



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
ENVIRONMENTAL COORDINATOR
11511 MAIN ST., P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT:

Sarah Teschow, RealCom Associates

LOCATION OF PROPOSAL:

16245 NE 24th Street, Bellevue, WA

DESCRIPTION OF PROPOSAL:

Application for an administrative conditional use to replace an 82.6 foot tall wood stadium light pole with a 98 foot tall steel stadium light pole, with a 6-panel wireless communications antenna array at the top and ground-mounted mechanical equipment near the base.

FILE NUMBER: 10-107029-LA

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Development Services Section. This information is available to the public on request.

- There is no comment period for this DNS
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment from the date below. Comments must be submitted by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carol V. Holland
Environmental Coordinator

9/16/10
Date

OTHERS TO RECEIVE THIS DOCUMENT:

State Department of Fish and Wildlife
State Department of Ecology, Shoreline Planner N.W. Region
Army Corps of Engineers
Attorney General
Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Verizon Wireless – SEA Ardmore Park

Proposal Address: 16245 NE 24th Street (Interlake High School)

Proposal Description: Application for an administrative conditional use to replace an 82.6 foot tall wood stadium light pole with a 98 foot tall steel stadium light pole, with a 6-panel wireless communications antenna array at the top and ground-mounted mechanical equipment near the base.

File Number: 10-107029-LA

Planner: Mike Upston, AICP, Senior Planner

Applicant: Sarah Telschow, Realcom Associates

Recommendations Included: Administrative Conditional Use Permit (Process II, Land Use Code 20.30E)

State Environmental Policy Act Threshold Determination: **Determination of Non-Significance (DNS)**

Carol V. Helland
Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland
Carol V. Helland, Land Use Director
Development Services Department

Decision Publication Date: 9/16/10
Appeal Deadline: 9/30/10

For information on how to appeal a proposal, visit Development Services at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

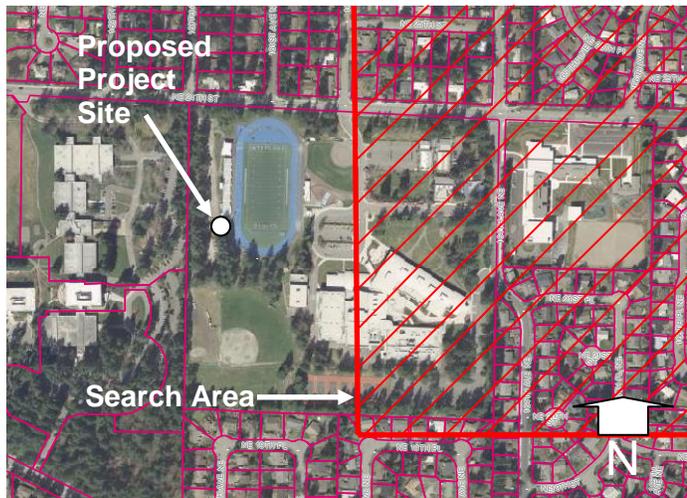
I. Request/Proposal Description

The purpose of this application is to replace an 82.6 foot tall wood stadium light pole with a 98 foot tall steel stadium light pole, with a 6-panel wireless communications antenna array at the top and ground-mounted mechanical equipment near the base. The exchanged pole will be almost sixteen feet taller than the existing pole. The Bellevue School District required that the existing stadium lights remain at the existing elevation and there be a minimum 5'-6" clearance between the lights and the antennas.

Verizon's radio frequency (RF) engineer has determined that a 16 foot height extension is the minimum necessary to provide the needed signal to the coverage area. Due to the various technologies used by Verizon, a minimum of 6 antennas are necessary in order to utilize all of Verizon's 3 licensed frequencies (850 MHz Cellular B Band, PCS A5 1900 MHz, and 750 MHz LTE Upper C Block). The use of all three technologies requires separate antenna systems for each frequency band. The RF engineer's report and propagation maps are available for viewing in the City's project file at the City Hall Records Office.

II. Site Description and Context

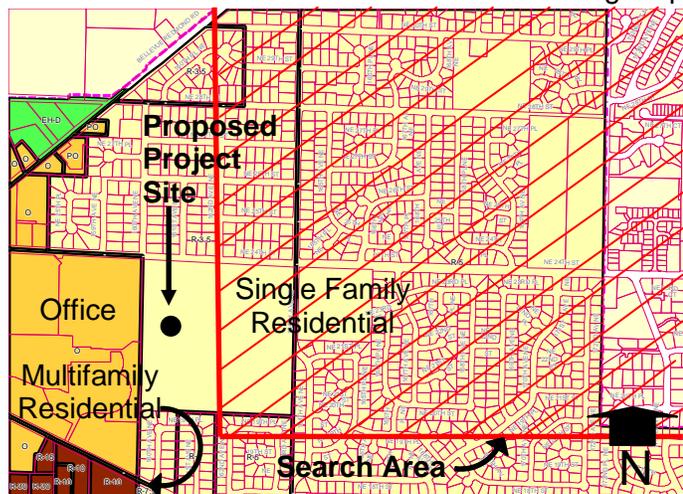
Aerial Photo



As shown on the Aerial Photo to the left, the facility location is within Interlake High School's football stadium, with the exchanged stadium light pole and equipment shelter on the west side of the stadium, set back against a cluster of conifer trees about 600 feet south of NE 24th Street and out of view for most residents in this Northeast Bellevue neighborhood.

Zoning Map

As shown on the Zoning Map to the right, the immediate zoning is primarily single family residential, with some multifamily and office zoning to the south and west outside of the facility search area. An office park and multifamily area is to the immediate west and south, with single family homes to the east, north, and south.



As depicted in the maps above, the proposed site is located outside the search ring. However, the site would meet Verizon's radio frequency needs in the area due to the surrounding antenna heights of the existing sites and the rolling and sloping terrain of the area along NE 24th Street.

Locating this facility even further outside the search area to the west within commercial zoning (Unigard Office Park for instance) was investigated by Verizon, but it was found that this would be too far away to provide adequate service within the coverage area which lies primarily east of 164th Avenue NE (Coverage Area map provided in project file available in the City's Records Office).

III. Environmental Impacts of the Proposal

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements. The SEPA Checklist is available for viewing in the project file at the City Hall Records Room.

IV. Public Comment

The applicant filed this application on March 23, 2010. The surrounding property owners were mailed notice of the proposal in the Weekly Permit Bulletin on July 1, 2010, and a public information sign was installed on NE 24th Street that same day. The public minimum comment period established for this application ended on July 15, 2010.

The purpose for delaying the public notice of this application for a few months was to allow some time for consideration of the increasing proliferation of wireless communications facilities in this neighborhood. After receiving Verizon's application and a separate application by T-Mobile for a site a few blocks to the east, the City became aware that there also were already three existing wireless communications facilities by other service providers no more than about a ½ mile to the east. The City coordinated with Verizon and T-Mobile to explore alternative locations for both facilities, including the possibility of co-locating the T-Mobile facility with this Verizon site. Since the outcome of that effort could have resulted in a significant change to this project such as co-location or a change in location altogether, the City delayed posting the notice until the final project proposal was certain. Ultimately however, coordination amongst Verizon and T-Mobile did not result in a change to this project proposal.

At the time of writing this report, public comment was received regarding this proposal from only one person. This person is concerned with the proliferation of wireless facilities along NE 24th street in this single family residential area and suggested that other, less intrusive, options might be available in non-residential

land use districts. The questions and comments germane to this proposal, along with responses, are summarized below. An expanded record of correspondence received from the commenter is available for viewing in the City's project file at the Records Office in City Hall.

Question/Comment #1: Was a search ring and zoning map showing all zones available in the coverage gap submitted with this application? Also, did Verizon consider locational hierarchy as required by the Land Use Code? Were other possible locations considered outside the single family residential zoning district?

Response: A zoning map with the coverage gap overlaid on it is embedded on page 2 of this staff report. The coverage gap area is all single family zoning; there are no non-residential and/or multi-family zoning districts within the search ring. Commercial and multifamily zones west of the coverage gap area are too far away to meet Verizon's minimum service requirements.

The subject site was located in order to minimize any potential impacts to surrounding areas while still providing the necessary services within this area. Verizon has located an athletic field light away from NE 24th in order to minimize any potential visual impacts (photo simulations which illustrate the existing athletic field light and the proposed facility with the additional height are available in the City's project file). Permission to use the property is required to be granted by the property owner. In this case the Bellevue School District (BSD) has provided this permission subject to permit approval. There is precedent for locating wireless communications facilities on school grounds (Bellevue High School) and the BSD has done this to help raise funds for school activities.

The proposed installation at Interlake High School is the least intrusive option for this area, especially given that the search ring consists primarily of single family property which is not allowed for locating wireless communications facilities. Within single family land use districts, only the public right-of-way and private property developed with non-residential uses (ex. schools, churches, parks, and community centers) are allowed for locating wireless communications facilities.

The other identified location which could provide the service required within the coverage area requires construction of a new 80 to 85 foot tall monopole at the Puget Sound Energy Kenilworth Substation located to the east at 17210 NE 24th Street. Unfortunately, the existing monopole at this site has been maximized and is not available for co-location, and building a new monopole is considered to be a greater visual impact and lowest on the Land Use Code's hierarchy of preferred design options (LUC 20.20.195.D.2.b).

Question/Comment #2: Did Verizon consider co-locating this wireless facility with one of the facilities already existing within a four mile radius of the proposed site? How about sharing infrastructure with the existing AT&T facility?

Response: Verizon stated that they seek to co-locate facilities wherever possible and where the co-location is the least intrusive solution within an area. However, in this instance, the proposed use of an existing athletic field light was deemed the least intrusive option.

The existing AT&T facility at Interlake High School is (110 feet +/-) in height. In order to co-locate with that facility, the height would need to be increased by approximately twenty feet for a resulting height of 130 feet +/- . The entire pole would have to be replaced with a taller pole with a more robust diameter to handle the structural load. The twenty foot height extension accounts for the six flush mounted antennas and ten feet of vertical separation typically necessary between different providers to avoid interference. Further, Verizon requires a more expansive equipment footprint than most carriers for optimization of the three different technologies utilized. Verizon's equipment will not fit inside AT&T's existing equipment building. Therefore an additional equipment building with a minimum footprint of 12' x 30' would be required. In order to fit the equipment shelter within this area, Verizon would have to remove existing vegetation, potentially including significant trees.

As iterated in the response to question #1 above, the only other potential co-location exists at the Puget Sound Energy Kenilworth Substation located to the east at 17210 NE 24th Street, which as explained above is not a viable option.

Question/Comment #3: Will 10 feet of separation be provided between the proposed antennas and the stadium lights as required by PSE?

Response: This is not a PSE facility. The sixteen foot height extension allows for Bellevue School District's minimum 5'-6" separation between the stadium lights and the antennas.

Question/Comment #4: Many cities have a 1,000 foot setback from a school for a cell phone tower. Why is this wireless facility proposed at the Interlake school grounds?

Response: The City of Bellevue does not have separation requirements for wireless telecommunication facilities from schools. However, the proposed installation is at least 400 feet from the actual Interlake High School buildings.

V. Applicable Decision Criteria / Findings and Conclusions

Compliance with decision criteria of Land Use Code Section 20.30E.140 is discussed below.

A. The conditional use is consistent with the Comprehensive Plan.

Finding: This proposal is consistent with Bellevue's Comprehensive Plan policies regarding such facilities. The Comprehensive Plan policies listed below from the Utility Element have been considered in support of the City's decision regarding this site:

- (1) UT-40. Require the reasonable screening and/or architecturally compatible integration of all new above-ground utility facilities.
- (2) UT-40a. Protect Bellevue's aesthetic quality and infrastructure investment from unnecessary degradation caused by the construction of telecommunication infrastructure.

- (3) UT-43. Encourage consolidation on existing facilities where reasonably feasible and where such consolidation leads to fewer impacts than would construction of separate facilities.
- (4) UT-55. Require the placement of personal wireless communication facilities in a manner that minimizes adverse impacts on adjacent land uses.
- (5) UT-59. Recognize that personal wireless communication facilities will be deployed in all areas of the city to provide coverage and capacity consistent with the changing use of wireless technology. Minimize the attendant impacts, particularly the visual impacts, of personal wireless communication facility towers, lattice towers and structures by utilizing criteria for the design and location of such facilities that appropriately balance the need for wireless services and the impacts of the necessary facilities.
- (6) UT-61. Minimize visual impacts of personal wireless communication facilities by encouraging system designs in the following preferred and descending order: 1) attached to public facility structures, building mounted, or integrated with utility poles, light standards, and signal supports; 2) co-located on utility poles, light standards, signal supports; and 3) free standing towers.

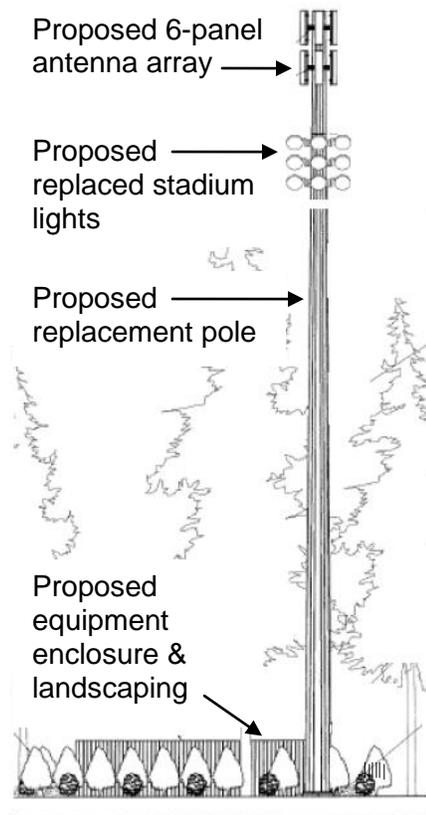
Verizon’s proposal is consistent with these policies since the proposed location represents the least impact while still achieving Verizon’s coverage and capacity needs, and the proposed design includes elements that will minimize visual intrusion, as summarized under criteria B below.

Consistency with UT-43 (encourage consolidation) is particularly worth noting here. The applicant’s analysis of location and design alternatives (available for viewing in the City’s project file) conclusively identifies this site as a co-located facility that is preferable to other locations or designs.

B. The design is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.

Finding: To ensure that the facility is compatible with the existing stadium lighting and other features on the ground, the proposal incorporates the following measures:

- (1) The replacement pole will be steel so as to be as compatible with the other stadium light poles.
- (2) The antennas will be flush-mounted to the pole. A condition of approval is



included within section VII of this report requiring that the antennas extend no more than six inches from the face of the pole. Another condition requires the antennas and all ancillary components be painted to match the pole.

- (3) The ground-mounted mechanical equipment will be screened inside an enclosure surrounded by shrubs. A condition of approval is included in section VII of this report requiring a landscape assurance device for required landscaping not installed at final inspection, as well as labor and materials for landscape maintenance for a period of one year from date of final inspection.

C. The administrative conditional use will be served by adequate public facilities including streets, fire protection, and utilities.

Finding: The facility is located within an area of the property served by adequate public facilities including access from streets and fire protection.

D. The administrative conditional use will not be materially detrimental to uses or property in the immediate vicinity of the subject property.

Finding: As discussed in subsections A and B above, the proposed stadium light replacement pole and mechanical equipment enclosure is the least visually intrusive option, apart from a no-project option. However, a condition of approval is included in section VII of this report requiring that the facility be removed when it ceases to be operational or if it falls into disrepair.

E. The administrative conditional use complies with the applicable requirements of the Land Use Code.

Finding: The proposal meets all Land Use Code requirements applicable to non-exempt wireless communications facilities per LUC 20.20.195.D 1-9.

VI. Decision

After conducting the various administrative reviews associated with this proposal, including applicable land use consistency, SEPA, and City Code and Standard compliance reviews, the Development Services Director does hereby **APPROVE** the proposal subject to the following conditions:

VII. Conditions of Approval

1. Flush-Mount

The antennas & microwave dishes shall be flush-mounted and no more than six inches from the pole face.

REVIEWER: Mike Upston, (425) 452-2970

AUTHORITY: LUC 20.20.195.B.1.a.v

2. Paint to Match

The antennas and all ancillary components shall be painted to match the pole.

REVIEWER: Mike Upston, (425) 452-2970

AUTHORITY: LUC 20.20.195.B.1.a.v

3. Landscape Assurance Device

The applicant shall provide a landscape assurance device (assignment of savings or letter of credit) for 150% of the fair market value of labor and materials for any required landscaping not installed at final inspection. It shall also cover 20% of the fair market value of labor and materials for landscape maintenance for a period of one year from date of final inspection.

REVIEWER: Mike Upston, (425) 452-2970

AUTHORITY: LUC 20.20.520.K.1 and 2, and 20.20.520.L.1 and 2

4. Removal of Abandoned Sites

The owner of this facility shall provide the Director with copies of any notice of intent to cease operations that is provided to the Federal Communications Commission (FCC). All wireless communications devices and associated equipment shall be removed by the facility owner within 90 days of the date it ceases to be operational, or if the facility falls into disrepair and is not maintained. Disrepair includes structural features, paint, or general lack of maintenance, which could result in safety or visual impacts.

REVIEWER: Mike Upston, (425) 452-2970

AUTHORITY: LUC 20.20.195.D.8

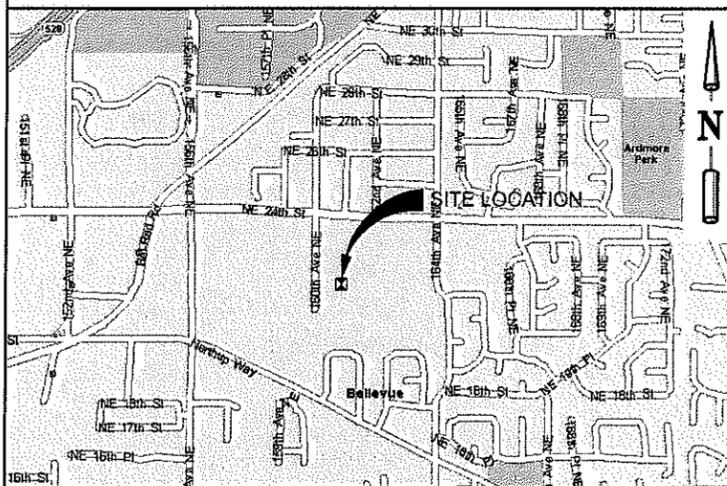
Attached: Project Plans



SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

VICINITY MAP



DRIVING DIRECTIONS

START AT VERIZON OFFICES AT 3350 161ST AVE SE / MS #221, BELLEVUE, WA 98008.
GO WEST ON SE EASTGATE WAY .2 MILE TOWARD 158TH AVE SE, TURN RIGHT AND GO NORTH 3.7 MILES ON 158TH AVE SE, TURN RIGHT AND GO EAST .4 MILE ON NE 24TH ST, TURN RIGHT INTO DRIVEWAY PRIOR TO (WEST OF) THE ATHLETIC FIELD. CONTINUE SOUTH ON DRIVEWAY THROUGH YELLOW PAINTED GATE. TURN LEFT AFTER 200' TO SITE NEAR THE SOUTHWEST CORNER OF THE TRACK.

APPROVAL / SIGN OFF

APPROVED BY:	DATE	SIGNATURE
SITE ACQUISITION		
ZONING		
R.F		
CONSTRUCTION MANAGER		
PROJECT MANAGER		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

PROJECT INFORMATION

APPLICANT / LESSEE:
VERIZON WIRELESS
15900 SE EASTGATE WAY, SUITE 231
BELLEVUE, WA 98008

PROJECT ENGINEER:
CORNERSTONE ENGINEERING, INC.
16928 WOODINVILLE REDMOND ROAD N.E. SUITE 210
WOODINVILLE, WA 98072
MARK W OLSON, P.E.
PH: (425) 487-1732
FAX: (425) 487-1734

CODE INFORMATION:
ZONING CLASSIFICATION: R-3.5 & R-5
BUILDING CODE: 2006 IBC
CODE INFORMATION: 2005 NEC
CONSTRUCTION TYPE: TELECOMMUNICATIONS
OCCUPANCY: UNOCCUPIED
JURISDICTION: CITY OF BELLEVUE
PROPOSED BUILDING USE: UNMANNED TELECOMM.

SITE LOCATION: (BASED ON NAD 83)
LATITUDE: 47°37'47.84" N
LONGITUDE: 122°07'34.82" W
TOP OF STRUCTURE: 98'-0" NEW STADIUM LIGHT POLE
BASE OF STRUCTURE: 407.06' AMSL

PROJECT AREA:
420± SQ.FT. EQUIPMENT AREA

GENERAL INFORMATION:
1. TRAFFIC IS UNAFFECTED.
2. NEW SIGNAGE IS PROPOSED.
3. ADDITIONAL IMPERVIOUS AREA IS PROPOSED.

PROJECT DESCRIPTION:
THIS PROPOSAL IS TO CONSTRUCT A TELECOMMUNICATION FACILITY WHICH INCLUDES THE FOLLOWING:
14'x30' CEDAR FENCED EQUIPMENT COMPOUND WITH (6) EQUIPMENT CABINETS AND (1) DIESEL GENERATOR ON A 12'x28' CONCRETE SLAB. REMOVAL OF AN EXISTING WOOD STADIUM LIGHT POLE AND REPLACING WITH AN 98'-0" HIGH STEEL MONOPOLE / STADIUM LIGHT POLE WITH (6) FLUSH MOUNTED ANTENNAS AND EXISTING 82'-6" HIGH STADIUM LIGHTS REMOUNTED TO SCHOOL SPECIFICATIONS.

PROJECT CONSULTANTS:
REALCOM ASSOCIATES
14432 SE EASTGATE WAY, SUITE 260
BELLEVUE, WA 98007
PHONE: (425) 274-4444
FAX: (425) 274-4449

PROPERTY OWNER:
BELLEVUE SCHOOL DIST 405
PO BOX 90010
BELLEVUE, WA 98009
CONTACT: JACK MCLEOD
PHONE: (425) 985-1746
EMAIL: mcleodja@bsd405.org

SITE ACQUISITION:
CONTACT: JIM SARAMA
PHONE: (425) 922-1318

LANDUSE / PERMITS:
CONTACT: SARAH TELSCHOW
PHONE: (425) 274-4444 EXT. 114
EMAIL: stelschow@realcomassoc.com

IMPLEMENTATION MANAGER:
CONTACT: EDWARD STEWART
PH: (206) 402-1678
edward.stewart@verizonwireless.com

PARCEL NUMBER(S):
2625059001
AREA OF PARCEL:
1,883,964 SQ. FT.
(38.66± ACRES)

NEW IMPERVIOUS AREA:
420 SQ. FT.

DRAWING INDEX

DWG. NO.	DESCRIPTION
T-1	TITLE SHEET
G-1	GENERAL NOTES
C-1	CIVIL SURVEY SITE DETAIL
C-2	CIVIL SURVEY SITE DETAIL
A-1	SITE PLAN
A-1.1	ENLARGED SITE PLAN
A-1.2	COMPOUND PLAN
A-2	EAST ELEVATION
A-3	CONSTRUCTION DETAILS
A-3.1	CONSTRUCTION DETAILS
A-3.2	CONSTRUCTION DETAILS
A-3.3	CONSTRUCTION DETAILS
A-3.4	SIGNAGE
A-4	GENERATOR SPECIFICATIONS
E-1	ELECTRICAL NOTES & SINGLE LINE DIAGRAM
E-2	ELECTRICAL SITE PLAN
E-3	ELECTRICAL GROUNDING DETAILS
E-4	ELECTRICAL DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE NOTES & DETAILS
TD-1	DRAINAGE PLAN
TD-2	DRAINAGE NOTES
TD-3	DETAILS & NOTES

LEGAL DESCRIPTION

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON; EXCEPT THE NORTH 30 FEET THEREOF FOR ROAD PURPOSES; AND EXCEPT THOSE PORTIONS CONVEYED TO THE CITY OF BELLEVUE FOR ROAD PURPOSES BY DEEDS RECORDED UNDER RECORDING NUMBERS 9301281150 AND 20031126001866.

PER PACIFIC NORTHWEST TITLE COMPANY OF WASHINGTON, INC. TITLE ORDER NO. 704085.

UTILITY COMPANIES

POWER
PUGET SOUND ENERGY
(800) 321-4123

TELEPHONE
QWEST COMMUNICATIONS
(800) 475-7526



We never stop working for you.
3350 161st AVE SE / MS #221
BELLEVUE, WA 98008

REALCOM

PLANS PREPARED BY:



16928 WOODINVILLE-REDMOND RD NE.
SUITE 210
WOODINVILLE WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: cel@cornerstone-engr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

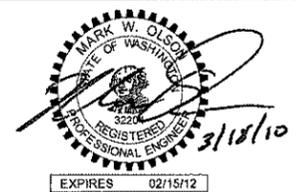
REV. DATE DESCRIPTION BY CK:

REV.	DATE	DESCRIPTION	BY	CK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: CHK: APV.:
AJB DRA MWO

CURRENT ISSUE DATE:
03-17-10

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

TITLE SHEET

DRAWING NUMBER:

T-1 1

CEI JOB NUMBER: 09-56336

GENERAL NOTES:

- THE PROPOSED INSTALLATION WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
- THE PROPOSED INSTALLATION IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED).
- OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY VERIZON WIRELESS TECHNICIANS.
- NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS PROPOSAL.
- OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
- ALL REFERENCES TO SPECIFIC STANDARDS FOR THIS PROPOSAL ARE UNDERSTOOD TO BE THE LATEST VERSION.
- THE TENDERED MUST UNDERGO A SITE VISIT TO CAREFULLY EXAMINE AND UNDERSTAND THE SCOPE OF THE WORK REQUIRED BEFORE BID SUBMISSION. NO COMPENSATION IN ANY FORM WILL BE PAID FOR EXPENSES RESULTING FROM FAILURE TO DO SO.
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONSTRUCTION MANAGER.
- CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO CONFIRM LENGTHS OF CABLE TRAYS, ELECTRICAL LINES, AND ANTENNA CABLES.
- ROUTING OF ALL CONDUITS, CABLES, CABLE TRAYS, ETC. IS INDICATED AS PROPOSED LOCATIONS ONLY. CONFIRM THE EXACT ROUTING WITH THE ON-SITE CONSTRUCTION MANAGER PRIOR TO THE START OF WORK.
- ALL DAMAGE OR OPENING UP OF THE EXISTING STRUCTURE MUST BE MADE GOOD TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
- INSPECTION OF COMPLETED WORK IS REQUIRED BEFORE COVERING UP. PROVIDE A MINIMUM OF 72 HOURS NOTICE TO CONSULTANT.
- REMOVE AND CLEAN UP ANY DEBRIS OR MATERIAL FROM THE SITE THROUGHOUT THE DURATION OF THE CONTRACT ON A DAILY BASIS AND UPON COMPLETION OF THE WORK AS DIRECTED BY THE CONSTRUCTION MANAGER.
- OBTAIN AND PAY FOR ALL ELECTRICAL PERMITS AND INSPECTIONS REQUIRED FOR COMPLETION OF WORK AND ACCEPTANCE. PROVIDED CERTIFICATES TO THE CONSTRUCTION MANAGER VERIFYING THAT THE WORK CONFORMS TO THE REQUIREMENTS OF ALL CODES AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE VERIZON WIRELESS WITH A WRITTEN WARRANTY, EFFECTIVE FOR ONE YEAR AFTER DATE OF ACCEPTANCE, FOR THE COMPLETE INSTALLATION. REPAIR OR REPLACE ANY DEFECTS ARISING DURING THIS PERIOD AT NO EXTRA COST TO VERIZON WIRELESS.
- NO DEVIATIONS FROM DESIGN SHOWN ON THESE DRAWINGS IS ALLOWED, WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT. FAILURE TO OBSERVE THIS RULE MAY RESULT IN CONTRACTOR CORRECTING THE INSTALLATION AT THEIR EXPENSE.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	JT	JOINT
AFG	ABOVE FINISHED GRADE	LAM	LAMINATED
AFS	ABOVE FINISHED SLAB	LF	LINEAL FOOT
ALUM	ALUMINUM	MANUF	MANUFACTURER
AB	ANCHOR BOLT	MAX	MAXIMUM
L	ANGLE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MH	MANHOLE
BTS	BASE TRANSMISSION SYSTEM	MM	MILLIMETER
BLDG	BUILDING	MIN	MINIMUM
BM	BEAM	MISC	MISCELLANEOUS
BOT	BOTTOM	MPH	MILES PER HOUR
B.O.	BOTTOM OF	MTL	METAL
BOC	BOTTOM OF CONCRETE	NIC	NOT IN CONTRACT
BOS	BOTTOM OF STEEL	NOM	NOMINAL
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CLG	CEILING	OD	OUTSIDE DIAMETER
CLR	CLEAR	OH	OVERHEAD
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	PCS	PERSONAL COMMUNICATION SYSTEM
CONST	CONSTRUCTION	P	PLATE
CONT	CONTINUOUS	PR	PAIR
CTR	CENTER	PSI	POUNDS PER SQUARE INCH
DIA / Ø	DIAMETER	PSF	POUNDS PER SQUARE FOOT
DTL	DETAIL	PT	PRESSURE TREATED
(E)	EXISTING	RAD	RADIUS
EA	EACH	RD	ROOF DRAIN
EJ	EXPANSION JOINT	REINF	REINFORCED/REINFORCING
ELEC	ELECTRIC/ELECTRICAL	REQ'D	REQUIRED
EL	ELEVATION	RM	ROOM
EQ	EQUAL	RAW	RIGHT OF WAY
EW	EACH WAY	SCHED	SCHEDULE
EXP	EXPANSION	SECT	SECTION
EXT	EXTERIOR	SF	SQUARE FOOT
FD	FLOOR DRAIN	SIM	SIMILAR
FIN	FINISH	SQ FT	SQUARE FOOT
FIN FLR	FINISH FLOOR	SS	STAINLESS STEEL
FLR	FLOOR	STD	STANDARD
FTG	FOOTING	STL	STEEL
GA	GAUGE	STRUC	STRUCTURAL
GALV	GALVANIZED	TEMP	TEMPORARY
GYP	GYP SUM	THK	THICK
GB	GYP SUM BOARD	T.O.	TOP OF
HM	HOLLOW METAL	TOS	TOP OF STEEL
HOR	HORIZONTAL	TOC	TOP OF CONCRETE
HR	HOUR	TYP	TYPICAL
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING VENTILATION AIR CONDITIONING	VERT	VERTICAL
INSUL	INSULATION	W/	WITH
INT	INTERIOR	WWM	WELDED WIRE MESH

CONCRETE NOTES:

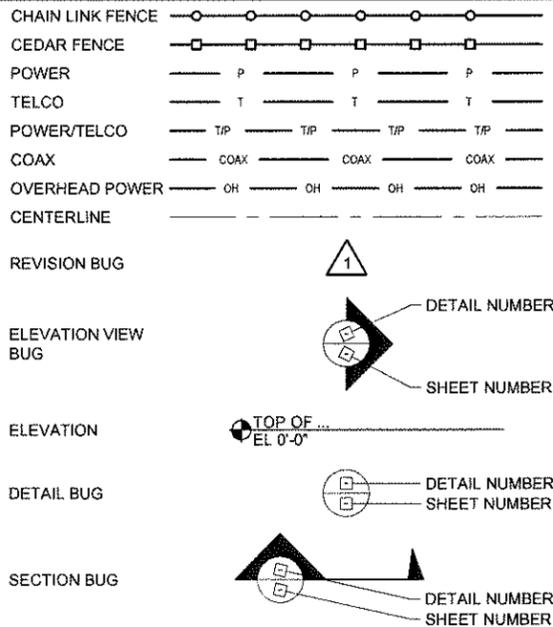
- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI-318.
- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC 2006 SECTION 1905 AND ACI 301. STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS.

TYPE OF CONSTRUCTION	28 DAY STRENGTHS (f'c)
A. SLABS ON GRADE TOPPING SLABS CONCRETE PIERS	3000 psi
B. ALL STRUCTURAL CONCRETE	4000 psi
C. CONCRETE FOUNDATIONS	3000 psi

CEMENT SHALL BE ASTM C150, PORTLAND CEMENT TYPE II UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION MANAGER SHALL SUPERVISE AND BE RESPONSIBLE FOR THE METHODS AND PROCEDURES OF CONCRETE PLACEMENT.
- ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINED AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017. TOTAL AIR CONTENT SHALL BE IN ACCORDANCE WITH TABLES 1904 OF THE IBC 2006.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 psi. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy = 40,000 psi. GRADE 60 REINFORCING BARS INDICATED ON DRAWINGS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING COMPLYING WITH ASTM A615(S1) MAY BE WELDED ONLY IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN AWS D14 ARE SUBMITTED.
- REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy = 60,000 psi.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER OF RECORD.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

A. FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE	3"
B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER)	2"
(#5 BARS OR SMALLER)	1 1/2"
C. SLABS AND WALLS (INTERIOR FACE)	3/4"
- BARS SHALL BE SUPPORTED ON CHAIRS OR DOBIE BRICKS.
- ANCHOR BOLTS TO CONFORM TO ASTM A307.
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3,000 psi MINIMUM).

LEGEND AND SYMBOLS:



STRUCTURAL NOTES:

- SHOP DRAWINGS FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW PRIOR TO FABRICATION.
- STRUCTURAL STEEL DESIGN, FABRICATION, PAINTING AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING, EXPANSION BOLTS, AND THREADED EXPANSION ANCHORS) SHALL BE BASED ON THE AISI "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION. SUPERVISION SHALL BE IN ACCORDANCE WITH IBC 2006 CHAPTER 17, BY A QUALIFIED TESTING AGENCY DESIGNED BY THE CONSULTANT. THE CONSULTANT SHALL BE FURNISHED WITH A COPY OF ALL INSPECTION REPORTS AND TEST RESULTS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	
A. WIDE FLANGES	ASTM A992, Fy = 50 ksi
B. PLATES, SHAPES, ANGLES, AND RODS	ASTM A36, Fy = 36 ksi
C. SPECIAL SHAPES AND PLATES	ASTM A572, Fy = 42 ksi
D. PIPES	ASTM A53, Fy = 35 ksi
E. STRUCTURAL TUBING	ASTM A500, Fy = 46 ksi
F. ANCHOR BOLTS	ASTM A307
G. CONNECTION BOLTS	ASTM A325
- ALL MATERIAL TO BE HOT DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123 / A123M-00.
- ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND VERIZON WIRELESS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. ONLY PRE QUALIFIED WELDS (AS DEFINED BY VERIZON WIRELESS) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING E70XX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS.
- COLD-FORMED STEEL FRAMING MEMBERS SHALL BE OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDED MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- BOLTED CONNECTIONS SHALL USE BEARING TYPE ASTM A325 BOLTS (3/4"Ø) AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE. ALL ASSEMBLIES ARE TO BE TIGHTENED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490", JUNE 30, 2004. FOR BEARING-TYPE CONNECTIONS, AS A MINIMUM, THE BOLTS SHALL BE TIGHTENED TO A "SNUG TIGHT" CONDITION. A "SNUG TIGHT" CONDITION IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8"Ø ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
- ALL WELDS TO BE 1/4" FILLET UNLESS NOTED OTHERWISE.
- TOUCH UP ALL FIELD DRILLING AND WELDING WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SPECIAL INSPECTIONS:

- SPECIAL INSPECTIONS IN ACCORDANCE WITH IBC 2006 SECTION 1704.
- SOILS/GEOTECHNICAL:
- SHORING INSTALLATION AND MONITORING
 - OBSERVE AND MONITOR EXCAVATION
 - VERIFY SOIL BEARING psf BEARING
 - SUBSURFACE DRAINAGE PLACEMENT
 - VERIFY FILL MATERIAL AND COMP ACTION
 - VERIFY CONDITIONS AS ANTICIPATED
 - PILE PLACEMENT (AUGER CAST/DRIVEN PILE)
 - OTHER
- REINFORCED CONCRETE:
- REINFORCING STEEL AND CONCRETE PLACEMENT
 - PRESTRESSED/PRECAST CONCRETE FABRICATION AND ERECTION
 - BATCH PLANT INSPECTION
 - SHOT CRETE
 - GROUTING
 - OTHER
- STRUCTURAL STEEL:
- FABRICATION AND SHOP WELDS
 - ERECTION AND FIELD WELDS AND BOLTING
 - OTHER
- STRUCTURAL ALUMINUM:
- FABRICATION AND SHOP WELDS
 - ERECTION AND FIELD WELDS AND BOLTING
 - OTHER
- STRUCTURAL MASONRY:
- CONTINUOUS
 - PERIODIC
 - OTHER
- OTHER:
- ANCHORING TO CONCRETE:
- BOLTS INSTALLED IN CONCRETE
 - POST-INSTALLATION ADHESIVE ANCHORS
 - POST-INSTALLATION MECHANICAL ANCHORS



PLANS PREPARED BY:



PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

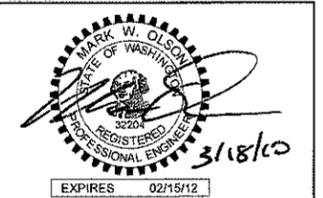
DRAWN BY: CHK.: APV.:

AJB	DRA	MWO
-----	-----	-----

CURRENT ISSUE DATE:

03-17-10

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

GENERAL NOTES

DRAWING NUMBER:

G-1 1

CEI JOB NUMBER: 09-56336

WIRELESS SITE

PORTION OF THE NE 1/4 OF SEC. 26, TWP. 25 N., RNG. 05 E. W.M.

CALL TWO WORKING DAYS BEFORE YOU DIG!

811

NATIONAL UTILITIES UNDERGROUND LOCATE

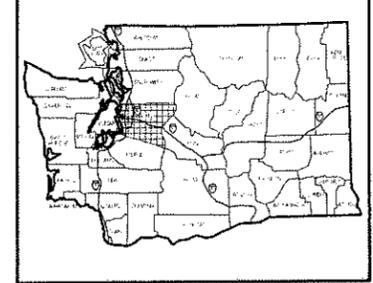
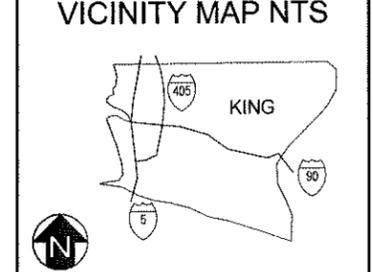
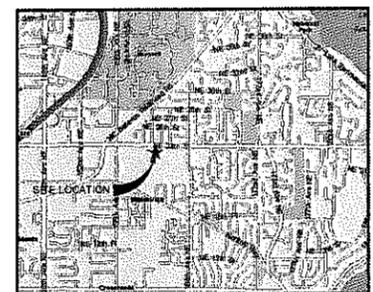
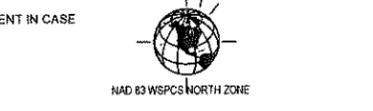
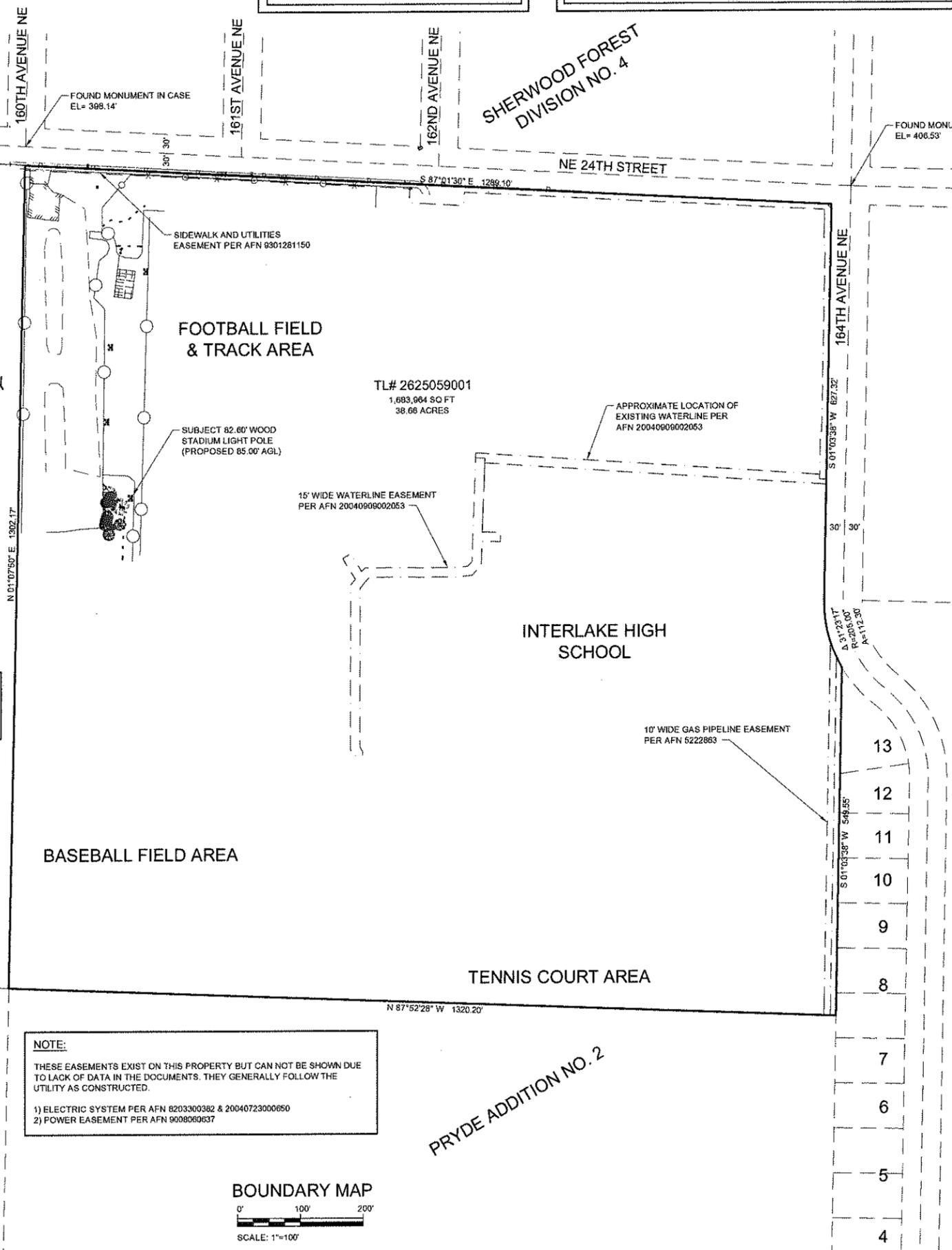
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTOR(S) AT ALL TRENCHING IN ACCORDANCE WITH CURRENT OSHA STANDARDS

ELECTRIC - RED SEWER - GREEN GAS/OIL - YELLOW SURVEY - PINK TELECATV - ORANGE PROFESSED - WHITE WATER - BLUE

verizon wireless

We never stop working for you.

3250 161st AVE SE / MS #221
BELLEVUE, WA 98008



LEGEND

P	OVERHEAD POWER
T	OVERHEAD TELEPHONE
C	OVERHEAD CABLE
PTC	OVERHEAD POWER / TEL / CABLE
UP	UNDERGROUND POWER
UT	UNDERGROUND TELEPHONE
UC	UNDERGROUND CABLE
UG	UNDERGROUND GAS LINE
UV	UNDERGROUND WATER LINE
SS	SANITARY LINE
SD	STORM LINE
○	CHAIN LINK FENCE
○	WOOD FENCE
○	BARBED WIRE/MIRE FENCE
○	FOUND MONUMENT IN CASE
○	FOUND BRASS DISC
○	SET BAR & CAP CONTROL ONLY
○	FOUND BAR & CAP
○	HUB / HUB & TACK
○	SET MAGNAIL W/ WASHER
○	SET MAGNAIL
○	FOUND MAGNAIL
○	FOUND IRON PIPE
○	EXISTING SPOT ELEVATION
○	DRAIN BASIN ROUND
○	CATCH BASIN
○	FIRE HYDRANT
○	WATER VAULT
○	WATER METER
○	WATER VALVE
○	GAS VALVE
○	LIGHT STANDARD
○	POWER / UTILITY POLE
○	POLE GUY WIRE
○	PAD MOUNTED TRANSFORMER
○	POWER VAULT
○	POWER METER
○	TELEPHONE VAULT
○	TELEPHONE RISER
○	SIGN
○	UT MARKER
○	UC MARKER
○	HIGHWAY MARKER

NOTE:

- 1) ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) ELEVATIONS REFERENCED TO THE NAVD 88 DATUM.
- 2) ALL TOWER, TREE AND APPURTENANCE HEIGHTS ARE ABOVE GROUND LEVEL (AGL).
- 3) ALL HEIGHTS REPRESENTED ARE ACCURATE TO ± 0.2 FEET UP TO 100' IN HEIGHT OR ± 0.2% OF TOTAL HEIGHT FOR OBJECTS GREATER THAN 100'.

TREE LEGEND:

AL	ALDER
BI	BIRCH
MP	MAPLE
DS	DECIDUOUS
MA	MADRONA
OK	OAK
CH	CHERRY
CE	CEDAR
DF	DOUGLAS FIR
HE	HEMLOCK
PI	PINE
EVG	EVERGREEN

TREE DRIP LINES ARE TO SCALE. TRUNK DIAMETERS WERE APPROXIMATED AT 3.5' TO 4.0' ABOVE GROUND LEVEL. TREES SHOWN ARE FOR REFERENCE ONLY AND OTHER TREES AND VEGETATION MAY EXIST.

SITE INFORMATION:

TAX LOT NUMBER: 2625059001
SITE ADDRESS: 16201 NE 24TH STREET, BELLEVUE, WA, 98008

LAND OWNER: BELLEVUE SCHOOL DIST. #405
SITE CONTACT: JACK MCLEOD
PHONE NUMBER: 425-456-4501 (C) 425-985-1746
ZONING: R-3.5 & R-5
TOTAL LOT AREA: 1,693,964 S.F. (38.66 ACRES)

LATITUDE / LONGITUDE POSITION:

COORDINATE DATA @ WOOD STADIUM LIGHT POLE

LATITUDE	47° 37' 47.84" N	NAD 83
LONGITUDE	122° 07' 34.82" W	NAD 83
GROUND ELEV.	407.06' AMSL	NAVD 88
STRUCTURE HEIGHT	82.60' EXISTING	AGL
STRUCTURE HEIGHT	85.00' PROPOSED	AGL

BENCH MARK:

BENCH MARK IS: CORN STATION RPT5
ELEV= 43.40' NAVD 88

BENCHMARK DISCLAIMER:

ELEVATIONS ESTABLISHED AT THIS SITE ARE REFERENCED TO THE ABOVE NAMED STATION. THE ELEVATIONS ARE ACCURATE WITHIN THE FAA TOLERANCE REQUESTED FOR THIS PROJECT.

NOTE:

THE PROPERTY IS IN ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD PLAIN) PER FEMA FIRM PANEL #53033C0390G

NOTE:

THESE EASEMENTS EXIST ON THIS PROPERTY BUT CAN NOT BE SHOWN DUE TO LACK OF DATA IN THE DOCUMENTS. THEY GENERALLY FOLLOW THE UTILITY AS CONSTRUCTED.

- 1) ELECTRIC SYSTEM PER AFN 8203300382 & 20040723000050
- 2) POWER EASEMENT PER AFN 9098060637

LEGAL DESCRIPTION:

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, EXCEPT THE NORTH 30 FEET THEREOF FOR ROAD PURPOSES; AND EXCEPT THOSE PORTIONS CONVEYED TO THE CITY OF BELLEVUE FOR ROAD PURPOSES BY DEEDS RECORDED UNDER RECORDING NUMBERS 9301281150 AND 20031128001866.

PER PACIFIC NORTHWEST TITLE COMPANY OF WASHINGTON, INC. TITLE ORDER NO. 704085.

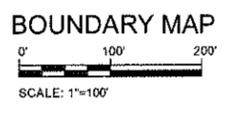
- SURVEY REFERENCES:
- 1) KING COUNTY ASSESSORS MAP NE 26-25-05
 - 2) KING COUNTY ASSESSORS MAP NW 25-25-06
 - 3) AFN 20010220001285 PAGES 1-8
 - 4) AFN 20050421900001
 - 5) AFN 198210305489553 PAGES 1-2
 - 6) AFN 198506245894653
 - 7) AFN 198512135964653

BOUNDARY DISCLAIMER:

THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION OF VARIOUS INFORMATION GATHERED FROM PRELIMINARY TITLE REPORTS, DOCUMENTS OF RECORD, MAPS AND AVAILABLE MONUMENTS FOUND DURING THE FIELD SURVEY. NO PROPERTY MONUMENTS WERE SET. NO TITLE RESEARCH WAS PERFORMED BY CORNERSTONE ENGINEERING INC.

EQUIPMENT:

THIS SURVEY WAS PERFORMED WITH A TOPCON GPT 2003 OR 3003 ELECTRONIC THEODOLITE READING DIRECT TO 3 SECONDS OF ARC AND MEASURING DISTANCE at (3+2)PPM X D) mm. & TOPCON LEGANT / LEGACY - HIPER GPS RECEIVERS MEASURING DISTANCE at (3+1)PPM X D) mm. NGS BASELINE COMPARED FEBRUARY 2008.



PROJECT CONSULTANTS:

PLANS PREPARED BY:

CORNERSTONE ENGINEERING, INC.

16028 WOODINVILLE-REDMOND RD NE, SUITE 210
WOODINVILLE, WA 98072
PHONE: 425.487.1732 FAX: 425.487.1734
EMAIL: ce@cornerstone-enr.com
WWW.CORNERSTONE-ENR.COM

PROJECT INFO:

SEA ARDMORE PARK

16201 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

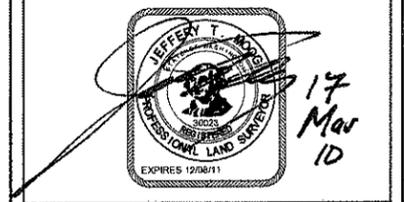
CLIENT REVIEW

REV.	DATE	DESCRIPTION	BY	CK
0	10/29/09	INITIAL SUBMITTAL	DMO	JTM

DRAWN BY: DMO
CHK: NY
APV: JTM

CURRENT ISSUE DATE: 03-17-10

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

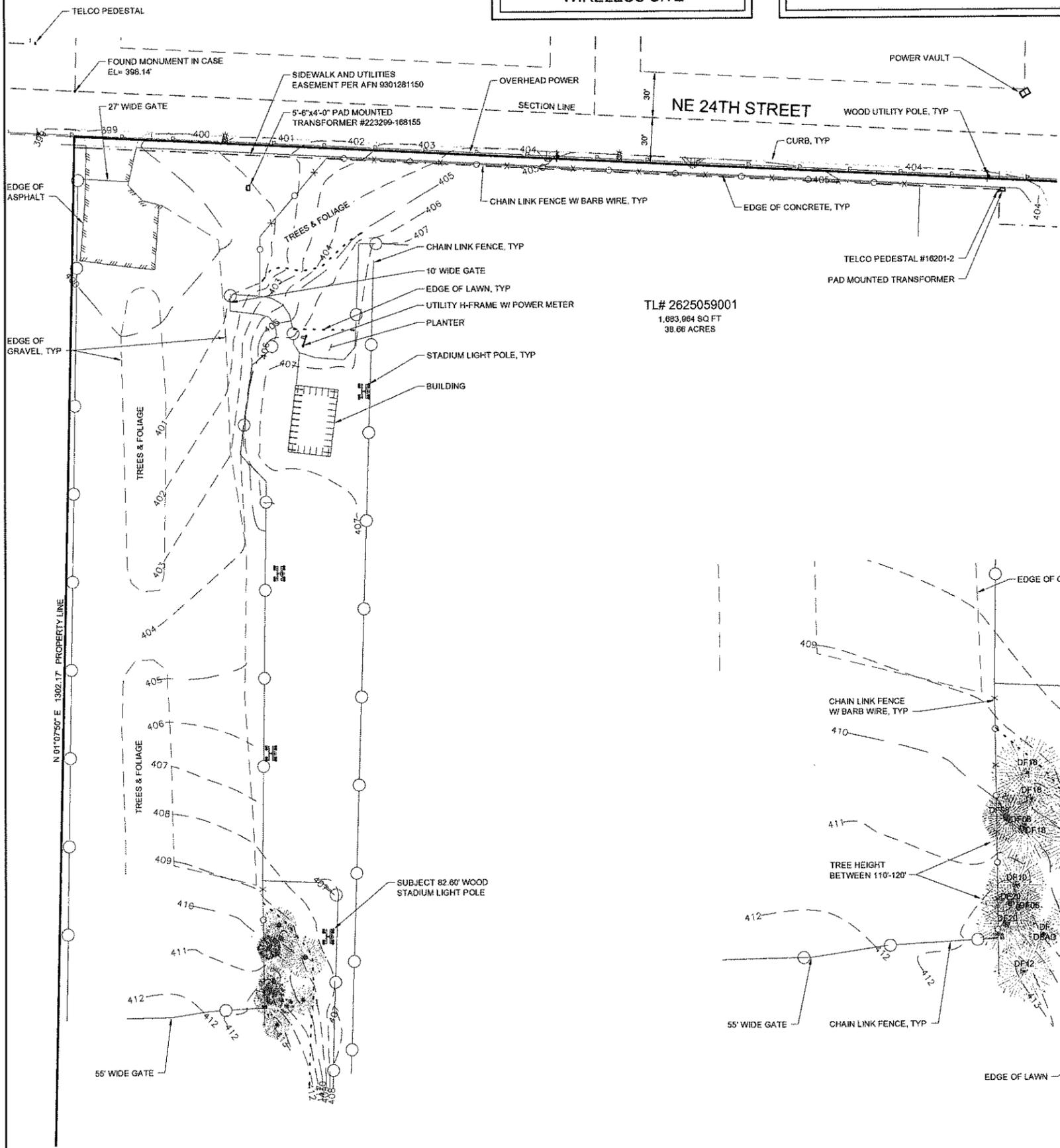
DRAWING TITLE: PROPERTY & SITE DETAIL

DRAWING NUMBER: C-1 0

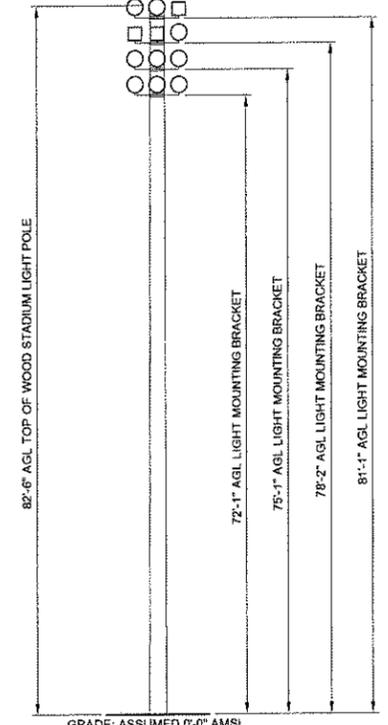
CEI JOB NUMBER: 09-56336

WIRELESS SITE

PORTION OF THE NE 1/4 OF SEC. 26, TWP. 25 N., RNG. 05 E. W.M.



TL# 2625059001
1,683,864 SQ FT
38.66 ACRES



STADIUM LIGHT DETAIL

CALL TWO WORKING DAYS BEFORE YOU DIG!
811
NATIONAL UTILITIES UNDERGROUND LOCATE
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTORS AT ALL TRENCHING IN ACCORDANCE WITH CURRENT OSHA STANDARDS
ELECTRIC - RED BEVER - GREEN GAS/OIL - YELLOW SURVEY - PINK
TELECOM - ORANGE PROPOSED - WHITE WATER - BLUE

LEGEND:

- OVERHEAD POWER
- OVERHEAD TELEPHONE
- OVERHEAD CABLE
- PTC OVERHEAD POWER / TEL / CABLE
- UP UNDERGROUND POWER
- UT UNDERGROUND TELEPHONE
- UC UNDERGROUND CABLE
- LG UNDERGROUND GAS LINE
- LW UNDERGROUND WATER LINE
- SS SANITARY LINE
- SD STORM LINE
- CHAIN LINK FENCE
- WOOD FENCE
- BARBED WIRE/WIRE FENCE
- FOUND MONUMENT IN CASE
- FOUND BRASS DISC
- SET BAR & CAP CONTROL ONLY
- FOUND BAR & CAP
- HUB / HUB & TACK
- SET MAGNAIL W/ WASHER
- SET MAGNAIL
- FOUND MAGNAIL
- FOUND IRON PIPE
- EXISTING SPOT ELEVATION
- DRAIN BASIN ROUND
- CATCH BASIN
- FIRE HYDRANT
- WATER VAULT
- WATER METER
- WATER VALVE
- GAS VALVE
- LIGHT STANDARD
- POWER / UTILITY POLE
- POLE GUY WIRE
- PAD MOUNTED TRANSFORMER
- POWER VAULT
- POWER METER
- TELEPHONE VAULT
- TELEPHONE RISER
- SIGN
- UT MARKER
- UC MARKER
- HIGHWAY MARKER

NOTE:
1) ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) ELEVATIONS REFERENCED TO THE NAVD 88 DATUM.
2) ALL TOWER, TREE AND APPURTENANCE HEIGHTS ARE ABOVE GROUND LEVEL (AGL).
3) ALL HEIGHTS REPRESENTED ARE ACCURATE TO ± 0.2 FEET UP TO 100' IN HEIGHT OR ± 0.2% OF TOTAL HEIGHT FOR OBJECTS GREATER THAN 100'.

NOTE:
1) ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) ELEVATIONS REFERENCED TO THE NAVD 88 DATUM.
2) ALL TOWER, TREE AND APPURTENANCE HEIGHTS ARE ABOVE GROUND LEVEL (AGL).
3) ALL HEIGHTS REPRESENTED ARE ACCURATE TO ± 0.2 FEET UP TO 100' IN HEIGHT OR ± 0.2% OF TOTAL HEIGHT FOR OBJECTS GREATER THAN 100'.

TREE LEGEND:

DECIDUOUS	AL= ALDER
AL12 -- TRUNK DIAMETER (IN)	BI= BIRCH
TYPE	MP= MAPLE
EVERGREEN	DS= DECIDUOUS
DF18 -- TRUNK DIAMETER (IN)	MA= MADRONA
HEIGHT AGL	OK= OAK
IF MEASURED	CH= CHERRY
	CE= CEDAR
	DF= DOUGLAS FIR
	HE= HEMLOCK
	PI= PINE
	EVG= EVERGREEN
SHRUB / BUSH	

TREE DRIP LINES ARE TO SCALE. TRUNK DIAMETERS WERE APPROXIMATED AT 3.5' TO 4.0' ABOVE GROUND LEVEL. TREES SHOWN ARE FOR REFERENCE ONLY AND OTHER TREES AND VEGETATION MAY EXIST.

TREE DRIP LINES ARE TO SCALE. TRUNK DIAMETERS WERE APPROXIMATED AT 3.5' TO 4.0' ABOVE GROUND LEVEL. TREES SHOWN ARE FOR REFERENCE ONLY AND OTHER TREES AND VEGETATION MAY EXIST.

SITE INFORMATION:

TAX LOT NUMBER: 2625059001
SITE ADDRESS: 18201 NE 24TH STREET, BELLEVUE, WA, 98008

LAND OWNER: BELLEVUE SCHOOL DIST #405
SITE CONTACT: JACK MCLEOD
PHONE NUMBER: 425-456-4501 (C) 425-985-1746
ZONING: R-3.5 & R-5
TOTAL LOT AREA: 1,683,864 S.F. (38.66 ACRES)

LATITUDE / LONGITUDE POSITION:

COORDINATE DATA: @ WOOD STADIUM LIGHT POLE

LATITUDE -	47° 37' 47.84" N	NAD 83
LONGITUDE -	122° 07' 34.62" W	NAD 83
GROUND ELEV -	407.06' AMSL	NAVD 88
STRUCTURE HEIGHT -	82.80' EXISTING	AGL
STRUCTURE HEIGHT -	85.00' PROPOSED	AGL

BENCH MARK:

BENCH MARK IS:
CORS STATION RPT5
ELEV= 43.40' NAVD 88

BENCHMARK DISCLAIMER:
ELEVATIONS ESTABLISHED AT THIS SITE ARE REFERENCED TO THE ABOVE NAMED STATION. THE ELEVATIONS ARE ACCURATE WITHIN THE FAA TOLERANCE REQUESTED FOR THIS PROJECT.

verizon wireless
We never stop working for you.
3350 161st AVE SE / MS #221
BELLEVUE, WA 98008

PROJECT CONSULTANTS:

PLANS PREPARED BY:

CORNERSTONE ENGINEERING, INC.
16928 WOODINVILLE-REDMOND RD NE, SUITE 210
WOODINVILLE, WA 98072
PHONE: 425.487.1732 FAX: 425.487.1734
EMAIL: cel@cornerstone-engr.com
WWW.CORNERSTONE-ENGR.COM

PROJECT INFO:

SEA ARDMORE PARK
16201 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CLIENT REVIEW

REV.	DATE	DESCRIPTION	BY	CK
0	10/29/09	INITIAL SUBMITTAL	DMO	JTM

DRAWN BY: DMO
CHK.: NY
APV.: JTM

CURRENT ISSUE DATE: 03-17-10

LICENSURE:

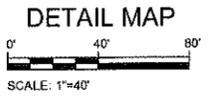
ALEXANDER T. MCLEOD
PROFESSIONAL LAND SURVEYOR
EXPIRES 12/31/11
17 Mar 10

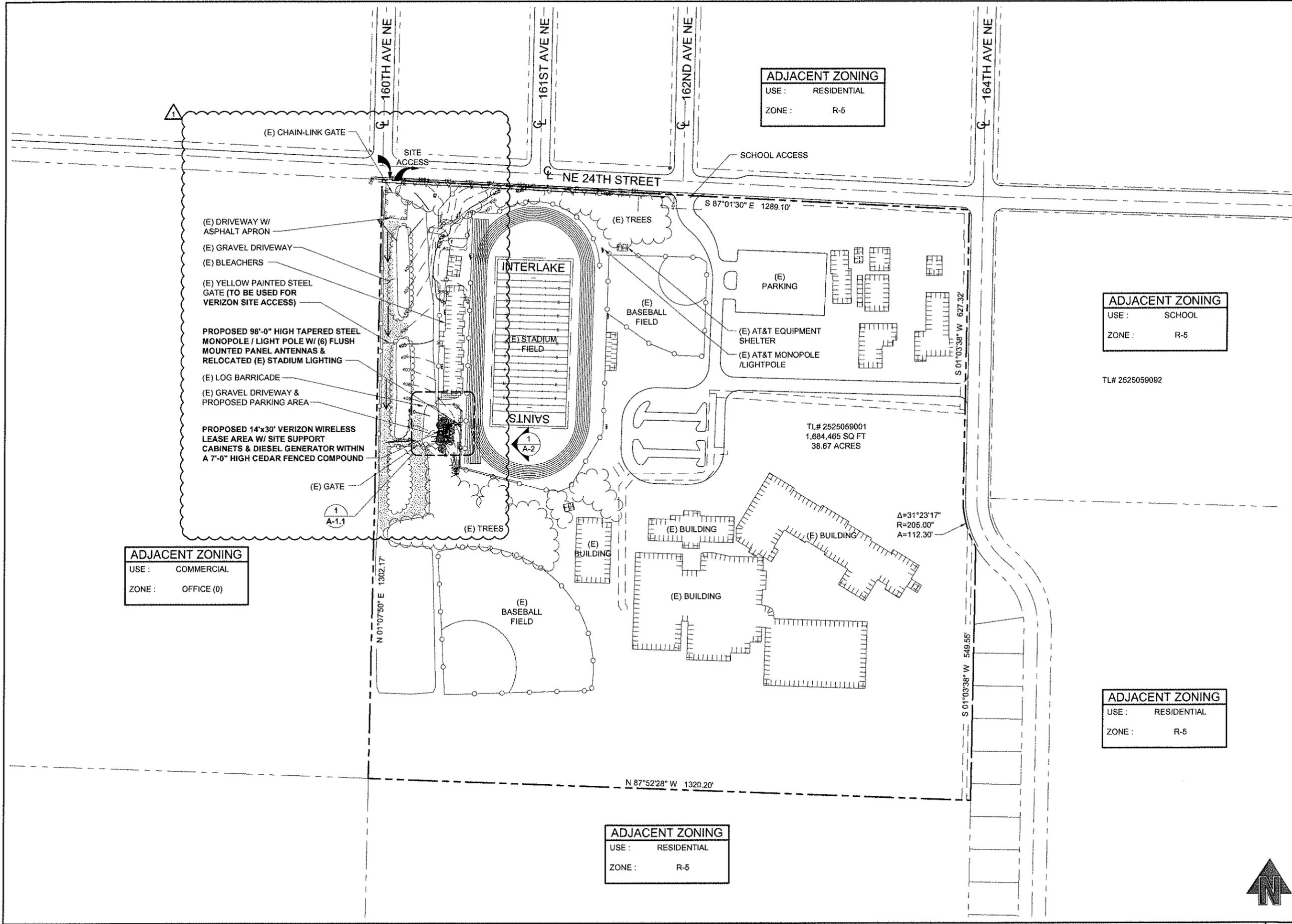
DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: PROPERTY & SITE DETAIL

DRAWING NUMBER: C-2 0
CEI JOB NUMBER: 09-56336





ADJACENT ZONING
 USE : RESIDENTIAL
 ZONE : R-5

ADJACENT ZONING
 USE : SCHOOL
 ZONE : R-5

ADJACENT ZONING
 USE : COMMERCIAL
 ZONE : OFFICE (O)

ADJACENT ZONING
 USE : RESIDENTIAL
 ZONE : R-5

ADJACENT ZONING
 USE : RESIDENTIAL
 ZONE : R-5



PLANS PREPARED BY:
CORNERSTONE ENGINEERING, INC.
 16928 WOODINVILLE-REDMOND RD NE, SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: cel@cornerstone-engr.com

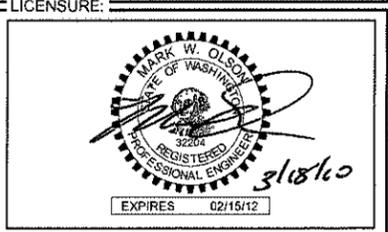
PROJECT INFO:
SEA ARDMORE PARK
 16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY	CHK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
0	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV: MWO

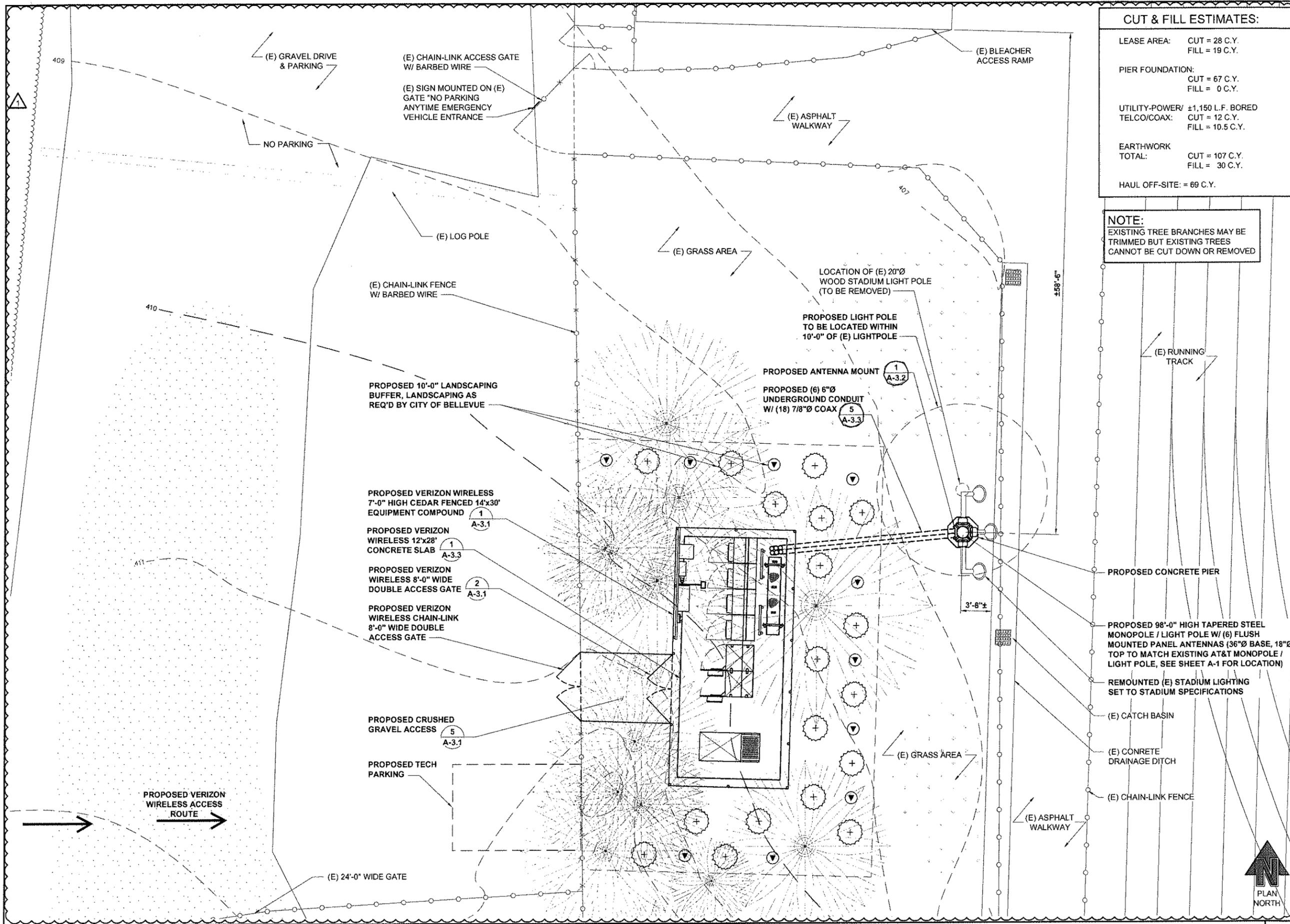
CURRENT ISSUE DATE:
03-17-10



DRAWING INFORMATION:
 DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A-1 1



CUT & FILL ESTIMATES:

LEASE AREA:	CUT = 28 C.Y. FILL = 19 C.Y.
PIER FOUNDATION:	CUT = 67 C.Y. FILL = 0 C.Y.
UTILITY-POWER/ TELCO/COAX:	±1,150 L.F. BORED CUT = 12 C.Y. FILL = 10.5 C.Y.
EARTHWORK TOTAL:	CUT = 107 C.Y. FILL = 30 C.Y.
HAUL OFF-SITE: = 69 C.Y.	

NOTE:
EXISTING TREE BRANCHES MAY BE TRIMMED BUT EXISTING TREES CANNOT BE CUT DOWN OR REMOVED



PLANS PREPARED BY: **CORNERSTONE ENGINEERING, INC.**
16228 WOODINVILLE-REDMOND RD NE, SUITE 210, WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734 EMAIL: ce@cornerstone-engr.com

PROJECT INFO: **SEA ARDMORE PARK**
16245 NE 24TH STREET, BELLEVUE, WA 98008, KING COUNTY

ISSUED FOR: **CONSTRUCTION**

REV.	DATE	DESCRIPTION	BY	CHK.
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: **AJB** CHK: **DRA** APV: **MWO**

CURRENT ISSUE DATE: **03-17-10**



DRAWING INFORMATION: DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **ENLARGED SITE PLAN**

DRAWING NUMBER: **A-1.1 1**
CEI JOB NUMBER: 09-56336

ENLARGED SITE PLAN

22x34 SCALE: 3/8" = 1'-0" 11x17 SCALE: 3/16" = 1'-0"

PROPOSED 10' LANDSCAPING BUFFER, LANDSCAPING AS REQ'D BY CITY OF BELLEVUE

(E) CHAINLINK FENCE

PROPOSED VERIZON WIRELESS UTILITY RACK (4) A-3.1

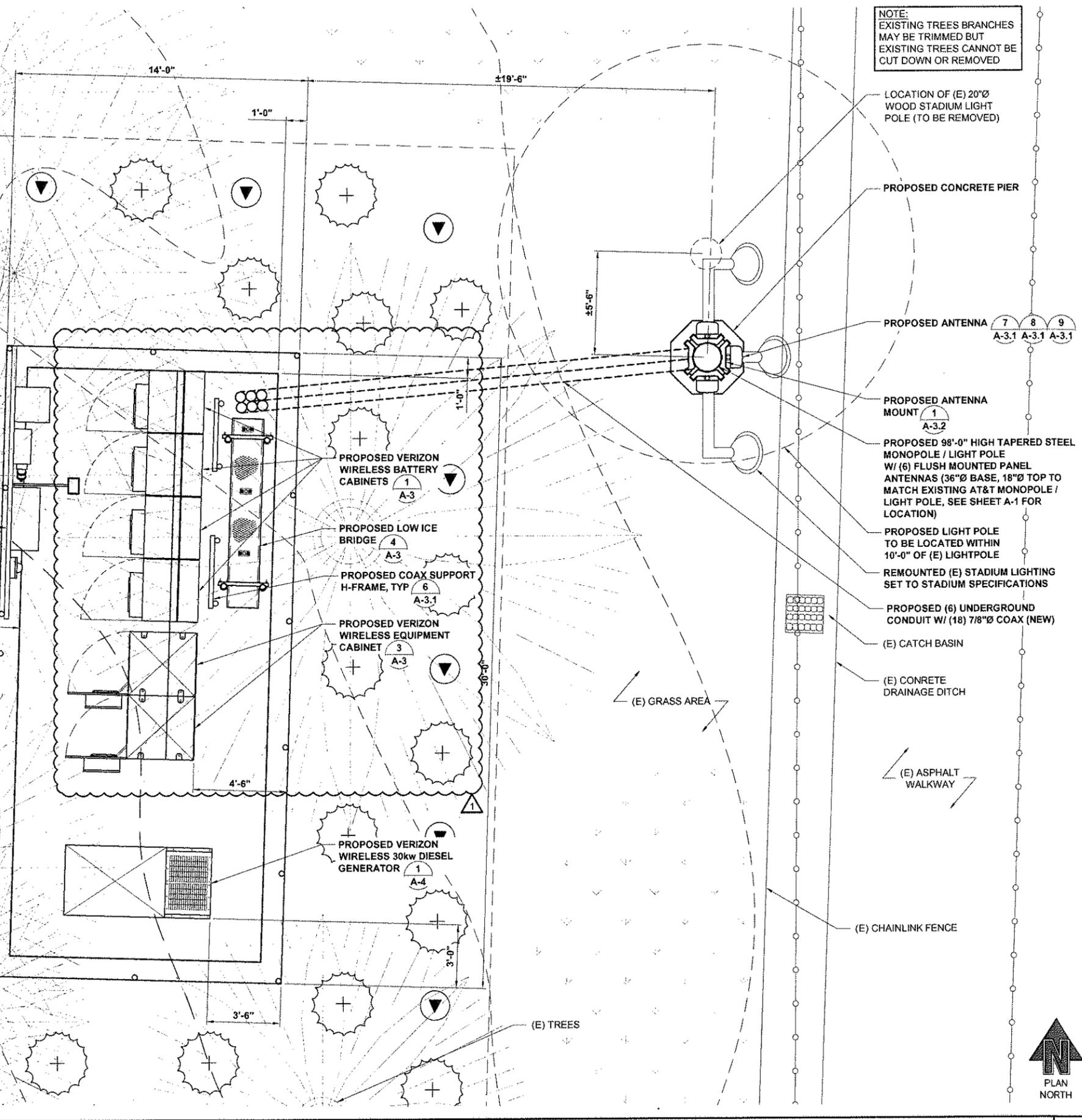
PROPOSED VERIZON WIRELESS 7'-0" HIGH CEDAR FENCED 14'x30' EQUIPMENT COMPOUND (1) A-3.1

PROPOSED VERIZON WIRELESS 12'x28' CONCRETE SLAB (1) A-3.3

PROPOSED VERIZON WIRELESS 8'-0" WIDE DOUBLE ACCESS GATE (1) A-3.3

PROPOSED VERIZON WIRELESS CHAIN-LINK 8'-0" WIDE DOUBLE ACCESS GATE

PROPOSED CRUSHED GRAVEL ACCESS (5) A-3.1



NOTE:
EXISTING TREES BRANCHES MAY BE TRIMMED BUT EXISTING TREES CANNOT BE CUT DOWN OR REMOVED

LOCATION OF (E) 20"Ø WOOD STADIUM LIGHT POLE (TO BE REMOVED)

PROPOSED CONCRETE PIER

PROPOSED ANTENNA (7) A-3.1 (8) A-3.1 (9) A-3.1

PROPOSED ANTENNA MOUNT (1) A-3.2

PROPOSED 98'-0" HIGH TAPERED STEEL MONOPOLE / LIGHT POLE W/ (6) FLUSH MOUNTED PANEL ANTENNAS (36"Ø BASE, 18"Ø TOP TO MATCH EXISTING AT&T MONOPOLE / LIGHT POLE, SEE SHEET A-1 FOR LOCATION)

PROPOSED LIGHT POLE TO BE LOCATED WITHIN 10'-0" OF (E) LIGHTPOLE

REMOVED (E) STADIUM LIGHTING SET TO STADIUM SPECIFICATIONS

PROPOSED (6) UNDERGROUND CONDUIT W/ (18) 7/8"Ø COAX (NEW)

(E) CATCH BASIN

(E) CONCRETE DRAINAGE DITCH

(E) ASPHALT WALKWAY

(E) CHAINLINK FENCE



PLANS PREPARED BY:

16928 WOODINVILLE-REDMOND RD NE, SUITE 210, WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: ce@cornerstone-enr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

1	03-11-10	REVIEW COMMENTS	AJB	MWO
0	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV: MWO

CURRENT ISSUE DATE: 03-17-10

LICENSURE:

DRAWING INFORMATION:

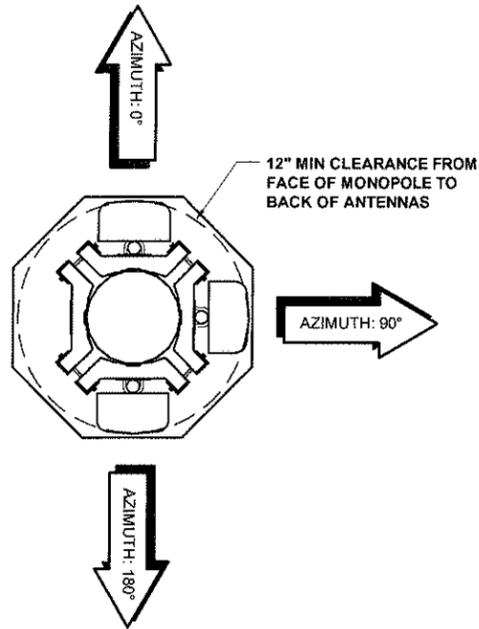
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **COMPOUND PLAN**

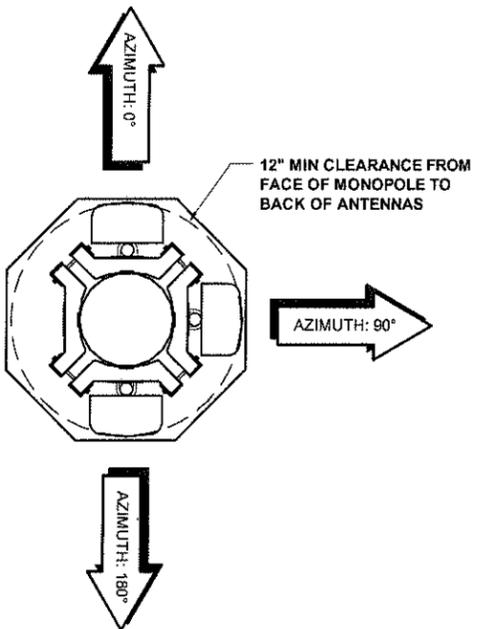
DRAWING NUMBER: **A-1.2 1**

CEI JOB NUMBER: 09-56336

ANTENNA PLAN - 98'-0" LEVEL



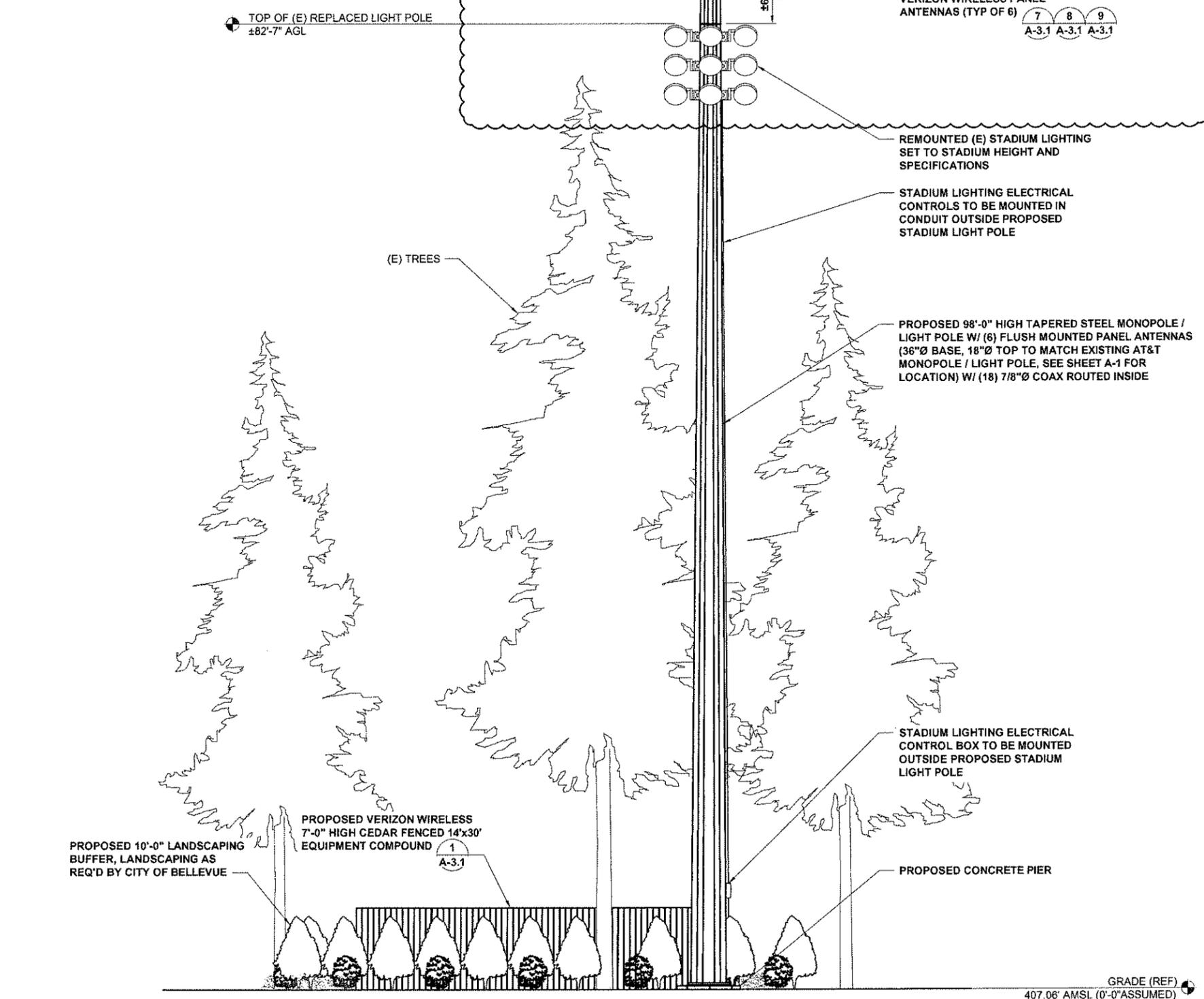
ANTENNA PLAN - 93'-0" LEVEL



NOTE:
PROPOSED MONOPOLE / LIGHT POLE & OTHER APPURTENANCES TO BE PAINTED TO MATCH EXISTING ON-SITE AT&T MONOPOLE/LIGHTPOLE

NOTE:
ALL COAX TO BE ROUTED INSIDE PROPOSED MONOPOLE/LIGHTPOLE

NOTE:
ALL LIGHTING CONDUIT TO BE ATTACHED TO THE OUTSIDE OF THE POLE TO MATCH THE (E) AT&T POLE



PLANS PREPARED BY: **CORNERSTONE ENGINEERING, INC.**
16928 WOODINVILLE-REDMOND RD NE, SUITE 210, WOODINVILLE, WA 98072
PHONE: (425) 467-1732 FAX: (425) 467-1734 EMAIL: ce@cornerstone-engr.com

PROJECT INFO: **SEA ARDMORE PARK**
16245 NE 24TH STREET, BELLEVUE, WA 98008, KING COUNTY

ISSUED FOR: **CONSTRUCTION**

REV: DATE: DESCRIPTION: BY: CK:

△	03-11-10	REVIEW COMMENTS	AJB	MWO
△	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV: MWO

CURRENT ISSUE DATE: **03-17-10**



DRAWING INFORMATION:
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

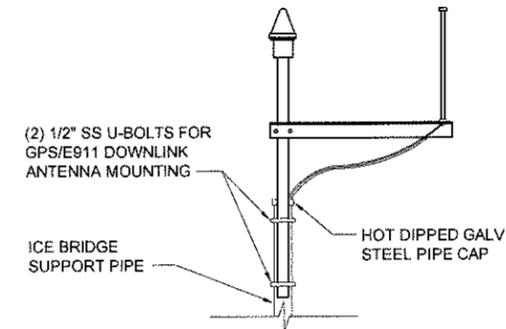
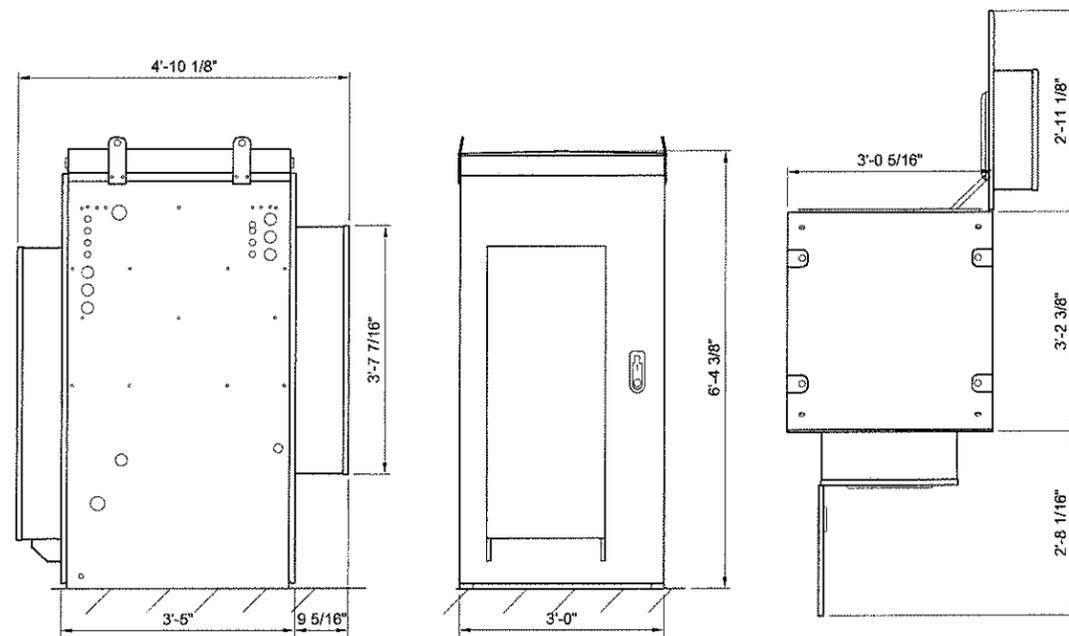
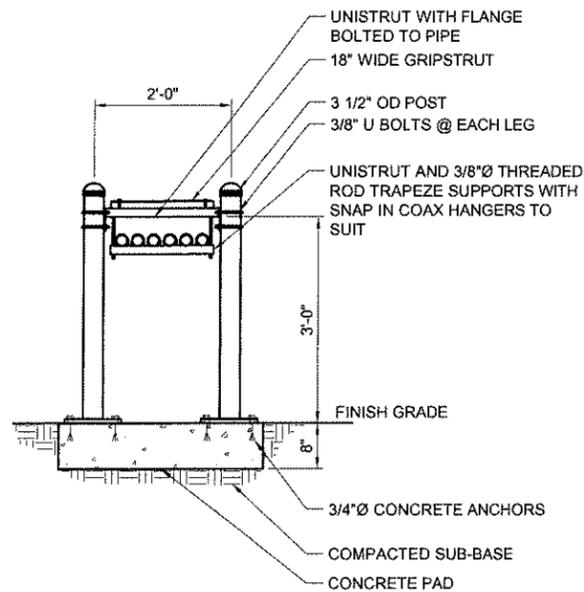
DRAWING TITLE: **EAST ELEVATION**

DRAWING NUMBER: **A-2 1**

CEI JOB NUMBER: 09-56336

ANTENNA INFORMATION 2
22x34 SCALE: 3/8" = 1'-0" 11x17 SCALE: 3/16" = 1'-0"

EAST ELEVATION 1
22x34 SCALE: 3/16" = 1'-0" 11x17 SCALE: 3/32" = 1'-0"



LOW ICE BRIDGE

22x34 SCALE: NTS

11x17 SCALE: NTS

4

BATTERY CABINET DETAILS

22x34 SCALE: 3/4" = 1'-0"

11x17 SCALE: 3/8" = 1'-0"

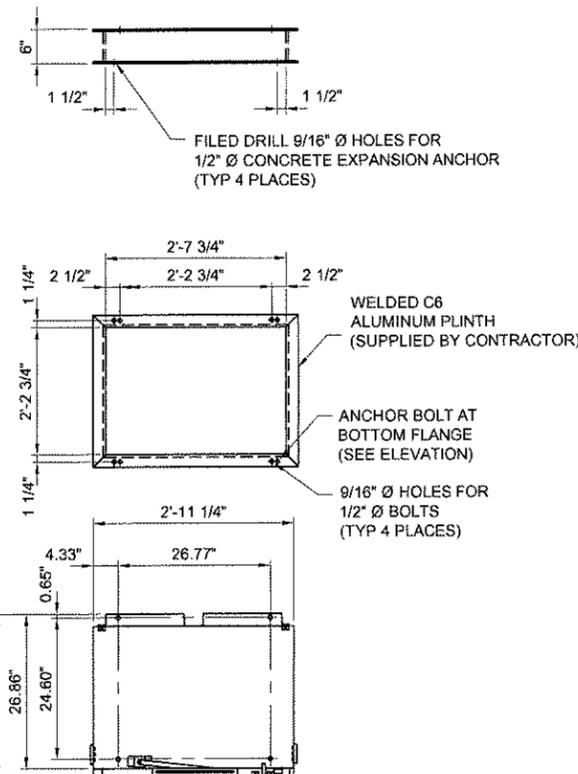
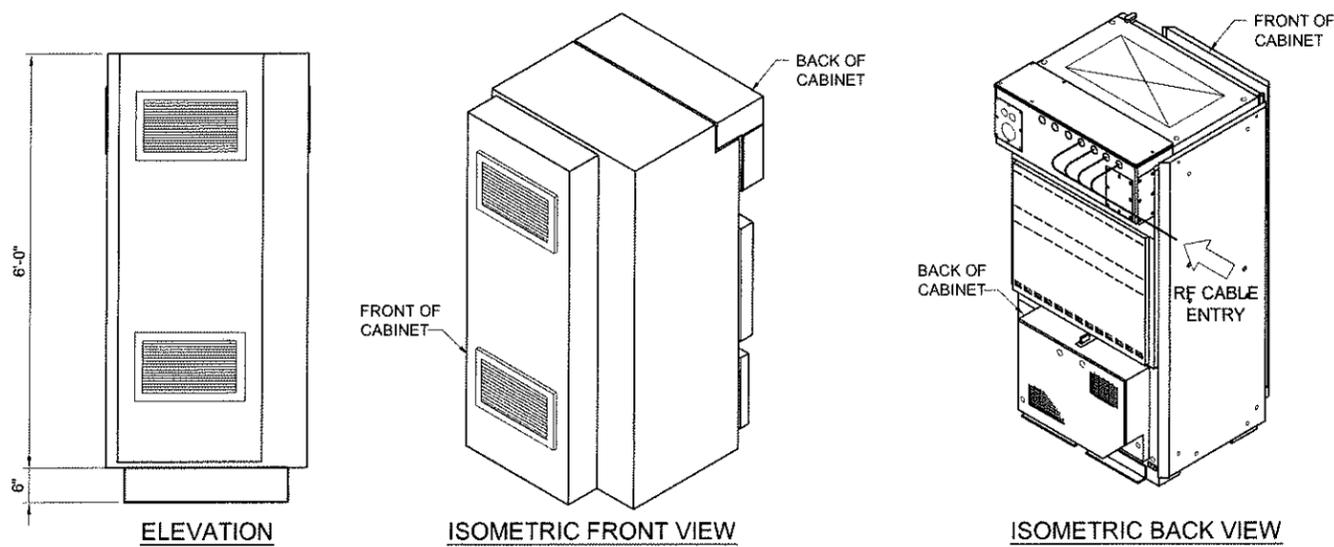
3

GPS ANTENNA

22x34 SCALE: 1" = 1'-0"

11x17 SCALE: 1/2" = 1'-0"

2



EQUIPMENT CABINET DETAILS

22x34 SCALE: 3/4" = 1'-0"

11x17 SCALE: 3/8" = 1'-0"

1



REALCOM

PLANS PREPARED BY:



16228 WOODINVILLE-REDMOND RD NE,
 SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: ce@cornerstone-engr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

1	03-11-10	REVIEW COMMENTS	AJB	MWO
0	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: CHK: APV:

AJB DRA MWO

CURRENT ISSUE DATE:

03-17-10

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

CONSTRUCTION DETAILS

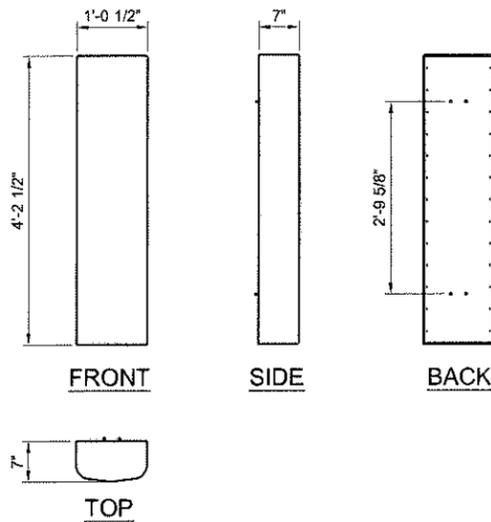
DRAWING NUMBER:

A-3

1

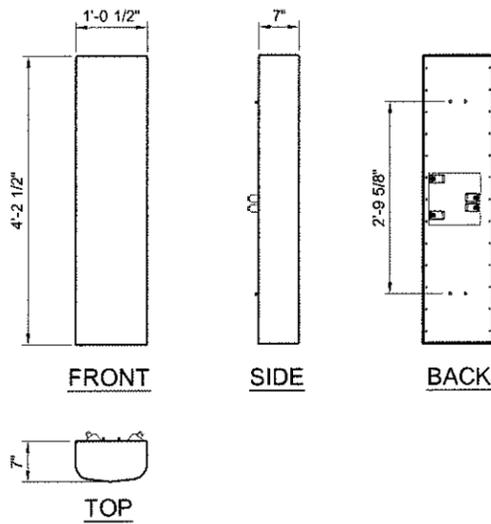
CEI JOB NUMBER:

09-56336



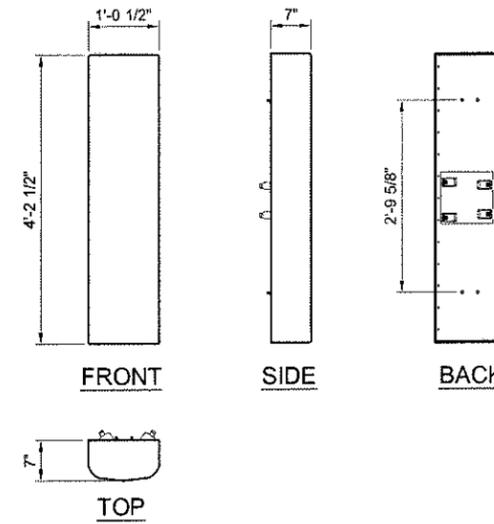
9 ANTENNA DETAILS

22x34 SCALE: 3/4" = 1'-0" 11x17 SCALE: 3/8" = 1'-0"



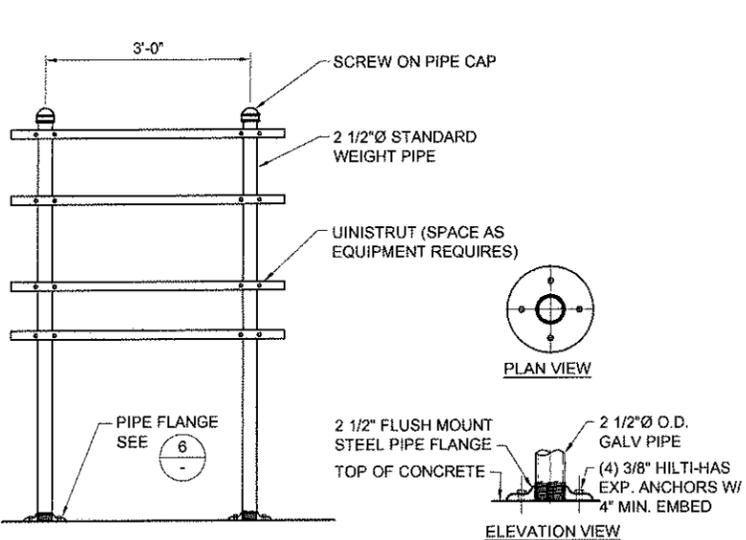
8 ANTENNA DETAILS

22x34 SCALE: 3/4" = 1'-0" 11x17 SCALE: 3/8" = 1'-0"



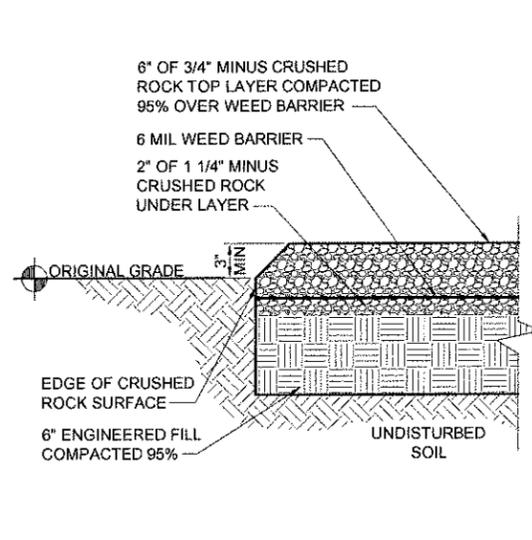
7 ANTENNA DETAILS

22x34 SCALE: 3/4" = 1'-0" 11x17 SCALE: 3/8" = 1'-0"



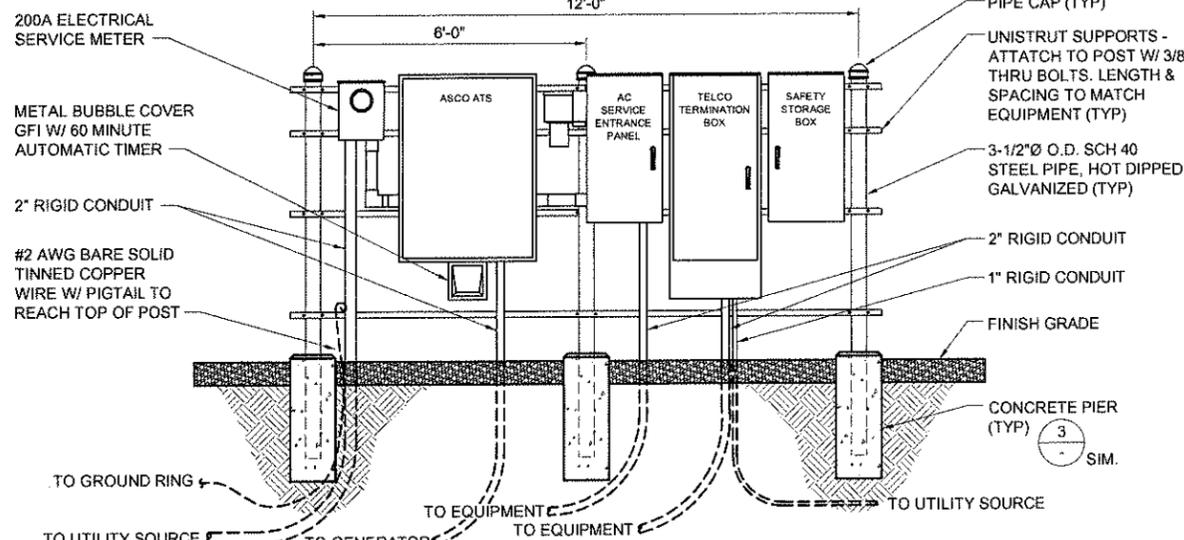
6 COAX SUPPORT H-FRAME

22x34 SCALE: NTS 11x17 SCALE: NTS



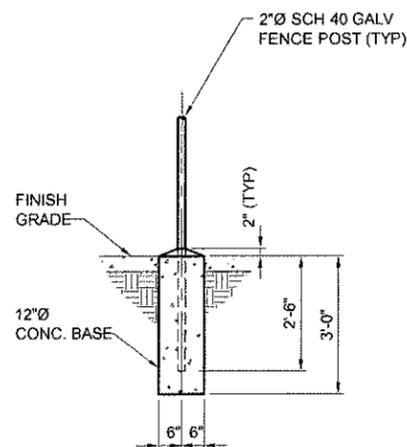
5 CRUSHED ROCK SURFACE

22x34 SCALE: 3/8" = 1'-0" 11x17 SCALE: 3/16" = 1'-0"



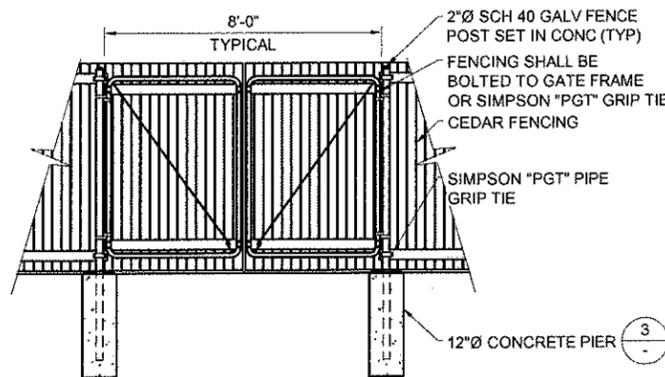
4 VERIZON UTILITY RACK

22x34 SCALE: 1/2" = 1'-0" 11x17 SCALE: 1/4" = 1'-0"



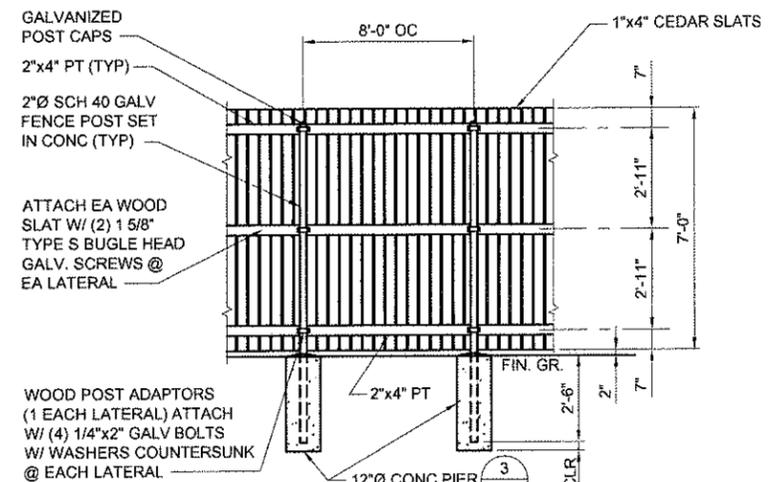
3 CONCRETE PIER DETAIL

22x34 SCALE: 1/2" = 1'-0" 11x17 SCALE: 1/4" = 1'-0"



2 GATE DETAIL

22x34 SCALE: 3/8" = 1'-0" 11x17 SCALE: 3/16" = 1'-0"



1 CEDAR FENCE DETAIL

22x34 SCALE: 3/8" = 1'-0" 11x17 SCALE: 3/16" = 1'-0"



PLANS PREPARED BY: **CORNERSTONE ENGINEERING, INC.**
 18628 WOODINVILLE-REDMOND RD NE, SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: ce@cornerstone-engr.com

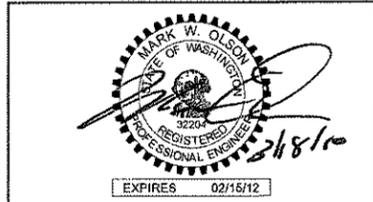
PROJECT INFO: **SEA ARDMORE PARK**
 16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

ISSUED FOR: **CONSTRUCTION**

REV.	DATE	DESCRIPTION	BY	CHK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: **AJB** CHK: **DRA** APV: **MWO**

CURRENT ISSUE DATE: **03-17-10**

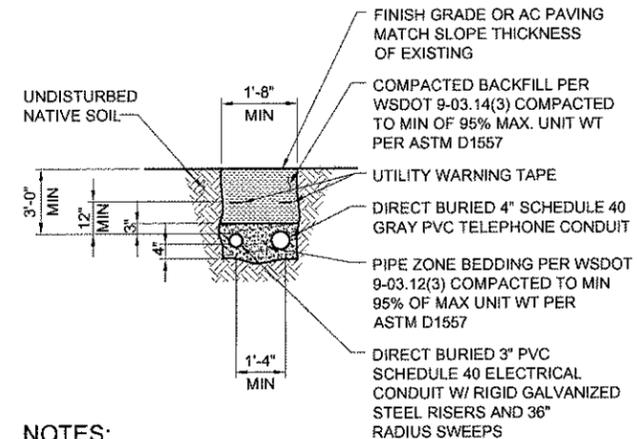


DRAWING INFORMATION:
 DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **CONSTRUCTION DETAILS**
 DRAWING NUMBER: **A-3.1 1**
 CEI JOB NUMBER: **09-56336**

VERIZON ANTENNA INFORMATION

SECTOR	QTY.	TIP HEIGHT FT. AGL	ANTENNA LENGTH	AZIMUTH	MECHANICAL DOWN TILT	NO. OF COAX RUNS	COAX SIZE	ANTENNA
ALPHA	1	98'-0"	4'-10"	0°	0°	4	7/8"	SEE DETAIL 7/A-3.1
	1	93'-0"	4'-10"	0°	0°	2	7/8"	SEE DETAIL 9/A-3.1
BETA	1	98'-0"	4'-10"	90°	0°	4	7/8"	SEE DETAIL 7/A-3.1
	1	93'-0"	4'-10"	90°	0°	2	7/8"	SEE DETAIL 9/A-3.1
GAMMA	1	98'-0"	4'-10"	180°	0°	4	7/8"	SEE DETAIL 8/A-3.1
	1	93'-0"	4'-10"	180°	0°	2	7/8"	SEE DETAIL 9/A-3.1
GPS	1	TBD				1	1/2"	



- NOTES:**
- 1) VERIFY ALL TRENCHING REQUIREMENTS PER LOCAL UTILITIES.
 - 2) CALL BEFORE YOU DIG! CONTACT LOCAL UTILITY COMPANY.



REALCOM

PLANS PREPARED BY:

CORNERSTONE ENGINEERING, INC.

16528 WOODINVILLE-REDMOND RD NE.
SUITE 210
WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: cei@cornerstone-engr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV. DATE DESCRIPTION BY: CK:

REV.	DATE	DESCRIPTION	BY:	CK:
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV: MWO

CURRENT ISSUE DATE: **03-17-10**

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

CONSTRUCTION DETAILS

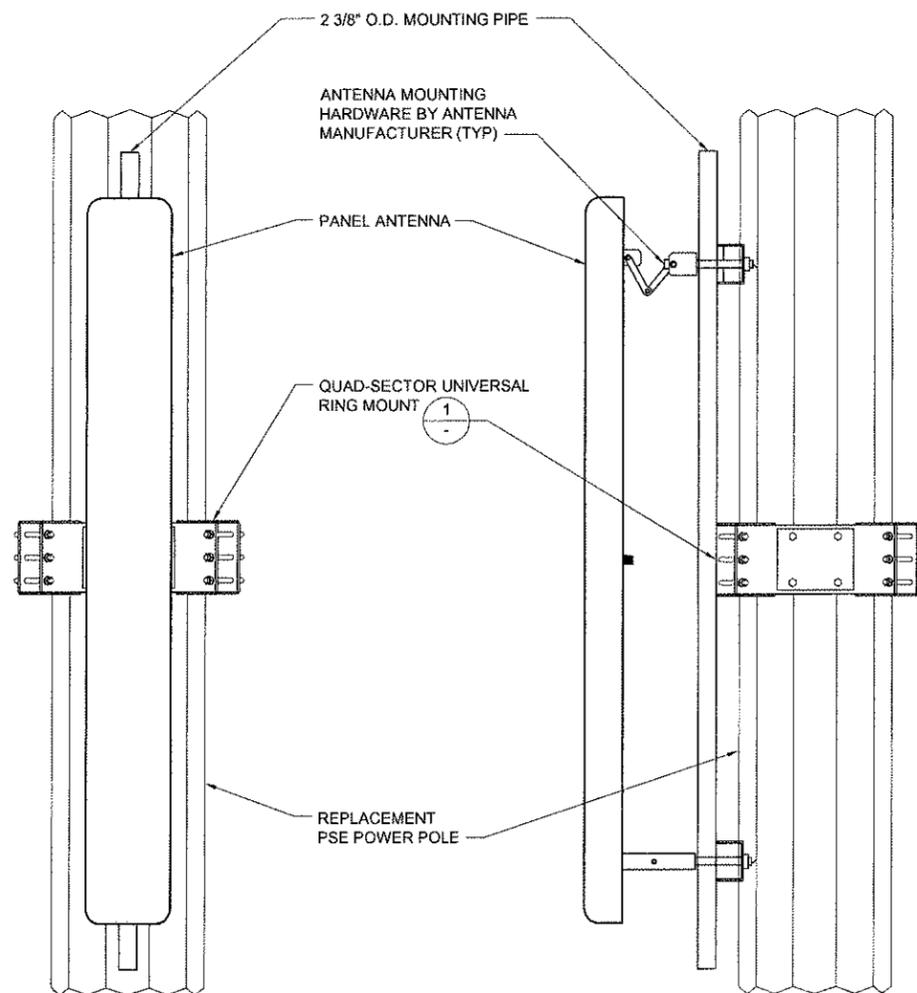
DRAWING NUMBER:

A-3.2 1

CEI JOB NUMBER: 09-56336

ANTENNA INFORMATION

22x34 SCALE: NTS 11x17 SCALE: NTS



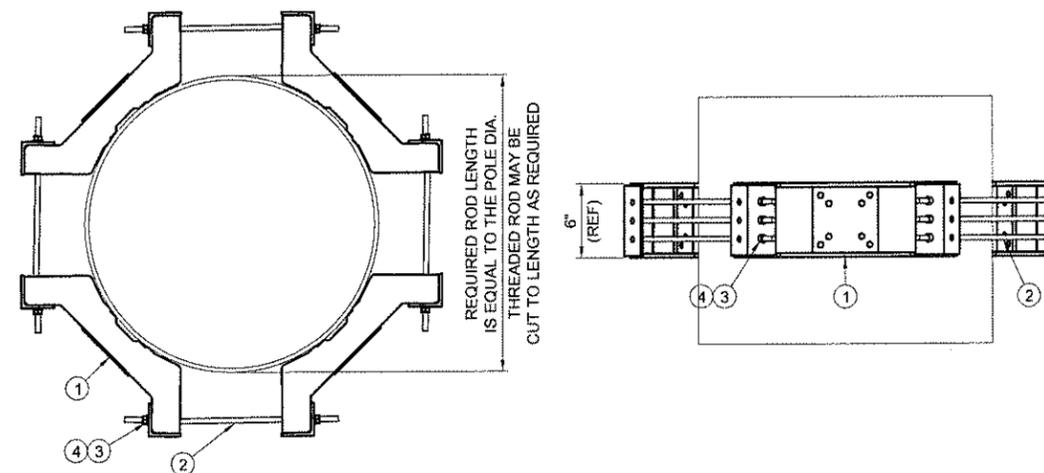
ANTENNA FLUSH MOUNTING ELEVATION

22x34 SCALE: 1"=1'-0" 11x17 SCALE: 1/2"=1'-0"

4 UNDERGROUND POWER/TELCO

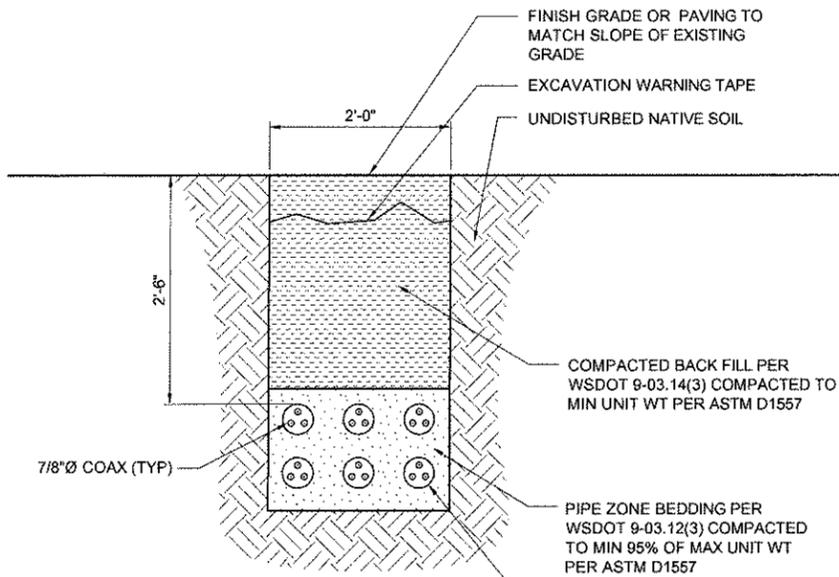
22x34 SCALE: 1/2" = 1'-0" 11x17 SCALE: 1/4" = 1'-0"

PARTS LIST					
ITEM	QTY	PART NO.	DESCRIPTION	LENGTH	WEIGHT (Lbs)
1	4	150712	UNIVERSAL MONOPOLE CLAMP		55.2
2	9	313168	5/8" THREADED ROD	36" (REF)	3.30
3	18	312123	5/8" LOCKWASHER		0.36
4	18	312501	5/8" PLAIN NUT		0.36
5	4	156106	STANDOFF ARM	59.5"	256.2
6	12	311127	5/8" x 2 1/2" BOLT		3.48
7	12	312121	5/8" LOCK NUT		1.2
8	4	156076	CONNECTION PLATE	126"	360
9	4	158096	T-ARM PIPE		63.9
10	24	157294	5/8" U-BOLT KIT		31.44
TOTAL WEIGHT					775.44



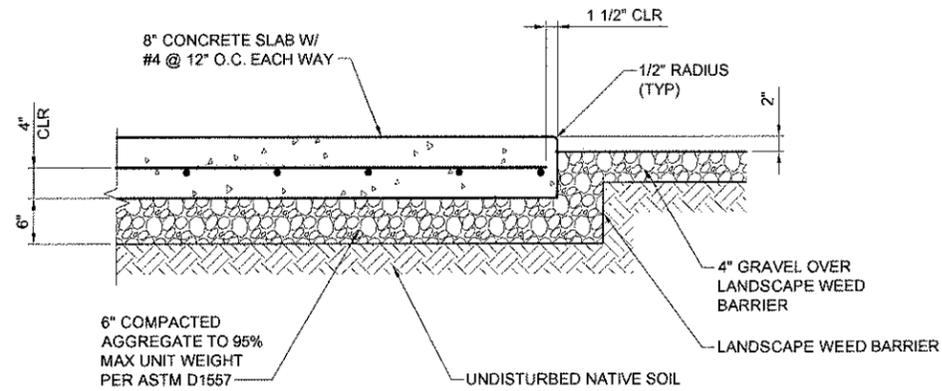
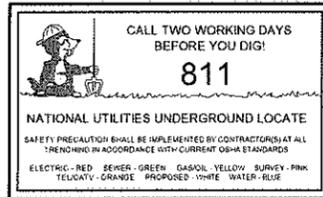
ANTENNA MOUNT DETAIL

22x34 SCALE: NTS 11x17 SCALE: NTS



NOTES:
1) VERIFY ALL TRENCHING REQUIREMENTS PER LOCAL UTILITIES.

(6) 6" SCH 40 PVC ELECTRICAL CONDUIT



COAX TRENCH

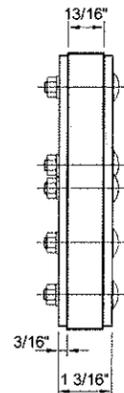
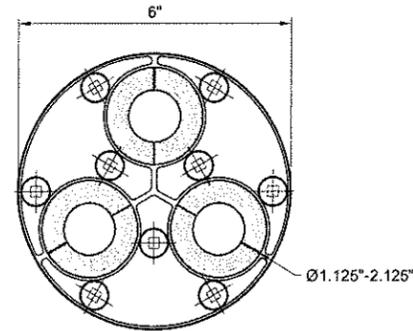
22x34 SCALE: NTS | 11x17 SCALE: NTS

5

EQUIPMENT SLAB SECTION

22x34 SCALE: 1" = 1'-0" | 11x17 SCALE: 1/2" = 1'-0"

4

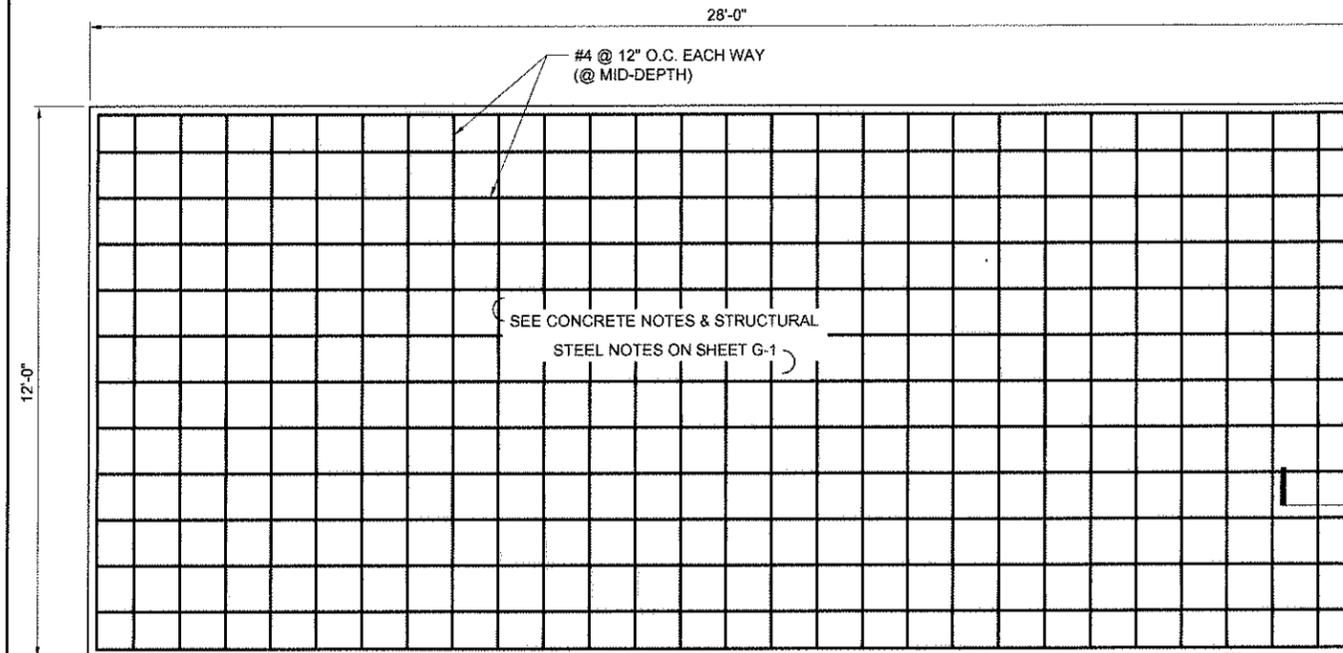
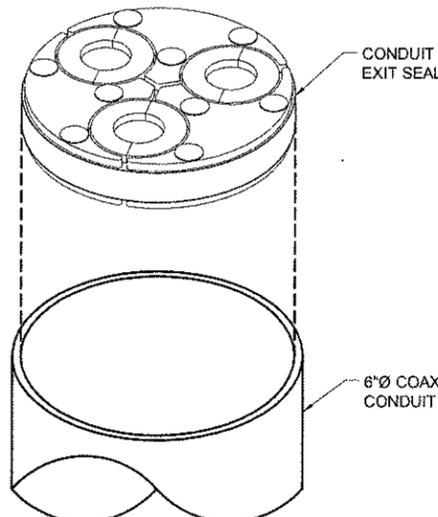


ROXTEC INTERNATIONAL AB
BOX 540 8-071 23 Karkkone
TEL: +40 456 336700 FAX: +40 455 82012



H SEAL
H3-150/3X(28-54)/20

- INSTALLATION NOTES:**
- CONTRACTOR SHALL PULL COAX CABLES THROUGH CONDUIT.
 - CONTRACTOR SHALL BRING H-SERIES SEAL ADJACENT TO COAX CABLES AND CAREFULLY UNSCREW METAL PLATES FROM ASSEMBLY.
 - CONTRACTOR SHALL REMOVE CENTER CORE FROM ROXTEC GASKET ASSEMBLY AND CONTINUE PULLING AWAY EACH CIRCULAR RUBBER LAYER AWAY FROM ASSEMBLY UNTIL OPENING FITS DIAMETER OF COAX.
 - CONTRACTOR SHALL REPEAT ITEM 3 FOR ALL COAX CABLES AND REASSEMBLE RUBBER GASKET AROUND ALL THREE BY COMBINING STEEL PLATES AND SCREWING PLATES TOGETHER (LEAVE APPROXIMATELY 1mm OF SPACE IN COMPRESSION RING SUCH THAT WHEN COMPRESSION OCCURS IT WILL CREATE A TIGHT SEAL).
 - PRIOR TO FULL ASSEMBLY, CONTRACTOR SHALL LIGHTLY LUBRICATE BOTH COAX CABLES AND INSIDE SURFACES OF RUBBER GASKET COMPRESSION RINGS WITH MANUFACTURE SPECIFIED LUBRICANT.
 - PRIOR TO FINAL TIGHTENING OF BOLTED CONNECTIONS, CONTRACTOR SHALL INSERT SEAL ASSEMBLY INTO PVC CONDUIT NEAR OPENING.
 - CONTRACTOR SHALL PROCEED TO TIGHTEN BOLTED CONNECTIONS UNTIL SEAL ASSEMBLY IS TIGHTLY FITTED WITHIN CONDUIT (CONTRACTOR SHALL CONFIRM THERE ARE NO GAPS IN-BETWEEN SEALS).
 - INSTALLATION NOTES ALSO APPLY TO COAX CABLES EXITING CABINETS AND COAX PORTS.



CONDUIT PENETRATION SEAL

22x34 SCALE: NTS | 11x17 SCALE: NTS

2

EQUIPMENT SLAB STEEL LAYOUT

22x34 SCALE: 1/2" = 1'-0" | 11x17 SCALE: 1/4" = 1'-0"

1



PLANS PREPARED BY:
CORNERSTONE ENGINEERING, INC.
16928 WOODINVILLE-REDMOND RD NE, SUITE 210
WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: ce@cornerstone-engr.com

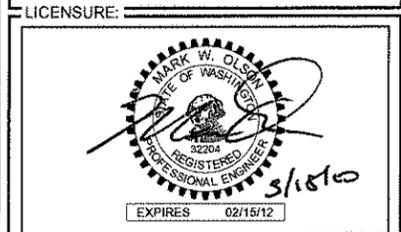
PROJECT INFO:
SEA ARDMORE PARK
16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY	CHK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB | CHK: DRA | APV: MWO

CURRENT ISSUE DATE: 03-17-10



DRAWING INFORMATION:
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **CONSTRUCTION DETAILS**

DRAWING NUMBER: **A-3.3 1**
CEI JOB NUMBER: 09-56336

FOR MORE INFORMATION PLEASE REFER TO VERIZON WIRELESS PUGET SOUND SIGNAGE SPECIFICATIONS 06/01/2005 (OR LATEST ADDITION)



PLANS PREPARED BY: **CORNERSTONE ENGINEERING, INC.**
 16928 WOODINVILLE-REDMOND RD NE, SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: ce@cornerstone-engr.com

PROJECT INFO: **SEA ARDMORE PARK**
 16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

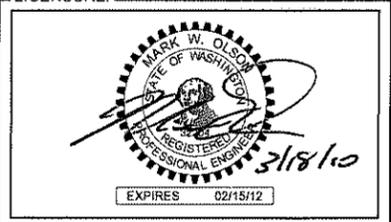
ISSUED FOR: **CONSTRUCTION**

REV: DATE: DESCRIPTION: BY: CK:

1	03-11-10	REVIEW COMMENTS	AJB	MWO
0	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV: MWO

CURRENT ISSUE DATE: **03-17-10**



DRAWING INFORMATION: DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **SIGNAGE**

DRAWING NUMBER: **A-3.4 1**

CEI JOB NUMBER: 09-56336

NOT USED 12
 22x34 SCALE: NTS 11x17 SCALE: NTS

NOT USED 11
 22x34 SCALE: NTS 11x17 SCALE: NTS

NOT USED 10
 22x34 SCALE: NTS 11x17 SCALE: NTS

NOT USED 9
 22x34 SCALE: NTS 11x17 SCALE: NTS



NOT USED 8
 22x34 SCALE: NTS 11x17 SCALE: NTS

HAZ MAT FUEL SIGN 7
 22x34 SCALE: NTS 11x17 SCALE: NTS

RF WARNING SIGN 6
 22x34 SCALE: NTS 11x17 SCALE: NTS

RF CAUTION SIGN 5
 22x34 SCALE: NTS 11x17 SCALE: NTS

RF NOTICE SIGN 4
 22x34 SCALE: NTS 11x17 SCALE: NTS

RF NOTICE SIGN 3
 22x34 SCALE: NTS 11x17 SCALE: NTS

RF NOTICE SIGN 2
 22x34 SCALE: NTS 11x17 SCALE: NTS

NOC SIGN 1
 22x34 SCALE: NTS 11x17 SCALE: NTS



REALCOM

PLANS PREPARED BY:



16028 WOODINVILLE-REDMOND RD NE
SUITE 210
WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: ce@cornerstone-engr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

REV	DATE	DESCRIPTION	BY	CK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: CHK: APV:

AJB DRA MWO

CURRENT ISSUE DATE:

03-17-10

LICENSE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

GENERATOR SPECIFICATIONS

DRAWING NUMBER:

A-4 1

CEI JOB NUMBER: 09-56336

NOT USED

22x34 SCALE: NTS

11x17 SCALE: NTS

3

NOT USED

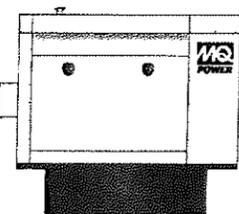
22x34 SCALE: NTS

11x17 SCALE: NTS

2

30kW Diesel On-Site Power Industrial Generator

Model	Emissions	Standby Rating	Prime Rating
MQP30SS	EPA Certified	30 kW (37.5 kVA)	27 kW (33.75 kVA)

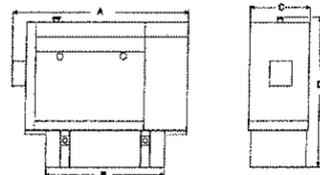


Standard Features

- Heavy Duty Engine**
 - Heavy duty, 4-cycle, diesel engine; turbocharged, direct injection, water cooled, overhead valves.
 - Meets EPA Tier 2 emissions standards.
- Alternator**
 - Brushless, 4-pole, synchronous, 12 lead design.
 - Class H insulation system conforms to NEMA MG1-20, BS300, CSA C22.2, IEC 94-1 standards for temperature rise.
 - Sustained short-circuit capability allowing downstream coordination breakers to trip without collapsing the generator field.
 - Drip proof, self-venting, smooth access windings.
 - Epoxy impregnated windings with thermal insulation for increased environmental protection and long life.
 - Exceptional waveform and voltage balance; 2% pitch winding to minimize harmonic distortion.
- Electronic Voltage Regulator**
 - Encapsulated electronic voltage regulator precisely regulates the generator's output.
 - Voltage regulation of 1.3% no load to full load.
 - Full Load Acceptance
 - Accepts 100% of standby nameplate rating in one step, in compliance with NFPA, para 5-13.2.6.
- Generator Control Panel**
 - MFC 20™ microprocessor-based, digital control panel; vibration isolated and NEMA 4X enclosure.
 - Liquid crystal display system with alpha-numeric readout for display and programming.
 - Self-diagnostic feature continuously verifies processing, memory circuits and output.
- Warranty**
 - Engine-generator sets are covered by an express written 2-year/2000-hour (whichever occurs first) limited warranty.
 - Optional extended warranties available.
- Agency Approval**
 - UL 2236 certification.
 - CSA Standard C22.2 No. 100-04

30kW Diesel On-Site Power Industrial Generator

- Generator Set Options**
 - Full output 1 Phase Alternator
 - Generator Strip Heater
 - Permanent Magnet Generator (PMG) Control Panel
 - Remote Monitoring and Generator Network Communications Link
 - Voltage Adjusting Rheostat
 - Engine
 - Electronic Governor
 - Engine Crankcase Ventilation Filter
 - Enclosed Unit
 - Outdoor Weather-protective Housing
 - Outdoor Spray-Insulated Housing
 - Crewal Grease Ejector Sparger
 - Exhaust Mounting Package
 - Rain Cap
- Electrical System**
 - Battery
 - Environmental Plastic Battery Box
 - Battery Charger, Equalizer/Float Type
 - Battery Charger w/Alarm, Equalizer/Float Type, 15 Amps
 - Cooling System
 - Global Heater
 - Low Coolant Shutdown Safety
 - Preheater Duct Flange
 - Automatic Transfer Switch
 - Amperage
 - No. Poles
 - Type Enclosure
 - Options
- Miscellaneous**
 - Main Line Circuit Breaker
 - 120/208 Vol, 3 Phase, 3 Pole
 - 120/240 Vol, 3 Phase, Delta, 3 Pole
 - 120/240 Vol, 3 Phase, 3 Pole
 - 120/240 Vol, 1 Phase, 3 Pole
 - Main Line Circuit Breaker Options
 - DC Start Up
 - Remote Annunciation Panel
 - Remote Emergency Stop Kit
 - Vibration Isolators, Spring Type



Weights and Dimensions			
A	B	C	D
24.0 in. (610 mm)	34.5 in. (878 mm)	34.5 in. (878 mm)	34.5 in. (878 mm)
Weight: 2,240 lbs (1,016 kg)			

NOTE: Weight is approximate and subject to change without notice. The net weight may vary slightly from the gross weight.

Backflow to a city system can cause electrocution and/or property damage. Do not connect to any building's electrical system except through an approved device. Electrical work is subject to change without notice.

Your MQ Power dealer is:

MQ POWER
POST OFFICE BOX 6254
CARSON, CA 90719
TEL: 310-507-3300 • 800-485-2551
FAX: 310-532-2558
EMAIL: mqpower@mqpower.com
WEBSITE: www.mqpower.com

30kW Diesel On-Site Power Industrial Generator

Lubrication System	
Type	Gear Driven
Oil Capacity - Lube Filter	1.7 gallons (6.5 liter)
Oil Capacity - Wet Filter	2.0 gallons (7.5 liter)
Oil Filter	Disposable, spin-on
Oil Pressure at Rated Speed	31 psi (2.0 MPa)
Maximum Oil Temperature	265°F (130°C)

Cooling System	
Exhaust Manifold Type	Dry
Exhaust Design	Horizontal Ductage
Ambient Temperature Rating	104°F (40°C)
Coolant Capacity - Engine Only	4.0 gal (15.1 L)
Water Pump Design/Type	belt driven centrifugal, variable speed
Coolant Flow	26.1 gpm (99.1 L/min)
radiator Cooling Air	2560 cfm (72.5 m³/min)
Heat Rejection From Engine	375.3 Btu/hr (10.6 kW)
Heat Rejection To Coolant	1470 Btu/hr (42.5 kW)
Fan Diameter	15.9 in. (403 mm)
Fan Horsepower	2.80 hp (2.07 kW)
High Water Temperature Indication	202°F (110°C)
Pressure Cap Rating	15 psi (1.034 MPa)

GENERATOR CONTROLLER

- MFC 20™ microprocessor based digital generator controller.
- 12 or 24 bit DC compatible.
- Meets all NFPA 1110 requirements for emergency power systems Level 1 installations.
- Socket I/O display system with alpha-numeric readout.
- Front panel keypad process parameter and programming.
- Self diagnostic feature continuously verifies processing, operational and memory circuits.
- Meets all NFPA 1110 requirements for emergency power systems Level 1 installations.
- Meets all NFPA 1110 requirements for emergency power systems Level 1 installations.
- Meets all NFPA 1110 requirements for emergency power systems Level 1 installations.
- Meets all NFPA 1110 requirements for emergency power systems Level 1 installations.

Exhaust System	
Exhaust Flow at Rated kW	273 cfm (7.7 m³/min)
Exhaust Temperature at Rated kW	300°F (150°C)
Minimum Allowable Backpressure	2.3 in.H ₂ O (5.8 kPa)
Heat Rejection to Exhaust	1645 Btu/hr (480 W)

Operating Factors

For non-stationary conditions, consult according to ISO 2046. Under the terms of the guarantee, the rating selected must be appropriate to the operational conditions of the engine.

30kW Diesel On-Site Power Industrial Generator

Alternator Specifications		Standby Rating		Prime Rating	
Manufacturer/Model	Maxxon/MQ30SS24PQL1707	30 kW (37.5 kVA)	27 kW (33.75 kVA)	30 kW (37.5 kVA)	27 kW (33.75 kVA)
Type	4-Pole, Rating Type				
Exciter Type	Brushless, Static Excitation Design				
Number of Leads	12 Lead, Broad Range, Reconnectable				
Voltage Regulation	SEAC, Solid State, Voltage-Hold				
Insulation	NEMA MG1-20, Class H				
Temperature Rise	100°C, Standby Rating				
Excitation Type	Single, Sealed				
Excitation Voltage	Flexible Dist. Type				
Excitation Current	250 amp (7.1 amp)				
Excitation Power	Full				
Excitation Regulation (no load to full load)	1%				
Single Step Load Acceptance per NFPA 1110	100% of Rating				

Engine Specifications	
Manufacturer/Model	Deutz / TD 2001 L4
Type	4-cylinder, turbocharged, water cooled
Displacement	1200 cc (73.5 cu in.)
Cylinder Arrangement	4 in-Line
Excitation	120/240 Vol, 3 Phase
Stroke	3.54 in. (90 mm)
Compression Ratio	18:1
Cylinder Block	Cast Iron, Wet Sump
Cylinder Head	Cast Iron, Wet Sump
Camshaft	Overhead Valve
Rated Mean Effective Pressure (BMEP)	133 psi (9.2 MPa)
Rated Power	1900 RPM
S&S Gross Horsepower	40 hp (29.8 kW)
Excitation Type	Electronic
Frequency Regulation	Automatic Voltage Regulator, 0.5% to 1.0% (no load to full load)
Frequency Regulation	Steady State
Oil Cabinet Type	Dry

Approximate Fuel Consumption	
Rated Fuel Al. % of Load	gal/hr (L/hr)
100%	0.87 gal/hr (3.28 L/hr)
75%	0.65 gal/hr (2.45 L/hr)
50%	0.43 gal/hr (1.63 L/hr)
25%	0.22 gal/hr (0.83 L/hr)

Engine Electrical System	
Battery Charging Alternator - Make	Maxxon
Rated Type	Regulator
Rated Voltage	12 VDC
Rated Capacity	55A
Rated Motor Make/Model	Maxxon
Rated Motor Rated Voltage	12 VDC
Rated Motor Rated Capacity	55A

MQ POWER #MQP30JD DIESEL GENERATOR

22x34 SCALE: NTS

11x17 SCALE: NTS

1

ELECTRICAL SPECIFICATION:

- ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
- COMPLY WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, THE REQUIREMENTS OF ALL APPLICABLE MUNICIPAL AND STATE CODES AND REGULATIONS, AND UTILITY GUIDELINES.
- PERFORM ALL VERIFICATION, OBSERVATIONS, TESTING AND EXAMINATION OF WORK PRIOR TO THE ORDERING OF ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE CONSTRUCTION MANAGER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- ALL ELECTRICAL / TELCO CONDUIT SHALL BE RIGID METAL CONDUIT (RMC) TYPE CONFORMING TO UNDERWRITERS LABORATORIES STANDARD UL-6 AND ASTM A-135. ALL CONDUITS SHALL COMPLY WITH NEC, ARTICLE 346. ALL RIGID AND FLEXIBLE CONDUITS, AND COUPLINGS SHALL BE HOT DIPPED GALVANIZED HAVING A HARD BAKED ENAMEL OR HEAVY LACQUER FINISH, BOTH INSIDE AND OUTSIDE. COUPLINGS SHALL BE THREADED TYPE, GALVANIZED AND MADE FROM SAME GRADE OF MILD STEEL AS RMC. ALL BENDS SHALL BE 30" MINIMUM RADIUS.
- ALL WIRING SHALL BE STRANDED COPPER WITH MINIMUM 600V INSULATION (UNLESS OTHERWISE NOTED).
- NEUTRAL SHALL BE COLOR CODED, INSULATION SHALL BE CROSS-LINKED POLYETHYLENE.
- CONTRACTOR TO CONTACT ALL UTILITIES FOR LOCATION OF UNDERGROUND SERVICES. SERVICE LOCATIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING, FILING, AND FEES IN CONJUNCTION WITH THE PROJECT.
- THE CONTRACTOR SHALL SCHEDULE ALL NECESSARY INSPECTIONS WITH THE PROPER AUTHORITIES AND INFORM VERIZON 24-HOURS IN ADVANCE. ALL TICKETS AND INSPECTION VERIFICATIONS WILL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN 24-HOURS AFTER THE INSPECTION HAS TAKEN PLACE.
- ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.
- ALL WORK SHALL BE DONE BY QUALIFIED AND EXPERIENCED JOURNEYMEN AND PERFORMED IN A WORKMANLIKE MANNER AND SHALL PROCEED IN AN ORDERLY MANNER SO AS NOT TO HOLD UP THE PROGRESS OF THE PROJECT.
- THOROUGHLY TEST ALL LINES FEEDERS, EQUIPMENT, AND DEVICES WITH MAXIMUM LOADS TO ASSURE PROPER OPERATION
- CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES
- PROVIDE PULL BOXES WHERE SHOWN AND/OR WHERE REQUIRED BY CODES AND/OR UTILITY COMPANIES.
- ALL CONDUIT ROUGH IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. CONTRACTOR SHALL VERIFY ALL LOCATIONS
- ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.
- ALL BREAKERS IN PANEL BOXES SHALL BE IDENTIFIED WITH TYPE WRITTEN LABELS NEATLY PLACED ALONG SIDE OF THE BREAKER.
- ALL FIRE RATED WALL AND FLOOR PENETRATIONS ARE TO BE CAULKED AND SEALED WITH A FIRE RESISTANT CAULKING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
- UTILIZE SONNEBORN TYPE NP-1 CAULKING FOR SEALING ALL EXTERIOR WALL PENETRATIONS
- SUBCONTRACTOR SHALL SUPPLY AND INSTALL A 200# RATED NYLON PULL CORD FOR FULL LENGTH OF ALL EMPTY CONDUIT OR AS REQUIRED BY LOCAL UTILITY COMPANY.

GROUNDING NOTES:

- PROVIDE #2 AWG TINNED SOLID, BARE COPPER WIRE PERIMETER GROUND RING, 30" BELOW GRADE.
- PROVIDE #2 COPPER WIRE GROUND JUMPER AT "BTS" EQUIPMENT PLINTH USING EXISTING TAPPED HOLES
- PROVIDE #2 AWG TINNED SOLID, BARE COPPER WIRE BONDING JUMPER BETWEEN GROUND RINGS, 30" BELOW GRADE. TYPICAL OF TWO(2) PLACES.
- PROVIDE #2 COPPER WIRE GROUND CONNECTIONS FROM GROUND BAR AT BTS AND BASE OF MONOPOLE TO GROUND RING. TYPICAL OF TWO(2) EACH GROUND BAR.
- GROUND WATER TANK AT THREE(3) PLACES WITH #2 COPPER WIRE AT 6" ABOVE GRADE.
- PROVIDE COAX GROUND KITS AND GROUND BAR AT TOP AND BOTTOM OF MONOPOLE; ATTACH BETWEEN GROUND BARS WITH (2) #2 AWG TINNED SOLID, GREEN SHIELDED COPPER WIRE.
- ELECTRICAL SERVICE GROUND; TWO(2) GROUND RODS AT MIN 6'-0" APART. CADWELD TO GROUND RING. AT REMOTE ELECTRICAL RACK ONLY.
- TELCO SERVICE GROUND, CADWELD TO GROUND RING.
- CONNECT COAX GROUND KITS TO COAX JUST ABOVE BEND, CONNECT TO GROUND BAR.
- GROUND MONOPOLE FOUNDATION STEEL, MINIMUM AT 2-PLACES WITH #2 COPPER WIRE.
- ALL GROUND CONNECTIONS TO EQUIPMENT TO BE MECHANICAL
- MAIN GROUND LOOP AND CONDUCTOR CONNECTING COPPER GROUND BUSES TO BE #2/2 BARE COPPER WIRE (BCW).
- ALL GROUND RODS SHALL BE AT LEAST 10 FEET APART.
- ALL GROUND MUST COMPLY WITH VERIZON AND EQUIPMENT MANUFACTURERS GROUNDING STANDARDS AND REQUIREMENTS.

A	AMPERE		
AWG	AMERICAN WIRE GAUGE		
BCW	BARE COPPER WIRE (SOLID TINNED)		
BSCW	BARE STRANDED COPPER WIRE		
BTS	BASE TRANSCEIVER STATION		
C.O.	CONDUIT ONLY		
EMT	ELECTRICAL METALLIC TUBING		
GF1	GROUND FAULT INTERRUPTER		
GND	GROUND		
GPS	GLOBAL POSITIONING SYSTEM		
GRC	GALVANIZED RIGID CONDUIT		
IMT	INTERMEDIATE METAL TUBING		
PCS	PERSONAL COMMUNICATION SERVICE		
PPC	POWER PROTECTION CABINET		
PRC	PRIMARY RADIO CABINET		
RGS	RIGID GALVANIZED STEEL		
TYP	TYPICAL		
USE	UNDERGROUND SERVICE ENTRANCE CABLE		
UGP	UNDERGROUND POWER		
UGT	UNDERGROUND TELEPHONE		
V	VOLT		
WP	WEATHERPROOF		

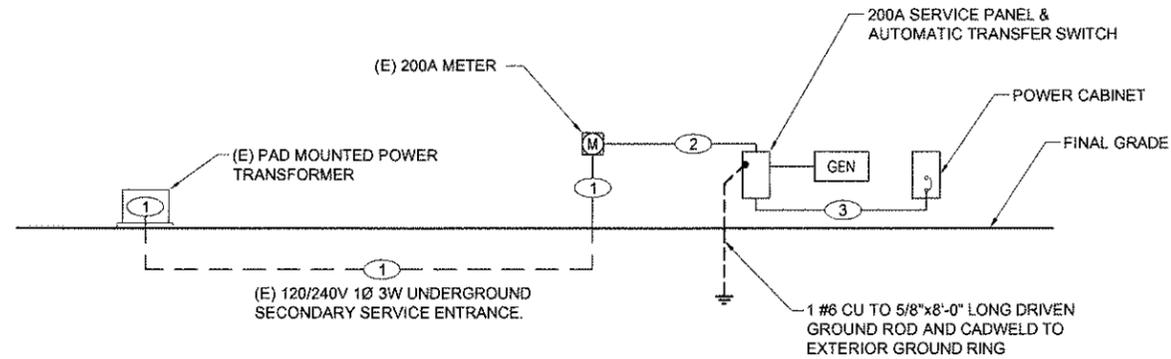
		(M)	METER
			CIRCUIT BREAKER
		MGB	MASTER GROUND BAR
		TT	1/4"x4"x24" COPPER
		EGB	EQUIPMENT GROUND BAR
		TT	1/4"x4"x12" OR 1/4"x4"x20" COPPER
		---	EXPOSED WIRING
		---	UNDERGROUND WIRING
		■	CADWELD
		•	MECHANICAL CONNECTION
		⊗	5/8"x8" COPPER CLAD STEEL GROUND ROD
		⊗	INSPECTION PORT
		---	EXOTHERMIC (CADWELD) BELOW GROUND
		⏚	GROUND

GROUNDING NOTES & SYMBOLS

22x34 SCALE: NTS

11x17 SCALE: NTS

3



NOTE:
VERIFY ALL FINAL INSTALLATION REQUIREMENTS WITH ELECTRIC UTILITY. PROVIDE ENCASEMENT OF "USE" CONDUCTOR WITH 1 1/2" GRC WHENEVER CONDUCTOR IS EXPOSED IN ACCORDANCE WITH NEC 300-5(d)

FEEDER SCHEDULE	
①	3#2 CU TYPE "USE" - 3"C
②	3#2 CU TYPE "USE" - 1 1/4"C
③	3#2 CU AND 1#6 GND - 1 1/4"C

ELECTRICAL NOTES

22x34 SCALE: NTS

11x17 SCALE: NTS

1

SINGLE LINE DIAGRAM

22x34 SCALE: NTS

11x17 SCALE: NTS

2



PLANS PREPARED BY: **CORNERSTONE ENGINEERING, INC.**
 16028 WOODINVILLE-REDMOND RD NE, SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: ce@cornerstone-engr.com

PROJECT INFO: **SEA ARDMORE PARK**
 16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

ISSUED FOR: **CONSTRUCTION**

REV.	DATE	DESCRIPTION	BY	CHK.
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB	CHK.: DRA	APV.: MWO
---------------	-----------	-----------

CURRENT ISSUE DATE: **03-17-10**

LICENSURE:

DRAWING INFORMATION: DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **ELECTRICAL NOTES & SINGLE LINE DIAGRAM**

DRAWING NUMBER: **E-1 1**
 CEI JOB NUMBER: 09-56336



REALCOM

PLANS PREPARED BY:



PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

REV	DATE	DESCRIPTION	BY	CK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV: MWO

CURRENT ISSUE DATE: **03-17-10**



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

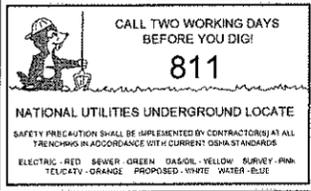
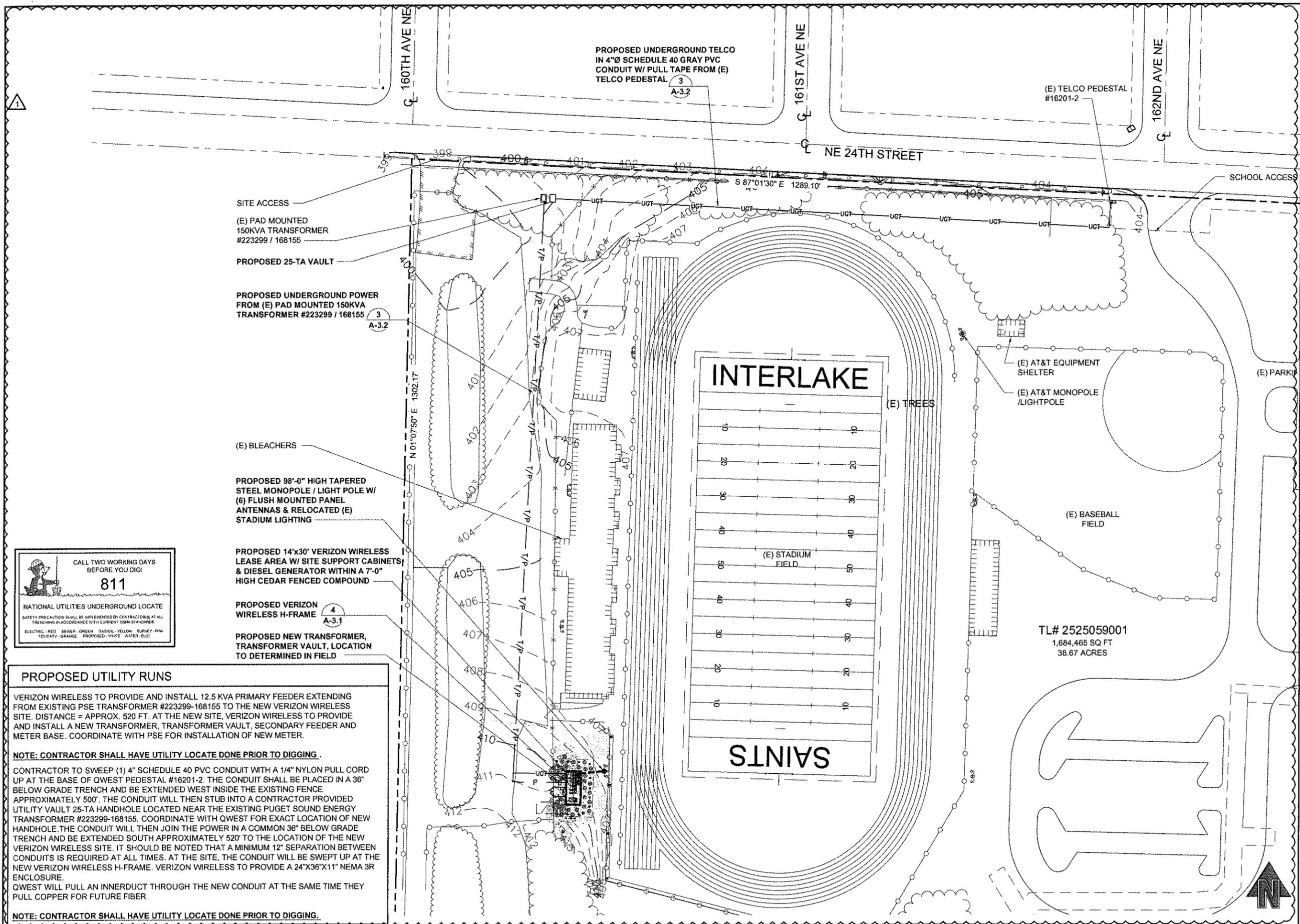
DRAWING TITLE:

ELECTRICAL SITE PLAN

DRAWING NUMBER:

E-2 1

CEI JOB NUMBER: 09-56336



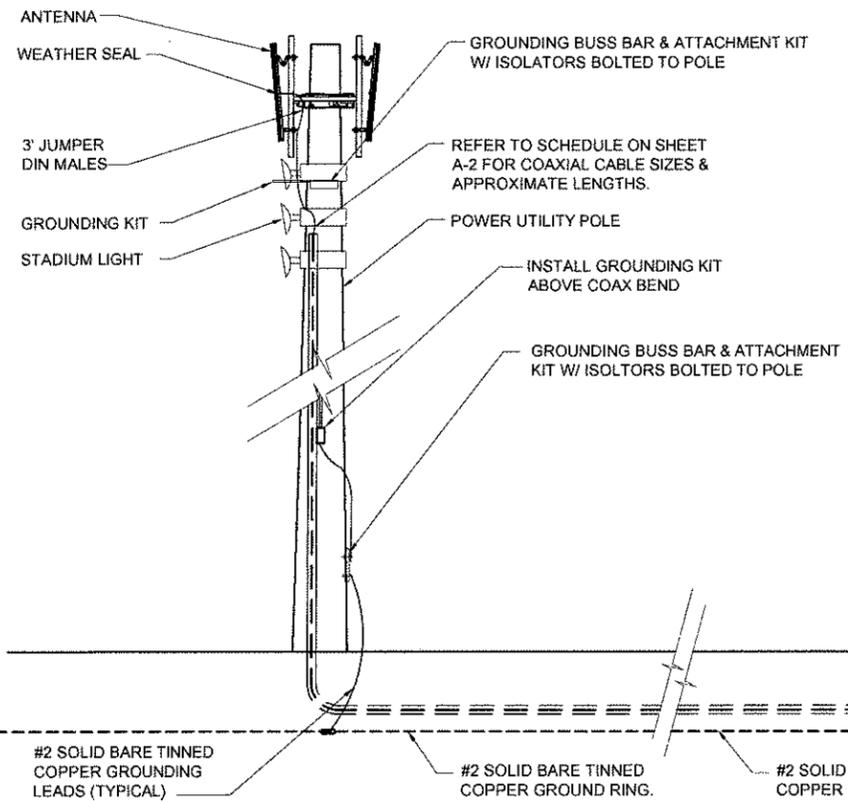
PROPOSED UTILITY RUNS

VERIZON WIRELESS TO PROVIDE AND INSTALL 12.5 KVA PRIMARY FEEDER EXTENDING FROM EXISTING PSE TRANSFORMER #223299-168155 TO THE NEW VERIZON WIRELESS SITE. DISTANCE = APPROX. 520 FT. AT THE NEW SITE, VERIZON WIRELESS TO PROVIDE AND INSTALL A NEW TRANSFORMER, TRANSFORMER VAULT, SECONDARY FEEDER AND METER BASE. COORDINATE WITH PSE FOR INSTALLATION OF NEW METER.

NOTE: CONTRACTOR SHALL HAVE UTILITY LOCATE DONE PRIOR TO DIGGING.

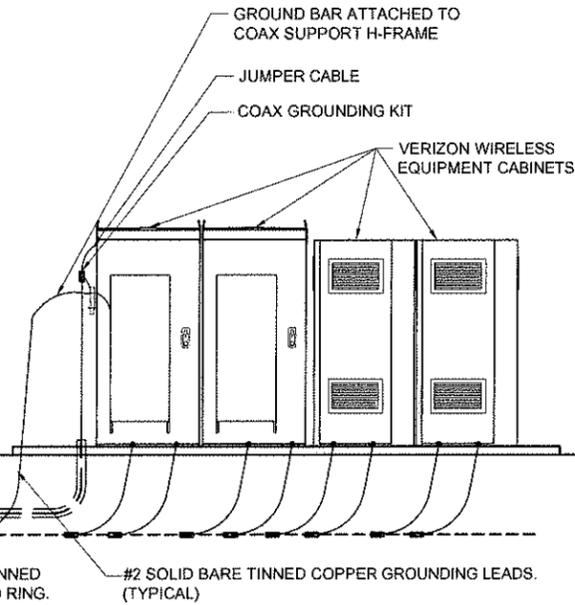
CONTRACTOR TO SWEEP (1) 4" SCHEDULE 40 PVC CONDUIT WITH A 1/4" NYLON PULL CORD UP AT THE BASE OF QWEST PEDESTAL #16201-2. THE CONDUIT SHALL BE PLACED IN A 36" BELOW GRADE TRENCH AND BE EXTENDED WEST INSIDE THE EXISTING FENCE APPROXIMATELY 500'. THE CONDUIT WILL THEN STUB INTO A CONTRACTOR PROVIDED UTILITY VAULT 25-TA HANDHOLE LOCATED NEAR THE EXISTING PUGET SOUND ENERGY TRANSFORMER #223299-168155. COORDINATE WITH QWEST FOR EXACT LOCATION OF NEW HANDHOLE. THE CONDUIT WILL THEN JOIN THE POWER IN A COMMON 36" BELOW GRADE TRENCH AND BE EXTENDED SOUTH APPROXIMATELY 520' TO THE LOCATION OF THE NEW VERIZON WIRELESS SITE. IT SHOULD BE NOTED THAT A MINIMUM 12" SEPARATION BETWEEN CONDUITS IS REQUIRED AT ALL TIMES. AT THE SITE, THE CONDUIT WILL BE SWEEPED UP AT THE NEW VERIZON WIRELESS H-FRAME. VERIZON WIRELESS TO PROVIDE A 24"X36"X11" NEMA 3R ENCLOSURE. QWEST WILL PULL AN INNERDUCT THROUGH THE NEW CONDUIT AT THE SAME TIME THEY PULL COPPER FOR FUTURE FIBER.

NOTE: CONTRACTOR SHALL HAVE UTILITY LOCATE DONE PRIOR TO DIGGING.



NOTE!

- ALL CONNECTIONS TO BE CADWELDED
- USE MECHANICAL CONNECTIONS ONLY WITH THE WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER
- HOISTING GRIP TO BE INSTALLED BELOW TOP GROUND KIT.



NOTE:

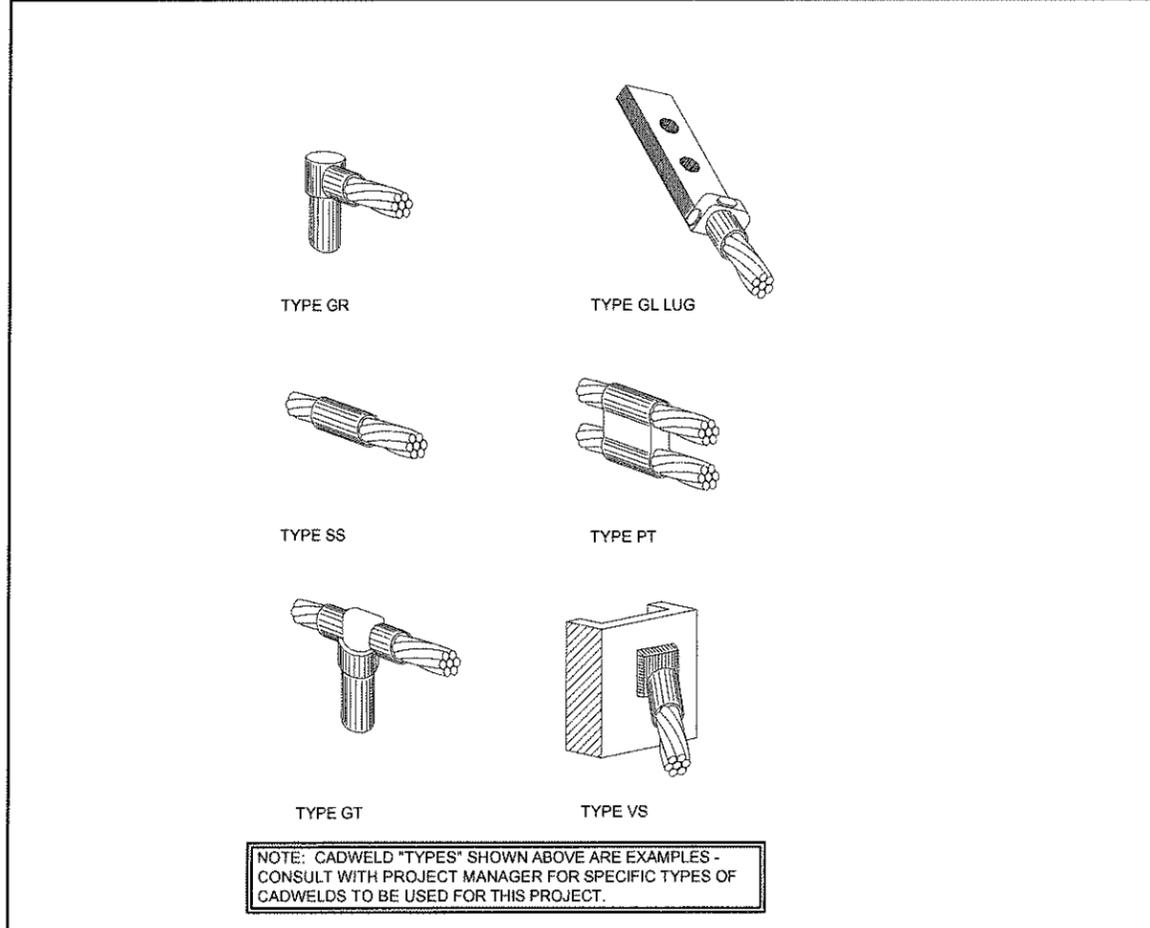
COAT ALL MECHANICAL CONNECTIONS W/ "NOOX" OR APPROVED EQUAL

ANTENNA GROUNDING DIAGRAM

22x34 SCALE: NTS | 11x17 SCALE: NTS

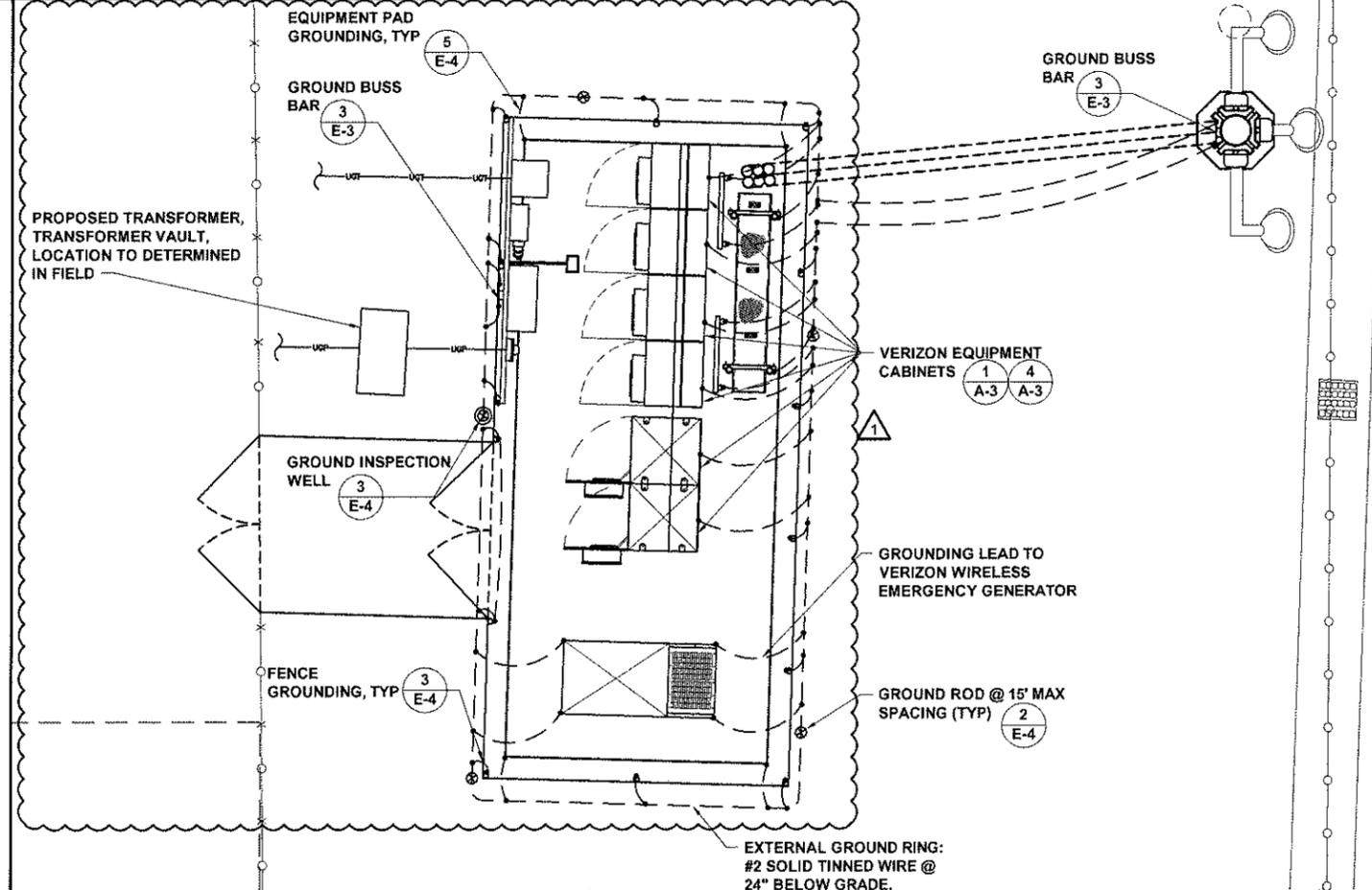
GROUND BAR CONNECTION DETAIL

22x34 SCALE: NTS | 11x17 SCALE: NTS



CADWELD DETAILS

22x34 SCALE: NTS | 11x17 SCALE: NTS



GROUNDING SITE PLAN

22x34 SCALE: 1/4" = 1'-0" | 11x17 SCALE: 1/8" = 1'-0"



PLANS PREPARED BY:

CORNERSTONE ENGINEERING, INC.

16628 WOODINVILLE-REDMOND RD NE, SUITE 210, WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: cej@cornerstone-engr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET, BELLEVUE, WA 98008, KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

1	03-11-10	REVIEW COMMENTS	AJB	MWO
2	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB | CHK: DRA | APV: MWO

CURRENT ISSUE DATE: 03-17-10

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

ELECTRICAL GROUNDING DETAILS

DRAWING NUMBER:

E-3 | **1**

CEI JOB NUMBER: 09-56336

PLANS PREPARED BY:

CORNERSTONE ENGINEERING, INC.
 16928 WOODINVILLE-REDMOND RD NE,
 SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: ce@cornerstone-engr.com

PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

REV	DATE	DESCRIPTION	BY	CK
1	03-11-10	REVIEW COMMENTS	AJB	MWO
0	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: CHK: APV:

AJB DRA MWO

CURRENT ISSUE DATE:

03-17-10

LICENSE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

ELECTRICAL DETAILS

DRAWING NUMBER:

E-4 1

CEI JOB NUMBER: 09-56336

NOT USED

22x34 SCALE: NTS

11x17 SCALE: NTS

8

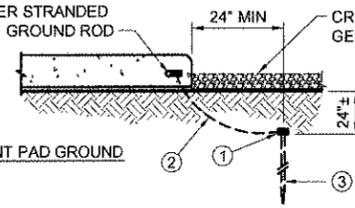
NOT USED

22x34 SCALE: NTS

11x17 SCALE: NTS

7

EXOTHERMIC WELD AT RE-BAR WITH #4/0 COPPER STRANDED CONNECTED TO GROUND ROD



- KEY NOTES:**
- EXOTHERMIC (CADWELD)
 - #4/0 COPPER STRANDED RING GROUND
 - TINNED COPPER GROUND ROD 5/8"Ø x 8'-0" LONG

NOT USED

22x34 SCALE: NTS

11x17 SCALE: NTS

6

EQUIPMENT PAD GROUNDING

22x34 SCALE: NTS

11x17 SCALE: NTS

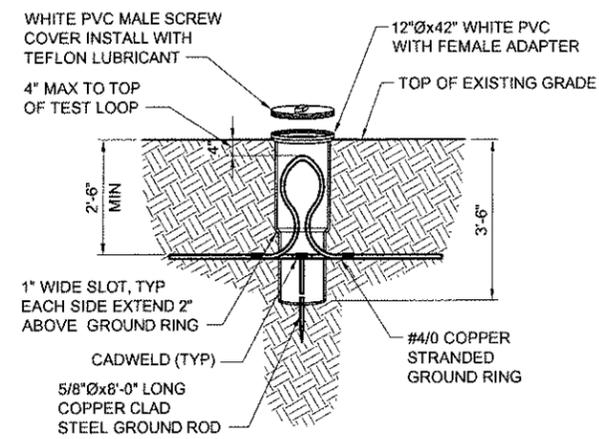
5

NOT USED

22x34 SCALE: NTS

11x17 SCALE: NTS

4



INSPECTION WELL DETAIL

22x34 SCALE: NTS

11x17 SCALE: NTS

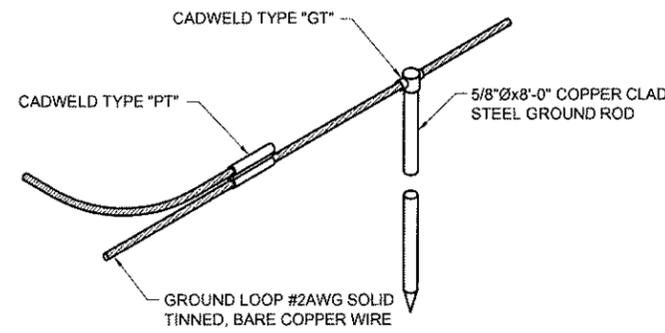
3

GROUND ROD DETAIL

22x34 SCALE: NTS

11x17 SCALE: NTS

2

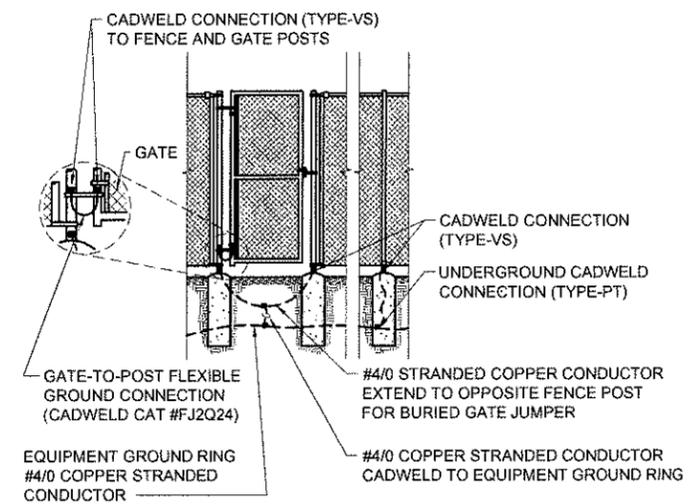


FENCE GROUNDING DETAIL

22x34 SCALE: NTS

11x17 SCALE: NTS

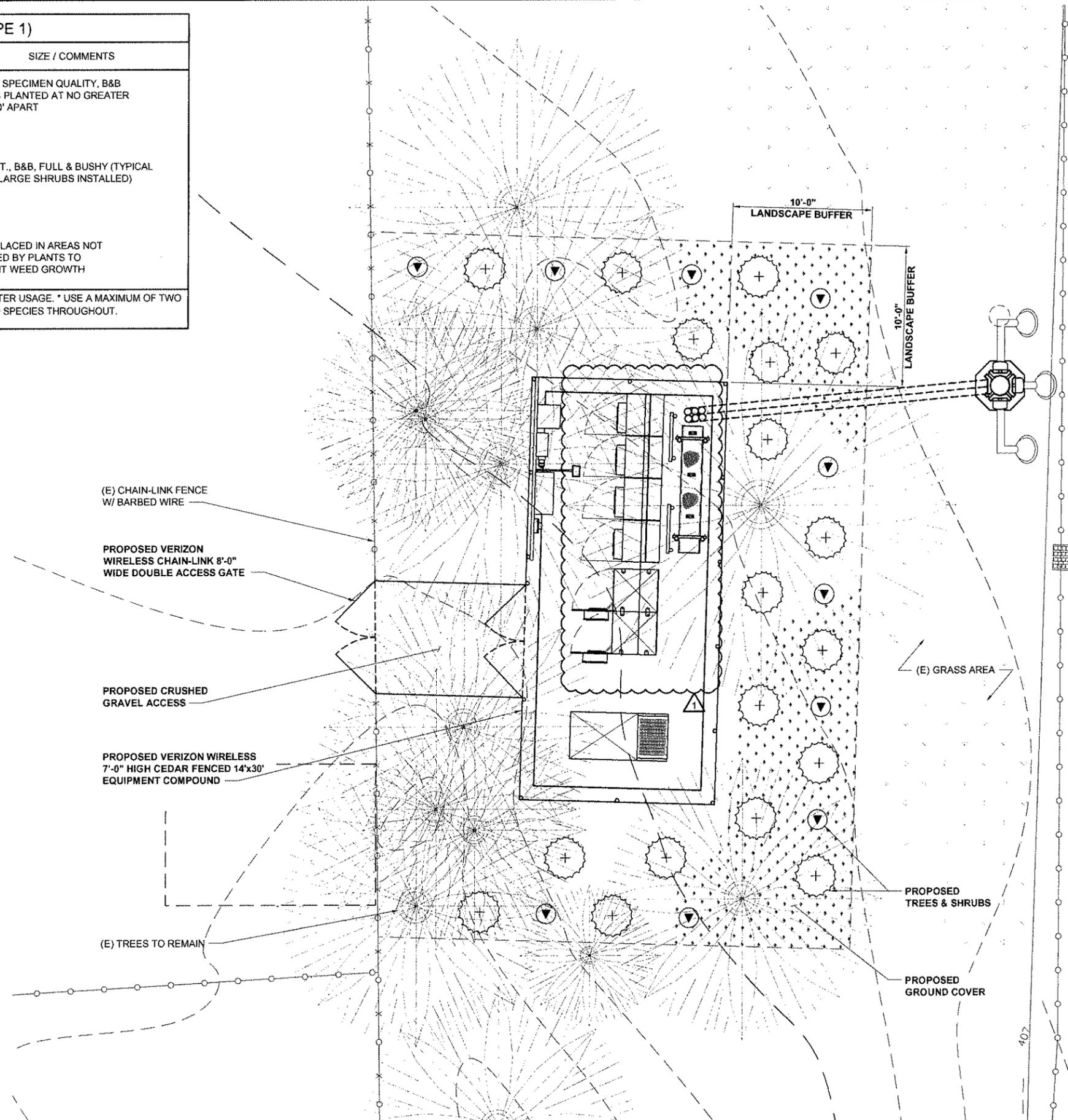
1



PLANT SCHEDULE - (TYPE 1)

SYMBOL	# OF PLANTS	BOTANICAL / COMMON NAME	SIZE / COMMENTS
	18+	TREES *CONIFER SPECIES: EMERALD GREEN ARBOR VITAE	6-8' HT., SPECIMEN QUALITY, B&B 2 ROWS PLANTED AT NO GREATER THAN 20' APART
	10+	*LARGE SHRUB SPECIES: PHOTINIA X FRASERI / FRASER PHOTINIA PRUNUS LUSITANICA / PORTUGAL LAUREL LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAN JAPANESE PRIVET	24-30" HT., B&B, FULL & BUSHY (TYPICAL OF ALL LARGE SHRUBS INSTALLED)
	4"	BARK MULCH	TO BE PLACED IN AREAS NOT COVERED BY PLANTS TO PREVENT WEED GROWTH

ALL SPECIES SELECTED ARE DROUGHT TOLERANT AND DEMAND LOW WATER USAGE. * USE A MAXIMUM OF TWO SPECIES PER GROUPING IN MASS GROUPINGS. ** USE ONE OF THESE TWO SPECIES THROUGHOUT.



NOTE:
EXISTING TREE BRANCHES MAY BE
TRIMMED BUT EXISTING TREES
CANNOT BE CUT DOWN OR REMOVED

(E) CHAIN-LINK FENCE
W/ BARBED WIRE

PROPOSED VERIZON
WIRELESS CHAIN-LINK 8'-0"
WIDE DOUBLE ACCESS GATE

PROPOSED CRUSHED
GRAVEL ACCESS

PROPOSED VERIZON WIRELESS
7'-0" HIGH CEDAR FENCED 14'x30'
EQUIPMENT COMPOUND

(E) TREES TO REMAIN

(E) GRASS AREA

PROPOSED
TREES & SHRUBS

PROPOSED
GROUND COVER

CALL TWO WORKING DAYS
BEFORE YOU DIG!
811
NATIONAL UTILITIES UNDERGROUND LOCATE
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTORS AT ALL
TRENCHING IN ACCORDANCE WITH CURRENT OSHA STANDARDS
ELECTRIC - RED SEWER - GREEN GAS/OIL - YELLOW SURVEY - PINK
TELECATV - ORANGE PROPOSED - WHITE WATER - BLUE



PLANS PREPARED BY:
CORNERSTONE ENGINEERING, INC.
16928 WOODINVILLE-REDMOND RD NE.
SUITE 210
WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: ce@cornerstone-engr.com

PROJECT INFO:
SEA ARDMORE PARK
16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY	CK
△	03-11-10	REVIEW COMMENTS	AJB	MWO
△	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK.: DRA APV.: MWO

CURRENT ISSUE DATE:
03-17-10

LICENSE:

EXPIRES 02/15/12

DRAWING INFORMATION:
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:
LANDSCAPE PLAN

DRAWING NUMBER:
L-1 1
CEI JOB NUMBER: 09-56336

GENERAL

A. ALL SITE PLAN DIMENSIONS AND CONDITIONS, BUILDING DIMENSIONS, AND SITE DEVELOPMENT SHOULD BE VERIFIED PRIOR TO INSULATION.

SCOPE OF WORK

A. FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH SOIL PREPARATION, PLACEMENT AND GRADING OF TOPSOIL MATERIAL, PLACEMENT AND GRADING OF FILL MATERIAL (IF REQUIRED), PLACEMENT OF SPECIFIED PLANT MATERIAL, FERTILIZERS, STAKING AND MULCH, PROTECTION, MAINTENANCE, GUARANTEE, CLEANUP, DEBRIS REMOVAL, AND RELATED ITEMS NECESSARY OR INCIDENTAL TO COMPLETE THE WORK SHOWN AND SPECIFIED. OBTAIN NECESSARY PERMITS AND INSTALL PER LOCAL MUNICIPAL CODE AS WELL AS NEIGHBORHOOD CODES, COVENANTS AND RESTRICTIONS AND PER MANUFACTURER RECOMMENDATIONS WHERE APPLICABLE.

SITE PREPARATION

- A. PROTECT TREES AND SHRUBS ON SITE DURING CONSTRUCTION BY FENCING OFF WITH 4' TEMPORARY ORANGE POLY FENCING. FOR DAMAGES FOR LOSS OR INJURY SEE (NOTE 19 B.)
- B. THE SITE TO BE CLEARED AND GRUBBED OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUB-GRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- C. SUB-GRADES TO BE PROVIDED WITHIN 0.10 FOOT, PER SITE GRADING PLAN, PER LANDSCAPE PLAN AND FINISH GRADE SPECIFICATIONS BELOW, MINUS DEPTH OF TOP SOIL, FILL AND MULCH SPECIFIED.
- D. 2" WEEP HOLES TO BE PROVIDED IN CURBS, SPACES A MAXIMUM OF 10' O.C.

RESPONSIBILITY

- A. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTY, EXISTING PLANT MATERIAL DESIGNATED FOR PRESERVATION, AND SAFETY OF THE GENERAL PUBLIC.
- B. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ALL OTHER TRADES AS NEEDED.
- C. UTILITIES: THE LANDSCAPE CONTRACTOR SHALL CALL THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555) PRIOR TO COMMENCING WORK. HE SHALL BE HELD RESPONSIBLE FOR PROTECTION OF, AND ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES. HE SHALL VERIFY THE LOCATION OF UTILITIES WITH THE GENERAL CONTRACTOR.

VERIFICATION OF EXISTING CONDITIONS

A. BEFORE PROCEEDING WITH ANY WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PERTAINING TO THE LOCATION OF WALLS, VAULTS, LIGHT STANDARDS, HYDRANTS, AND ANY OTHER EXISTING CONDITIONS, INCLUDING ADVERSE DRAINAGE. SHOULD ANY ERRORS OR CONFLICTS IN DRAWINGS OR SPECIFICATIONS OCCUR, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

MATERIALS

- A. PLANT MATERIAL SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMAN GRADES AND STANDARDS AS PUBLISHED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" AND AS NOTED ON DRAWING AS FOLLOWS:
- B. ALL TREES TO BE SELF SUPPORTING, WITH FULL HEADS AND LEADERS IN TACT.
- C. ALL SHRUBS, TREES, AND GROUND COVER TO BE FULL AND BUSHY, ALL TREES TO BE STRAIGHT TRUNK WITH LEADER IN TACT, EXCEPT MULTI-TRUNK TREES, WHICH MAY HAVE IRREGULAR TRUNKS. ALL ROOT BALLS SHALL BE IN TACT AND HAVE NO MORE THAN 10% CLAY AND / OR SILT CONTENT AND BE FREE OF WEEDS.
- D. PLANT MATERIAL MAY BE REJECTED AT ANY TIME BY THE LANDSCAPE ARCHITECT AND / OR OWNER DUE TO CONDITIONS, FROM , OR DAMAGE , BEFORE OR AFTER PLANTING.

TOPSOIL

A. CEDAR GROVES TWO-WAY TOPSOIL MIX (2/3 LOAM & 1/3 CEDAR GROVE COMPOSTED MULCH) OR APPROVED EQUAL.

FILL MATERIAL

A. SANDY LOAM MATERIAL WITH LESS THAN 10% CLAY AND / OR SILT CONTENT AND FREE ROCK AND DEBRIS OVER 2" INCH DIAMETER.

MULCH

A. GROCO COMPOSTED MULCH OR APPROVED EQUAL.

FERTILIZERS AND AMENDMENTS

- A. WALT'S ORGANIC FERTILIZER OR APPROVED EQUAL. USE FERTILIZER SPECIFIED FOR PLANT TYPE.
- B. JERSEY GREENSAND OR APPROVED EQUAL.
- C. NORTH ATLANTIC KELP MEAL OR APPROVED EQUAL.
- D. GROUND LIMESTONE.
- E. MONTANA ROCK PHOSPHATE OR APPROVED EQUAL.

EROSION CONTROL NETTING

A. LANDLCK 407/GR407GT DEGRADABLE EROSION CONTROL BLANKET (OR APPROVED EQUAL) MAD OF POLYPROPYLENE MESH.

POLYMER

A. TERRA FLORA'S (360-297-8015) "TERRA-SORB MEDIUM HYDROGEL" POLYMERS BY PLANT HEALTH CARE INC., OR APPROVED EQUAL.

EXECUTION

- A. SOIL PREPARATION.
- B. IN AREAS WITH NATIVE TOPSOIL REMAINING UNDISTURBED, AMEND SOIL IN PLANTING HOLE PER DETAILS AND AS FOLLOWS ALONG WITH ADDING AMENDMENTS AT RATES SPECIFIED BELOW. IN ALL OTHER AREAS, WHERE TOPSOIL HAS BEEN REMOVED OR DISTURBED, PREPARE PLANTER BEDS AS FOLLOWS. SCARIFY TO A DEPTH OF 12 INCHES AND APPLY A MINIMUM OF 4 INCHES (AFTER COMPACTION) OF SPECIFIED COMPOSTED MULCH ALONG WITH THE FOLLOWING AMENDMENTS PER 1000 SQUARE FEET (20 LBS JERSEY GREEN SAND, 10 LBS. NORTH ATLANTIC KELP MEAL, 50 LBS. GROUND LIMESTONE, 25 LBS. MONTANA ROCK PHOSPHATE) AND ROTOVATE INTO THE TOP 12" INCHES OF THE SUBSOIL. THEN APPLY 4" INCHES OF SPECIFIED TOPSOIL, TO PROVIDE FOR EASE OF GRADING AND A HEALTHY TOPSOIL MEDIUM. IF HEAVY CLAY IS ENCOUNTERED, EITHER REMOVE CLAY OF TILL IN ALL THE FOLLOWING: 1" INCH COMPOSTED MULCH, 2 INCHES 50/50 MIX OF WASHED SAND & 3/8-INCH PEA GRAVEL, AND AMENDMENTS, INSTEAD OF THE 4" INCHES OF COMPOST, THEN APPLY TOPSOIL AS SPECIFIED. REMOVE ALL DEBRIS AND ROCK OVER 2".

ROUGH GRADING

A. ALL AREAS SHALL BE ROUGH GRADED WITHIN 0.10 FOOT BEFORE PLANTING. ALL GRADES SHALL PRODUCE POSITIVE DRAINAGE AWAY FROM BUILDING AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER. AREAS SHALL BE GRADED SUCH THAT NEW GRADES MEET AND BLEND NATURALLY WITH THE EXISTING GRADES. ON SLOPES GREATER THAN 2:1, INSTALL SPECIFIED EROSION CONTROL NETTING PER MANUFACTURER RECOMMENDATIONS.

FINISH GRADES

A. FINISH GRADES ARE TO BE FOLLOW SITE GRADING PLAN EDGE DETAILS AS SPECIFIED AND MOUNTED A MINIMUM OF 6 INCHES IN THE CENTER OF THE BED FROM THE TOP OF CURB AND / OR PAVING.

PLANTING, GUYING AND STAKING (PER DETAILS AND AS FOLLOWS)

- A. PLANT ONLY DURING SEASONS OF LOCALLY ACCEPTED PRACTICE.
- B. CROWN OF PLANT SHALL BE SLIGHTLY HIGHER, AFTER SETTLING, THAN ADJACENT SOIL.
- C. LAYOUT OF MASS PLANTINGS PER DETAIL AND MAINTAIN A 2' CLEARANCE FOR CAR OVERHANG AND FROM PAVING, WALLS, CURBS, AND PROPERTY LINES.
- D. BAREFOOT ROOT TREES SHALL BE PLANTED ONLY BETWEEN NOVEMBER 15TH AND MARCH 15TH, AND PLANT PER STANDARD HORTICULTURAL PRACTICES.
- E. IF HEAVY CLAY IS ENCOUNTERED, AMEND PLANT HOLE BACKFILL WITH 50% NATIVE SOIL, AND 50% MIX OF COMPOSTED MULCH, PEA GRAVEL, AND SAND. CREATE DRAINAGE AWAY FROM HOLE IF IT HOLDS WATER.
- F. FERTILIZE ALL PLANTINGS WITH SPECIFIED FERTILIZER PER MANUFACTURER RECOMMENDATIONS.
- G. AMEND PLANT HOLE BACKFILL WITH SPECIFIED POLYMER PER MANUFACTURER RECOMMENDATIONS.
- H. THE LANDSCAPE ARCHITECT SHALL SUPERVISE PRUNING OF TREES AND SHRUBS. LIMIT PRUNING TO REMOVAL OF INJURED TWIGS AND BRANCHES, UNLESS OTHERWISE DIRECTED. ALL INJURED TREE ROOTS TO BE PRUNED VERTICALLY WITH A SHARP KNIFE BEFORE PLANNING.

MULCHING

A. PROVIDE 2" (AFTER COMPACTION) LAYER OF SPECIFIED COMPOSTED MULCH ON ALL PLANTER BEDS AND WITHIN THE DRIP LINE OF ANY NEW PLANTING. MAXIMUM DEPTH OF MULCH AT THE CROWN TO BE ONE-HALF INCH.

FINAL CLEAN-UP

A. CLEAN ALL PLANTING AREAS AND FINISH RAKE. WASH CLEAN ALL BUILDING AND PAVING SURFACES THAT WERE AFFECTED BY LANDSCAPE INSTALLATION.

PLANT PROTECTION

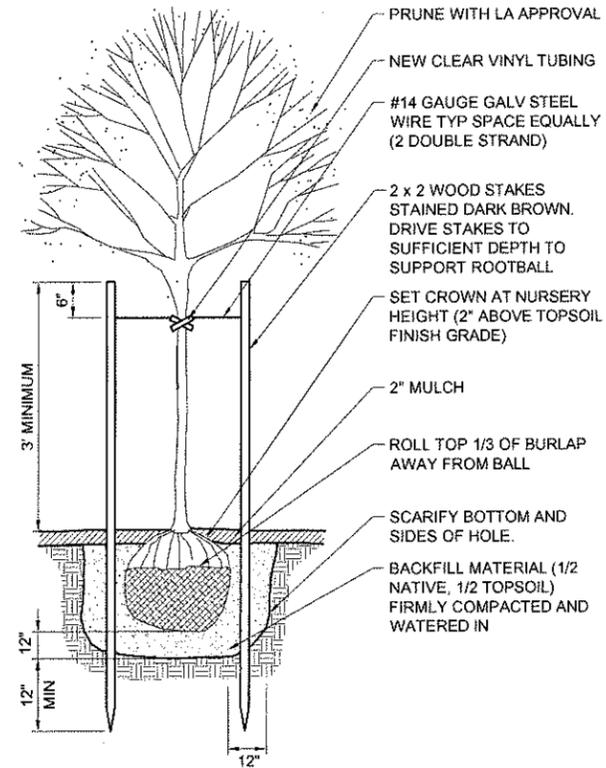
- A. PROTECT ALL PLANT MATERIALS AGAINST HARM FROM WIND, UNUSUAL WEATHER, AND THE PUBLIC IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICE. SPECIAL PLANTING TECHNIQUES, DEFOLIATION, WILT PROOFING, OR SPRAY MISTING MAY BE REQUIRED FOR UNSEASONAL PLANTING, ETC.
- B. LANDSCAPE CONTRACTOR IS LIABLE FOR DAMAGES OF LOSS OF INJURY TO EXISTING TREES AND SHRUBS RESULTING FROM THE CONTRACTOR'S FAILURE TO PROTECT THEM. THE JUST VALUE TO BE DETERMINED BY THE VALUATION OF LANDSCAPE TREES, SHRUBS AND OTHER PLANTS, CURRENT EDITION

MAINTENANCE

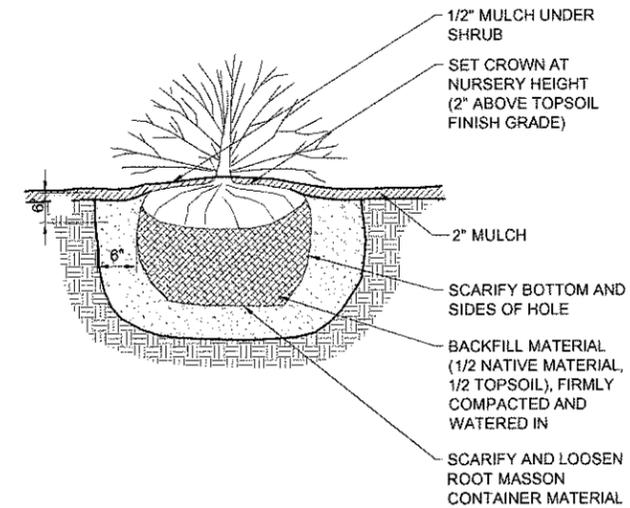
- A. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT PERIOD FOR KEEPING ALL PLANTINGS AND WORK INCIDENTAL THEREOF IN GOOD CONDITION BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING, SPRAYING, REGUYING AND OTHER NECESSARY OPERATIONS OF CARE FOR THE PROMOTION OF ROOT GROWTH AND PLANT LIFE. LANDSCAPE CONTRACTOR WILL PERFORM ABOVE MAINTENANCE DUTIES IN ALL LANDSCAPE FOR TWO YEARS FROM DATE OF FINAL INSPECTIONARY.
- B. PATHS, SIDEWALKS, AND ALL OTHER PAVED SURFACES SHALL BE KEPT CLEAN WHEN PLANTING AND MAINTENANCE OPERATIONS ARE IN PROGRESS.
- C. THE TELECOMMUNICATION COMPANY SELECTS NATIVE ACCLIMATED AND DROUGHT TOLERANT PLANT SPECIES. PLANTINGS ARE INSTALLED ONLY DURING SEASONS OF LOCALLY ACCEPTED PRACTICE. IN THE EVENT OF UNFORESEEN CLIMATOLOGICAL EXTREMES.

WARRANTY

A. WARRANTY MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR DAMAGE RESULTING FROM EXCESSIVE CLIMATOLOGICAL CONDITIONS OR WORK BY OTHER CONTRACTORS, BUT SHALL BE RESPONSIBLE FOR MISSING OR VANDALIZED MATERIALS UNTIL THE PROJECT RECEIVES A FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND / OR OWNER.



TREE PLANTING AND STAKING 3
22x34 SCALE: NTS 11x17 SCALE: NTS



LANDSCAPE NOTES 1 **SHRUB/GROUNDCOVER PLANTING** 2
22x34 SCALE: NOT USED 11x17 SCALE: NOT USED

verizonwireless
We never stop working for you.
3350 161st AVE SE / MS #221
BELLEVUE, WA 98006

REALCOM

PLANS PREPARED BY:
CORNERSTONE ENGINEERING, INC.
16228 WOODINVILLE-REDMOND RD NE,
SUITE 210
WOODINVILLE, WA 98072
PHONE: (425) 487-1732 FAX: (425) 487-1734
EMAIL: ce@cornerstone-engr.com

PROJECT INFO:
SEA ARDMORE PARK
16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY	CHK.
Δ	03-11-10	REVIEW COMMENTS	AJB	MWO
Δ	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: CHK.: APV.:
AJB DRA MWO

CURRENT ISSUE DATE:
03-17-10

LICENSURE:

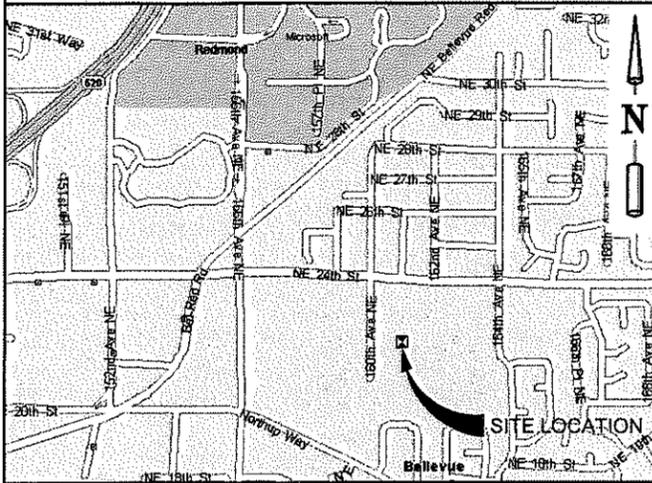
EXPIRES 02/15/12

DRAWING INFORMATION:
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:
LANDSCAPE NOTES & DETAILS

DRAWING NUMBER:
L-2 1
CEI JOB NUMBER: 09-56336

VICINITY MAP



LEGAL DESCRIPTION

THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON; EXCEPT THE NORTH 30 FEET THEREOF FOR ROAD PURPOSES; AND EXCEPT THOSE PORTIONS CONVEYED TO THE CITY OF BELLEVUE FOR ROAD PURPOSES BY DEEDS RECORDED UNDER RECORDING NUMBERS 9301281150 AND 20031126001866.

PER PACIFIC NORTHWEST TITLE COMPANY OF WASHINGTON, INC. TITLE ORDER NO. 704085.

CALL TWO WORKING DAYS BEFORE YOU DIG!
811
 NATIONAL UTILITIES UNDERGROUND LOCATE
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTORS AT ALL TRENCHING IN ACCORDANCE WITH CURRENT OSHA STANDARDS
 ELECTRIC - RED SEWER - GREEN GAS/OIL - YELLOW SURVEY - PINK TEL-CATV - ORANGE PROPOSED - WHITE WATER - BLUE

NOTE:
 EXISTING TREE BRANCHES MAY BE TRIMMED BUT EXISTING TREES CANNOT BE CUT DOWN OR REMOVED

NOTE:
 ANY AREAS DISTURBED AND/OR DAMAGED DURING CONSTRUCTION WILL BE RESTORED TO PREVIOUSLY EXISTING CONDITION AND MUST BE TO THE SATISFACTION OF THE CITY OF BELLEVUE.

APPLICANT INFORMATION

VERIZON WIRELESS
 15900 SE EASTGATE WAY M/S 231
 BELLEVUE, WA 98008
 PHONE: (425) 644-6396

REALCOM ASSOCIATES
 14432 SE EASTGATE WAY, SUITE 260
 BELLEVUE, WA 98007
 PHONE: (425) 274-4444
 FAX: (425) 274-4449

LEGEND

- CLEARING LIMITS
- FILTER FABRIC FENCE
- SHEET FLOW
- EXCAVATING LIMITS

SITE INFORMATION

TAX LOT NUMBER: 2625059001
 SITE ADDRESS: 16245 NE 24TH STREET, BELLEVUE, WA 98008
 ZONING: R-3.5 & R-5
 TOTAL LOT AREA: 38.66 ACRES, 1,683,964 SF
 PROPOSED IMPERVIOUS SURFACE = ± 505 SQ. FT.

CUT & FILL ESTIMATES:
 LEASE AREA: CUT = 28 C.Y., FILL = 19 C.Y.
 UTILITY-POWER/ TELCO/COAX: ±1,150 L.F. BORED CUT = 12 C.Y., FILL = 10.5 C.Y.
 EARTHWORK TOTAL: CUT = 107 C.Y., FILL = 30 C.Y.
 HAUL OFF-SITE: = 69 C.Y.

CRITICAL AREAS:

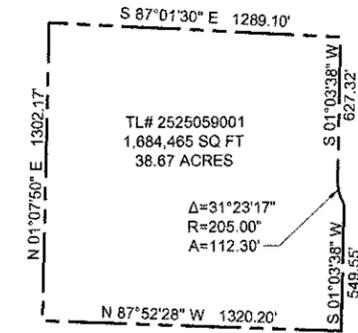
THERE ARE NO CRITICAL AREAS AROUND THIS PROJECT.

SPECIAL NOTE TO CONTRACTOR

ANY SITE DEVELOPMENT OTHER THAN THE CONSTRUCTION OF THE CELLULAR COMMUNICATIONS PROJECT SHALL BE ADDRESSED BY OTHERS. THIS DRAINAGE AND TEMPORARY EROSION AND SEDIMENT CONTROL PLAN ADDRESSES THE CONSTRUCTION WORK AND ACTIVITIES ASSOCIATED WITH THE CELLULAR COMMUNICATIONS PROJECT ONLY.

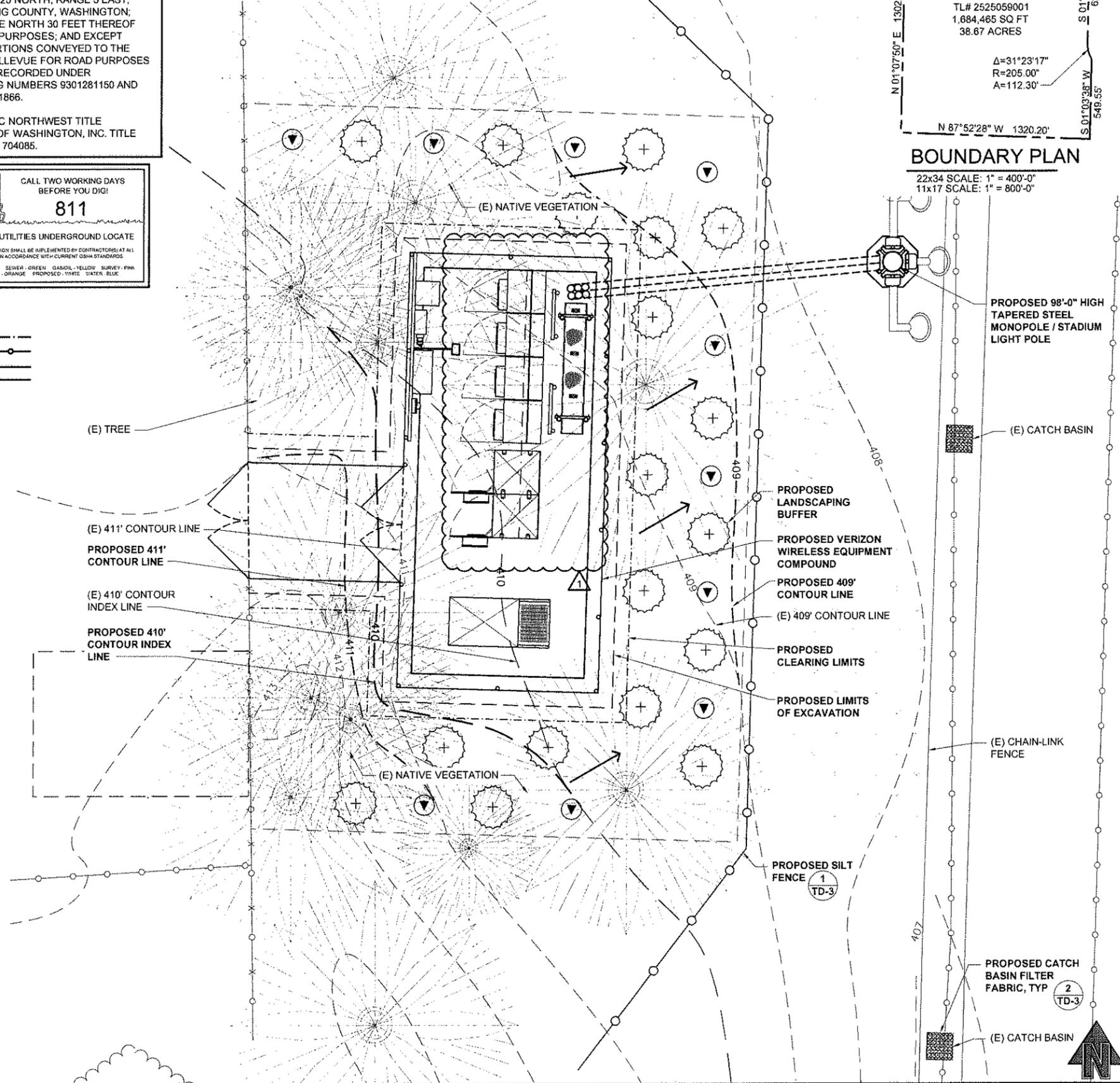
PROJECT SCOPE

TO CONSTRUCT A TELECOMMUNICATION FACILITY WHICH INCLUDES THE FOLLOWING: 14'X30' CEDAR FENCED EQUIPMENT COMPOUND WITH (6) EQUIPMENT CABINETS AND (1) DIESEL GENERATOR ON A 12'X28' CONCRETE SLAB. REMOVAL OF AN EXISTING WOOD STADIUM LIGHT POLE AND REPLACING WITH AN 98'-0" HIGH STEEL MONOPOLE / LIGHT POLE WITH (6) FLUSH MOUNTED ANTENNAS AND EXISTING 82'-6" HIGH STADIUM LIGHTS REMOUNTED TO SCHOOL SPECIFICATIONS. PERMANENT ACCESS TO THE LEASE AREA BY TELECOM STAFF (ESTIMATED TO BE 1 TIME PER MONTH) WILL BE PROVIDED BY AN EXISTING PAVED ROAD TO A PROPOSED GRAVEL ENTRANCE. LITTLE SITE IMPACT IS ANTICIPATED AND THEREFORE MINIMAL T.E.S.C. MEASURES ARE REQUIRED. PROJECT CONTRACTOR SHALL EVALUATE SITE CONDITIONS AS WEATHER CHANGES OCCUR AND THE PROJECT PROGRESSES TO COMPLETION. COMPLETE FAMILIARITY WITH THE NOTES CONTAINED IN THIS PLAN SET IS REQUIRED PRIOR TO BEGINNING WORK, IT IS ANTICIPATED THAT THE MINIMAL DEVELOPED DRAINAGE THAT RESULTS FROM THE PROJECT WILL SAFELY SHEET FLOW AND DISPERSE INTO THE NATIVE VEGETATION THAT SURROUND THE PROJECT SITE. NO IMPACT ON EXISTING CONDITIONS OR ADVERSE AFFECTS TO THE LOCAL SOIL AND / OR SURFACE WATER CONDITIONS IS ANTICIPATED. ALL EARTHWORK SPOILS SHALL BE REMOVED FROM THE SITE. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA).



BOUNDARY PLAN

22x34 SCALE: 1" = 400'-0"
 11x17 SCALE: 1" = 800'-0"



verizon wireless
 We never stop working for you.
 3350 161st AVE SE / MS #221
 BELLEVUE, WA 98008

REALCOM

PLANS PREPARED BY:
CORNERSTONE ENGINEERING, INC.
 16928 WOODINVILLE-REDMOND RD NE, SUITE 210
 WOODINVILLE, WA 98072
 PHONE: (425) 487-1732 FAX: (425) 487-1734
 EMAIL: ce@cornerstone-engr.com

PROJECT INFO:
SEA ARDMORE PARK
 16245 NE 24TH STREET
 BELLEVUE, WA 98008
 KING COUNTY

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY	CHK.
1	03-11-10	REVIEW COMMENTS	AJB	MWO
0	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK.: DRA APV.: MWO

CURRENT ISSUE DATE: **03-17-10**

LICENSURE:

DRAWING INFORMATION:
 DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE: **DRAINAGE PLAN**

DRAWING NUMBER: **TD-1 1**
 CEI JOB NUMBER: 09-56336

DRAINAGE PLAN

22x34 SCALE: 1/4" = 1'-0" | 11x17 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FILTER FABRIC FENCES SHALL BE INSPECTED BY APPLICANT/CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

ALL EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN (ESPCP) MEASURES SHOWN SHALL BE INSTALLED AS PER THE DETAIL DRAWINGS IN THE CITY OF OLYMPIA EROSION CONTROL MANUAL.

TEMPORARY ESPCP MEASURES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY A CITY INSPECTOR BEFORE STARTING GROUND DISTURBING ACTIVITIES.

ESPCP MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT LANDSCAPING HAS BEEN INSTALLED AND A FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A CITY INSPECTOR.

APPROVAL OF THIS EROSION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC) THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED VEGETATION/LANDSCAPING IS ESTABLISHED.

THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/ CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.

THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THE SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS TO ENSURE THAT SEDIMENTS AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.

THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONAL. ALL INSPECTIONS SHALL BE NOTED IN AN INSPECTION LOG WHICH SHALL BE MADE AVAILABLE TO THE CITY INSPECTOR UPON REQUEST.

THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE PER MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.

AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

STANDARD STORMWATER NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA).

2. TEMPORARY EROSION/WATER POLLUTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH SECTION 1-07.15 OF THE STANDARD SPECIFICATIONS AND THE DRAINAGE DESIGN AND EROSION CONTROL MANUAL ("DRAINAGE MANUAL").

3. PROPONENT SHALL COMPLY WITH ALL OTHER PERMITS AND OTHER REQUIREMENTS OF THE GOVERNING AUTHORITY OR AGENCY.

4. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION OR STAKING OF THE SITE.

5. ALL STORM MAINS AND RETENTION/DETENTION AREAS SHALL BE STAKED FOR GRADE AND ALIGNMENT BY AN ENGINEERING OR SURVEY FIRM LICENSED TO PERFORM SUCH WORK.

6. STORM DRAIN PIPE SHALL BE AS SPECIFIED IN THE DRAINAGE MANUAL.

7. SPECIAL STRUCTURES, OIL/WATER SEPARATORS, AND OUTLET CONTROLS SHALL BE INSTALLED PER PLANS AND MANUFACTURERS RECOMMENDATIONS.

8. PROVIDE TRAFFIC CONTROL PLAN(S) AS REQUIRED IN ACCORDANCE WITH MUTCD.

9. CALL UNDERGROUND LOCATE LINE 1-800-424-5555 MINIMUM 48 HOURS PRIOR TO ANY EXCAVATIONS.

10. ALL SURVEYING AND STAKING SHALL BE PERFORMED BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK. THE ENGINEER OR SURVEYOR DIRECTING SUCH WORK SHALL BE LICENSED BY THE STATE OF WASHINGTON.

11. THE MINIMUM STAKING OF STORM SEWER SYSTEMS SHALL BE AS FOLLOWS:

A. STAKE LOCATION OF ALL CATCH BASINS/MANHOLES AND OTHER FIXTURES FOR GRADE AND ALIGNMENT.

B. STAKE LOCATION, SIZE, AND DEPTH OF RETENTION/DETENTION FACILITY IF REQUIRED.

STANDARD STORMWATER NOTES CONTINUED:

C. STAKE FINISHED GRADE OF ALL STORMWATER FEATURES, INCLUDING BUT NOT LIMITED TO CATCH BASIN/MANHOLE RIM ELEVATIONS, OVERFLOW STRUCTURES, WEIRS, AND INVERT ELEVATIONS OF ALL PIPES IN CATCH BASINS, MANHOLES, AND THOSE PIPES THAT DAYLIGHT.

12. PIPE MATERIALS USED FOR STORMWATER CONVEYANCE SHALL BE AS APPROVED BY THE JURISDICTION. PIPE SIZE, SLOPE, COVER, ETC., SHALL BE AS SPECIFIED IN THE DRAINAGE MANUAL.

13. ALL DRIVEWAY CULVERTS SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED ENDS AND SECTIONS TO MATCH THE SIDE SLOPE.

14. IF DRAINAGE OUTLETS (STUB-OUTS) ARE TO BE PROVIDED FOR EACH INDIVIDUAL LOT, THE STUB-OUTS SHALL CONFORM TO THE FOLLOWING:

A. EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET SHALL HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORM WATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTFALL LOCATION.

B. OUTLETS ON EACH LOT SHALL BE LOCATED WITH A FIVE-FOOT-HIGH, 2"x4" STAKE MARKED "STORM" OR "DRAIN." THE STUB-OUT SHALL VISIBLY EXTEND ABOVE SURFACE LEVEL AND BE SECURED TO THE STAKE.

C. PIPE MATERIAL SHALL BE AS APPROVED BY THE JURISDICTION.

D. DRAINAGE EASEMENTS ARE REQUIRED FOR DRAINAGE SYSTEMS DESIGNED TO CONVEY FLOWS THROUGH INDIVIDUAL LOTS.

E. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G., POWER, GAS, TELEPHONE, TELEVISION).

F. ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOME OWNER.

15. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO APPROVED PLANS ON FILE WITH THE JURISDICTION. ANY MATERIAL DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE JURISDICTION. PAGE S - 3

16. A COPY OF THE APPROVED STORM WATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

17. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE JURISDICTION. FOR SITES WHERE GRASS HAS BEEN PLANTED THROUGH HYDROSEEDING, THE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THE GRASS HAS BEEN THOROUGHLY ESTABLISHED, UNLESS OTHERWISE APPROVED BY THE JURISDICTION.

18. ALL BUILDING DOWNSPOUTS ON COMMERCIAL SITES SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM, UNLESS OTHERWISE APPROVED BY THE JURISDICTION.

19. ALL EROSION CONTROL AND STORMWATER FACILITIES SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE DEVELOPMENT PROJECT.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE CURRENT W.S.D.O.T. STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL SHALL APPLY.

21. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND OTHER RELATED OR REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY IN THE JURISDICTION'S RIGHT-OF-WAY. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION.

22. NO FINAL CUT OR FILL SLOPE SHALL EXCEED TWO (2) HORIZONTAL TO ONE (1) VERTICAL WITHOUT STABILIZATION BY ROCKERY OR BY A STRUCTURAL RETAINING WALL.

23. THE PROJECT ENGINEER SHALL VERIFY THE LOCATIONS, WIDTHS, THICKNESSES, AND ELEVATIONS OF ALL EXISTING PAVEMENTS AND STRUCTURES, INCLUDING UTILITIES AND OTHER FRONTAGE IMPROVEMENTS, THAT ARE TO INTERFACE WITH NEW WORK, PROVIDE ALL TRIMMING, CUTTING, SAW CUTTING, GRADING, LEVELING, SLOPING, COATING, AND OTHER WORK, INCLUDING MATERIALS AS NECESSARY TO CAUSE THE INTERFACE WITH EXISTING WORKS TO BE PROPER, WITHOUT CONFLICT, ACCEPTABLE TO THE ENGINEER AND THE JURISDICTION, COMPLETE IN PLACE, AND READY TO USE.

24. COMPACTION OF ALL FILL AREAS SHALL BE PER CURRENT APWA SPECIFICATIONS. FILL SHALL BE PROVIDED IN 6" MAXIMUM LIFTS AND SHALL BE COMPACTED TO 95 PERCENT OF ITS MAXIMUM RELATIVE DENSITY.

STANDARD EROSION CONTROL NOTES

1. FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY FASTENED AT BOTH ENDS TO POST.

2. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).

3. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

4. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

6. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ABOVE NOTES APPLYING.

7. FILTER FABRIC FENCES SHALL NOT BE REMOVED BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

8. FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

9. STOCKPILES SHALL BE STABILIZED (WITH PLASTIC COVERING OR OTHER APPROVED DEVICE) DAILY BETWEEN NOVEMBER 1 AND MARCH 31.

10. IN ANY SEASON, SEDIMENT LEACHING FROM STOCK PILES MUST BE POSITIVELY PREVENTED.

11. TOPSOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR WHEN CONDITIONS EXIST THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.

12. PREVIOUSLY ESTABLISHED GRADES ON THE AREAS TO BE TOPSOILED SHALL BE MAINTAINED ACCORDING TO THE APPROVAL PLAN.

13. MATERIAL SHALL BE 4" TO 6" QUARRY SPALLS AND MAY BE TOP-DRESSED WITH 1" TO 3" ROCK. (STANDARD SPECIFICATIONS).

14. THE ROCK PAD SHALL BE AT LEAST 12 INCHES THICK AND 100 FEET LONG. WIDTH SHALL BE THE FULL WIDTH OF THE VEHICLE INGRESS AND EGRESS AREA. SMALLER PADS MAY BE APPROVED FOR SINGLE-FAMILY RESIDENTIAL AND SMALL COMMERCIAL SITES.

15. ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE PAD.

16. IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE WHEELS, THE WHEELS SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH SILT FENCE.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. TEMPORARY EROSION/SILTATION CONTROL (TESC) MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE WORK (SEE ATTACHED DRAINAGE PLAN). THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.

2. ALL PERSONS ENGAGING IN DEVELOPMENT ACTIVITIES SHALL PREVENT OR MINIMIZE EROSION AND SEDIMENTATION ON-SITE, AND SHALL PROTECT PROPERTIES AND WATER COURSES DOWNSTREAM FROM THE SITE.

3. ALL STREETS ARE TO BE KEPT CLEAR OF DIRT AND DEBRIS. STREETS SHALL BE SWEEPED IMMEDIATELY WHEN DIRT HAS BEEN TRACKED ONTO THE PAVED SURFACES.

4. NONCOMPLIANCE WITH THE EROSION CONTROL REQUIREMENTS, WATER QUALITY REQUIREMENTS AND/OR CLEARING LIMITS MAY RESULT IN REVOCATION OF PROJECT PERMITS, PLAN APPROVAL AND BOND FORECLOSURES.

5. FROM OCTOBER 1 TO MARCH 31 GRADING WILL NOT BE PERMITTED WITHOUT APPROVAL FROM THE DIRECTOR, INCLUSION OF APPROPRIATE NOTES ON THE PLANS, OR APPROVAL OF A WAIVER.

6. FROM APRIL 1 TO SEPTEMBER 30, SOIL SHALL BE EXPOSED FOR MAXIMUM OF 7 DAYS. GROUND COVER BUMPS SHALL BE USED TO STABILIZE THE SOIL. (4" STRAW MULCH).

7. SOIL STOCKPILES SHALL BE STABILIZED WITHIN 24 HOURS. WHEN ACTIVELY WORKING WITH THE SOIL STOCKPILE, STABILIZATION SHALL OCCUR AT THE END OF EACH WORKDAY.

8. SILTATION BARRIERS AND ALL OTHER TESC MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL EVEN GREATER THAN 0.1" RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS.

9. MAINTENANCE AND REPAIR OF TESC FACILITIES AND STRUCTURES SHALL BE CONDUCTED IMMEDIATELY UPON RECOGNITION OF A PROBLEM OR WHEN THE TESC MEASURES BECOME DAMAGED.

10. SEDIMENT DEPOSITS SHALL BE REMOVED FROM ALL TEMPORARY DRAINAGE FACILITIES AND STRUCTURES UPON REACHING A DEPTH OF 8 INCHES.

11. SUFFICIENT TESC BMP MATERIALS AND SUPPLIES TO PROTECT THE ENTIRE SITE SHALL BE STOCKPILED ON-SITE.

12. ALL SITE WORK SHALL COMPLY WITH THESE PLANS AND THE CONDITIONS AND RECOMMENDATIONS OF THE SUPPLEMENTAL GEOTECHNICAL REPORT.



PLANS PREPARED BY:



PROJECT INFO:

SEA ARDMORE PARK

16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

▲	03-11-10	REVIEW COMMENTS	AJB	MWO
▲	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: CHK: APV:

AJB DRA MWO

CURRENT ISSUE DATE:

03-17-10

LICENSE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

DRAINAGE NOTES

DRAWING NUMBER:

TD-2 1

CEI JOB NUMBER: 09-56336

TARGET DRAINAGE NOTES

22x34 SCALE: NOT TO SCALE 11x17 SCALE: NOT TO SCALE

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO MANAGE THIS PROJECT AND COORDINATE WITH THE COUNTY INSPECTOR AND ENGINEER.

INSPECTION AND MONITORING SITE INSPECTIONS SHALL BE DONE BY A PERSON WHO IS KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL. THE PERSON MUST HAVE SKILLS TO FIRST ASSESS THE SITE CONDITIONS AND CONSTRUCTION ACTIVITIES THAT COULD IMPACT THE QUALITY OF STORMWATER, AND SECOND ASSESS THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES USED TO CONTROL THE QUALITY OF STORMWATER DISCHARGES.

WHEN EVER INSPECTION AND / OR MONITORING REVEALS THAT THE BMPS IDENTIFIED IN THE CONSTRUCTION SWPPP ARE INADEQUATE, APPROPRIATE BMPS OR DESIGN CHANGES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.

MAINTAINING ON UPDATED CONSTRUCTION SWPPP: THE CONSTRUCTION SWPPP SHALL BE RETAINED ON-SITE WHENEVER CONSTRUCTION IS UNDERWAY.

ALTHOUGH NOT ANTICIPATED THE SWPPP SHALL BE MODIFIED WHENEVER THERE IS A CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE AT THE CONSTRUCTION SITE THAT HAS, OR COULD HAVE, A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO WATERS OF THE STATE.

THE SWPPP SHALL BE MODIFIED, DURING INSPECTIONS OR INVESTIGATIONS CONDUCTED BY THE OWNER / OPERATOR, OR THE APPLICABLE LOCAL OR STATE REGULATORY AUTHORITY, IT IS DETERMINED THAT THE SWPPP IS INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES FROM THE SITE THE SWPPP SHALL BE MODIFIED AS NECESSARY TO INCLUDE ADDITIONAL OR MODIFIED BMPS DESIGNED TO CORRECT PROBLEMS IDENTIFIED. REVISIONS TO THE SWPPP SHALL BE COMPLETED WITHIN SEVEN DAYS FOLLOWING INSPECTION.

1. ARRANGE AND ATTEND A PRECONSTRUCTION MEETING WITH SNOHOMISH COUNTY SITE INSPECTOR.
2. FLAG OR FENCE CLEARING LIMITS.
3. CALL ONE-CALL UTILITY LOCATE SERVICE PRIOR TO ANY EXCAVATION WORK.
4. CONSTRUCT ROCK CONSTRUCTION ENTRANCE. IF NECESSARY. NOT ANTICIPATED.
5. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.) WHEN, AND IF, NECESSARY.
6. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE W/ TIL SNOHOMISH COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
7. MAINTAIN ACCESS TO OFF-SITE: ROADS AND DRIVEWAYS AT ALL TIMES DURING TILE DURATION OF THE PROJECT.
8. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE SNOHOMISH COUNTY TESC MINIMUM REQUIREMENTS.
9. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
10. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
11. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
12. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPS REMOVED IF APPROPRIATE AFTER ACCEPTANCE BY INSPECTOR.



PLANS PREPARED BY:



PROJECT INFO:

SEA ARDMORE PARK
16245 NE 24TH STREET
BELLEVUE, WA 98008
KING COUNTY

ISSUED FOR:

CONSTRUCTION

REV: DATE: DESCRIPTION: BY: CK:

Δ	03-11-10	REVIEW COMMENTS	AJB	MWO
Δ	02-10-10	ISSUED FOR CONSTRUCTION	AJB	MWO

DRAWN BY: AJB CHK: DRA APV.: MWO

CURRENT ISSUE DATE:

03-17-10

LICENSURE:



DRAWING INFORMATION:

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN WHICH IS RELATED TO NAMED CLIENT IS STRICTLY PROHIBITED.

DRAWING TITLE:

DETAILS & NOTES

DRAWING NUMBER:

TD-3 1

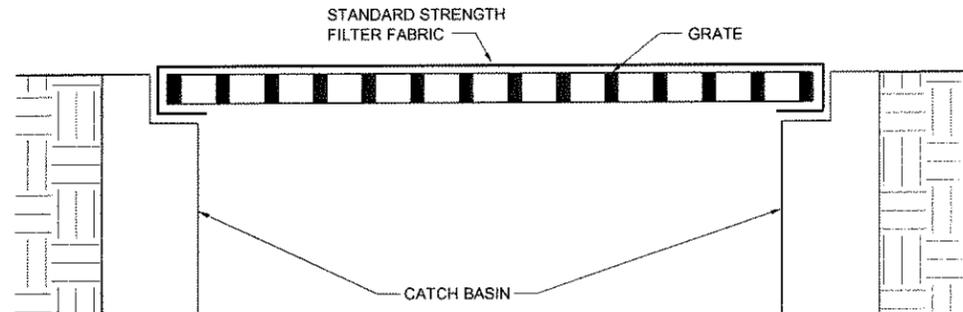
CEJ JOB NUMBER: 09-56336

NOT USED
22x34 SCALE: NTS | 11x17 SCALE: NTS

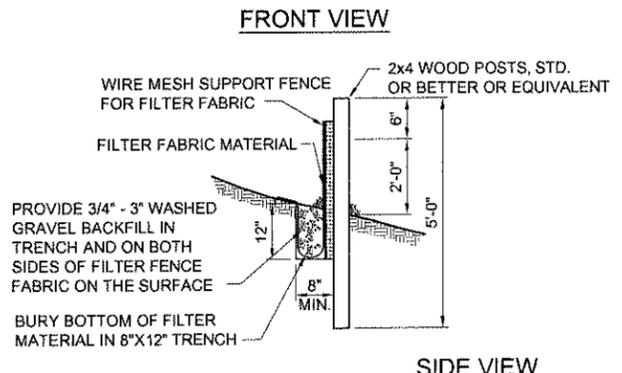
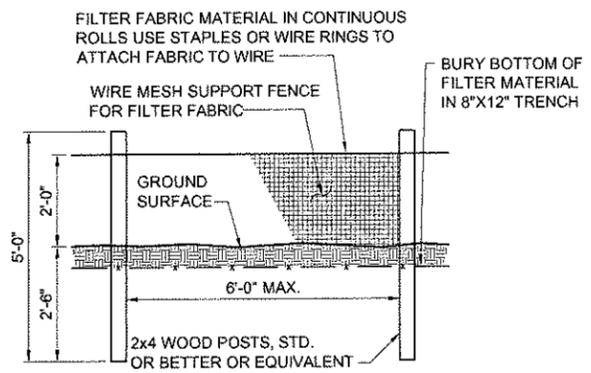
5 SWPPP NOTES
22x34 SCALE: NTS | 11x17 SCALE: NTS

4 CONSTRUCTION SEQUENCE
22x34 SCALE: NTS | 11x17 SCALE: NTS

3



NOTE: ONLY TO BE USED WHERE PONDING OF WATER ABOVE THE CATCH BASIN WILL NOT CAUSE TRAFFIC PROBLEMS AND WHERE OVERFLOW WILL NOT RESULT IN EROSION OF SLOPES.



CATCH BASIN W/ FILTER FABRIC DETAIL
22x34 SCALE: NTS | 11x17 SCALE: NTS

2

SILT FENCE DETAIL
22x34 SCALE: NTS | 11x17 SCALE: NTS

1