



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Chaney Dock

Proposal Address: 11011 SE Lake Road

Proposal Description: The applicant requests a Shoreline Substantial Development Permit for the installation of a fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts. The proposal includes removal of invasive Japanese Knotweed, and installation of native plantings in the shoreline critical area buffer.

File Number: 10-106517-WG

Applicant: Peter Zuvela
Waterfront Construction, Inc.

Decisions Included: Shoreline Substantial Development Permit
(Process II. LUC 20.30R)

Planner: Carol L. Orr, Planner

**State Environmental Policy Act
Threshold Determination:** Determination of Non-Significance

Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Decision: Approval with Conditions

Michael A. Brennan, Director
Development Services Department

By:
Carol V. Helland, Land Use Director

Application Date: March 9, 2010
Notice of Application Publication Date: April 8, 2010
Decision Publication Date: June 10, 2010
Project/SEPA Appeal Deadline: July 1, 2010

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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1. Environmental Checklist
2. Site Plan
3. Mitigation Planting Plan
4. Shoreline Management Substantial Development Form
5. DNS Decision Form

I. Proposal Description

The applicant requests a Shoreline Substantial Development Permit for the construction of a fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts. The proposal includes removal of invasive Japanese Knotweed, and installation of native plantings in the shoreline critical area buffer.

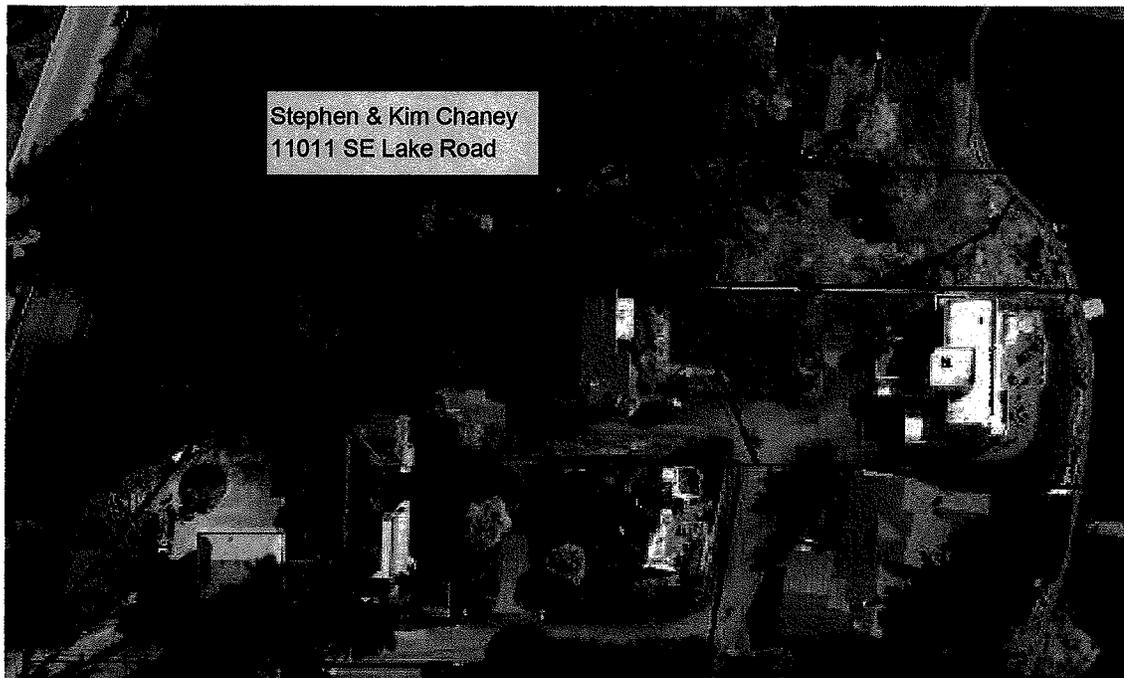
Land Use Code (LUC) 20.25E.040 requires a Shoreline Substantial Development Permit for all development within the Shoreline Overlay District that is not exempt from permits as noted in LUC 20.25E.050. As the proposed dock and lifts are valued at \$60,000, it exceeds the \$5,718 maximum threshold for development that is exempt from a Shoreline Substantial Development Permit.

The standards of the Shoreline Overlay District allow for the installation of one noncommercial residential moorage facility per residential waterfront lot, provided that the applicant demonstrates compliance with the development standards contained in LUC 20.25E.080 and the decision criteria for a Shoreline Substantial Development Permit contained in LUC 20.30R. No critical areas report is required.

II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The property is an irregularly-shaped lot located at 11011 SE Lake Road. The property contains a single-family residence with water access via a 53 foot wide finger of property that slopes down to the water's edge. The property currently contains no existing moorage.



B. Zoning

The property is zoned R-2.5. The property is also in the Shoreline Overlay District and the Critical Areas Overlay District. The proposed use is permitted with a Shoreline Substantial Development Permit.

C. Land Use Context

The property is located in an isolated single family residential neighborhood south of Interstate 90. The neighborhood context is that of a lakeside neighborhood with residential docks at essentially every waterfront property.

D. Critical Areas Functions and Values

i. Shorelines

Shorelines provide a wide variety of functions related to aquatic and riparian habitat, flood control and water quality, economic resources, and recreation, among others. Each function is a product of physical, chemical, and biological processes at work within the overall landscape. In lakes, these processes take place within an integrated system of coupled aquatic and riparian habitats. Hence, it is important to have an ecosystem approach which incorporates an understanding of shoreline functions and values.

III. Consistency with Land Use Code Requirements:

A. Zoning District Dimensional Requirements:

The site is located in the R-2.5 land use zoning district. The proposal is for the construction of a fully grated 87 foot long dock with a 26 foot ell, a boat lift, and two personal watercraft lifts over Lake Washington. Therefore, the general dimensional standards contained in LUC 20.20.010 do not apply. Instead, the development standards pertaining to development in the Shoreline Overlay District contained in LUC 20.25E are applicable. A 12-foot setback from the side property lines is required per LUC 20.25E.080.N.1.b.vii for moorages which exceed 30 inches in height above the Ordinary High Water Mark. The proposed dock, boatlift, and personal watercraft lifts conform to the 12-foot setback.

B. Consistency with Land Use Code Critical Areas Performance Standards:

The City of Bellevue Land Use Code Critical Areas Overlay District (LUC 20.25H) establishes performance standards and procedures that apply to development on any site which contains in whole or in part any portion designated as critical area or critical area buffer. In this instance the performance standards for the construction of new moorage facilities are found in LUC 20.25E for the Shoreline Overlay District.

Shoreline Performance Standards LUC 20.25E.080

The following section includes a discussion of how the proposed development complies with the applicable shoreline performance standards.

LUC 20.25E.080.N.1

1. New or Expanded Residential Moorage Facilities.
 - a. When Allowed. Construction of one noncommercial, residential moorage facility per upland residential waterfront lot or one joint-use moorage facility for two or more adjacent waterfront lots is allowed in accordance with this subsection N. Expansion of

any legally established existing moorage facility is permitted only to the extent the expansion complies with the development standards of subsection N.1.b below, and does not cause the moorage facility to exceed, or further exceed, any of the limitations in subsection N.1.b.

Moorage shall only be permitted within:

- i. Lots created on or after the effective date of the ordinance codified in this section having water frontage meeting or exceeding the minimum lot width required in the applicable land use district;
- ii. Lots created prior to the effective date of the ordinance codified in this section; or
- iii. Nonbuilding tracts platted for the purpose of providing common moorage for a group of contiguous properties.

For the purposes of meeting the requirements of subsection N.1.a.i above, adjoining property owners may combine their water frontage by mutual agreement recorded with the King County Records and Elections Division and the Bellevue City Clerk. Only one moorage facility is permitted pursuant to such a combined frontage agreement, which may connect with the property landward of the ordinary high water mark at only one location.

b. Development Standards.

- i. The only structures permitted in the first 30 feet waterward of the ordinary high water mark are piers and ramps. All floats and ells must be at least 30 feet waterward of the OHWM.
- ii. No skirting is allowed on any structure.
- iii. Surface coverage (includes all overwater portions of the moorage structure):
 - (1) Moorage facilities serving only one residential waterfront lot shall not exceed 480 square feet.
 - (2) Moorage facilities serving two residential waterfront lots shall not exceed 700 square feet.
 - (3) Moorage facilities serving three or more residential waterfront lots shall not exceed 1,000 square feet.
- iv. Location, Width and Length Regulations. Docks with configurations that do not include any or all of the elements below shall be subject to the overall length and square footage limitations of this section. No portion of a dock shall exceed four feet in width, unless allowed in this subsection N.1.b.iv.
 - (1) Piers shall not exceed four feet wide and shall be fully grated.
 - (2) Ramps shall not exceed three feet wide and shall be fully grated.
 - (3) Ells.
 - (a) Ells are allowed only over water with depths of nine feet or greater at the landward end of the ell.

- (b) Ells may be up to six feet wide by 20 feet long with a two-foot-wide strip of grating down the center; or
 - (c) Ells may be up to six feet wide by 26 feet long with grating over the entire ell.
- (4) Floats.
- (a) Floats are allowed only over water with depths of 10 feet or greater at the landward end of the float.
 - (b) Floats may be up to six feet wide by 20 feet long, with a two-foot-wide strip of grating down the center.
- (5) Total Facility Length. In no case may any moorage facility extend more than 150 feet waterward of the ordinary high water mark.

v. Structural Piling Specifications. The first (nearest shore) piling shall be steel, four-inch piling and at least 18 feet waterward of the ordinary high water mark. Piling sets beyond the first are not required to be steel, shall be spaced at least 18 feet apart and shall not be greater than 12 inches in diameter. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ACZA pilings are proposed, the applicant will meet all of the Best Management Practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers. Steel piles will be installed using approved sound attenuation measures.

vi. Shoreline Critical Area and Critical Area Buffer Functions.

- (1) Existing Habitat Features. Existing habitat features (e.g., large and small woody debris, substrate material, etc.) shall be retained and new or expanded moorage facilities placed to avoid disturbance of such features.
- (2) Invasive weeds (e.g., milfoil) may be removed with nonchemical means only.
- (3) Shoreline Planting. In order to mitigate the impacts of new or expanded moorage facilities, the applicant shall plant emergent vegetation (if site-appropriate) and a buffer of vegetation a minimum of 10 feet wide along the entire length of the lot immediately landward of ordinary high water mark. Planting shall consist of native shrubs and trees and, when possible, emergent vegetation. At least five native trees will be included in a planting plan containing one or more evergreen trees and two or more trees that like wet roots (e.g., willow species). Such planting shall be monitored for a period of five years consistent with a monitoring plan approved pursuant to LUC 20.25H.210. This subsection is not intended to prevent reasonable access through the shoreline critical area buffer to the shoreline, or to prevent beach use of the shoreline critical area.

vii. Setback. No private moorage or other structure waterward of the ordinary high water mark, including structures attached thereto, shall be closer than 12 feet to any adjacent property line except when a mutual agreement of adjoining property owners is recorded with the King County Records and Elections Division and the Bellevue City Clerk. Excepted from the requirements of this section are boat lifts or portions of boat lifts which do not exceed 30 inches in height measured from ordinary high water mark.

Finding: No dock currently exists on this site. The proposed moorage facility will be non-commercial and be for the sole use of the property owner. This lot was legally created and was recently revised via a Boundary Line Adjustment. The lot meets or exceeds the minimum lot dimensions required for the R-2.5 zone. The moorage facility is proposed to be located 12 feet from the adjacent property line, as required. The proposed moorage facility extends 87 feet waterward of the Ordinary High Water Mark and creates 467 square feet of overwater coverage. The only structures proposed within the first 30 feet of the Ordinary High Water Mark are piles and a fully grated pier. No skirting is proposed for any portion of this moorage facility. The pier for this moorage facility shall measure 3 feet 10 ½ inches in width. The proposed ell will measure 5 feet 10 ½ inches in width, and 26 feet in length. All portions of the proposed facility are to be grated. Fourteen steel piles are proposed to support the dock, all of which measure less than 12 inches in diameter. Noise attenuation will be required at the installation of all piles due to Bald Eagle Habitat. In order to mitigate the impacts of the expanded moorage facilities, the applicant shall plant a mixture of emergent vegetation and a buffer of vegetation a minimum of 10 feet wide along the entire length of the lot immediately landward of ordinary high water mark. The site contains a mixture of gravel and woody debris along the water's edge, and these shall remain in place. All mitigation plantings will be placed landward of this area. Planting shall consist of native shrubs, trees and, emergent vegetation. The planting plan includes at least one native willow species, and one native evergreen species. The planting shall be monitored for a period of five years consistent with a monitoring plan approved pursuant to LUC 20.25H.210. Installation and maintenance assurance devices will be required to ensure that the mitigation plantings are installed as approved, and maintained to ensure success of the plantings. This requirement is not intended to prevent reasonable access through the shoreline critical area buffer to the shoreline, or to prevent beach use of the shoreline critical area. See conditions of approval in Section X for further details.

LUC 20.25E.080.N.5

5. Boatlift. Installation, repair, maintenance, replacement or retention of one ground-based or floating watercraft lift without a canopy, per adjacent upland property and the placement of no more than two cubic yards of fill to anchor the lift is permitted.

- a. The fill must be clean.
- b. The fill must consist of rock or pre-cast concrete blocks.
- c. The fill must only be used to anchor the watercraft lift.
- d. The minimum amount of fill must be utilized to anchor the watercraft lift.

Finding: Per the submitted plans and information no fill is proposed. Only one ground-based lift is proposed. See conditions of approval in Section X.

IV. Public Notice and Comment

Application Date:	March 9, 2010
Public Notice (500 feet):	April 8, 2010
Minimum Comment Period:	May 10, 2010

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on April 8, 2010. It was mailed to property owners within 500 feet of the project site. The Muckleshoot Tribe requested clarification on the extent of the project, but no comments have been received from the general public as of the writing of this staff report.

V. Summary of Technical Reviews

Clearing and Grading:

The Clearing and Grading Division of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development.

Utilities

The Utilities Department's Development Review Division has reviewed the proposed development for compliance with Bellevue Utilities' codes and standards. The Utilities Development Review staff found no issues with the proposed development but required the proposal to meet the conditions set forth in a letter from Bob Isaac of King County Metro. King County has required notification of work near the Enatai Interceptor sewer line at least two days prior to the beginning of the construction, and to have a representative present on site to witness the locations of the proposed dock piling locations. King County requires the applicant to field locate and mark, with buoys, the location of the sewer line prior to piling construction. Upon completion of the project, the contractor shall provide King County a record drawing of the dock and the dock pilings as they relate to the sewer pipe.

VI. State Environmental Policy Act (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes are expected to mitigate potential environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

A. Earth and Water

The proposed project is to occur on a portion of the site covered by the water of Lake Washington. Overwater moorage is limited to a maximum of 480 square feet by the applicable performance standards. The installation of a boat lift is expected to cause very little temporary disturbance of the lake bed sediments. These sediments are expected to settle back to the bottom within a very short time following the installation of the boat lift. The applicant will disturb some surface soil associated with the installation of native plantings both above and below the ordinary high water mark. The applicant is required to adhere to City of Bellevue Environmental Best Management Practices regarding the use of pesticides, insecticides, and fertilizers to avoid impacts to water resources. See Section X for a related condition of approval.

B. Animals

The project site is on lands partially covered by the water of Lake Washington. The lake is known habitat for numerous fish species, including Chinook (*Oncorhynchus tshawytscha*) and Coho (*O. kisutch*) salmon. Additionally, the site lies within a Bald Eagle Management area.

Boat lifts and moored boats may provide cover, shade, and focal points for exotic predators of juvenile chinook and Coho salmon such as smallmouth bass (*Micropterus dolomieu*) and largemouth bass (*M. salmoides*). Shading from moored boats may reduce the abundance of prey organisms available to juvenile chinook and coho salmon, and to forage fish of bull trout (*Salvelinus confluentus*) by reducing aquatic vegetation and phytoplankton abundance. Any reduction in aquatic vegetation may also reduce complex refuge habitat. The temporary turbidity associated with construction may reduce water quality to the detriment of chinook and coho salmon, bull trout, and forage fish of bull trout. See Section X for related conditions of approval.

C. Plants

The proposed project is not expected to remove or modify any vegetation. The applicant is required to mitigate for the installation of the new dock, boat lift and personal watercraft lifts by planting native plant species to the beach area. The mixture of gravel and woody debris along the water's edge shall remain in place, and the large remaining cottonwood (*Populus trichocarpa*) shall remain on site. The mitigation plantings will be placed landward of the gravel area. See Section X for related conditions of approval.

D. Noise

The proposed project is not expected to generate any noise disturbance except that associated with construction and watercraft use. The site is adjacent to single-family residences whose residents are most sensitive to disturbance from noise during evening, late night and weekend hours when they are likely to be at home. Construction noise will be limited by the City's Noise Ordinance (Chapter 9.18 BCC) which regulates construction hours and noise levels. See Section X for a related condition of approval.

VII. Changes to proposal as a result of City review

Changes to the proposal as a result of City review include the addition of conditions of approval associated with the shoreline plantings and specification of fill material required to anchor the boatlift to the lake bed.

VIII. Decision Criteria

A. Shoreline Substantial Development Permit - General Criteria LUC 20.30R.155

The Director of Development Services may approve or approve with modifications if:

1. The applicant has carried the burden of proof and produced evidence sufficient to support the conclusion that the application merits approval or approval with modifications; and

Finding: The attached site plan along with the modifications enumerated in the conditions of approval demonstrate that the applicant has complied with the applicable

performance standards required to merit approval with modifications of the Shoreline Substantial Development Permit.

2. The applicant has demonstrated that the proposal complies with the applicable decision criteria of the Bellevue City Code; and

Finding: As discussed in this staff report the applicant has demonstrated compliance with the applicable decision criteria.

3. The applicant has demonstrated that the proposal is consistent with the policies and procedures of the Shoreline Management Act and the provisions of Chapter 173-14 WAC and the Master Program.

Finding: As discussed in this staff report, the applicant has demonstrated that the proposal is consistent with the policies and procedures of the Shoreline Management Act and Bellevue's Shoreline Master Program.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of Development Services does hereby **approve with conditions** the proposal to construct a fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts in Lake Washington at 11011 SE Lake Road.

Note- Expiration of Approval: In accordance with LUC 20.30R.150 a Shoreline Substantial Development Permit automatically expires and is void if the applicant fails to file for a Building Permit or other necessary development permits within two years of the effective date of the approval. See Section X for related condition of approval.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Land Use Code- BCC 20.25H	Carol L. Orr, 425-452-2896
Noise Control- BCC 9.18	Carol L. Orr, 425-452-2896
Utilities – BCC Title 24	Mark Frazier, 425-452-2022
Clearing and Grading Code- BCC 23.76	Janney Gwo, 425-452-6190

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

1. Mitigation Planting and Monitoring: Shoreline mitigation planting shall be undertaken within the 25 foot shoreline critical area buffer to mitigate for the impacts associated with the construction of a new fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts. The mitigation planting shall, at a minimum contain the plants and quantities specified in the approved mitigation planting

plans as prepared by Waterfront Construction and submitted to the City of Bellevue on 5/21/2010. The mitigation plantings shall be monitored for a period of five years, consistent with a monitoring plan approved pursuant to LUC 20.25H.210.

Authority: Land Use Code 20.25E.080.N.1.b.vi(3)
Reviewer: Carol L. Orr, Development Services Department

2. Assignment of Savings Security Device – Landscape Installation: To ensure proper attention is given to the mitigation plantings, an assignment Savings or bond financial security device for the landscape installation equal to 150% of the value of the labor and materials required to install the approved mitigation plantings. This device shall be submitted prior to the issuance of the Building permit in accordance with LUC 20.40.490.

Authority: Land Use Code 20.40.490
Reviewer: Carol L. Orr, Development Services Department

3. Assignment of Savings Security Device – Landscape Maintenance: To ensure a proper maintenance schedule is followed after the mitigation plantings have been installed, an assignment of savings or bond financial security device for landscape maintenance equal to 20% of the value of the labor and materials required to install the approved mitigation plantings. This device shall be submitted prior to the release of the landscape installation device in accordance with LUC 20.40.490.

Authority: Land Use Code 20.40.490
Reviewer: Carol L. Orr, Development Services Department

4. Pesticides, Insecticides, and Fertilizers: Any use of pesticides, insecticides, and fertilizers shall be in accordance with the City of Bellevue's "Environmental Best Management Practices".

Authority: Land Use Code 20.25H.220.H
Reviewer: Carol L. Orr, Development Services Department

5. In-Water Work Window: To mitigate adverse impacts to the fisheries resources, in-water construction shall occur during the period of July 16th through September 30th, unless otherwise determined by the Hydraulics Project Approval issued by the Washington State Department of Fish and Wildlife.

Authority: Land Use Code 20.25H.160, Land Use Code 20.25E.060
Reviewer: Carol L. Orr, Development Services Department

6. Bald Eagle Work Window: To mitigate adverse impacts to the habitat for Bald Eagle, noise should be attenuated during pile driving. Vibratory pile driving must be used from January 1 through August 15:

Authority: Land Use Code 20.25H.160, Land Use Code 20.25E.060
Reviewer: Carol L. Orr, Development Services Department

7. Noise Control: Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City

Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18
Reviewer: Carol L. Orr, Development Services Department

8. Obtain All Other Applicable State and/or Federal Permits: Before work can be allowed to proceed, all required federal and state permits and approvals must be received by the applicant prior to the commencement of any work. A copy of the approved Section 10 permit issued by the Army Corps of Engineer and the approved Hydraulic Project Approval (HPA) issued by the Washington State Department of Fish and Wildlife shall be submitted to the City of Bellevue, prior to construction.

Authority: Land Use Code 20.25E.080.B.1
Reviewer: Carol L. Orr, Development Services Department

9. Building Permit Required: Approval of this Shoreline Substantial Development Permit does not constitute an approval of a building permit. Application for a building permit must be submitted and approved. Plans submitted as part of the building permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30R.170
Reviewer: Carol L. Orr, Development Services Department

ENVIRONMENTAL CHECKLIST

TO BE COMPLETED BY APPLICANT

EVALUATION FOR AGENCY USE ONLY

A. BACKGROUND

1. Name of proposed project, if applicable: Stephen Chaney New Pier

2. Name of applicant: Stephen Chaney

Acreeage of Site: 1.2 acres
Number of dwellings demo'd: 0
Number of dwellings constructed : 0
SF of buildings demo'd: 0
SF of buildings constructed: 0
Quantity of earth movement: 0
Proposed Land Use: Construction of a private dock for a single family residence
Design Features: Dock will be fully grated and meets all COB dimensional requirements and includes shoreline plantings.

3. Address and phone number of applicant and contact person:

Applicant: 11011 SE Lake Road, Bellevue, WA 98004
Contact Person: Peter Zuvela; Waterfront Construction, Inc. 205 NE Northlake Way, Suite 230, Seattle, WA 98105 (206) 548-9800

4. Date checklist prepared: March 3, 2010

5. Agency requesting checklist: City of Bellevue

6. Proposed timing or schedule (including phasing, if applicable): Upon issuance of permits and within applicable work windows. No phasing is proposed.

Bald Eagle and Salmon work windows apply

7. Do you have any plans for future additions, expansion, or further activity related to or connected with the proposal? If yes, explain.

None at this time.

Bald Eagle Management Area

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

None prepared.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

Not known.

10. List any government approvals or permits that will be needed for your proposal, if known.

Bellevue - SDP & SEPA Determination; Building Permit
WDFW - HPA
US Army Corps of Engineers - RGP 3 for new piers in fresh waters

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description).

Install a private use residential pier and boatlift at parcel #082405-9319. Pier will be fully grated and designed to meet Bellevue's size and dimension restrictions.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, section, township and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate

Received
MAR 09 2010
Permit Processing

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maps or detailed plans submitted with any permit applications related to this checklist.

Address: 11011 SE Lake Road, Bellevue, WA 98004

Quarter Section: SE Section: 8 Township: 24N Range: 05E

Parcel #: 082405-9319

**Legal Description: PCL A BELLEVUE BLA #09-113640 LW REC #
20091009900006 SD BLA BEING LOT C BELLEVUE BLA #94-4759 REC
#9511219004 TGW W175 FT OF E 485 FT LY S OF NTHAN BEEMAN CO RD
ALL IN GL 5 LESS ST HWY TGW SH LDS ADJ**

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site (circle one): Flat, rolling, **hilly**, steep slopes, mountainous, other _____.

b. What is the steepest slope on the site (approximate percent slope)?

Approximately 30%

c. What general types of soils are found on the site (for example: clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Most of the site is vegetated and has soil typical to the area: clay, peat, etc.

Soil type EwC: Everett - Alderwood: gravelly, sandy loams

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None known.

e. Describe the purpose, type and approximate quantities of any filling or grading proposed. Indicate source of fill.

None proposed.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No clearing or grading is proposed.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

The project will not increase the impervious surface of the site.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

None needed; none proposed.

Temporary erosion and sedimentation controls will be required prior to and during all work per BCC.23.76

2. Air

a. What types of emissions to the air would result from the proposal (i.e.: dust, automobile odors, industrial wood smoke) during construction and when the project is completed? If any, describe and give approximate quantities if known.

During construction the barge mounted crane would create the only emissions. The completed project will not create any emissions.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None known.

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- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

None needed; none proposed.

3. Water

- a. Surface

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

Site is located on Lake Washington which flows into the Ship Canal and out into the Puget Sound.

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

Yes. The project will take place over the water. Piles will be driven into the lake bed and the pier sections will be attached to the pile caps. See attached plans for details.

All proposed piers are epoxy coated steel.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No filling or dredging are proposed with this project.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose and approximate quantities if known.

No.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

Project is located on Lake Washington.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No discharge of waste materials will take place.

- b. Ground

- 1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose and approximate quantities if known.

No.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: domestic sewage; industrial, containing the following chemicals..., agricultural: etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None; N/A.

- c. Water Runoff (including storm water):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

The proposed work will not affect the natural flow of rainwater into the lake.

Native plantings along the waters edge will slow the flow of run off and encourage absorption.

2) Could waste materials enter ground or surface waters? If so, generally describe.

No.

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: **alder, maple**, aspen, other, **Oak, Plum, Cherry**
- evergreen tree: **fir, cedar, pine**, other, **Madrona**
- shrubs
- grass**
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, mil foil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

No plants will be removed as a result of the proposed work. Permit addresses the removal of Japanese knotweed

c. List threatened or endangered species known to be on or near the site.

None known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any.

A mitigation planting plan is proposed and included in the drawings.

5. Animals

a. Circle any birds and animals which has been observed on or near the site or are known to be on or near the site:

Birds: **hawk, heron, eagle, songbirds**, other: owls, woodpeckers, doves, jays

Mammals: deer, bear, elk, **beaver**, other: coyote, racoon, chipmunk, squirrel, rabbit, squirrel, and other

Fish: **bass, salmon, trout**, herring, shellfish, other: small mammals such as voles, shrews

b. List any threatened or endangered species known to be on or near the site. and stoats.

Chinook Salmon.

c. Is the site part of a migration route? If so, explain.

According to WDFW, this site is in a salmon spawning area. This site is also within an Eagle Habitat Management Area

d. Proposed measures to preserve or enhance wildlife, if any:

In-water work will only take place within the Corps, NMFS, USFWS and WDFW approved work windows.

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

None proposed.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No.

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: **None proposed. N/A.**

10-106517-WG
CLOrr
4/1/10

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No.

1) Describe special emergency services that might be required.

In event of a spill from the construction barge, Coast Guard, Environmental Services, and DOE will be notified, with appropriate responses. Spill response procedures are posted on the construction barges at all times.

2) Proposed measures to reduce or control environmental health hazards, if any:

Spill response procedures are posted on the construction barge at all times.

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, aircraft, other)?

The project is located about 500 feet from I-90.

2) What types and levels of noise could be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

No additional noise will be created after the construction of the pier.

3) Proposed measures to reduce or control noise impacts, if any:

None needed, none proposed.

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties?

The project site and adjacent properties are all single family residences.

b. Has the site been used for agriculture? If so, describe.

No.

c. Describe any structures on the site.

The site contains one single family residence. A proposal to add a detached garage structure is currently under review.

d. Will any structure be demolished? If so, what?

No.

e. What is the current zoning classification of the site?

R 2.5.

f. What is the current comprehensive plan designation of the site?

Unknown.

Single Family - Medium Density

g. If applicable, what is the current shoreline master program designation of the site?

Not known.

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

Not known.

Shorelines and Habitats for Species of Local Importance are both considered critical areas by the Land Use Code.

10-106517-WG
CLOrr
4/1/10

- i. Approximately how many people would reside or work in the completed project?

None.

- j. Approximately how many people would the completed project displace?

None.

- k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A.

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

N/A.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle or low-income housing.

N/A.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle or low-income housing.

N/A.

- c. Proposed measures to reduce or control housing impacts, if any:

None needed, none proposed.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas, what is the principal exterior building material(s) proposed?

Deck surface will be 2' 6" above the line of Ordinary High Water.

- b. What views in the immediate vicinity would be altered or obstructed?

None, the pier is low to the water.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

None needed, none proposed.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

None, N/A.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No.

- c. What existing off-site sources of light or glare may affect your proposal?

None.

- d. Proposed measures to reduce or control light and glare impacts, if any:

None needed, none proposed.

12. Recreation

a. What designated and informal recreational opportunities are in the immediate vicinity?

Fishing and recreational boating are available on the lake; the property is about one mile from Bellefields Nature Park. (aka Mercer Slough) Enatai Beach park and Newport Shores Marina are also nearby.

b. Would the proposed project displace any existing recreational uses? If so, describe.

No.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None needed, none proposed.

13. Historic and Cultural Preservation

a. Are there any places or objects listed on, or proposed for, national, state or local preservation registers known to be on or next to the site? If so, generally describe.

None known.

b. Generally describe any landmarks or evidence of historic, archaeological, scientific or cultural importance known to be on or next to the site.

N/A.

c. Proposed measures to reduce or control impacts, if any:

None needed, none proposed.

14. Transportation

a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any:

Site is accessed by SE Lake Road. No change in access is proposed.

b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

No; Not known.

c. How many parking spaces would the completed project have? How many would the project eliminate?

N/A.

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). **A new driveway to this parcel is being proposed under the building permit to construct a detached garage structure on site. Site is currently accessed via an easement on a neighboring property.**

No.

e. Will the project use (or occur in the immediate vicinity of) water, rail or air transportation? If so, generally describe.

No.

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

None.

g. Proposed measures to reduce or control transportation impacts, if any:

None needed, none proposed.

15. Public Services

a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

No.

b. Proposed measures to reduce or control direct impacts on public services, if any.

None needed, none proposed.

16. Utilities

a. Circle utilities currently available at the site: **electricity, natural gas, water, refuse service, telephone, sanitary sewer**, septic system, other.

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

No new utilities are proposed under this application.

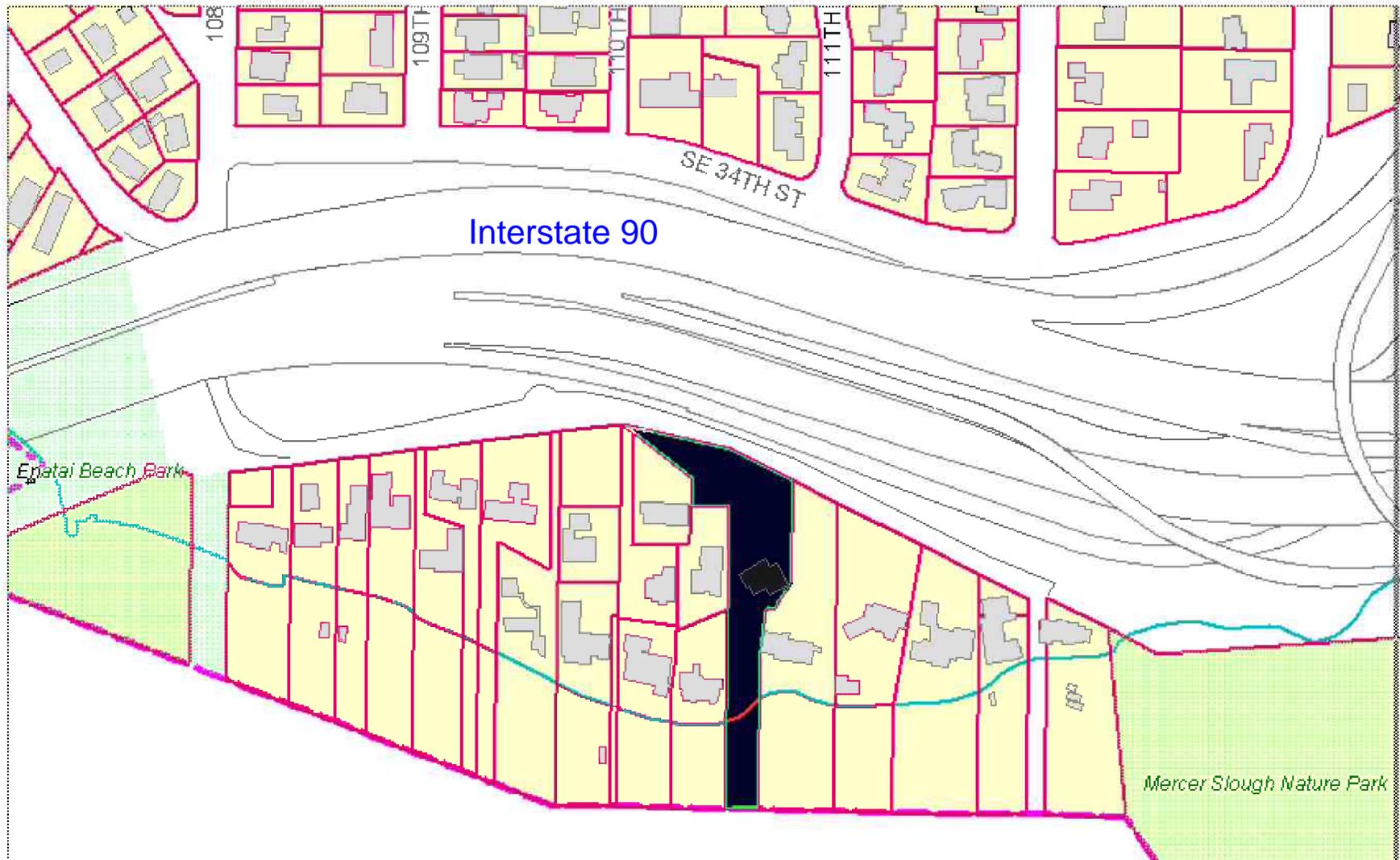
C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

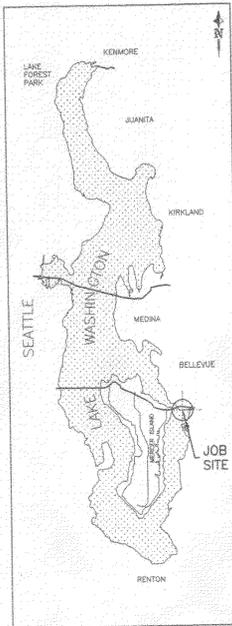
Signature: Peter Zuvda

Date submitted: _____

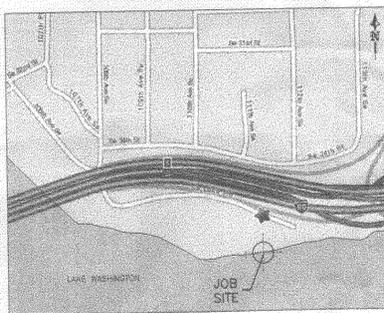
Vicinity Map



10-106517-WG
Chaney Dock
11011 SE Lake Road



AREA MAP/NO SCALE



VICINITY MAP/NO SCALE

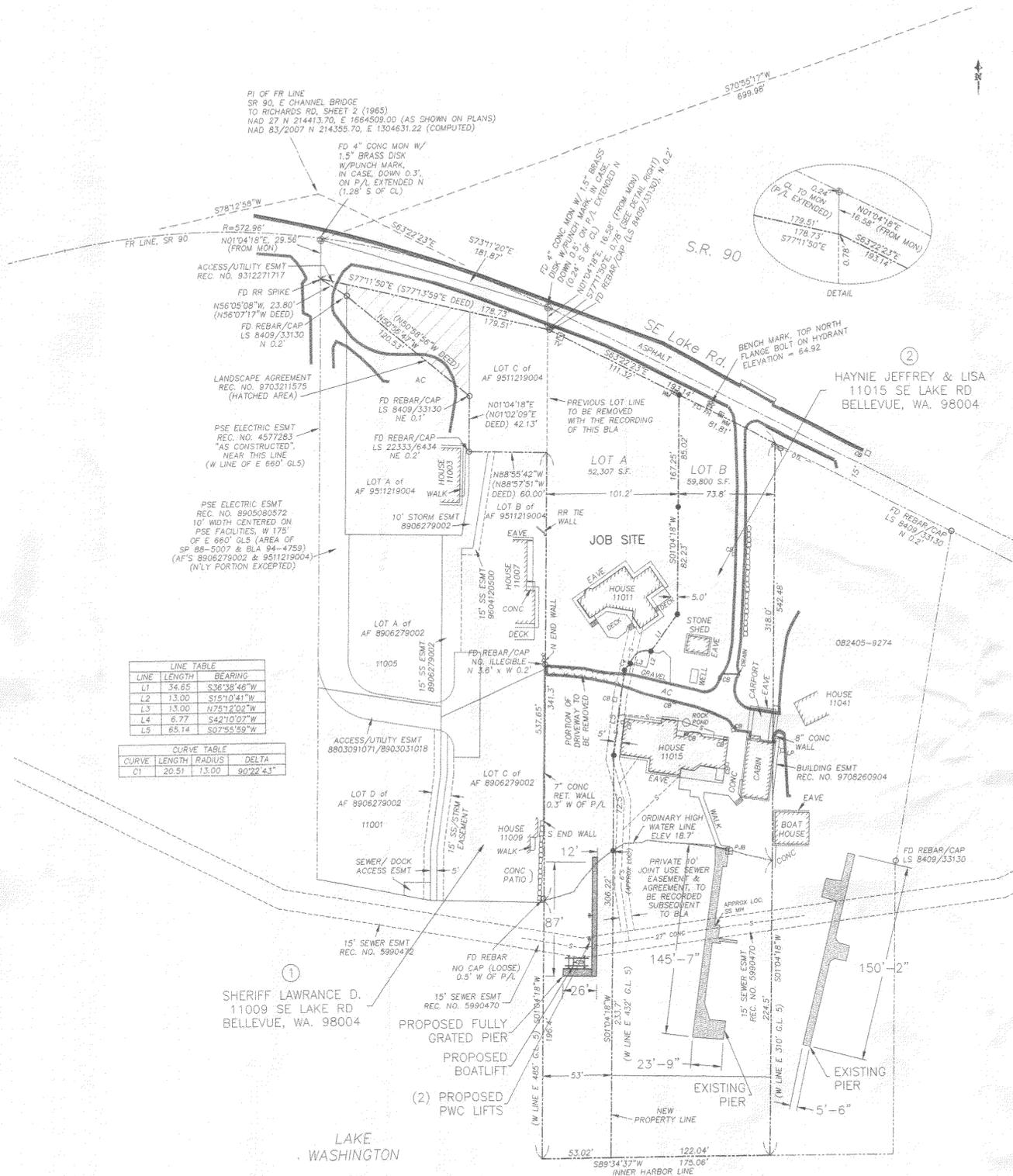
LEGAL DESCRIPTION

1/4 SEC: SE-8-24-5 LAT: 47.578675
 TAXLOT #: 082405 9086 LONG: -122.192991

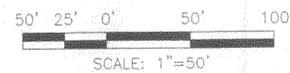
PCL A BELLEVUE BLA #09-113640 LW REC #20091009900006 SD BLA BEING LOT C BELLEVUE BLA #94-4759 REC# 9511219004 TGW W 175 FT OF E 485 FT LY S OF NATHAN BEEMAN CO RD ALL IN GL-5 LESS ST HWY TGW SH LDS ADJ

ADJACENT OWNERS:

- ① SHERIFF LAWRENCE D.
11009 SE LAKE RD
BELLEVUE, WA. 98004
- ② HAYNIE JEFFREY & LISA
11015 SE LAKE RD
BELLEVUE, WA. 98004



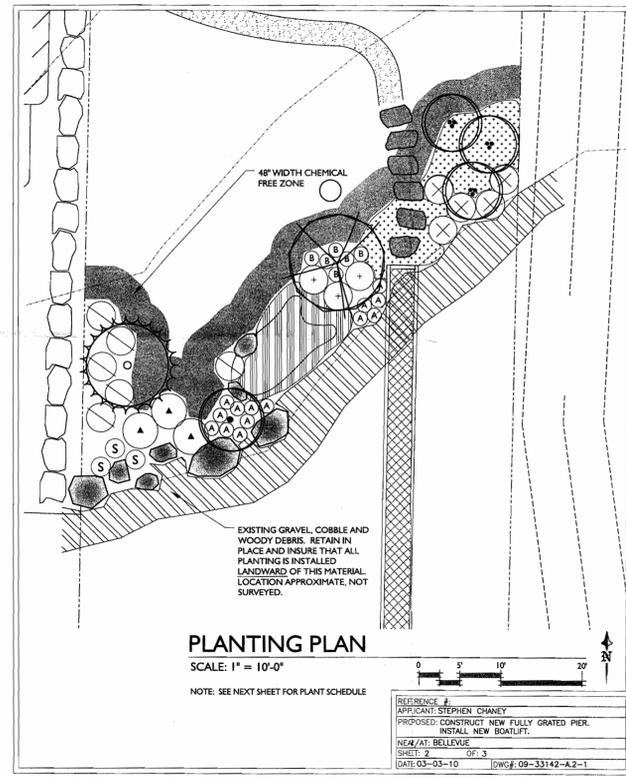
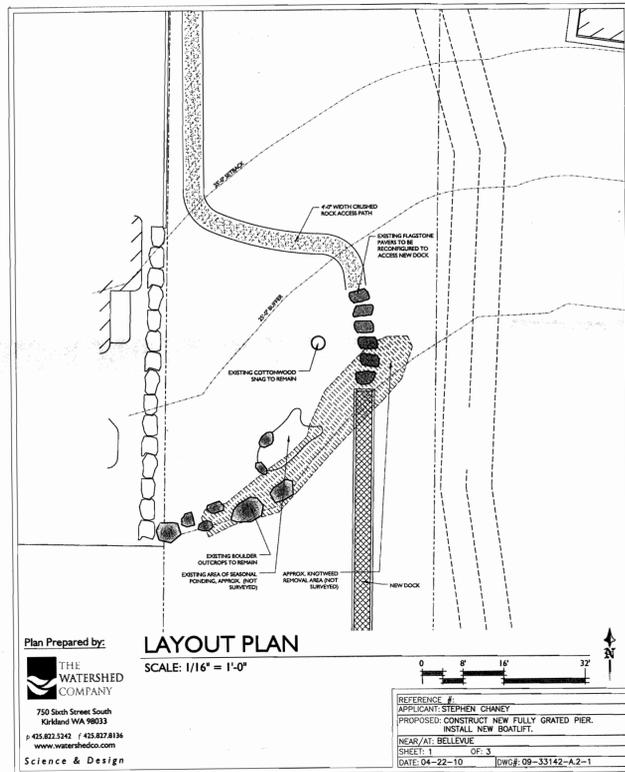
PLOT PLAN



REVISED
4-23-10

PROJECT DESIGNED BY:
Waterfront Construction Inc.
 THIS DOCUMENT IS PROPRIETARY PROPERTY OF WATERFRONT CONSTRUCTION INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WATERFRONT CONSTRUCTION INC.

APPLICANT: STEPHEN CHANEY MAILING ADDRESS: 11011 SE LAKE RD BELLEVUE, WA. 98004 JOBSITE ADDRESS: 11011 SE LAKE RD BELLEVUE, WA. 98004	IN: LAKE WASHINGTON AT: BELLEVUE PAGE NUMBER: 1 OF 3 DATE: 3-8-10	PROPOSED: CONSTRUCT NEW FULLY GRATED PIER, INSTALL NEW BOATLIFT & (2) PWC LIFTS PURPOSE: PROVIDE PRIVATE MOORAGE PROJECT NAME: CHANEY DATUM: OHWL=18.7'
DRAWN BY: ALAN CHOI CHECKED BY: PETER ZUVELA APPLICATION#:	DRAWING NUMBER: 09-33142-D-1-1	



SHORELINE PLANT SCHEDULE

SYMBOL	NAME	SIZE	QTY.	REMARKS
TREES				
<small>NOTE: ALL TREES MIN. 1 1/2\"/> </small>				
(S)	BETULA Papyrifera PAPER BIRCH	1.5\"/>	1	WELL BRANCHED, SINGLE OR MULTISTEM 9\"/>
(O)	FRAXINUS latifolia OREGON ASH	1.5\"/>	1	VIGOROUS, BUT NOT POT-BOUND 9\"/>
(X)	SALIX sitchensis SITKA WILLOW	2 GAL.	3	VIGOROUS, BUT NOT POT-BOUND 9\"/>
(A)	Thuja plicata WESTERN RED CEDAR	MIN. 5 GAL.	1	FULL AND WELL BRANCHED 9\"/>
SHRUBS				
(+)	ACER circinatum VINE MAPLE	5 GAL.	3	ALL SHRUBS FULL & WELL BRANCHED, & INSTALL AT 48 O.C. AVERAGE SPACING
(*)	CORNUS sericea RED-OSIER DOGWOOD	2 GAL.	6	
(*)	LONGICERA FLYCATCHER TWINBERRY	2 GAL.	3	
(*)	PHYSCOCARPUS CAPTATUS NINEBARK	2 GAL.	5	
(*)	ROSA NUTKANENSIS NOOTKA ROSE	2 GAL.	3	
FERNS				
(A)	ATHERLEUM FELD-FEMINA LADY FERN	1 GAL.	14	ALL FERNS FULL & VIGOROUS, & 24\"/>
(B)	BLECHNIDUM SPICANT DEER FERN	1 GAL.	6	24\"/>
GROUNDCOVER				
(S)	ASARUM CAUDATUM YIELD GINGER	2.5\"/>	36	24\"/>
EMERGENTS				
(S)	CAREX OBNILIPHA SLOUGH SEDGE	10 CU. IN. POTS	36	12\"/>
(S)	JUNCUS ENSPLOLUS DAGGER LEAF RUSH	10 CU. IN. POTS	36	12\"/>
(S)	IRIS TENAX WESTERN IRIS	10 CU. IN. POTS	36	12\"/>
(S)	SCRIPUS MICROCARPUS SMALL FRUITED BULRUSH	10 CU. IN. POTS	36	12\"/>
(S)	SCRIPUS ACUTUS HARDSTEM BULRUSH	10 CU. IN. POTS	36	12\"/>

IMPLEMENTATION SEQUENCE

- Native plant installation shall occur during frost-free periods only.
- Remove invasive weeds per notes on this sheet.
- Before final grading is completed by the general contractor, the landscape contractor should inspect the site to insure that soils, surface and grades are suitable for planting. At that time, assess soil conditions and if necessary provide amendment in planting areas such that there is a minimum of 20% organic material.
- Locate all existing utilities within the limit of work. The contractor is responsible for any utility damage as a result of the landscape construction.
- Loosen any compacted soils in the planting area.
- Amend soil as needed per #3.
- Insure that all finish grades are 1/2\"/>
- Landscape plant material per plan for inspection by the Landscape Architect. Plant substitutions will NOT be allowed without the approval of the Landscape Architect.
- Install plants per planting details.
- Water each plant thoroughly to remove air pockets.
- Install 4\"/>
- Review or install on-site irrigation system as needed to insure that it is capable of delivering 2\"/>
- One year after initial installation, apply organic, slow-release fertilizer such as Osmocote or Fertec Blend 4-4-4 to each plant outside of Lake Washington CHWPM mark only.

The landscape contractor shall maintain all plant material until final inspection and approval by the Owner or Owner's representative. All planting and workmanship shall be guaranteed for one year following final owner acceptance.

Plan Prepared by:
THE WATERSHED COMPANY
 730 Sixth Street, South
 Kirkland, WA 98033
 P: 425.823.3242 F: 425.827.8134
 www.watershedco.com
 Science & Design

LAYOUT PLAN
 SCALE: 1/16" = 1'-0"

REFERENCE #:
 APPLICANT: STEPHEN CHANEY
 PROPOSED: CONSTRUCT NEW FULLY GRATED PIER,
 INSTALL NEW BOATLIFT.
 NEAR/AT: BELLEVUE
 SHEET: 1 OF 3
 DATE: 04-22-10 DWG#: 09-33142-A.2-1

PLANTING PLAN
 SCALE: 1" = 10'-0"

NOTE: SEE NEXT SHEET FOR PLANT SCHEDULE

REFERENCE #:
 APPLICANT: STEPHEN CHANEY
 PROPOSED: CONSTRUCT NEW FULLY GRATED PIER,
 INSTALL NEW BOATLIFT.
 NEAR/AT: BELLEVUE
 SHEET: 2 OF 3
 DATE: 03-03-10 DWG#: 09-33142-A.2-1

IN: LAKE WASHINGTON
 AT: BELLEVUE
 PAGE NUMBER: 3 OF 3
 DATE: 3-8-10

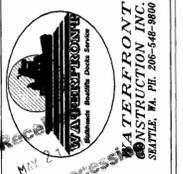
APPLICANT: STEPHEN CHANEY
 MAILING ADDRESS: 11011 SE LAKE RD
 BELLEVUE, WA, 98004
 JOBSITE ADDRESS: 11011 SE LAKE RD
 BELLEVUE, WA, 98004

PROPOSED: CONSTRUCT NEW FULLY GRATED PIER,
 INSTALL NEW BOATLIFT & (2) PWC LIFTS.
 PURPOSE: PROVIDE PRIVATE MOORAGE
 PROJECT NAME: CHANEY
 DATUM: OHWL=18.7

DRAWN BY: ALAN CHOI
 CHECKED BY: PETER ZUVELA
 APPLICATION #:
 DRAWING NUMBER: 09-33142-D.3-1

REVISED
 5-20-10

PROJECT DESIGNED BY:
Waterfront Construction Inc.
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City of Bellevue
 Department of Planning & Community Development
 P.O. Box 90012, Bellevue, WA 98009-9012
 (425) 452-6864 Fax (425) 452-5225

**Shoreline Management Act of 1971
 Permit for Shoreline Management Substantial
 Development
 Conditional Use and/or Variance**

Application No. 10-106517-WG

Date Received 3/09/2010

Approved / Date 6/10/2010
 Denied / Date _____

Type of Action:

- Substantial Development Permit
- Conditional Use Permit
- Variance Permit

Pursuant to Chapter 90.58 RCW, a permit is hereby **granted**/denied to: **Stephen Chaney**

to undertake the following development:

Construct a fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts. The proposal includes removal of invasive Japanese Knotweed, and installation of native plantings in the shoreline critical area buffer.

upon the following property: 11011 SE Lake Road

within Lake Washington

and/or its associated wetlands. The project will be located within Shorelines of Statewide Significance (RCW 90.58.030). The project will be located within a Shoreline Overlay District designation. The following master program provisions are applicable to this development:

- Land Use Code(LUC) Section 20.25E.080(B)General Regulations Applicable to all Land Use Districts & Activities;
- LUC Section 20.25E.080 (N) Moorage Regulations;
- LUC Section 20.30R.155 Shoreline Substantial Development Permit; and

Development pursuant to this permit shall be undertaken in accordance with the following terms and conditions:

Conditions of Approval

The following conditions are imposed under authority referenced:

1. Mitigation Planting and Monitoring: Shoreline mitigation planting shall be undertaken within the 25 foot shoreline critical area buffer to mitigate for the impacts associated with the construction of a new fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts. The mitigation planting shall, at a minimum contain the plants and quantities specified in the approved mitigation planting plans as prepared by Waterfront Construction and submitted to the City of Bellevue on 5/21/2010. The mitigation plantings shall be monitored for a period of five years, consistent with a monitoring plan approved pursuant to LUC 20.25H.210.

Authority: Land Use Code 20.25E.080.N.1.b.vi(3)
 Reviewer: Carol L. Orr, Development Services Department

2. Assignment of Savings Security Device – Landscape Installation: To ensure proper attention is given to the mitigation plantings, an assignment Savings or bond financial security device for the landscape installation equal to 150% of the value of the labor and materials required to install the approved mitigation plantings. This device shall be submitted prior to the issuance of the Building permit in accordance with LUC 20.40.490.

Authority: Land Use Code 20.40.490
 Reviewer: Carol L. Orr, Development Services Department

3. Assignment of Savings Security Device – Landscape Maintenance: To ensure a proper maintenance schedule is followed after the mitigation plantings have been installed, an assignment of savings or bond financial security device for landscape maintenance equal to 20% of the value of the labor and materials required to install the approved mitigation plantings. This device shall be submitted prior to the release of the landscape installation device in accordance with LUC 20.40.490.

Authority: Land Use Code 20.40.490

Reviewer: Carol L. Orr, Development Services Department

4. Pesticides, Insecticides, and Fertilizers: Any use of pesticides, insecticides, and fertilizers shall be in accordance with the City of Bellevue's "Environmental Best Management Practices".

Authority: Land Use Code 20.25H.220.H

Reviewer: Carol L. Orr, Development Services Department

5. In-Water Work Window: To mitigate adverse impacts to the fisheries resources, in-water construction shall occur during the period of July 16th through September 30th, unless otherwise determined by the Hydraulics Project Approval issued by the Washington State Department of Fish and Wildlife.

Authority: Land Use Code 20.25H.160, Land Use Code 20.25E.060

Reviewer: Carol L. Orr, Development Services Department

6. Bald Eagle Work Window: To mitigate adverse impacts to the habitat for Bald Eagle, noise should be attenuated during pile driving. Vibratory pile driving must be used from January 1 through August 15:

Authority: Land Use Code 20.25H.160, Land Use Code 20.25E.060

Reviewer: Carol L. Orr, Development Services Department

7. Noise Control: Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18

Reviewer: Carol L. Orr, Development Services Department

8. Obtain All Other Applicable State and/or Federal Permits: Before work can be allowed to proceed, all required federal and state permits and approvals must be received by the applicant prior to the commencement of any work. A copy of the approved Section 10 permit issued by the Army Corps of Engineer and the approved Hydraulic Project Approval (HPA) issued by the Washington State Department of Fish and Wildlife shall be submitted to the City of Bellevue, prior to construction.

Authority: Land Use Code 20.25E.080.B.1

Reviewer: Carol L. Orr, Development Services Department

9. Building Permit Required: Approval of this Shoreline Substantial Development Permit does not constitute an approval of a building permit. Application for a building permit must be submitted and approved. Plans submitted as part of the building permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30R.170

Reviewer: Carol L. Orr, Development Services Department

This permit is granted pursuant to the Shoreline Management Act of 1971 and nothing in this permit shall excuse the applicant from compliance with any other federal, state or local statutes, ordinances or regulations applicable to this project, but not inconsistent with the Shoreline Management Act (Chapter 90.58 RCW).

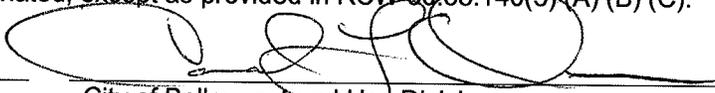
This permit may be rescinded pursuant to RCW 90.58.140(8) in the event the permittee fails to comply with the terms and conditions hereof.

Construction pursuant to this permit, or substantial progress toward construction, must be undertaken within two years of the date of final approval. This permit shall expire five years from the date of local approval.

Construction pursuant to this permit will not begin or is not authorized until twenty-one (21) days from the date of filing, as defined in RCW 90.58.140(6) and WAC 173-27-130, or until all review proceedings initiated within twenty-one (21) days from the date of such filing have terminated; except as provided in RCW 90.58.140(5) (A) (B) (C).

June 10, 2010

Date



City of Bellevue, Land Use Division

CC: Attorney General, Department of Ecology, Northwest Region
Dept. of Fish and Wildlife, c/o Dept. of Ecology, 3190 160th Ave SE, Bellevue, WA 98008-5452 attn: Stewart Rienbold
DOE, Joe Burcar, 3190 160th Avenue SE, Bellevue, WA 98008-5452



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th AVE NE., P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Peter Zuvela
c/o Waterfront Construction, Inc.
205 NE Northlake Way
Seattle, WA 98105

LOCATION OF PROPOSAL: Chaney Residence– 11011 SE Lake Road

DESCRIPTION OF PROPOSAL: Construction of a fully grated 87 foot long dock with a 26 foot ell, a boatlift and two personal watercraft lifts. The proposal includes removal of invasive Japanese Knotweed, and installation of native plantings in the shoreline critical area buffer. Project is located on Lake Washington and the Shoreline Overlay District.

File Number: 10-106517-WG

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)©. This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Department of Planning & Community Development. This information is available to the public on request.

- This DNS is issued after using the optional DNS process in WAC 197-11-355. The public and agency comment period was provided with the notice of application.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____.

Appeals of the environmental determination and/or Shoreline Substantial Development Permit can be made to the Shoreline Hearings Board. The Shoreline Hearings Board must receive written appeals within twenty-one (21) days of the date of filing of the permit with the State Department of Ecology. For information on how to appeal a proposal, contact the Shoreline Hearings Board at 360-459-6327, or visit the City of Bellevue Permit Center at City Hall or call 425-452-6864.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.


Environmental Coordinator

6/10/10
Date

OTHERS TO RECEIVE THIS DOCUMENT:
State Department of Fish and Wildlife
State Department of Ecology, Shoreline Planner N.W. Region
Army Corps of Engineers
Attorney General
Mukleshoot Indian Tribe