



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: The Savoy
Proposal Address: 726 99th Avenue NE
Proposal Description: Application for Design Review approval for three town-homes in the R-10 zone in transition to single family.
File Number: 09-130397-LD
Applicant: The Kirkwood Company
Decision: Design Review, Land Use Code Process II
Planner: Kenneth A. Thiem
State Environmental Policy Act Threshold Determination: Exempt

Director's Decision: Approval with Conditions

Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland
Carol V. Helland, Director
Land Use Division

Application Date: 11-24-2009
Notice of Application: 12-24-2009
Notice of Decision Date: 04-29-2010
Appeal Deadline: 05-13-2010

For information on how to appeal a proposal, visit the Permit Center at City Hall, 450 110th Avenue NE or call (425) 452-6800. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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Attached: Proposal Plans

I. REQUEST & REVIEW PROCESSES

A. Request

The applicant requests Design Review approval for a 3-unit residential townhome project on two lots zoned R-10 with a total of 17,312 square feet (SF).

B. Review Process

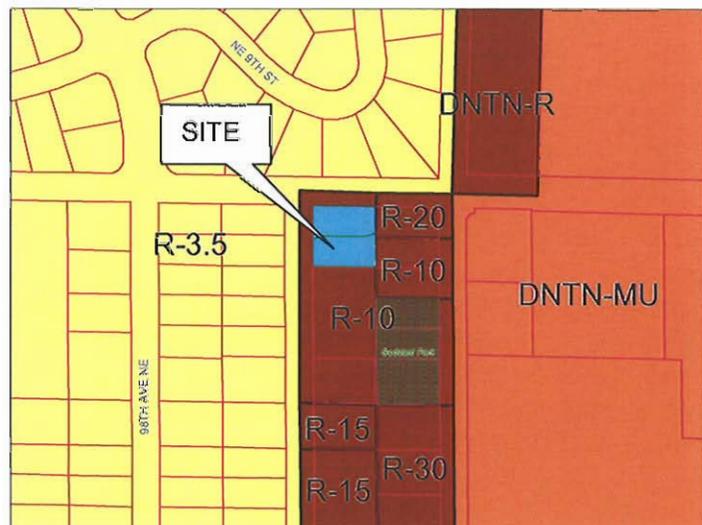
The Design Review is a Process II decision made by the Director of the Development Services Department. An appeal of a Process II decision is heard by the Hearing Examiner.

II. SITE CONTEXT & PROPOSAL

A Site Context & Design

The site is located in the south-eastern quadrant of the intersection of NE 8th Street and 99th Avenue NE, or approximately one block west of the Downtown boundary. It consists of two undeveloped lots. The existing vegetation is limited to grasses. Access to the site is from 99th Avenue NE. The site and surrounding zoning is shown on the map at right.:

North: R-3.5 - SF residential;
East: R-10/20 - SF residential;
South: R-10 - MF residential;
West: R-3.5 - SF residential.



B. Site Design

The corner site includes a landscape buffer averaging 12-feet in width along each street frontage. For the NE 8th frontage, the proposal includes an 8-foot high brick fence with 24" square brick pilasters spaced at 10-feet on center. The street side of the wall is visually softened with Emerald Green Arborvitae and boxwood. The 99th Avenue NE frontage includes an iron fence hung from the same brick pilasters at 10-feet on-center. The fence location is centered within the frontage landscaping. A total of four surface parking stalls are proposed for guest parking. These stalls are visually screened by the frontage and side yard landscaping. To ensure that the site landscaping is properly maintained, the applicant must submit a Landscape Maintenance Device for 20% of the total cost of all site landscaping prior to the issuance of any occupancy permit. The device is released in full after one year provided that the site landscaping is found to be healthy and per the approved plan based on an inspection of the site by City staff.

C. Building Design

The proposal is for three attached, two-story townhomes. The design is craftsman-inspired. The building envelope is modulated with pitched roofs, exterior wall offsets, dormers and bay windows, The exterior materials include composition shingles, brick, cedar (like) shingles and horizontal bevel siding. The rear (east) elevations are clad with board and batten and horizontal bevel siding. The perspective below is for illustrative

purposes only. The proposed wall along 99th Avenue NE is wrought iron with brick pilasters, as shown on the plans. Second, “The “Savoy” sign is not part of this decision.



III. CONSISTENCY WITH LAND USE CODE / ZONING REQUIREMENTS

A. Use / Applicable Code Sections

The single-family-attached use is permitted in the R-10 zone per LUC 20.10.440. The proposal is required to conform to the Transition Area Design District requirements (LUC 20.25B) and meet the Design Review decision criteria (LUC 20.30F).

B. Dimensional Requirements

All applicable dimensional requirements of the Land Use Code will be met. The table on the following page provides more detailed information on the requirements and how they are met by the proposed development.

DENSITY/DIMENSIONAL REQUIREMENTS

ITEM	REQ'D/ALLOWED	PROPOSED/EXISTING
Dwelling Units/Acre	3.97-units	3-units
Minimum Lot Area	8,500 SF	17,882 SF.
Building Setbacks for R-10 in Transition	NE 8 th St. Frontage: 20 ft. 99 th Ave. NE Frontage: 20 ft. Side: 5 ft. Rear: 25 ft.	NE: 8 th St.- 21 ft. 99 th Ave. NE: 36 ft.-1.5 inches Side: 6 ft-3". Rear: 26 ft.-10.5 inches
Landscape Buffers N. side E. side S. side	10 feet min. 8 feet min. 8 feet min.	20 ft. 8 ft. 8 ft.
Bldg. Ht. (measured from avg. <u>existing</u> grade to midpoint of pitched roof)	30 ft.	30 ft.
Lot Coverage by Structure	35 Percent	35 Percent
Impervious surface area as percentage of site area.	80%	Approximately 53 Percent (9,212 SF)
Significant Tree Retention	100% within the site perimeter landscape area, plus 15% of the diameter inches of all significant trees located outside of the site perimeter landscape area.	There are no existing significant trees on this site.
Parking Stalls	6 parking stalls (2 per unit)	10 parking stalls (2 per unit, 4 visitor parking stalls)

C. Transition Area Design District Development Standards

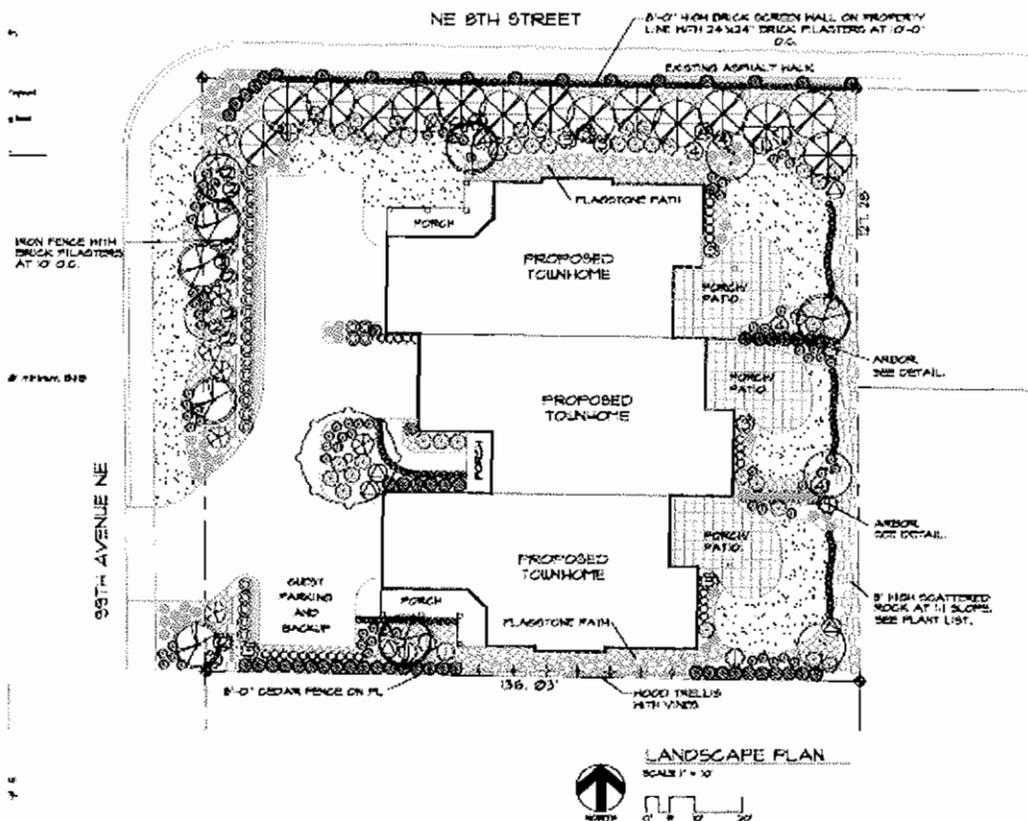
1. Development Standards: The site is located within 300 feet of a single-family land use district, and subject to the development standards of the Transition Area Design District (LUC 20.25B.040). The proposal must comply with the following standards:

a. **Building Height:** The proposed building meets the 30' height limit of the R-30 zone in transition, measured from average existing grade around the base of the building to the mid-point of the pitched roof.



b. Setbacks: The property does not directly abut a single-family district. Therefore, the 30' building setback from a single-family district does not apply. The proposal meets all other required building setbacks of the R-10 zone in transition, assuming the fence along the site's northern boundary does not exceed 8-feet in height.

c. Landscaping, Open Space, and Buffers: The proposed landscaping complies with the requirements of LUC 20.20.520. Alternative Landscape Option is not proposed. A 20-foot buffer is not required because the site does not abut a single-family district.



d. Site Design Standards: The proposal includes four surface parking stalls for guests. These stalls will be screened by fencing/landscaping.

e. Mechanical Equipment: Rooftop mechanical equipment is not proposed.

f. Refuse Containers: The refuse and recycling containers will be stored in the garages.

g. Signs: The proposal does not include any signs.

2. Site Design Guidelines: The proposal complies with the Site Design Guidelines of LUC 20.25B.050.A as follows:

a. Vehicular access: Vehicular access will occur directly from 99th Avenue NE, not through an abutting residential district.

b. Loading/refuse collections areas: The homeowners will be responsible for placing their refuse containers at the curb on collection days, and returning them to their garages after collection.

c. Significant vegetation retention: The existing site does not have any significant trees to retain. The proposed landscaping meets the transition area requirements and will help soften the visual impact of the project on nearby residential uses.

d. Compatibility with surrounding residential development: The site design responds to the physical characteristics of the site and its context. The proposed structures will be visually screened from the neighbors by site perimeter landscaping. The closest residential building is located approximately 33-feet from the proposed buildings, and will be visually separated by vegetation.

3. Building Design Guidelines: As conditioned, the proposed building design complies with the Building Design Guidelines (LUC 20.25B.050.B):

a. Exterior Cladding: Proposed exterior cladding materials include horizontal siding, brick, board and batten and asphalt composition roofing. All of the proposed materials are appropriate for a residential use and compatible with nearby residential development. However, the proposed brick work lacks the kind of details and gradation of scale that is typical for Craftsman design. Specifically,



the columns at the entry are monolithic, composed entirely of brick, with no gradation in scale. The same is true for the brick veneer around the garage doors. Typically, craftsman era brick work includes some level of detailing. Columns are typically constructed of brick up to approximately waist height or sill height, then capped with stone, and completed with wood, or steel clad with wood. For the brick work around the garage doors, the corners should be detailed to help distinguish one unit from the next. Second, a soldier course at approximately waist height or sill height can create a horizontal element that relates to the overall lines of the building. In any case, the goal is for the brick work to be consistent with the overall design concept. Therefore, prior to the issuance of a building permit, this decision requires design changes to the brick columns and veneer to achieve gradation in scale and level of detailing typical of craftsman era design.

b. Building scale. The proposed buildings include offsets, recesses, pitched roofs, divided-lite windows and craftsman-style garage doors to help break down the overall scale. As conditioned, the number and variety of such elements is appropriate for the overall design.

c. Roof form. The proposal includes 12/12 pitched roofs. This is consistent with the overall design and compatible with nearby residential development.

d. Communication dishes. The proposal does not include communication dishes.

e. Compatibility of materials and colors. The materials and colors proposed are compatible with surrounding residential development and the natural environment.

IV. PUBLIC NOTICE AND COMMENT

Application Date: November 24, 2009

Notice of Application: December 24, 2009

Minimum Comment Period: January 7, 2010

Comments Received: The City did not receive any written comments on this proposal

V. TECHNICAL REVIEW

A. Clearing and Grading Section, Planning & Community Development

(Staff contact: Janney Gwo, 425-452-6190; jgwo@bellevuewa.gov)

1. The clearing and grading permit may NOT be issued until the related design review application is approved and the appeal period has expired. However, since there were no parties of record, the C+G permit may be issued before the appeal period expires if the applicant agrees in writing not to appeal the Design Review decision.

2. Based on a review of the site, *rainy season restrictions do not apply to this project.* Although this site is not subject to rainy season restrictions, appropriate erosion and sedimentation control must be designed and implemented per the City of Bellevue Clearing & Grading Code (BCC Chapter 23.76).

B. Utilities Department

The applicant has submitted an application for Utility review under 09-132620-UE. All water sewer and storm drainage review approvals and inspections will be through the developer extension process.

C. Transportation Department

The proposal plans generally conform to Transportation Department requirements. Frontage improvements, including a sidewalk and standard driveway access will be provided along 99th Avenue NE. Frontage improvements cannot be required along NE 8th street because the site does not gain access from this street. However, the applicant has expressed the willingness to construct this sidewalk if the City will pay for it. Transportation staff will work with the applicant during the construction phase to explore the potential for adding the NE 8th Street sidewalk to the project scope of work.

D. Fire Department

The proposed site development generally conform to Fire Code requirements. Fire-related conditions of approval must be met prior to issuance of any building permit for the proposed project. See Section X of this report for Fire Department Conditions of Approval.

VI. CHANGES TO PROPOSAL DUE TO CITY REVIEW

A Site Design

There were no required changes to the site design. However, the applicant has expressed the willingness to work with the City on the possible construction of a sidewalk along the NE 8th Street frontage.

B. Building Exterior

The only required change to the building exterior is by condition of approval, in order to achieve brick work that is closer to Craftsman era residential design.

C. Building Height

The building height measurement was revised from average finish grade to average existing grade, consistent with the requirement for Transition Area development.

VII. DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

A. The proposal is consistent with the Comprehensive Plan.

Finding: The site is located in the North Bellevue Subarea of the City's Comprehensive Plan. The site is designated for low density multi-family development (MF-L). The proposal is consistent with the following Comprehensive Plan policies:

Housing Policies:

Policy HO-11. Encourage new residential development to achieve a substantial portion

of the maximum density allowed on the net buildable acreage.

Finding: At three units, the proposal is the maximum permitted density, based on the zoning and site area.

Policy HO-12. Encourage in-fill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.

Finding: The proposal is for three attached townhomes. The design includes offsets between the units to acknowledge the single-family context. The architectural lines and materials of the building exterior are also consistent with the surrounding single-family development.

Land Use Policies:

Policy LU-18. Provide, through land use regulation, the potential for a broad range of housing choices to meet the changing needs of the community.

Finding: The proposal is for attached townhomes that include design characteristics which are typical of traditional single-family, detached housing.

Policy LU-19. Encourage adequate pedestrian connections with nearby neighborhood and transit facilities in all residential site development.

Finding: The proposal includes the construction of a new sidewalk along the 99th Avenue NE, the street frontage from which the site gains vehicular access. This decision also requires the applicant to construct a sidewalk along the NE 8th Street frontage, which will be paid for by the City. The required sidewalk on 99th Avenue NE must be same width and location as recently constructed sidewalks along this frontage. The required sidewalk along the NE 8th Street frontage must be 8-feet in width and constructed to City standard. Together the sidewalks will provide connections to Downtown for the future project occupants and their neighbors.

North Bellevue Subarea Policies:

Policy S-NB-2. Provide for land uses and a range of density on undeveloped land in North Bellevue that will not over-burden its ability to remain a viable residential area.

Finding: The proposed use and development is consistent and compatible with the residential development of the area.

Policy S-NB-3. Scale down multifamily development as it approaches single-family areas so as to create an appropriate transition.

Finding: The proposed density is at the low end for multi-family, with a scale and design that is reminiscent of single-family, detached housing. The proposal is a good fit for the site context, which includes both single-family and multi-family development.

Policy S-NB-28. Orient new residential development towards exiting residential streets and away from major arterials.

Finding: The proposed project is oriented toward 99th Avenue NE, not NE 8th Street.

Policy S-NB-37. Buffer existing or new residential development from arterial streets through the use of landscaping, berms, setbacks, and the preservation of existing landscaping.

Finding: The proposal includes an 8-foot high brick screen wall along the entire NE 8th Street frontage. The street side of this wall is visually softened with Emerald Green Arborvitae and boxwood.

B. The proposal complies with the applicable requirements of this Code.

Finding: As conditioned, the proposal complies with all requirements of the Land Use Code. For more information see Sections III.A and III.C for a summary of dimensional requirements and the Transition Area development standards and design guidelines.

C. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

Finding: As conditioned, the proposal complies with all applicable Design Guidelines contained in LUC 20.25B.050. Sections III.C.3 and X of this report provide more information on how the proposal addresses the design guidelines.

D. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

Finding: As conditioned, the proposal is compatible with and responds to the existing and intended character and appearance of development of the subject property and immediate vicinity. The townhome concept is compatible with nearby development, which includes single-family and multi-family structures. The architectural lines and exterior materials work together to break down the scale of the proposed development and achieve a character which is similar to nearby single-family residential structures. Section X provides more information on brick detailing.

E. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

Finding: The proposal will be served by adequate public facilities including streets, fire protection and utilities. The site will be accessed from 99th Avenue NE, an existing public street. A Sidewalk will be constructed along this frontage that connects to the existing sidewalk to the south and a sidewalk will be constructed along NE 8th Street. The existing and proposed utilities are adequate to serve the proposed development. The structure will be required to meet all applicable fire protection requirements.

VIII. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency and City Code & Standard compliance reviews, the Director of the Development Services Department does hereby APPROVE WITH CONDITIONS the subject proposal.

IX. CONDITIONS OF APPROVAL:

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. CONSTRUCTION DAYS/HOURS

Excluding National Holidays, construction noise is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday, and from 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to these hours MAY be granted pursuant to 9.18.020C.1, if necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to construction noise would have a significant impact on the residents of the area. Therefore, exemptions for short term work outside of normal construction hours shall be limited and reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized. Exemptions from the Noise Control Code require a written request submitted two weeks prior to the scheduled onset of any construction activity outside of the permitted hours. Such requests shall include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

Authority: BCC 9.18.040

Reviewer: Ken Thiem

B. PRIOR TO CLEARING & GRADING PERMIT: The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES

Compliance with all applicable Bellevue City Codes and Ordinances including but not limited to the following is required:

Clearing and Grading Code - BCC Title 23.76
Transportation Code - BCC Title 14.60
Right-of-Way Use Permit - BCC Title 14.30
Bellevue Utilities Code - BCC Title 24
Construction Codes - BCC Title 23
Land Use Code - BCC Title 20
Sign Code - BCC Title 22B
Noise Code - BCC Title 9.18
Uniform Fire Code - BCC Title 23.11

Janney Gwo, 425-452-6190
Ray Godinez, 425-452-7915
Jon Regalia, 425-452-4599
Rob Hutchinson, 425-452-7903
Lee Kranz, 425-452-2732
Ken Thiem, 425-452-2728
Ken Thiem, 425-452-2728
Ken Thiem, 425-452-2728
Travis Ripley, 425-452-6042

2 NOISE ABATEMENT TECHNOLOGY

The use of the best available noise abatement technology is required during construction in order to mitigate construction noise impacts to the neighborhood residents.

Authority: BCC 9.18.020F

Reviewer: Ken Thiem

C. PRIOR TO BUILDING PERMIT: The following conditions are required by City Code. Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building permit application:

1. ADDRESSES

The applicant shall contact the Utilities Department 425-452-4858, to have an address assigned to each proposed unit. The address numbers shall be in accordance with the International Fire Code (IFC) requirements.

Authority: LUC 20.40.425, IFC 505.

Reviewer: Travis Ripley

2. COMBINE LOTS

The two lots must be combined into one lot. To meet this requirement the applicant shall submit a Boundary Line Adjustment for City review and approval.

Authority: LUC 20.20.010,

Reviewer: Ken Thiem

3. IFC REQUIREMENTS

The demolition and construction shall conform to the requirements of IFC chapter 14. Address numbers shall be in accordance with IFC 505.

Authority: IFC

Reviewer: Travis Ripley

4. BRICK DETAILING

The designs for the brick columns and brick veneer around the garage openings shall be revised to include traditional brick details that provide a gradation of scale and level of detail commensurate with Craftsman era residential design.

Authority: LUC 20.25B.050.B.2

Reviewer: Ken Thiem

D. PRIOR TO TCO: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. LANDSCAPE INSTALLATION ASSURANCE DEVICE

The applicant shall file a Landscape Maintenance Assurance Device (LMAD) with the Development Services Department. The device may be in the form of an assignment of savings or letter of credit equal to 20% of the cost of labor and materials. The device shall be held by the Development Services Department for one year and released in full if the landscape conforms to the City approved plan and all of the plants are alive and well.

Authority: LUC 20.20.520.K.1-2 and LUC 20.40.490

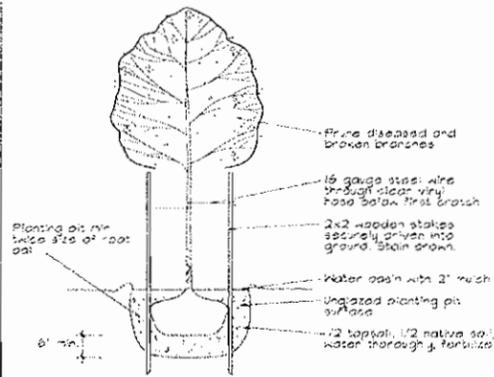
Reviewer: Ken Thiem

2. **FENCE HEIGHT**

To ensure compliance with the 20-foot setback requirement for structures, the fence along the site's northern boundary shall not exceed 8-feet in height from grade.

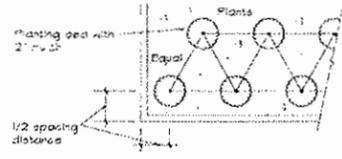
Authority: LUC 20.20.010

Reviewer: Ken Thiem



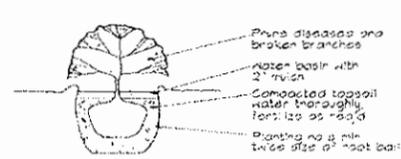
TREE PLANTING DETAIL

No Scale



GROUND COVER SPACING DETAIL

No Scale - Triangular Spacing



SHRUB PLANTING DETAIL

No Scale



LAWN / PLANTING BED DETAIL

No Scale

NOTES

1. Subgrades, including berms, to within 40th foot provided by General Contractor unless otherwise noted.
2. Subgrade shall be scarified or rototilled if conditions require.
3. 6" depth 3-way topsoil or equal in all planting areas.
4. 2" depth fine grade bark mulch in all planting beds.
5. All plant material shall be healthy, full and conform to USA standard nursery stock, latest edition.
6. Plant material or size or kind not available may be substituted only with approval of Landscape Architect or Owner.
7. All mass plantings shall have triangular spacing.
8. All tree pits shall be inspected to insure proper drainage.
9. Landscape Contractor shall maintain site until final inspection and acceptance by Owner.



PLANT LIST

SYMBOL

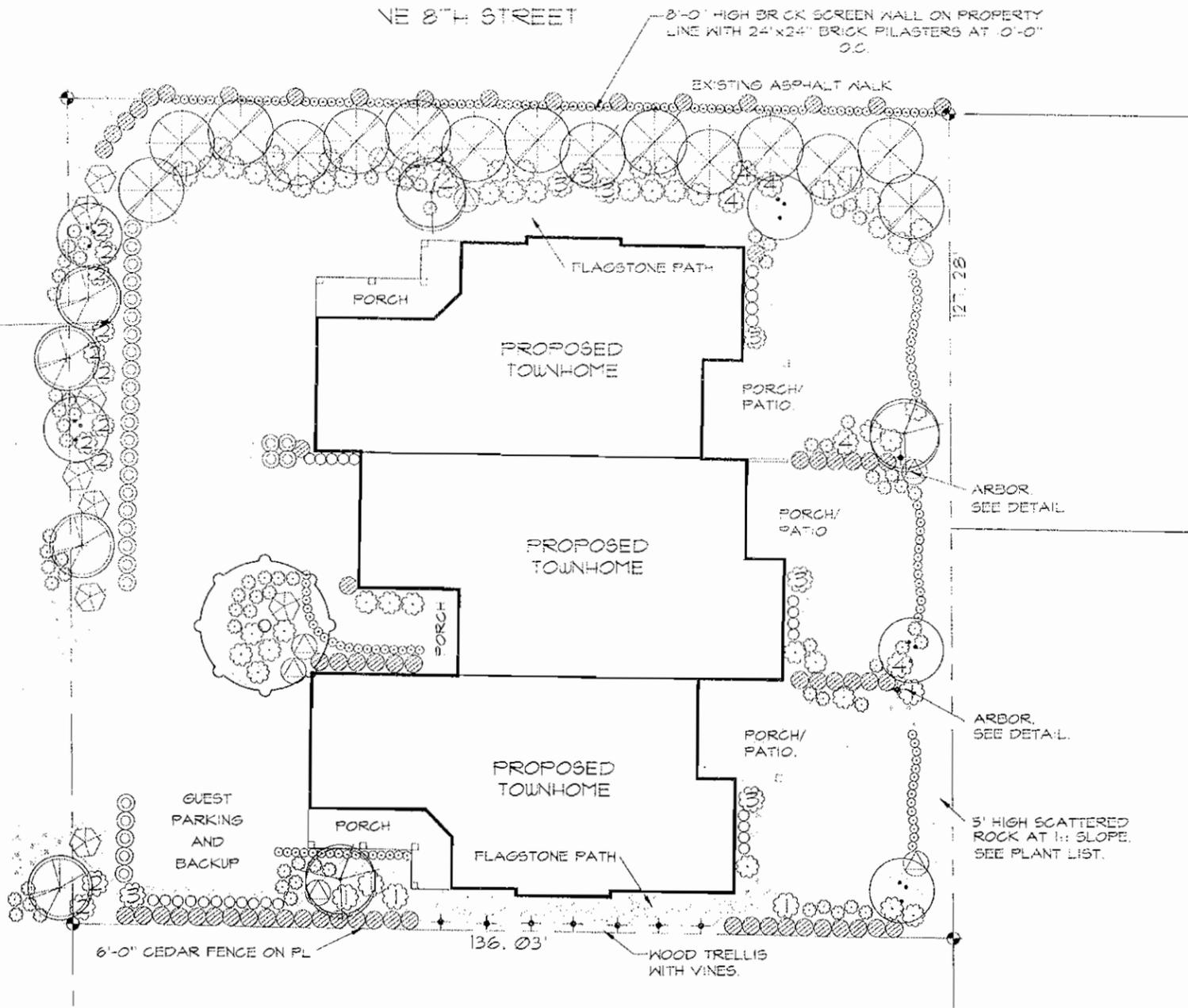
BOTANICAL / COMMON

- Garciaophyllum japonicum / Katsura Tree 2-1/2" Caliper, B&B
- Cornus Kousa Chinesis / 7-8' B&B, Multi-trunk
- Acer Palmatum 'Sango Kaku' / Sango Kaku Japanese Maple, 7-8', B&B
- Picea pungens 'Glauca Fastigiata' / Fastigate Blue Spruce, 8-10', B&B
- Cupressus sp. 'Emerald Isle' / Emerald Isle Leyland Cypress, 8" minimum, B&B
- Phormium tenax 'Pink Stripe' / Pink Stripe New Zealand Flax, 5 gallon
- Rosmarinus Offinalis 'Arp' / Arp Rosemary, 5 gallon
- Rhododendron Unique, 27" minimum
- Rhododendron Purple Splendor, 27" minimum
- Rhododendron Jean Marie de Montseque, 27" minimum
- Rhododendron Mrs Funnival, 27" minimum
- Viburnum Davidii, 2 gallon
- Thuja O. 'Emerald Green' / Emerald Green Arborvitae, 6' minimum
- Prunus L. 'Otto Luyken' / Otto Luyken Laurel, 21" min, 3' o.c.
- Nandina Domestica 'moon Bay' / Moon Bay Heavenly Bamboo, 2 gallon
- Azalea Variety, red, white & pink, 2 gallon
- Lavandula A. 'Hidcote' / Hidcote Lavender, 2 gallon, 2'-6" o.c.
- Buxus sempervirens 'suffruticosa' / Dwarf English Boxwood, 1 gallon
- Wisteria Floribunda / Japanese Wisteria, 5 gallon staked
- Arcostaphylos uva-ursi / Kinnikinnik 4" pots 18" o.c.
- Lobularia maritima / Sweet Alyssum, 4" pots 15" o.c.
- Sodded Lawn

Rockery

- Aurinia saxatilis / Basket of Gold, 1 gallon - 30 total
- Helianthemum Nummularium / Sunrose, 1 gallon - 30 total
- Pinus Mugo Mugo Pumilio / Dwarf Mugo Pine, 18" minimum spread - 12 Total
- Lobularia maritima / Sweet Alyssum, 4" pots 15" o.c. - throughout rockery

99TH AVENUE NE



LANDSCAPE PLAN

SCALE 1" = 10'



Received
11/1/2011
Permit Preparation

job no.	drawn	checked	date	no.	revision	date
			10/25/07			

THE SAUNDY

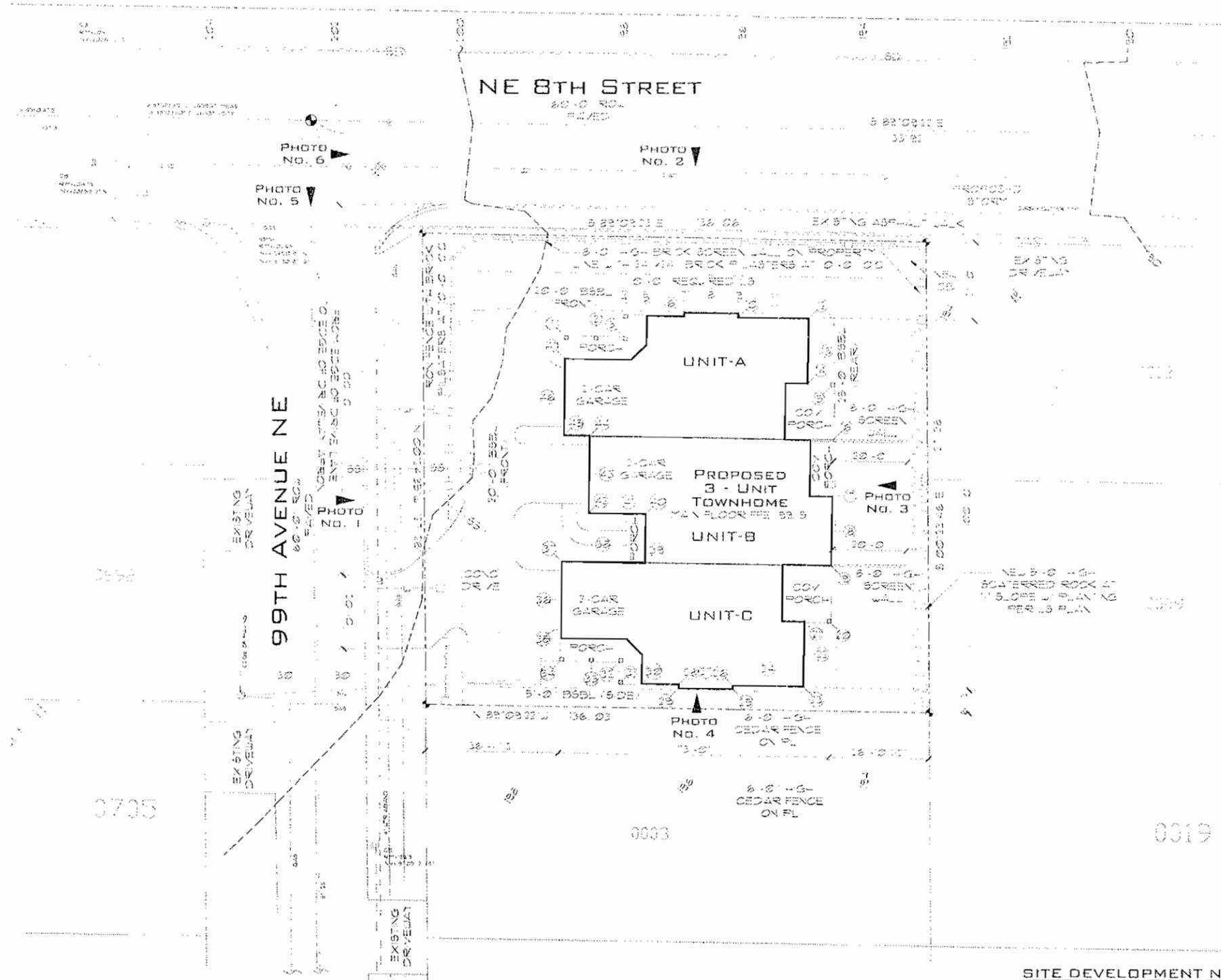
STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
KEN LUKLEY
CERTIFICATE No. 363



MAIN STREET DESIGN
LANDSCAPE ARCHITECTURE
271 Madison Ave. S.
Burien, WA 98148
(206) 780-0146
(206) 780-0196 Fax

Sheet

RR 6/16



NORTH
SITE PLAN
 SCALE 1" = 30'-0"

SITE DEVELOPMENT NOTES

1. ALL EXTERIOR LIGHTING FIXTURES ARE TO BE OF A "TYPE WHICH DIRECTS LIGHT DOWNWARD AND SHIELDS LIGHT FROM VISIBILITY AT THE PROPERTY LINE. THE EXTERIOR LIGHTING FIXTURES SHALL ALSO BE SHIELDED TO PREVENT SPILLOVER OF LIGHT BEYOND THE PROPERTY LINE AUTHORITY: SCC 14.60.250
2. ALL CONSTRUCTION VEHICLES ARE TO PARK WITHIN THE DEVELOPMENT AREA AND NO OFF-STREET PARKING SHALL BE PERMITTED. ALL LOADING AND UNLOADING SHALL BE ACCOMMODATED ON-SITE OR THROUGH THE RIGHT OF WAY USE PERMIT.

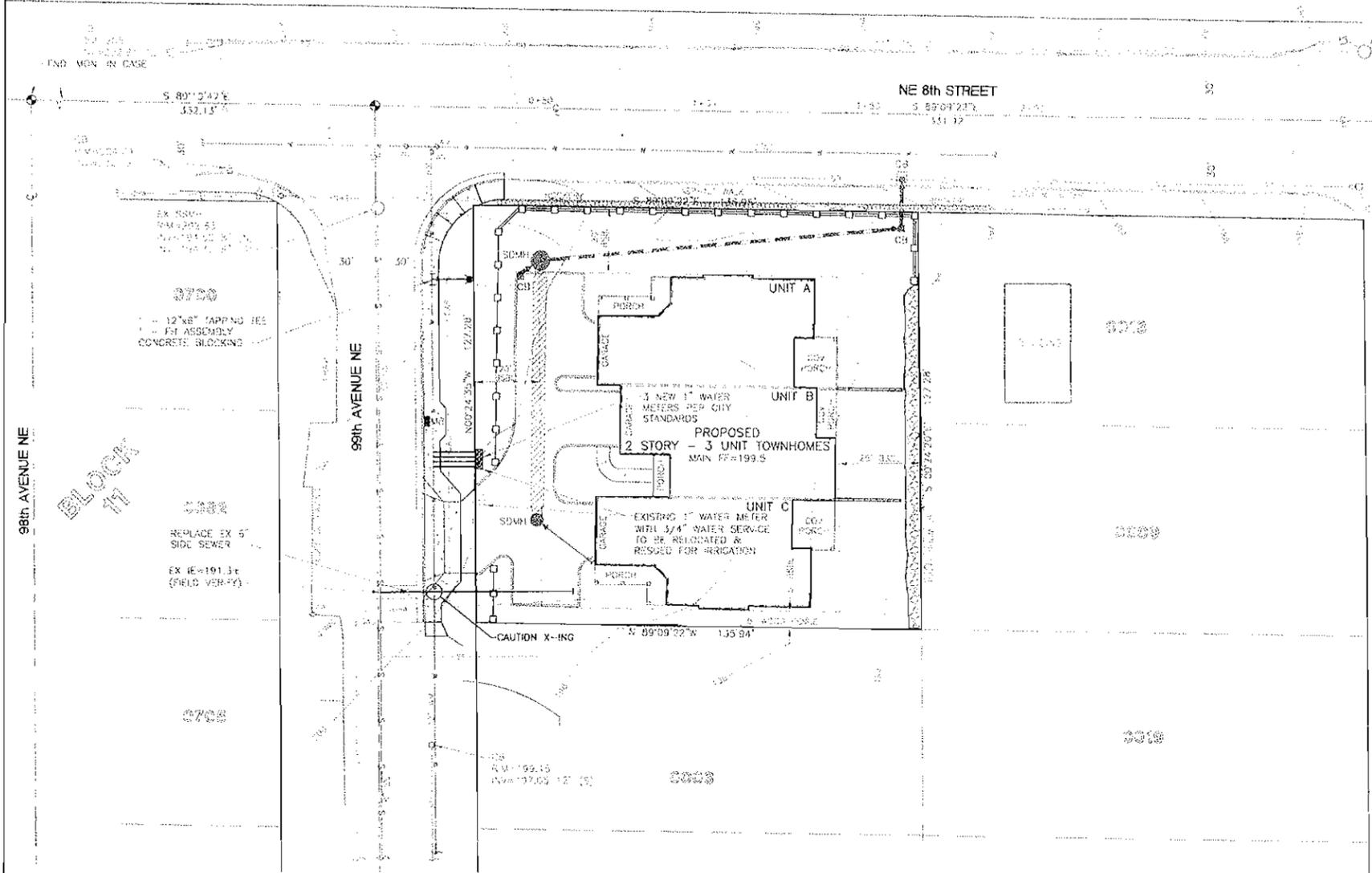
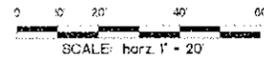
PROJECT DATA

SITE ADDRESS	176 99TH AVE NE BELLEVUE, WA
OWNER	KIRKWOOD COMPANY 400 8TH AVE SEATTLE, WA 98101 206-465-2500
LOT AREA	11,111 SF
ZONING	R-40
MAX BUILDING	30' TO FRONT YARD SLOPED ROOF
MAX GROUND AREA	35 PERCENT
MAX IMPERVIOUS AREA	80 PERCENT
TAX ID	082405550

LEGAL DESCRIPTION
 THE NORTH 71.25 FEET OF THE WEST 100.00 FEET OF BLOCK 1, 100' ALLEYS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS SAGE 46 IN KING COUNTY WASHINGTON.

LAND USE NOTES

BUILDING HEIGHT			
1	20.0	14.00	17.00
2	20.0	16.00	18.00
3	20.0	18.00	19.00
4	20.0	20.00	20.00
5	20.0	22.00	21.00
6	20.0	24.00	22.00
7	20.0	26.00	23.00
8	20.0	28.00	24.00
9	20.0	30.00	25.00
10	20.0	32.00	26.00
11	20.0	34.00	27.00
12	20.0	36.00	28.00
13	20.0	38.00	29.00
14	20.0	40.00	30.00
15	20.0	42.00	31.00
16	20.0	44.00	32.00
17	20.0	46.00	33.00
18	20.0	48.00	34.00
19	20.0	50.00	35.00
20	20.0	52.00	36.00
21	20.0	54.00	37.00
22	20.0	56.00	38.00
23	20.0	58.00	39.00
24	20.0	60.00	40.00
25	20.0	62.00	41.00
26	20.0	64.00	42.00
27	20.0	66.00	43.00
28	20.0	68.00	44.00
29	20.0	70.00	45.00
30	20.0	72.00	46.00
31	20.0	74.00	47.00
32	20.0	76.00	48.00
33	20.0	78.00	49.00
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234	20.0	480.00	250.00
235	20.0	4	



WATER GENERAL NOTES

1. ALL WORK SHALL CONFORM TO CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL PIPE SHALL BE DUCTILE IRON UNLESS OTHERWISE SHOWN.
3. ALL NEW AND EXISTING MAINS SHALL BE UNDEVELOPED IN READY STATE, BE SARGED WITH AN AVAILABLE DUCTILE IRON SOLUTION FROM THE WATER MAIN.
4. THE NEW WATER MAIN SHALL BE CONNECTED TO THE EXISTING SYSTEM ONLY AFTER NEW MAIN IS PROPERLY LINED, ADJUSTED, BURNISHED, AND APPROPRIATE PROTECTIVE COATING IS APPLIED TO THE EXPOSED MAIN. SEE STANDARD DETAIL W-8.
5. BEFORE COMMENCING THE WATER MAIN, CHECK FOR EXISTING WATER OR DISCHARGING TO THE NEAREST OPERATING SANITARY SEWER.
6. WATER MAINS SHALL BE CONFORMED WITH THE WATER OPERATIONS DIVISION FOR PROPERLY LINED DUCTILE IRON JOINTS, CONNECTIONS, WATER MAIN SHUT-OFFS, ETC. NOT TO BE PERMITTED TO TAKE PLACE ON FRIGIDAYS OR ON THE DAY BEFORE A CITY HOLIDAY. NOTIFY THE CITY OF BELLEVUE APPROVED BY THE CITY.
7. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. BEFORE THE WATER MAIN ABOVE OR BELOW EXISTING UTILITIES ARE INSTALLED TO MAINTAIN 12" MINIMUM COVER AND 12" MINIMUM VERTICAL CLEARANCE BE AHEAD OF ALL EXISTING UTILITIES UNLESS OTHERWISE SHOWN.
9. AREA AROUND DUCTILE IRON PIPE AND ADJACENT VALVES AND FITTINGS WITH 4" MIN. POLYMER CONFORMING TO AWWA C200.
10. THE WATER MAIN SHALL BE INSTALLED ONLY AFTER THE ROADWAY SUBGRADE IS BACKFILLED, GRADED, AND COMPACTED IN, OUT AND FL AREAS.
11. TRENCH BACKFILL AND SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
12. ALL TRENCHES SHALL BE BACKFILLED PER STANDARD DETAIL UNLESS OTHERWISE SPECIFIED.
13. ALL SERVICE SHALL BE 12" MINIMUM STANDARD DUCTILE IRON UNLESS OTHERWISE SPECIFIED.
14. WHEN WORKING WITH EXISTING CEMENT PIPE, THE CONTRACTOR IS REQUIRED TO MAINTAIN WORKERS' PROTECTIVE MATERIAL AT OR BELOW THE LINE PRESERVED AND NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
15. CALL 1-800-424-5956 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
16. UNIFORM PLUMBING CODE REQUIRES THE INSTALLATION OF PRIVATELY OWNED AND OPERATED PRESSURE REGULATING VALVES WHERE THE OPERATING PRESSURE EXCEEDS 80 PSI.
17. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. PILING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
18. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS, THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE FILTER FABRIC AND REPLACE AS NECESSARY. FOR ALL CONSTRUCTION DURING THE WORK PERIOD, DRAINAGE BASINS AND AREAS MUST BE PROTECTED WITH DRAINAGE BASIN SCREENS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
19. ABANDONMENT OF EXISTING WATER SERVICES SHALL BE ACCOMPLISHED AS FOLLOWS:
REMOVE EXISTING SERVICE SADDLE FROM WATER MAIN AND REPLACE WITH NEW STANDARD STEEL REPAIR SADDLE. REMOVE EXISTING SERVICE SADDLE 10'S OR APPROXIMATE EQUAL SHALL NOT BE REQUIRED WHEN WATER MAIN IS TO BE ABANDONED PRIOR TO SERVICE DEMOLITION.
REMOVE AND DISPOSE OF EXISTING SERVICE AND WATER BOX CAP OR COVER (IF COPPER) EXISTING SERVICE LINE TO BE ABANDONED IN PLACE. EACH CAP RETURN EXISTING WATER TO CITY OF BELLEVUE UTILITIES DEPARTMENT.

SANITARY SEWER GENERAL NOTES

1. ALL WORK SHALL CONFORM TO CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS.
3. SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM-D3034 SDR 35. BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
4. WHERE SHOWN AS C900-PVC, THE SEWER PIPE SHALL BE PRESSURE CLASS 150 (DR 18) CONFORMING TO AWWA C900.
5. ALL SIDE SEWERS SHALL BE 6" DIAMETER PIPE AT A MINIMUM 2% SLOPE.
6. SIDE SEWER STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE.
7. LOT CORNERS MUST BE SET AND SIDE SEWER LOCATIONS VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
8. ALL SIDE SEWERS STUBS SHALL BE CAPPED WITH A WATER-TIGHT PLUG. PLUG LOCATION SHALL BE MARKED WITH A 2X4 STAKE, 12 FEET LONG, WITH ONE END BURIED AT DEPTH OF THE PLUG INVERT AND EXTENDING VERTICALLY OUT OF THE GROUND. THE PORTION OF STAKE ABOVE GROUND SHALL BE PAINTED WHITE AND MARKED WITH THE WORD "SEWER" AND THE DEPTH FROM PIPE INVERT TO GROUND SURFACE. CONNECT PIPE TO STAKE WITH AN 8 GAUGE WIRE AT OR ABOVE FINISHED GROUND LEVEL.
9. THE LOCATION OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
10. ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
11. ALL TRENCHES SHALL BE COMPACTED, AND ATB IN PLACE IN PAVED AREAS, PRIOR TO TESTING SEWER LINES FOR ACCEPTANCE.
12. SIDE SEWERS SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN SEWER IS TESTED.
13. TOPS OF MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY SHALL NOT BE ABANDONED TO FINAL GRADE UNTIL JUST PRIOR TO PAVING.

14. ALL MANHOLES IN UNPAVED AREAS SHALL INCLUDE A CONCRETE BEAM ROAD ADJUSTING RINGS PER STANDARD DETAIL.
15. CONTRACTOR SHALL ADJUST ALL MANHOLES TO FLUSH WITH FINAL FINISHED GRADINGS, UNLESS OTHERWISE SHOWN.
16. ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS MUST BE "STAKED" BY SURVEY FOR "LINE AND GRADE" AND CUT SHEET IS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION.
17. CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING SANITARY SEWER SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
18. SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
19. CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FEET (10') SEPARATION BETWEEN ALL WATER AND SEWER LINES. ANY CONFLICTS SHALL BE REPORTED TO THE CITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
20. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT NO CONFLICTS EXIST BETWEEN SANITARY SEWER LINES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
21. MINIMUM COVER OVER SEWER PIPE SHALL BE FIVE FEET, UNLESS OTHERWISE SHOWN.
22. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. PILING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
23. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS, THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY.
24. SIDE SEWER DEMOLITION SHALL BE PERFORMED PRIOR TO REMOVAL OF BUILDING FOUNDATION. THE SIDE SEWER FOR EACH BUILDING SHALL BE EXCAVATED AND REMOVED FROM THE HOUSE CONNECTION TO THE EDGE OF THE CITY RIGHT-OF-WAY OR PROPERTY LINE. THE CONTRACTOR SHALL CAP THE END OF THE SIDE SEWER TO REMAIN IN PLACE. SIDE SEWER DEMOLITION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY OF BELLEVUE SEWER MAINTENANCE ENGINEER (TECHNICIAN).
25. AVOID CROSSING WATER OR SEWER MAIN AT SHARPLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.

26. AT POINTS WHERE THRUST BLOCKING IS FOUND MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
27. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-7. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO SPRING LINE OF THE AC MAIN.
28. CALL 1-800-424-5956 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
29. MANHOLES UNDER 5 FEET DEEP SHALL HAVE CONCRETE CORE PER STANDARD DETAIL S-4.
30. PRIOR TO ENTERING ANY PUBLIC UTILITY EASEMENT, THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE PROPERTY OWNER(S) OF HIS/HER INTENT TO UTILIZE THE PUBLIC UTILITY EASEMENT TO FACILITATE THE CONSTRUCTION OF THIS WORK. CONTRACTOR SHALL PROVIDE THE UTILITIES INSPECTOR WITH A COPY OF THIS WRITTEN NOTICE PRIOR TO ENTERING THE EASEMENT.
31. CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC SEWER EASEMENT(S) AFTER CONSTRUCTION TO THEIR APPROXIMATE CONDITION PRIOR TO ENTRY. CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL APPLICABLE PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.
32. MANHOLES, CATCH BASINS, AND VAULTS AREA CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 295-62 WAC/PART M-CONFINED SPACES.



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726 - 99th AVENUE TOWNHOMES
726 99th Ave NE
Bellevue, WA 98004
WATER AND SEWER PLAN

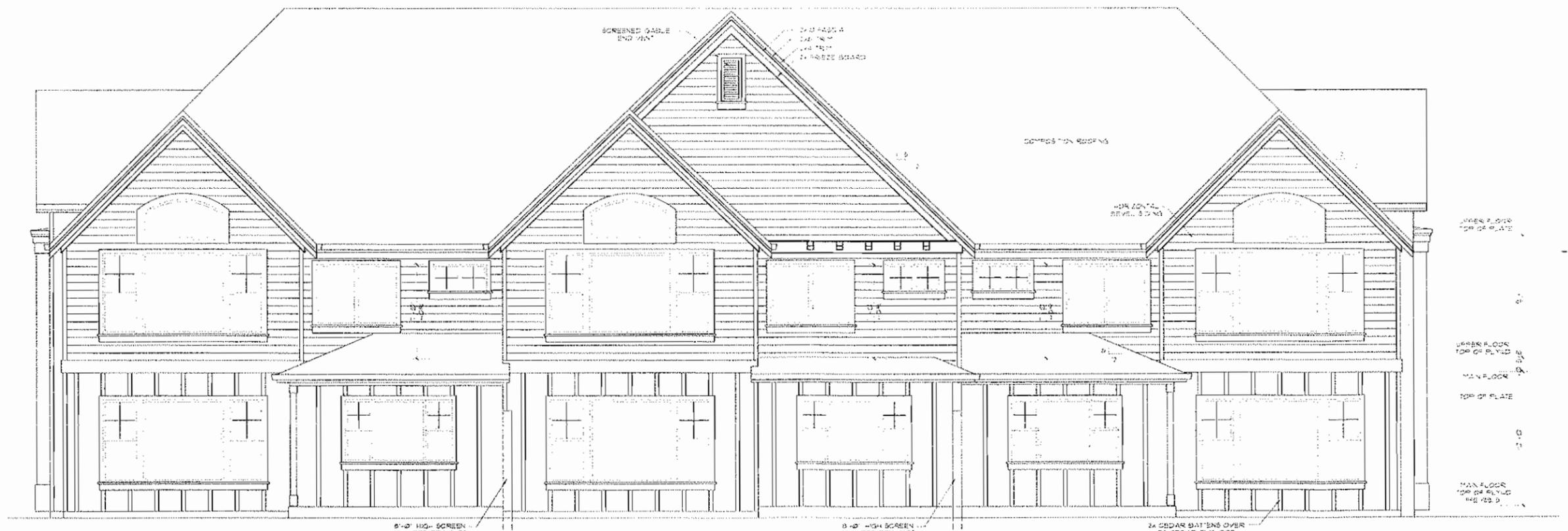
ROSS WORTHINGTON
KIRKWOOD COMPANY
P.O. BOX 2996
REDMOND, WA 98073

For
Design By: JJP
Drawn By: TLR
Scale: 1" = 20'
Date: APR 11, 2003
GRID #
SHEET 3 OF 4



FRONT (WEST) ELEVATION

SCALE 1/4" = 1'-0"



REAR (EAST) ELEVATION

SCALE 1/4" = 1'-0"

HDA

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CLIENT:
Kirkwood Company
 Kirkland, WA.

SHEET TITLE:
WEST & EAST ELEVATIONS

DATE	DESCRIPTION

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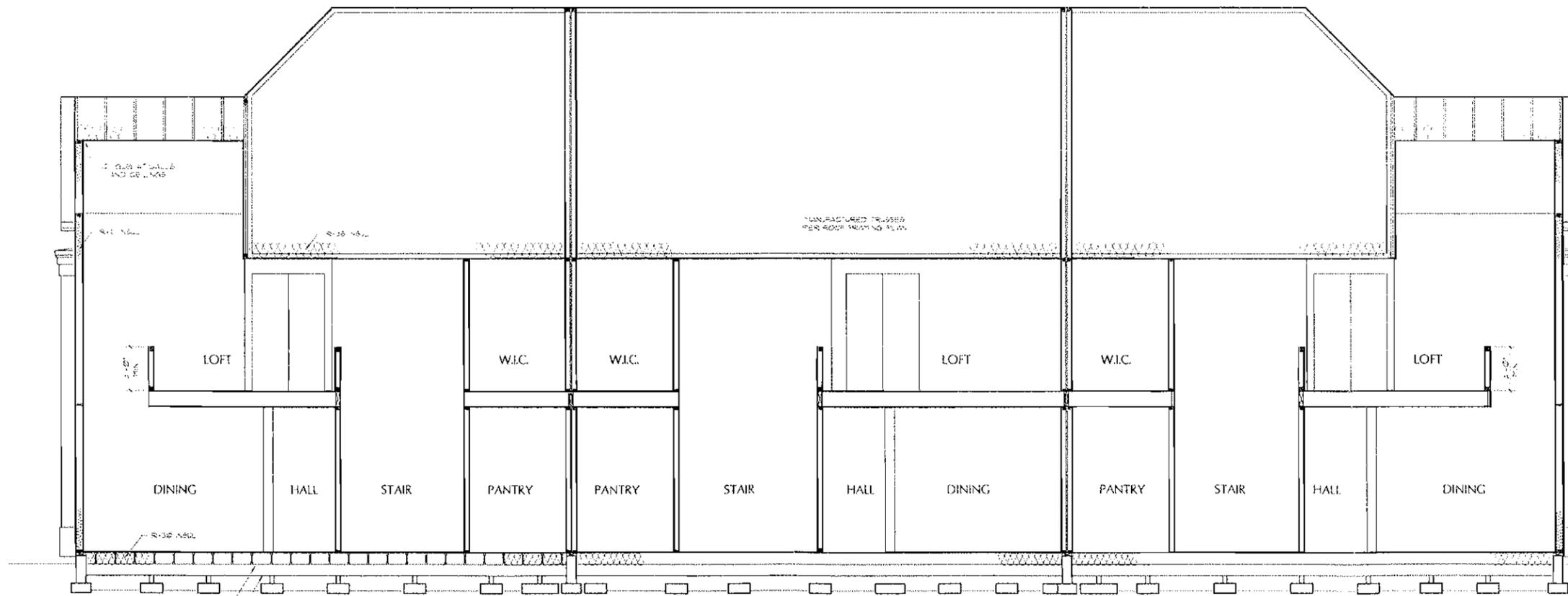
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 SHEET

A3.1



BUILDING SECTION A-A

SCALE 1/4" = 1'-0"



BUILDING SECTION B-B

SCALE 1/4" = 1'-0"

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SHEET TITLE:
BUILDING SECTIONS

DATE	DESCRIPTION

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DATE: 7/10/09
 PROJECT: 1017
 SHEET

A3.3

Drawn by: [Name]
 Checked by: [Name]
 Date: 7/10/09