site?

Mixed Use - Downtown Subarea Plan

- g. If applicable, what is the current shoreline master program designation of the site?

Does not apply

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

No

- i. Approximately how many people would reside or work in the completed project?

Approximately 2 staff will work and 75-80 residents will live at the completed project.

- j. Approximately how many people would the completed project displace?

The site is vacant. No one will be displaced.

one business being used for car sales.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

Does not apply

Business on short-term lease.

SN

- i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The project will undergo City of Bellevue administrative Design Review and SEPA Environmental Review. *Threshold Determination*

*Design Review per
LUC 20.25A.F
LUC 20.25A (dntn)*

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

Approximately 57 units of affordable workforce housing with incomes at or below 60% of the HUD specified AMI.

*workforce -
21 HI will have to
sign agreement
that entire bldg
"affordable" in
perpetuity & studios
always rented to
persons making
\$200k or less.
LUC 20.25A.0500.
BCC 22.16.070.02*

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None

- c. Proposed measures to reduce or control housing impacts, if any:

Does not apply

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

Building height is approximately 70 feet. Principal exterior building materials to be mix of cementitious panel and metal siding.

- b. What views in the immediate vicinity would be altered or obstructed?

Although the proposed structure is much lower than the maximum zoning height limit, the adjacent properties to the north and east may be shaded during some hours of the day.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

Design of the building will conform to City of Bellevue Design Review comments and Land Use code.

*WC 20.30.F
LUC 20.25A (downtown)*

*200ft. elevator penthouse
is at approx.
86.
no views
will be impacted
under current
conditions.*

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

The project may reflect sunlight during the day and emit artificial light after dark.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No

*using
non-reflective glass*

c. What existing off-site sources of light or glare may affect your proposal? ✓

Street lights

d. Proposed measures to reduce or control light or glare impacts, if any: ✓

None are proposed

*all exterior lights
using cut-off shields*

12. Recreation

a. What designated and informal recreational opportunities are in the immediate vicinity? ✓

There are a number of recreational opportunities in the area including: City of Bellevue ~~Park~~, Downtown Park, Robert E McCormick Park and Bellevue Botanical Gardens. ✓

Wilburton Park

b. Would the proposed project displace any existing recreational uses? If so, describe. ✓

No

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: ✓

The building will contain an interior community room for residents and a play area for children.

13. Historic and Cultural Preservation ✓

a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. ✓

None on site, none next to the site.

b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site. ✓

None on site, none next to the site.

c. Proposed measures to reduce or control impacts, if any: ✓

Does not apply

*Refer to
attached letter
dated 10/7/2010 from
WA Dept of Archeology &
Historic Preservation*

14. Transportation

a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. ✓

NE 2nd Street, 111th Ave. NE, and I-405 serve the site.

b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? The site is located 0.3 miles from the Bellevue Transit Center where there are numerous transit connections. ✓

c. How many parking spaces would be completed project have? How many would the project eliminate? ✓

23 parking stalls will be provided upon completion of construction in Fall 2012. No formal parking spaces will be eliminated.

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓

A street light will be added along 111th Ave NE near the NE 2nd intersection. Pavement widening is required along NE 2nd and 111th Ave NE to accommodate wider sidewalks.

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. ✓

The proposed East Link Light Rail will serve the neighborhood in the future.

*Relief from traffic
impact per
BCC 21.6.07.
B.2*

*23 spaces
allowed w/afford.
housing
LIC 20.25A.050.B*

*will run
along 110th. Ave NE.*

GN

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓

Approximately 21 new PM peak hour trips will be generated. ✓

g. Proposed measures to reduce or control transportation impacts, if any: ✓

The use of public transit, bicycles and walking to work are expected to lessen the total number of vehicle trips per day. The proposed project is in close proximity to the Bellevue Transit Center and a future light rail stop.

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. ✓

The project will house workforce individuals and families, some of which may have children. Child residents will attend local schools. Otherwise, no increase in public services is proposed beyond what is required by any new housing project.

social service space will be provided on 1st level of bldg. ✓

b. Proposed measures to reduce or control direct impacts on public services, if any. ✓

A child's play area will be provided on site for residents. Otherwise, no major impacts are anticipated on public services.

16. Utilities

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other. ✓

Electricity, water, refuse service, telephone, sanitary sewer.

Other: Cable television, internet, storm sewer.

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓

Same as existing. Electricity supplied by Puget Sound Energy will be the major energy source. Sewer and water systems owned by the City of Bellevue serve the site.

Telephone/Internet is also available to the site. Garbage is also provided by Allied Waste Services.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature *Naam Anderson-Blunt*

Date Submitted November 12, 2010

SN

