



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 450 110<sup>th</sup> Ave. NE  
 BELLEVUE, WA 98004

## DETERMINATION OF NON-SIGNIFICANCE

<b>PROPONENT:</b>	Jay Reeves, Sclater Partners
<b>LOCATION OF PROPOSAL:</b>	10825 NE 2 <sup>nd</sup> Street
<b>DESCRIPTION OF PROPOSAL:</b>	Construct a new 5,760 square foot building, one story in height, with 28 parking stalls, associated site utilities and request for an Alternative Landscape Option. Includes demolition of an existing 3,117 square foot vacant building. The site is approximately 0.57 acres in size. The site is zoned Downtown MU – Perimeter Subdistrict C.

**FILE NUMBER:** 08-132309-LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Department of Planning & Community Development. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **April 8, 2010**.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

*Carol V. Hellend*  
 Environmental Coordinator

March 25, 2010  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

State Department of Fish and Wildlife  
 State Department of Ecology, Shoreline Planner N.W. Region  
 Army Corps of Engineers  
 Attorney General  
 Muckleshoot Indian Tribe

CS  
3/25/12

City of Bellevue Submittal Requirements 27a

**ENVIRONMENTAL CHECKLIST**

4/18/02

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

**BACKGROUND INFORMATION**

Property Owner: MDI WEST.

Proponent: JEFF MORRIS

Contact Person: PRAENESH PARIKH  
(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 414 OLIVE WAY, SUITE 300

Phone: 206.812.3265

Proposal Title: BANK OF AMERICA, INTERIM SITE

Proposal Location: 10825 NE 2ND STREET / @ 108TH AVE NE  
(Street address and nearest cross street or intersection) Provide a legal description if available.  
SEE ATTACHED PROPOSAL

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site. SEE ATTACHED

Give an accurate, brief description of the proposal's scope and nature:

1. General description: 1-STORY STRUCTURE FOR BANK OF AMERICA USE
2. Acreage of site: 0.57 ACRES
3. Number of ~~dwelling units~~/buildings to be demolished: 1
4. Number of ~~dwelling units~~/buildings to be constructed: 1
5. Square footage of buildings to be demolished: 3792 SF - 3117 SF
6. Square footage of buildings to be constructed: 5,760 SF
7. Quantity of earth movement (in cubic yards): CUT 545 CY / FILL 430 CY
8. Proposed land use: BANK USE
9. Design features, including building height, number of stories and proposed exterior materials:  
1-STORY, AVERAGE 16'-0" HIGH, W/ WOOD, METAL PANEL, STOREFRONT
10. Other SYSTEM.



Estimated date of completion of the proposal or timing of phasing:

DECEMBER 2009

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

NO

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

DO NOT KNOW.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

OFFICE TOWER @ BANK OF AMERICA SITE. LOCATED @ 415, 106TH AVE NE, BELLEVUE WA 98004. PRE-APP # 08-113410-DB

List any government approvals or permits that will be needed for your proposal; if known. If permits have been applied for, list application date and file numbers, if known.

DEPARTMENT OF LICENSING FOR MODULAR STRUCTURES - DATE TO BE DETERMINED

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

Land Use Reclassification (rezone) Map of existing and proposed zoning

Not Applicable

Preliminary Plat or Planned Unit Development Preliminary plat map

Clearing & Grading Permit Plan of existing and proposed grading Development plans

SEE DESIGN RENEW APPLICATION

Building Permit (of Design Review) Site plan Clearing & grading plan

" " " "

Shoreline Management Permit Site plan

Not Applicable

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site:  Flat  Rolling  Hilly  Steep slopes  Mountains  Other

b. What is the steepest slope on the site (approximate percent slope)?

EXIST. 6.56% , PROPOSED 6.6%

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

DO NOT KNOW



d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No.

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

THE WIDENING OF EXISTING SIDEWALKS AND RAMPING ASSOCIATED WITH THE DRIVE THROUGH WILL REQUIRE FILLING. THE BUILDING WILL BE PLACED ON TEMPORARY SUPPORT STRUCTURES AND GRADE BEAMS. MATERIAL IMPORTED TO SITE WILL BE CLASSIFIED STRUCTURAL FILL, OR CRUSH ROCK FROM A COMMERCIAL SOURCE. MATERIAL EXPORTED SHALL BE TO A COMMERCIAL PIT OR PERMITTED PROJECT. CUT = 545 CY. FILL = 430 CY.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

AN EROSION SEDIMENT CONTROL PLAN SHALL BE PREPARED IN ACCORDANCE WITH COB ENGINEERING STANDARDS. ON SITE MEASURES WOULD INCLUDE A CONSTRUCTION ENTRANCE, SEDIMENT TRAP, AND COVERING EXPOSED AREAS.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

63%.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

AN EROSION SEDIMENT CONTROL PLAN SHALL BE PREPARED IN ACCORDANCE WITH COB ENGINEERING STANDARDS. SPECIFIC ON SITE MEASURES WOULD INCLUDE A CONSTRUCTION ENTRANCE, SEDIMENT TRAP & COVERING EXPOSED AREAS.

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

DOES NOT APPLY.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No.

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

DOES NOT APPLY.

Dust Suppressed  
per BCC  
23.76

3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If



appropriate, state what stream or river it flows into.

*No*

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

*No*

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

*Does Not Apply*

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

*No*

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

*No*

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

*No*

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

*No*

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

*Does Not Apply.*

c. Water Runoff (Including storm water)

(1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

SEE ATTACHED GRADING PLAN.

(2) Could waste materials enter ground or surface waters? If so, generally describe.

NO

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

SEE ATTACHED GRADING PLAN

Per  
BCC  
23-76

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

1 - 4" DEC. TREE, 1 - 12" CON TREE.

c. List threatened or endangered species known to be on or near the site.

NONE

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

TYPE III LANDSCAPING. FOR SPECIFIC TREE SPECIES SEE LANDSCAPE PLAN.

ALO  
request



**5. ANIMALS**

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site: *None.*
  - Birds: hawk, heron, eagle, songbirds, other:
  - Mammals: deer, bear, elk, beaver, other:
  - Fish: bass, salmon, trout, herring, shellfish, other:
  
- b. List any threatened or endangered species known to be on or near the site.  
*None*
- c. Is the site part of a migration route? If so, explain.  
*No.*
- d. Proposed measures to preserve or enhance wildlife, if any:  
*Not Applicable.*

**6. Energy and Natural Resources**

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.  
*Natural Gas for Heating*
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.  
*No*
- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:  
*All Equip to be Energy Star Compliant.*

**7. Environmental Health**

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

*Do Not Know*

- (1) Describe special emergency services that might be required.

*Does Not Apply*

- (2) Proposed measures to reduce or control environmental health hazards, if any.

*Does Not Apply*

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

Do NOT know

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Construction - During construction stage.

- (3) Proposed measures to reduce or control noise impacts, if any:

Will comply w/ COB REQUIREMENTS

Noise mitigation  
per  
BCC 9.18

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

Pawn-X-change shop. Adjacent are bank, restaurant, office building, shops.

- b. Has the site been used for agriculture? If so, describe.

No

- c. Describe any structures on the site.

1-story wood frame structure.

- d. Will any structures be demolished? If so, what?

Yes. Existing.

- e. What is the current zoning classification of the site?

DNTNO-2 - MU Reviser C

- f. What is the current comprehensive plan designation of the site?

- g. If applicable, what is the current shoreline master program designation of the site?

Does Not Apply

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

No.

- i. Approximately how many people would reside or work in the completed project?

12.

- j. Approximately how many people would the completed project displace?

1

- k. Proposed measures to avoid or reduce displacement impacts, if any:

Does Not Apply.



- i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

Bank Use is permitted under current zoning.

## 9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

Does NOT Apply

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

Does NOT Apply

- c. Proposed measures to reduce or control housing impacts, if any:

Does NOT Apply.

## 10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

16'. METAL, GLAZED STOREFRONT SYSTEM, SCREENS:

- b. What views in the immediate vicinity would be altered or obstructed?

None.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

Does NOT Apply.

Design Review

## 11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

No Glare or light will be produced.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No.



- c. What existing off-site sources of light or glare may affect your proposal?

Does NOT Apply

- d. Proposed measures to reduce or control light or glare impacts, if any:

Cut off light fixtures.

## 12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Do NOT know

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

Does NOT Apply

## 13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

No

- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

None

- c. Proposed measures to reduce or control impacts, if any:

Does NOT Apply

## 14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

see - - site plan.

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

400'.

- c. How many parking spaces would be completed project have? How many would the project eliminate?

28. (existing 60 parking spaces) 32 will be eliminated.

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

No.

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

See  
Transp.  
analysis  
in  
staff  
report  
✓

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

See attached trip generation analysis.

g. Proposed measures to reduce or control transportation impacts, if any:

See attached trip generation analysis.

15. Public Services

a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

Do Not Know.

b. Proposed measures to reduce or control direct impacts on public services, if any.

Does Not Apply.

16. Utilities

a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

WATER, SEWER, STORM, TELEPHONE.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature..... [Handwritten Signature] .....  
Date Submitted..... 9-2-08 JAY F. REEVES .....  
[Handwritten Signature]





**City of Bellevue  
Development Services Department  
Land Use Division Staff Report**

---

PROPOSAL NAME: **Bank of America**

PROPOSAL ADDRESS: 10825 NE 2<sup>nd</sup> Street

PROPOSAL DESCRIPTION: Construct a new 5,760 square foot building, one story in height, with 28 parking stalls, associated site utilities and request for an Alternative Landscape Option. Includes demolition of an existing 3,117 square foot vacant building. The site is approximately 0.57 acres in size. The site is zoned Downtown MU – Perimeter Subdistrict C.

FILE NUMBER: 08-132309-LD

APPLICANT CONTACT: Jay Reeves, Sclater Partners

DECISION: Design Review (Process II, LUC 20.35.200)

PLANNER: Carol Saari, Senior Planner *CSaari*

STATE ENVIRONMENTAL  
POLICY ACT (SEPA)  
THRESHOLD DETERMINATION: **Determination of Non-Significance (DNS)**

*Carol V. Helland*  
Carol V. Helland, Environmental Coordinator  
Development Services Department

Director's Decision: **Approval with Conditions**  
Michael A. Brennan, Director  
Development Services Department

By: *Carol V. Helland*  
Carol V. Helland, Land Use Director

---

Notice of Application: 11/06/08  
Notice of Decision Date: 03/25/10  
SEPA Appeal Deadline: 04/04/10 at 5pm  
Design Review Appeal Deadline: 04/04/10 at 5pm  
Expiration of Vesting for Design Review: 2 years from the date of the City's final decision

For information on how to appeal a proposal, visit Development Services at City Hall or call 425-452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 pm on the date noted for appeal of the decision.

## CONTENTS

I.	Request/Proposal Description.....	Pg	3
II.	Land Use Context and Zoning .....	Pg	7
III.	Consistency with Land Use Code/Zoning Requirements.....	Pg	9
IV.	Public Notice and Comment.....	Pg	19
V.	Technical Review.....	Pg	19
VI.	State Environmental Policy Act (SEPA).....	Pg	23
VII.	Changes to Proposal Due to Staff Review.....	Pg	25
VIII.	Decision Criteria.....	Pg	27
IX.	Decision.....	Pg	28
X.	Conditions of Approval.....	Pg	28

### ATTACHED:

- Exhibit A: Project Plans
- Exhibit B: Certificate of Concurrency

## I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests Design Review approval to construct a new 5,760 square foot building, one story in height, with 28 parking stalls, associated site utilities and a request for an Alternative Landscape Option. The proposal includes demolition of an existing 3,117 square foot vacant building. The site is approximately 0.57 acres in size. It is zoned Downtown MU-Subdistrict Perimeter C.

This is a modular building (8 modular units connected together) with the structure placed at grade. The modular units have new exterior materials (metal siding, glazing, marquees) placed over the original modular material giving the building an urban character.



View looking from the Northwest corner (108<sup>th</sup> Avenue NE and NE 2<sup>nd</sup> Street)

Refer to Exhibit A, Project Plans.

### A. Site Design

The site is a 0.57 acre parcel in downtown Bellevue. The site slopes from west (high) to east (low) with a slope of about 2% and elevation drop of about 4 feet. The site is currently vacant (former pawn shop) and being used for parking.

Two adjacent lots will be used for the project. A single site agreement will be required.  
See condition X.C.1.

The proposed building faces onto 108<sup>th</sup> Ave. NE. It was placed in the northwest corner of the site. The building covers the western 1/3 of the site, with the balance of the site for site parking.

The proposal will continue to have two curb cuts, one on 108<sup>th</sup> Ave. NE and the other one NE 2<sup>nd</sup> Street. These driveways will be upgraded to current standards. There will be two queuing lanes for bank operations (drive-up windows). The cars will enter the site on 108<sup>th</sup> Avenue NE and then exit onto NE 2<sup>nd</sup> Street.

The project includes standard roadway frontage improvements along 108<sup>th</sup> Avenue NE and NE 2<sup>nd</sup> Street. The sidewalk along 108<sup>th</sup> Avenue NE will be widened to 20.5 feet (including planter and curb). NE 2<sup>nd</sup> Street will be widened to 12.5 feet wide (including planter and curb).

There will be new perimeter and site landscaping. Street trees will be planted along 108<sup>th</sup> Avenue NE and along NE 2<sup>nd</sup> Street.

### B. Site Restoration

If the modular building is removed, the applicant shall restore the site to a landscaped condition. Plans for such restoration shall be submitted and approved prior to issuance of the building permit application for this project. An assurance device shall be required for the site restoration. See conditions X.C.2, E2.

### C. Building Design



View from 108<sup>th</sup> Avenue NE looking east

**Design Statement:** Architecture for the Bank of America uses strong, unassuming simple forms with a combination of exterior design materials to create a unique and visually expressive building. Interior functions are forecast onto the exterior by using differing materials, forms, and gestures to inform users of interior functions and add visual interest to the structure.

**Exterior Materials and Colors:** Building surface materials are metal, glass, metal panel siding and metal screen in non-reflective finishes with offsets. The marquee and stepped roof form help break down the scale and modulate the façade to be compatible with adjacent buildings. Colors are earthtones, rust and grey tones.



**Northwest corner elevation**

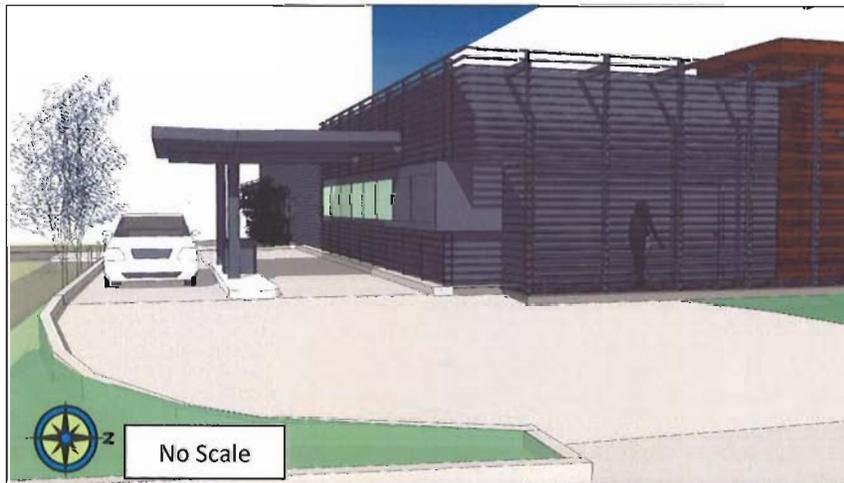
**North:** Pedestrian walk up service is a key feature for the bank. This essential function is expressed and encouraged with generous amounts of clear glazing along NE 2<sup>nd</sup> Street. A steel and glass marquee overhead protects pedestrians from inclement weather. Storefront glazing runs from the eastern most point of the banks lobby, west along NE 2<sup>nd</sup> Street and culminates at the main entrance to the Bank. The intent is to provide transparency into the bank and activate the adjacent streetscape by allowing the interior functions of the building to be seen from outside. Spillover illumination from the interior will help provide a greater sense of security to pedestrians while walking east/west along NE 2<sup>nd</sup> Street. Entry doors are located in the eastern half of the facade. New landscaping and street trees are located along NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE to provide pedestrians a green buffer from adjacent vehicles and help maintain City of Bellevue streetscape continuity in the urban core. Bank signage is proposed on this façade, exact placement to be determined. See condition X.C.7.

**West:** The main entry is located directly at the intersection of NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE. Pedestrians are welcomed into the bank with a west facing porch. The arrival area provides public entrance doors, access to the bank's ATMs and cover from the weather. Glass art tile is proposed in this location. The design/color/location of the tiles has yet to be determined, but will be along the 108<sup>th</sup> Avenue NE elevation. See condition X.C.3. Bank signage is proposed on this façade, exact placement is to be determined. See condition C.7.



**Southwest corner elevation**

**South:** The western portion of the south facade of the bank is intentionally simple, with visual focus onto a combination of bamboo and arborvitae landscaping. The eastern portion of the south facade has two differing architectural materials of interest. A metal screen is attached to a metal panel facade. The screen will provide interest in both daylight and nighttime hours from shadows cast onto the metal panels from exterior illumination. A high bay painted steel marquee protects occupants in vehicles from inclement weather as they utilize the drive through. The southern boundary of the site features landscaping with Aspen trees.



**Southeast corner elevation**



The site is located at the southern end of 108<sup>th</sup> Avenue SE at NE 2<sup>nd</sup> Street. The site is surrounded by a bank, two highrise buildings with street level bank/restaurants/coffee shop. The retail complex of Office Depot/Tully's is located to the south along Main Street.

### NEIGHBORHOOD MAP

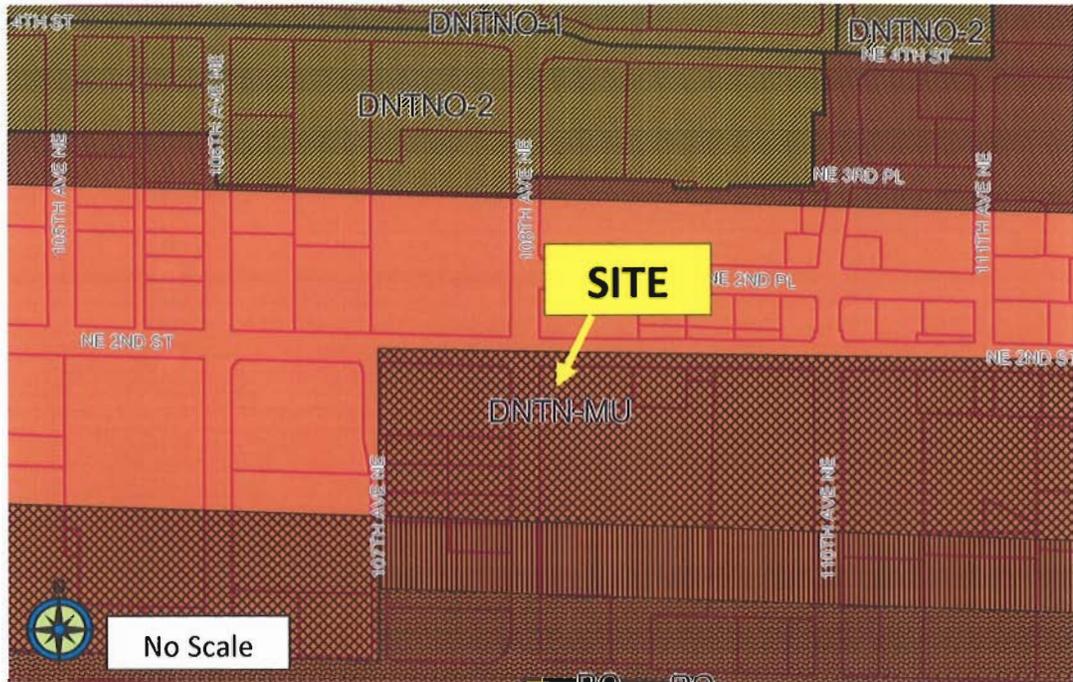


108<sup>th</sup> Avenue SE is a north/south arterial which leads 4 blocks north to the transit center/pedestrian corridor and several major highrise office buildings (with street level retail/services).

The general vicinity, from Main Street to NE 4<sup>th</sup> Street along 108<sup>th</sup> Avenue NE, is undergoing transition and new development. The existing site is a former pawn shop. Several older buildings (1-story residences) along NE 2<sup>nd</sup> Street are ready for redevelopment.

There are development proposals for multi-family units / hotel to the northeast of this site a few blocks away.

## ZONING MAP



Legend: DNTN-MU = Downtown-Mixed Use  
DNTN-O1 = Downtown-Office District 1  
DNTN-O2 = Downtown-Office District 2  
Overlays = Subdistrict Perimeters A,B,C, Core  
(see LUC 20.25A.090 & Mapster)

### Zoning

The property is zoned Downtown – Mixed Use in Subdistrict Perimeter C. There is no concomitant agreement attached to the property. The proposed bank use is permitted outright in this zoning district. Adjacent uses and zoning are as follows:

North: Financial Institution (bank), zoned Downtown – Mixed Use.

South: Retail shopping complex, zoned Downtown – Mixed Use in Perimeters A,B,C.

East: Parking lot and back of Toys R Us, zoned Downtown – Mixed Use in Perimeter C.

West: Highrise building with financial institution (bank) at the street level, zoned Downtown – Mixed Use.

### III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

#### A. General Provisions of the Land Use Code

##### 1. Use

The applicant's proposed use, a bank, is allowed outright in the Downtown-MU zoning district.

2. Dimensional Requirements

**Table 1**  
**Use and Dimensional Requirements**

Item	Permitted/Required	Proposed	Comments/Conditions
<b>Project Limit</b>	No minimum	24,967 SF	
<b>Zoning</b>	Downtown MU-Perimeter Subdistrict C	No change.	
<b>Proposed Use</b>	Financial Institution	Financial Institution	Meets code. LUC 20.10.440
<b>Building Height</b>	Basic 30 FT and Maximum 65 FT	16.5 FT	Meets code.. LUC 20.25A.090
<b>Floor Area Ratio (FAR)</b>	Basic 0.5 and Maximum 1.5	0.23	Meets code. LUC 20.25A.020
<b>Project Total Gross Square Feet (GSF)</b>	37,450 SF at 1.5 FAR	5,760 SF	Meets code. Excludes parking and mechanical areas from GSF. LUC 20.50.022
<b>Setbacks</b>			
Item	Permitted/Required	Proposed	Comments/Conditions
Front(s)	0 FT for structures under 75 feet.	NE 2 <sup>nd</sup> Street = 0 FT 108 <sup>th</sup> Avenue NE = 0 FT	Meets code. LUC 20.25A.020
Side	0 FT for structures under 75 feet.	25 FT	Meets code. LUC 20.25A.020
Rear	0 FT for structures under 75 feet.	174 FT	Meets code. LUC 20.25A.020
Lot Coverage	75%	23%	Meets code. LUC 20.25A.090.D.2

Item	Permitted/ Required	Proposed	Comments/Conditions
<b>Sidewalk Width</b>	NE 2 <sup>nd</sup> Street = 8' sidewalk + 4' wide planter + 6" curb.  108 <sup>th</sup> Avenue NE = 20.5' sidewalk (includes 4' wide planter + 6" curb.	NE 2 <sup>nd</sup> Street = 8' sidewalk + 4' wide planter + 6" curb.  108 <sup>th</sup> Avenue NE = 20.5' sidewalk (includes 4' wide planter + 6" curb.	Meets code. LUC 20.25A.060.A
<b>Street Tree Species</b>	NE 2 <sup>nd</sup> Street = Oak. 108 <sup>th</sup> Avenue NE = Zelkova.	NE 2 <sup>nd</sup> Street = Oak. 108 <sup>th</sup> Avenue NE = Zelkova.	Meets code. LUC 20.25A.060.B
<b>Mid-Block Connection</b>	Not required.	NA.	LUC 20.25A.060.C
<b>Building/Sidewalk Design Guidelines</b>	NE 2 <sup>nd</sup> Street = D/R right-of-way (50% street edge as service and commercial activities, windows, street walls)  108 <sup>th</sup> Avenue NE = C right-of-way (100% street edge as service and commercial, windows, street walls, arcades, special sidewalk treatment)	NE 2 <sup>nd</sup> Street = 100% street edge as service use, windows, street walls)  108 <sup>th</sup> Avenue NE = 100% street edge as service use, windows, street walls, arcades, widened sidewalk.	Meets code. LUC 20.25A.115

<p><b>Landscaping</b></p>	<p>Street frontage adjacent to parking and vehicular access = 8' Type III (otherwise 0')          Rear/Side yards = 5' Type III along parking and vehicular access          Type V = 490 SF of landscaping (28 stalls x 17.5 SF per stall)</p>	<p>Street frontage adjacent to parking and vehicular access = 8' Type III (otherwise 0')          Rear/Side yards = 5' Type III along parking and vehicular access          Type V = 852 SF of landscaping, however the applicant requests an Alternative Landscape Option (ALO). See Section III.A.3 below.</p>	<p>Proposed Parking Area Landscaping 852 SF exceeds code requirement of 490 SF.          LUC 20.25A.040.B          LUC 20.20.520.G.5.a          The applicant requests an ALO. See Section III.A.3 below.</p>
---------------------------	--	--	---

**Table 2  
 Parking and Loading**

Item	Required		Proposed	Comments/Conditions
<p><b>Parking – Downtown MU zone</b></p>	<p>Minimum and Maximum Permitted Ratios</p>	<p>Required and Permitted Parking Stalls</p>	<p>Proposed Parking Stalls</p>	
<p>Financial Institutions</p>	<p>Minimum 4 stalls per 1000 NSF and a maximum of 5 stalls per 1000 NSF</p>	<p>Minimum 23 stalls and Maximum 28 stalls</p>	<p>Proposed 28 stalls</p>	<p>Meets code.          LUC 20.25A.050,B</p>
<p>Parking Stall Queuing</p>	<p>Minimum 7 stalls per queuing lane.</p>	<p>14 stalls (2 lanes x 7 stalls = 14 stalls)</p>	<p>14 stalls</p>	<p>Meets code.          LUC 20.20.590.K</p>

Compact Stalls	Maximum 65%	Maximum 18 stalls	0 compact stalls (all standard)	Meets code. LUC 20.25A.050.F.2
----------------	----------------	----------------------	--	-----------------------------------

**3. Request for Alternative Landscape Option (ALO) per LUC 20.20.520.J**

The applicant requests approval of an Alternative Landscape Option (ALO) to reduce the required 100 square feet per parking area landscaped island for two parking islands. The request is due to the layout of the parking circulation, queue lanes and access driveway widths, to meet city dimensional requirements.

The reduced amounts are as follows:

1. Reduced from 100 square feet to 84 square feet.
2. Reduced from 100 square feet to 60 square feet.

The code requires 490 square feet of landscaping within the parking area (28 stalls x 17.5 square feet). In order to provide a landscape plan of superior quality, the applicant has proposed a total of 852 square feet of landscaping within the parking area (362 square feet more than required). The additional square footage has been provided in other areas of the parking/circulation areas, i.e. enlarged perimeter areas, planting areas within the parking lot and along the south elevation of the building adjacent to the queuing lanes.

The applicant must meet the criteria of Land Use Code 20.20.520.J:

- a. The proposed landscaping represents an equal or better result than that which could be achieved by strictly following the requirements of this section.

Response: The proposal includes 362 square feet of additional landscape area to parking/circulation areas.

- b. The proposed landscaping complies with the stated purpose of this section (subsection A), and with the purpose and intent of paragraphs F.1 and G of this section.

Response: The proposal meets the purpose and intent of the landscape code. The applicant provides a landscape plan with a rich palette of native and ornamental plant materials. The plan will provide additional landscaping along that area of the site with the highest visibility, i.e. along the south elevation of the building viewed from 108<sup>th</sup> Avenue NE.

Along the south elevation, the applicant has added a steel trellis to support proposed bamboo plants. This design feature will add a green element as well as break up the monotony of a blank wall. The applicant has also proposed a color pattern of tulips for spring color and lily turf ground cover that will maintain its foliage during winter months when tulips are dormant.

- c. If a modification of any paragraph excluding subsection E of this section is requested, the proposed landscaping either:
- i. Incorporates the increased retention of significant trees and naturally occurring undergrowth; or
  - ii. Better accommodates or improves the existing physical conditions of the subject property; or
  - iii. Incorporates elements to provide for wind protection or to maintain solar access; or
  - iv. Incorporates elements to protect or improve water quality; or
  - v. Incorporates native species in a design that better buffers a critical area and critical area buffer from uses on the site, including parking.

Response:

The proposed design provides increased depth for the landscaped area at the south property line. This allows for additional screening of the existing loading dock at the adjacent property line which is visible from NE 2<sup>nd</sup> street. Greater depth of planting area at the south property line allow for increased root zone for plants and provide increased surface area for water collection, thereby increasing plant health and potentially lowering water usage.

**Conclusion:** The proposed landscape design complies with the stated purpose and intent of the code. The design better accommodates and improves the existing physical conditions of the property and incorporate elements to improve water quality. The proposed design provides an enhanced landscape design that is sensitive to site specific condition and is a superior result to that which could be achieved by strictly following the requirements of the code. Based upon the submitted landscape plan and criteria noted above, the requested Alternative Landscape Option is approved under this Design Review.

**B. Special District Requirements**

**1. FAR Amenity System Requirements**

Subject to LUC 20.25A.020C.2, the amount of bonus floor area in square feet generated by the amenities provided to meet the Basic Floor Area Ratio (FAR) requirement must at a minimum be equal to 20% of the Project Limit area times the Basic FAR permitted for a non-residential building in the land use district.

$$\begin{aligned} &\text{The Basic FAR requirement in square feet =} \\ &0.20 \times \text{the Project Limit area} \times \text{the Basic Non-residential FAR.} \\ &\text{For this project, the Basic FAR calculation is:} \\ &0.20 \times 24,967 \text{ SF} \times 0.5 = 2,497 \text{ SF} \end{aligned}$$

The amount of "Basic" FAR Amenity Earned (3,456 SF) calculated below, exceeds the minimum required 2,497 SF. Therefore the proposal meets this code requirement.

**Table 3: Bonus Amenity Area Earned**

Project Gross Floor Area (GFA)	5,760 SF
Basic Permitted Floor Area (Basic FAR X Project Limit)	12,484 SF (0.5 X 24,967 SF = 12,484 SF)
"Basic" FAR Amenity Required "Basic" FAR Amenity Earned	2,497 SF (0.20 X 24,967 SF X 0.5)  3,456 SF (Refer to Table 4 below)
Total FAR Amenity Earned	3,456 SF (Refer to Table 4 below)
Excess FAR Amenity Earned (Total FAR Amenity Earned – Basic FAR Amenity Earned - "Bonus" FAR Amenity to Earn)	959 SF (3,456 SF – 2,497 SF = 959 SF)

**Table 4: Bonus Amenities**

Amenity		Units of Measure	Bonus Ratio	Bonus Floor Area Earned	Public Benefit/Condition
Basic	Marquee	SF	2:1	525 SF x 2 = <b>1,050</b> SF (points)	A permanent overhead marquee projecting from the elevation of a building, and designed to provide continuous overhead weather protection to the area underneath. Located along NE 2 <sup>nd</sup> Street and 108 <sup>th</sup> Avenue NE.
	Arcade	SF	4:1	215 x 4 = <b>860</b> SF (points)	A continuously covered area which functions as a weather-protected space. Located at the entry to building (along 108 <sup>th</sup> Avenue NE).
	<b>Sub-Total Basic</b>			1910 (points)	
Non-Basic (Bonus)	Landscape area	SF	1:1	546 SF x 1 = <b>546</b> SF (points)	An outdoor landscaped area providing visually or physical access for tenants. Located along the east elevation of the building.
	Sculpture: Glass Art Tiles	SF	5:1	\$200 x 5 = <b>\$1000</b> (points)	Any form of sculpture or other artwork located outside the building. Glass art tile will be located at the east entrance along the arcade.  <b>Description:</b> The glass art tile/sculpture will be prepared by collaboration between the artist and the architect. Proposed artist for this work is Peter David of Peter David Studio in Seattle <a href="http://www.peterdavidstudio.com">www.peterdavidstudio.com</a> Prior to building permit issuance, the glass tiles shall be submitted for review and approval. <b>See condition X.C.3.</b>
	<b>Sub-Total Non-Basic (Bonus)</b>			1546 points	
	<b>Combined Total Basic and Non-Basic (Bonus)</b>			<b>3,456 points</b>	<b>Surplus of 959 points (3,456 points proposed – 2,497 points required = 959 points surplus)</b>

#### 4. Design Review Criteria

Subject to LUC 20.25A.110 and 20.25A.115, the following design criteria must be met for Design Review approval.

##### LUC 20.25A.110 Design Review Criteria

#### A. Site Design Criteria

##### 1. Vehicular Circulation and Parking

- a. *Provide efficient vehicular access to parking and service areas which is coordinated on a superblock basis.* Parking will be directed onsite for banking services from 108<sup>th</sup> Avenue NE and exiting on NE 2<sup>nd</sup> Street. This will provide an efficient flow of traffic to the parking lot (for those visitors entering the building) and for those cars in the queue line.
- b. *Coordinate the location of vehicular and pedestrian mid-block connections, considering opportunities for mid-block crossings.* A mid-block connection is not required. However, the vehicular circulation is designed to be an efficient flow of traffic (see item 1.a above). Sidewalks will be improved to city standards, including generous width of 20.5 feet for the sidewalk along 108<sup>th</sup> Avenue NE.
- c. *Provide for safe and pleasant movement within the Downtown for the pedestrian and bicyclist.* As noted above (item 1.b), safe and pleasant movement will be provided with the sidewalks improved to current standards.
- d. *Maximize the separation of vehicular traffic from pedestrian areas by means of level changes, space and distance, or landscaping.* Along both NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE, the sidewalks are separated from the vehicular surfaces by a 6 inch curb and four foot wide planting area. The walking surface will be of a different material than the street. Street trees will also provide a feeling of separation between the sidewalk and driving areas.
- e. *Minimize the location of parking adjacent to pedestrian connections.* The surface parking lot will be separated from the pedestrians at the sidewalk by 8' wide of landscaping.
- f. *Limit the number of driveway openings and the number of access lanes in each opening.* The project will provide one driveway along 108<sup>th</sup> Avenue NE and one along NE 2<sup>nd</sup> Street.

##### 2. Pedestrian Circulation and Amenities (see LUC 20.25A.060)

Pedestrians can circulate around the project, via the sidewalks along NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE. Street trees, landscaping, and marquees are used to provide a more pleasant pedestrian experience. Above ground mechanical equipment will be screened from pedestrian views. See condition X.C.14.

### **3. Wind and Sun**

The proposed building, located along the north side of the existing Office Depot retail complex, will not be subject to some of the winds from the southwest as the existing buildings to the south and west will help block winds.

The building is located on the north side of the existing Office Depot retail complex. Since it is one-story in height (the lowest in the immediate area), it will not block sun to adjacent buildings.

### **4. Light and Glare**

Light and glare are controlled by utilizing low-intensity lighting fixtures on the exterior of the building and non-reflective glass/metal panels, as proposed by the applicant.

## **B. Downtown Patterns and Context**

### **1. Natural Setting and Topography**

There is an elevation change of about 4 feet onsite (west uphill, east downhill) with an overall slope of about 2%. The building is located at the highest elevation of the site. There is no natural landscaping or features at this already disturbed urban site.

### **2. Landscape Design**

The applicant will install street trees along NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE to be consistent with existing street tree requirements of the Land Use Code. Landscape plant types shall be native and adapted plant species to minimize irrigation water needs. In addition, the applicant shall submit appropriate assurance devices to assure the survival of plant material. See conditions X.C.13, E.2.

### **3. Views**

Since the building is one 1-story in height and is surrounded by taller buildings, the bank will not block any views.

### **4. Building Height and Bulk**

The building height and bulk is unique to the corner of NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE. It is lower in height (one story) and has a different design/bulk than adjacent buildings

### **5. Transitions**

The project provides a transition from the more intense Downtown-MU zoning district (without perimeter subdistricts) to the north to the lower intensity Downtown-MU perimeter subdistricts A & B to the south thus providing a further transition to the residential neighborhood to the south).

## 6. Patterns of Activity

The building provides pedestrian-level activity at the sidewalk to view activity inside the building. New sidewalks and plantings will present a pleasing walking environment for pedestrians. Traffic and utility boxes will not be located in pedestrian areas. See conditions X.C.6 & 7.

## 7. Signage

A sign package was included in this application. Prior to issuance of any building permits, a sign package in compliance with the Sign Code must be submitted as a revision to this Design Review. See condition X.C.7.

### Design Guidelines – Building/Sidewalk Relationships LUC 20.25A.115

See discussion under Section III.A.2, Table 1.

## IV. PUBLIC NOTICE AND COMMENT

Notice of Application: 11/06/08  
Public Notice Sign: 11/06/08  
Minimum Comment Period: 11/20/08

Although the minimum required public comment period ended on November 6, 2008, comments were accepted up to the date of this decision. There were no written comments. There were several phone calls of a general inquiry and although told how to become a party of record they declined to do so. There are no parties of record.

## V. TECHNICAL REVIEW

### A. Utility Department

Utility review has been on a conceptual basis only, consequently there are no implied approvals of the engineering specifications for the water, sewer and storm drainage components of the project. Engineering review of the water, sewer and storm drainage infrastructure will be performed under the Utility Developer Extension Agreements, and will coincide with the clearing and grading permit review. Final civil engineering may require changes to the site layout to accommodate the utilities. See conditions X.A.1 & 2. Vesting to the storm and surface water code is at complete building permit submittal, per Bellevue City Code 23.76.045.

### B. Clear and Grade Code

The plans and materials submitted for the project are sufficient for the Clearing and Grading section to approve the Design Review. Technical review will occur through the

Clearing and Grading Permit. Vesting to the clearing and grading code is at complete building permit submittal, per Bellevue City Code 23.76.045.

### **C. Transportation Department**

#### **Site Access**

Access to the proposed project site will be provided via a 30-foot wide driveway off of NE 2<sup>nd</sup> Street with full vehicular access. In addition, a 15-foot wide one-way driveway will be provided on 108<sup>th</sup> Avenue NE to access the drive through lanes. The one-way driveway operation will be limited to right turn only with addition of a c-curb to prevent left turns. The proposal provides for two drive-thru teller stations off of 108<sup>th</sup> Avenue NE each with maximum queue length of seven vehicles consistent with LUC 20.20.590.K.5.

#### **Street Frontage Improvements**

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act and the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

1. A combined street tree and street light plan is required for review and approval prior to completion of engineering and landscape plans for their installation. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from driveways (ten feet from Point A in standard drawing DEV-6).
2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a consistent travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway.

Buildings shall be designed so that doors do not swing out into the pedestrian path. ADA-compliant curb ramps shall be installed where needed, consistent with standard drawings TE-12 or TE-13.

3. The curb, gutter, and sidewalk on NE 2<sup>nd</sup> Street shall be completely removed and reconstructed with a sidewalk width of at least 12 feet, not including the curb. Any planters or tree wells are included in the 12-foot width. A street profile must be submitted with construction plans.
4. The curb, gutter, and sidewalk on 108<sup>th</sup> NE shall be completely removed and reconstructed with a sidewalk width that will match the existing sidewalk width to the south. The final sidewalk width will be approximately 20.5 foot wide. Any planters or tree wells are included in the 20.5-foot width and must be aligned with the existing tree wells on the south side of the property. A street profile must be submitted with construction plans.
5. The design and appearance of the sidewalk and landscaping on both 108<sup>th</sup> NE and NE 2<sup>nd</sup> shall comply with the standards and drawings in the Transportation Department Design Manual, including standard drawings TE-11 and DEV-3. The sidewalk shall be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern, with four-foot by six-foot tree wells, unless both the Transportation Department and the Development Services Department agree to accept any non-standard pattern, color, or other features.

Any non-standard features or vegetation shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements.

6. Tree wells and other landscaping within the sidewalk on 108<sup>th</sup> NE and NE 2<sup>nd</sup> shall be irrigated with a private metered water source. Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
7. The proposed driveways on 108<sup>th</sup> NE and NE 2<sup>nd</sup> shall have approach widths, as defined in standard drawing DEV-6, of 15 and 30 feet respectively. The driveway apron design shall be consistent with standard drawing DEV-6.
8. No new utility vaults that serve only one development will be allowed within a public sidewalk.
9. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing Dev-6. Fixed objects are defined as anything with breakaway characteristics stronger than a typical 4 by 4 wooden post.

10. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.

### **Easements**

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. There are some utility easements contained on this site which are affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.

### **Holiday Construction & Traffic Restrictions**

From November 15<sup>th</sup> to January 5<sup>th</sup>, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department.

### **Use of the Right of Way During Construction**

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit.

### **Pavement Restoration**

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Near this project NE 2<sup>nd</sup> has been classified as "Overlay Required" with the City's trench restoration program; therefore, a grind and overlay will also be required. The grind and overlay would likely be for a length of at least 100 feet for the full width of any affected lane. Details of any trench restoration must be shown on the engineering plans. As for 108<sup>th</sup> NE, it has been identified as "No Street Cuts Permitted." Should

street cuts prove unavoidable or if the street surface is damaged in the construction process, a half-street or full-street (depending on the extent of street cuts or damage) grind and overlay will be required.

See conditions X.B.1 & 2, C.8-12, D.2.

#### **D. Fire Department**

Site demolition and construction shall conform to the requirements of International Fire Code Chapter 14 and will be reviewed under the demolition/building permits. See condition X.A.3.

### **VI. STATE ENVIRONMENTAL POLICY ACT**

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements, with adoption of the 2009-2020 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS) issued March 5, 2009. Documents are available in the Development Services Department, Records Room, Bellevue City Hall, 450 110<sup>th</sup> Ave NE.

Adverse impacts which are less than significant are usually subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

### **TRANSPORTATION**

#### **Long Term Impacts and Mitigation**

The long-term impacts of development projected to occur in the City by 2020 have been addressed in FEIS issued March 5, 2009. The impacts of growth which are projected to occur within the City by 2020 were evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's Transportation Facilities Plan (TFP) are in place. The TFP EIS has forecasted 5,489,336 GSF of office in Downtown by 2020. Therefore, the volume of proposed development is within the assumptions of the TFP EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance and is

subject to the fee schedule in effect at the time of building permit issuance. The city will give a credit for the existing pawn shop that will be demolished. See condition X.C.8.

### **Mid-Range Impacts and Mitigation**

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

This development will generate approximately 138 new p.m. peak hour trips. City staff distributed and then assigned project-generated trips to the street network using the City's EMME-2 travel forecasting model with the current Capital Investment Program network. By adding the expected project-generated trips to the traffic volumes in the model, the area average levels of service were determined. To create a baseline condition for comparison, the levels of service were also determined using traffic volumes without the project-generated trips. In this project analysis, two system intersections received 20 or more p.m. peak hour trips. Neither the maximum area-average levels of service nor the congestion allowances would be exceeded as a result of traffic generated from this proposal. Therefore, the proposed development passes the concurrency test. The concurrency test results are included in the Transportation Department file for this development. The report is available for review in the project file.

The rules of concurrency reservation are outlined in the Traffic Standards Code Director's Rules, updated May 23, 2001. A concurrency determination is issued on the date of issuance of the land use decision. This project complies with the Traffic Standards Code and is receiving a Certificate of Concurrency. See Exhibit B for this certificate.

The concurrency determination is reserved to this project at the land use decision date. The concurrency reservation expires one year from the land use decision date unless a complete building permit application is filed (BCC 14.10.010.D). At the time of a complete building permit application, the Certificate of Concurrency will remain in effect for the life of the building permit application, pursuant to BCC 23.05.090H. At issuance of building permit, the Certificate of Concurrency will be extended and remain in effect for one additional year (with the possibility of up to two one-year extensions) as provided for in BCC 23.05.100.

### **Short Term Operational Impacts and Mitigation**

City staff directed the applicant's traffic consultant DCI Engineers to analyze the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during p.m. peak hours. Issues that were analyzed in the Traffic Impact Analysis dated December 9, 2009, included Level of Service (LOS) analysis at nearby intersections, LOS and vehicle queues at site driveways, internal circulation, site vehicular and pedestrian

circulation, transit availability, and accident history analysis for the past three years. We do not anticipate any adverse operational impacts due to the proposed development. The DCI Engineers analysis is available for review in the project file.

## NOISE

Noise will be generated from the construction phase of the development. The City of Bellevue Noise Ordinance, BCC 9.18 regulates hours of construction-related noise and the conditions under which they may be expanded. Residents located within the vicinity will be impacted by construction noise. Due to the close proximity of residences (north and east) in the area, hours of construction are limited as noise mitigation. The best available noise abatement technology is required during construction. [See condition X.C.3.](#)

## VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW



Original Proposal from Preapplication Meeting



**Revised Proposal looking east from 108<sup>th</sup> Avenue NE**



**Revised Proposal looking at the intersection of NE 2<sup>nd</sup> Street and 108<sup>th</sup> Avenue NE**

The following is a summary of changes due to staff review:

- Required the driveway entrance off of 108<sup>th</sup> Avenue NE to the site to be one-way to the 2 queuing lanes/parking area beyond. Required c-curb within 108<sup>th</sup> Avenue NE to direct the flow of traffic.
- Required a 20.5' wide sidewalk along 108<sup>th</sup> Avenue NE to be consistent with the sidewalk width to the south.
- Required the structure to be located at the corner at the sidewalk for a more urban treatment.
- Revised the exterior colors and materials to be of an urban treatment, requiring the applicant to cover up the manufactured modular exterior, requiring glazing at the sidewalk level to provide pedestrian interest and marquees. .
- Required the main public entrance along 108<sup>th</sup> Avenue NE, instead of NE 2<sup>nd</sup> Street.
- Required the modular units to be lowered so the structure meets the sidewalk level and will not be sitting above the sidewalk/site grade.

- Required rooftop screening to be architecturally compatible with the building.
- Required an architectural/landscape feature along the south elevation to break up the monotony of a blank wall. The applicant proposed a steel trellis holding up bamboo. The applicant also proposed seasonal plant color (i.e. tulips), grasses and other ornamental/native plantings. This will provide a pleasing view for those traveling north on 108<sup>th</sup> Avenue NE.

**VIII. DECISION CRITERIA per Land Use Code 20.30F.145**

***The Director may approve, or approve with modifications, an application for Design Review if:***

**1. The proposal is consistent with the Comprehensive Plan.**

The Comprehensive Plan envisions this area of downtown to be of mixed land uses, including high rise office buildings, mid-low rise residential buildings and various retail/service uses. This area, as a perimeter subdistrict, serves as a transition between the higher intensity uses to the north and lower intensity uses to the south. This proposal will further this vision of the area by providing a service use (financial institution) which will complement existing uses in the area. Furthermore, the proposal meets the vision of an urban image with durable materials, architectural interest and pedestrian orientation.

Policy UD-1: The proposed structure with its forms, surfaces and materials creates a new reference point at intersection and meets criteria for quality, attractiveness and architectural appeal.

Policy UD-2: The intricacy of surfaces and creative use of durable urban materials such as metal panel exterior cladding, screens and glazing system create visual stimulation and thoughtful response to built environment.

Policy UD-8: Screens for roof top units modulate the rhythm while integrated with the building form and character.

Policy UD-11: Canopies at entrance and drive through teller stations provide protection from rain and open up to welcome sunlight and define major points of communication with the building.

Policy UD-14: Use of seasonal color planting native to northwest will be incorporate into the design of public and semi-public areas.

Policy UD-20: The proposed design incorporates covered open space as an entrance arcade along 108th avenue NE towards NW corner of the property.

Policy UD-40: 108<sup>th</sup> Avenue NE will have ample sidewalk width (20.5') for pedestrians. Street trees will be provided to help create a pedestrian friendly street environment.

**2. The proposal complies with the applicable requirements of this Code.**

As conditioned, the proposal complies with applicable requirements of the Land Use Code. Refer to Section III of this report for further information. The applicant shall record a copy of all of the Conditions of Approval, Amenities Plan and FAR calculations with King County Recording. See condition X.E.1.

**3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.**

As conditioned, the proposal meets the development standards and design guidelines of the Downtown-MU Design district (LUC 20.25A.100). Refer to Section III.

**4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**

The proposal is compatible with, and responds to, the intended character, appearance, and quality of development in the immediate vicinity which is a mix of low, mid and high rise development. The proposed building will replace the existing Pawn X-Change shop building (now vacant) and will therefore enhance the quality of architectural character in the vicinity. The proposal will widen the adjacent sidewalks and install plantings/street trees. The design proposal presents an urban character and image and therefore enhances properties facing the street intersection. Prior to issuance of a building permit, the applicant shall submit for review and approval a landscape restoration plan in the case of the modular unit being removed from the site. See condition X.C.2.

**5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.**

All required public services and facilities are available to the site. A condition of approval has been added that requires power, telephone, or other ground-mounted equipment not be located in above-ground cabinets in sidewalk areas. In addition, the applicant must provide a letter from Allied Waste that states their approval of interior collection of solid waste and recycling, due to security purposes for the bank. See conditions X.D.1.

**IX. DECISION**

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE WITH CONDITIONS** the subject proposal.

**X. CONDITIONS OF APPROVAL:**

The following conditions are imposed on the applicant under the authority referenced:

**A. GENERAL CONDITIONS**

**1. UTILITY DEPARTMENT CONCEPTUAL DESIGN REVIEW**

Utility Department approval of the design review application 08-132309 LD is based on the conceptual design only. Changes to the site layout may be required to accommodate the utilities after utility engineering is approved.

AUTHORITY: BCC Title 24.02, 24.04, 24.06

Reviewer: Arturo Chi, 425-452-4119

**2. WATER, SEWER AND STORM DRAINAGE**

The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards.

All design review, plan approval, and field inspection shall be performed under the individual permits and/or Utility Developer Extension Agreements depending on the extend of the work.

AUTHORITY: BCC Title 24.02, 24.04, 24.06

Reviewer: Arturo Chi, 425-452-4119

**3. FIRE**

Demolition and construction shall conform to the requirements of International Fire Code (IFC) Chapter 14 and will be reviewed under the demolition/building permits.

AUTHORITY: IFC Chapter 14

Reviewer: Adrian Jones, 425-452-6032

**4. HOLIDAY CONSTRUCTION & TRAFFIC RESTRICTIONS**

Construction activities such as hauling and lane closures between November 15<sup>th</sup> and January 5<sup>th</sup> will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

AUTHORITY: BCC 14.30.060

Reviewer: Jon Regalia, 425-452-4599

**B. PRIOR TO ISSUANCE OF ANY CLEAR AND GRADE PERMIT**

**1. RIGHT-OF-WAY USE PERMIT**

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.

- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

**The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.**

AUTHORITY: BCC 11.70 & 14.30  
Reviewer: Jon Regalia, 425-452-4599

## **2. CIVIL ENGINEERING PLANS – TRANSPORTATION**

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) Handicapped ramps, crosswalk revisions, and crosswalk equipment such as pushbuttons.
- d) Installation or relocation of streetlights and related equipment.
- e) Sight distance. (Show the required sight triangles and include any sight obstructions, including those off-site.)
- f) Location of fixed objects in the sidewalk or near the driveway approach.
- g) Trench restoration within any right of way or access easement.

Specific requirements are detailed below.

- a) The driveway on 108<sup>th</sup> NE is one-way and will be designed and constructed per civil plans design and details submitted on September 9, 2008. This will include

channelization, marking and signage and addition of approximately 60 feet of c-curb on 108<sup>th</sup> NE.

b) Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. Placement within landscaped areas onsite is acceptable.

c) Miscellaneous:

♦ Driveway aprons for the proposed 30 feet wide commercial driveway on NE 2<sup>nd</sup> and 15 feet wide driveway on 108<sup>th</sup> NE must be constructed in accordance with Design Manual Standard Drawing DEV-6.

♦ Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

AUTHORITY: BCC 14.60; Transportation Department Design Manual

Reviewer: Abdy Farid, 425-452-7698

### **3. NOISE MITIGATION**

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020.F

Reviewer: Carol Saari, 425-452-2731

### **C. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT**

#### **1. SINGLE SITE AGREEMENT**

Prior to issuance of a building permit, the applicant shall submit for review and approval a single site agreement and record such document at King County.

AUTHORITY: LUC 20.50.042

Reviewer: Carol Saari, 425-452-2731

#### **2. RESTORATION PLANS**

Prior to issuance of a building permit, the applicant shall submit for review and approval a landscape restoration plan, if the modular unit is removed from the site.

AUTHORITY: LUC 20.30F.145

Reviewer: Carol Saari, 425-452-2731

**3. GLASS ART TILES**

Prior to final Certificate of Occupancy, the applicant shall provide samples of the glass art tiles to the Development Services Department for review and approval.

AUTHORITY: LUC 20.25.030

Reviewer: Carol Saari, 425-452-2731

**4. SCREENING FOR THE ROOFTOP MECHANICAL BOXES**

The applicant shall submit drawings of the roof pattern for review and approval. The rooftop mechanical screening and equipment shall not exceed a height of 15-feet above the roof. The equipment shall be consolidated. Rooftop equipment shall be architecturally incorporated into the building design. The screen shall be visually integrated with the form and color of the building, and the equipment shall be screened from all sides and from above. Screening from above shall be accomplished by a solid non-reflective roof, which may incorporate louvers, vents or similar penetrations to provide the necessary ventilation or exhaust the equipment being screened. The color of the screen shall match the color of the roof. Any rooftop structures to house mechanical equipment shall be the minimum size necessary and also painted to match the color of the roof.

AUTHORITY: LUC 20.20.525; Comprehensive Plan Policy UD-8

Reviewer: Carol Saari, 425-452-2731

**5. TRAFFIC CONTROL BOXES AND POWER VAULT BOXES**

On the building permit drawings, the applicant shall portray the location of traffic control boxes, power vault boxes and other similar utility boxes. Power vault boxes and other similar utility boxes shall not be located in pedestrian areas and shall be shielded from public view.

AUTHORITY: LUC 20.25A.110.B.2.c.

Reviewer: Carol Saari, 425-452-2731

**6. UTILITY BOXES**

On the building permit plans, the applicant shall provide the location of all underground and above-ground utility boxes. For the above-ground boxes, indicate the box dimensions, including height. If required to be within the sidewalk area, utility boxes shall be located out of the main walking area of the sidewalk.

AUTHORITY: LUC 20.25A.110.B.2.c.

Reviewer: Carol Saari, 425-452-2731

**7. PROJECT SIGNAGE**

A sign master plan package in compliance with the Sign Code shall be submitted to the Permit Center for review and approval as an application for a Sign Permit and revision to the Design Review.

AUTHORITY: BCC 22B.025, LUC 20.25B.040.G, LUC 20.25A.060.C  
Reviewer: Carol Saari, 425-452-2731

**8. TRANSPORTATION IMPACT FEE**

Payment of the traffic impact fee will be required at the time of building permit issuance. This fee is subject to change and the fee schedule in effect at the time of building permit issuance for the above ground building permit will apply. The city will give credit to the existing pawn shop that will be demolished.

AUTHORITY: BCC 22.16  
Reviewer: Abdy Farid, 425-452-7698

**9. BUILDING AND SITE PLANS – TRANSPORTATION**

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241  
Reviewer: Abdy Farid, 425-452-7698

**10. EXISTING EASEMENTS**

There are utility easements contained on this site which are affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: BCC 14.60.100  
Reviewer: Jon Regalia, 425-452-4599

**11. EASEMENTS FOR STREET LIGHT BOXES AND VAULTS AND TRAFFIC SIGNAL EQUIPMENTS**

The applicant shall provide easements to the City for location of street light facilities and traffic signal equipment such as above-grade boxes and below-grade vaults between the building and sidewalk within the landscape area.

AUTHORITY: BCC 14.60.100  
Reviewer: Abdy Farid, 425-452-7698

**12. PEDESTRIAN AND UTILITIES EASEMENTS**

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

AUTHORITY: BCC 14.60.100  
Reviewer: Abdy Farid, 425-452-7698

**13. LANDSCAPE PLANT TYPES**

The landscape plan submitted with the building permit application shall be comprised of native and adapted plant species to minimize irrigation demands and reduce maintenance requirements.

AUTHORITY: LUC 20.20.520.I  
Reviewer: Carol Saari, 425-452-2731

**14. ABOVE-GRADE MECHANICAL EQUIPMENT SCREENING**

Show the location of each piece of above-grade mechanical equipment, including communication equipment such as satellite dishes, and demonstrate that screening is provided so that these items are not visible from adjacent streets, public sidewalks, or the surrounding buildings.

AUTHORITY: LUC 20.20.650, 20.25A.110.B, 20.20.730  
Reviewer: Carol Saari, 425-452-2731

**D. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY**

**1. ALLIED WASTE**

The applicant shall provide a letter from Allied Waste that states their approval of interior collection of solid waste and recycling, due to security purposes for the bank.

AUTHORITY: LUC 20.20.725  
Reviewer: Carol Saari, 425-452-2731

**2. STREET FRONTAGE IMPROVEMENTS**

All street frontage improvements and other required transportation elements, including street light and traffic signal revisions, must be constructed by the applicant and accepted by the City Inspector. All existing street light and traffic signal apparatus affected by this development, including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction.

AUTHORITY: BCC 14.60.090, 110, 120, 150, 181, 200, 210, 240, 241; Transportation Department Design Manual Sections 9, 12, 14, 19, 20; and Transportation Department Design Manual Standard Drawings DEV-2, DEV-3, DEV-6, DEV-10, TE-4, TE-5, TE-7, TE-10, TE-11, TE-12 and TE-21.  
Reviewer: Abdy Farid (425) 452-7698

### **3. PAVEMENT RESTORATION**

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

- a) Near this project NE 2<sup>nd</sup> has been classified as "Overlay Required" with the City's trench restoration program; therefore, a grind and overlay will also be required. The grind and overlay would likely be for a length of at least 100 feet for the full width of any affected lane. Details of any trench restoration must be shown on the engineering plans.
- b) Near this project 108<sup>th</sup> NE has been identified as "No Street Cuts Permitted." Should street cuts prove unavoidable or if the street surface is damaged in the construction process, a half-street or full-street (depending on the extent of street cuts or damage) grind and overlay will be required.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #21  
Reviewer: Jon Regalia (425) 452-4599

### **E. PRIOR TO FINAL CERTIFICATE OF OCCUPANCY**

#### **1. RECORD AN AGREEMENT TO PROVIDE PEDESTRIAN ORIENTED FRONTAGE USES AND DESIGN REVIEW CONDITIONS OF APPROVAL**

The applicant shall record the following with the King County Office of Records and Elections:

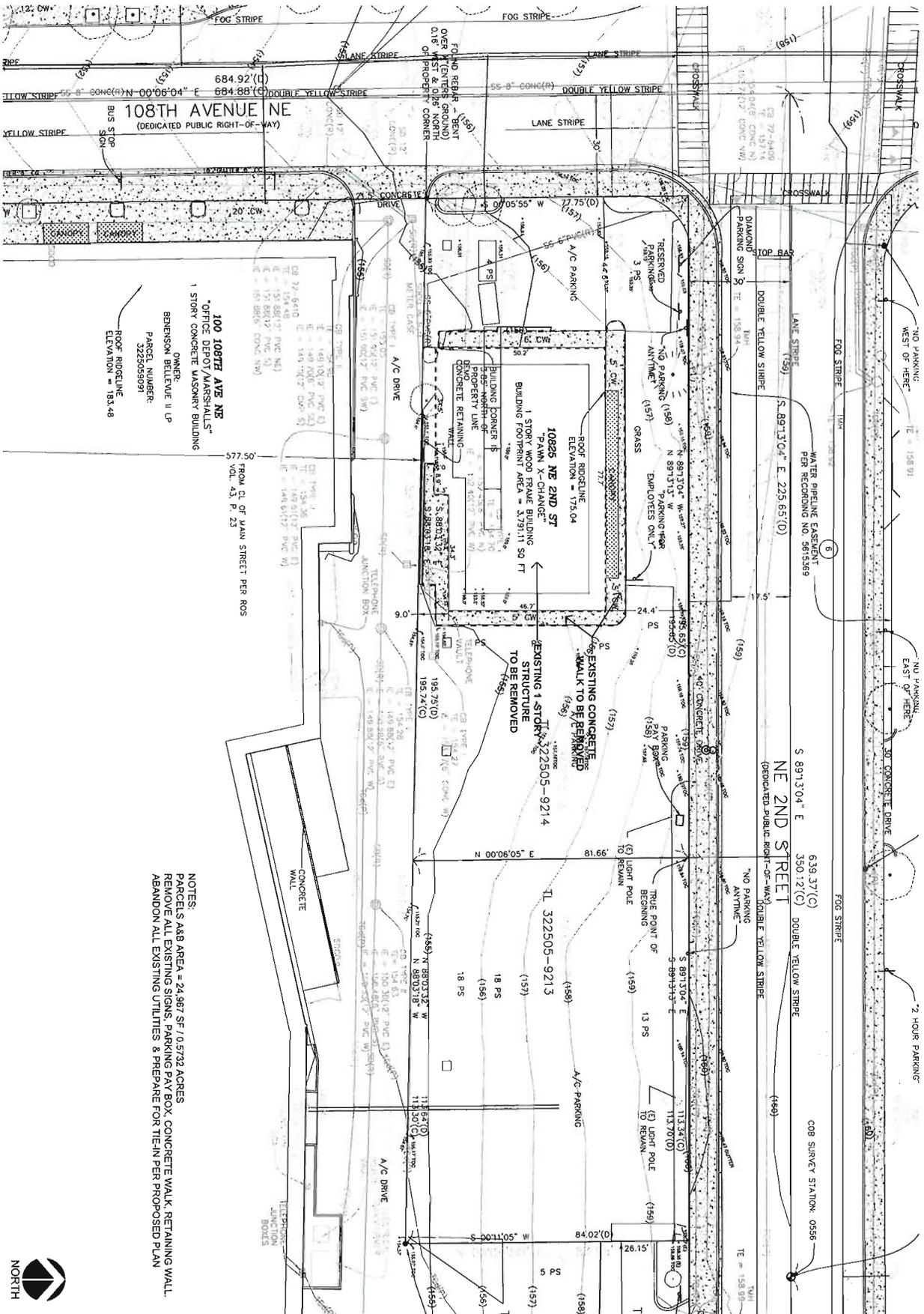
- (a) The applicant shall record an agreement that 100% of the street level edge of the building at 108<sup>th</sup> Ave. NE and a minimum of 50% of the street level edge of NE 2<sup>nd</sup> Street will remain pedestrian-oriented uses with pedestrian-oriented design elements, per LUC 20.25A.020.115.
- (b) The applicant shall record a document which contains all of the Design Review Conditions of Approval, Amenities Plan and FAR calculations.

AUTHORITY: LUC 20.25A.020.C, LUC 20.25A.020, .040, .050, .100, .115  
Reviewer: Carol Saari, 425-452-2731

#### **2. LANDSCAPE MAINTENANCE ASSURANCE DEVICE**

The applicant shall file with the Development Services Department a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490  
Reviewer: Carol Saari, 425-452-2731



100 108TH AVE NE  
 "OFFICE DEPOT MARSHALLS"  
 1 STORY CONCRETE MASONRY BUILDING  
 OWNER:  
 BENSON BELLEVE II LP  
 PARCEL NUMBER:  
 3225059091  
 ROOF RIDGELINE  
 ELEVATION = 183.48

NOTES:  
 PARCELS 5 A&B AREA = 24,987 SF / 0.5732 ACRES  
 REMOVE ALL EXISTING SIGNS, PARKING PAY BOX, CONCRETE WALK, RETAINING WALL.  
 ABANDON ALL EXISTING UTILITIES & PREPARE FOR TIE-IN PER PROPOSED PLAN

3B - SITE PLAN - DEMOLITION



SCALE: 1" = 10'

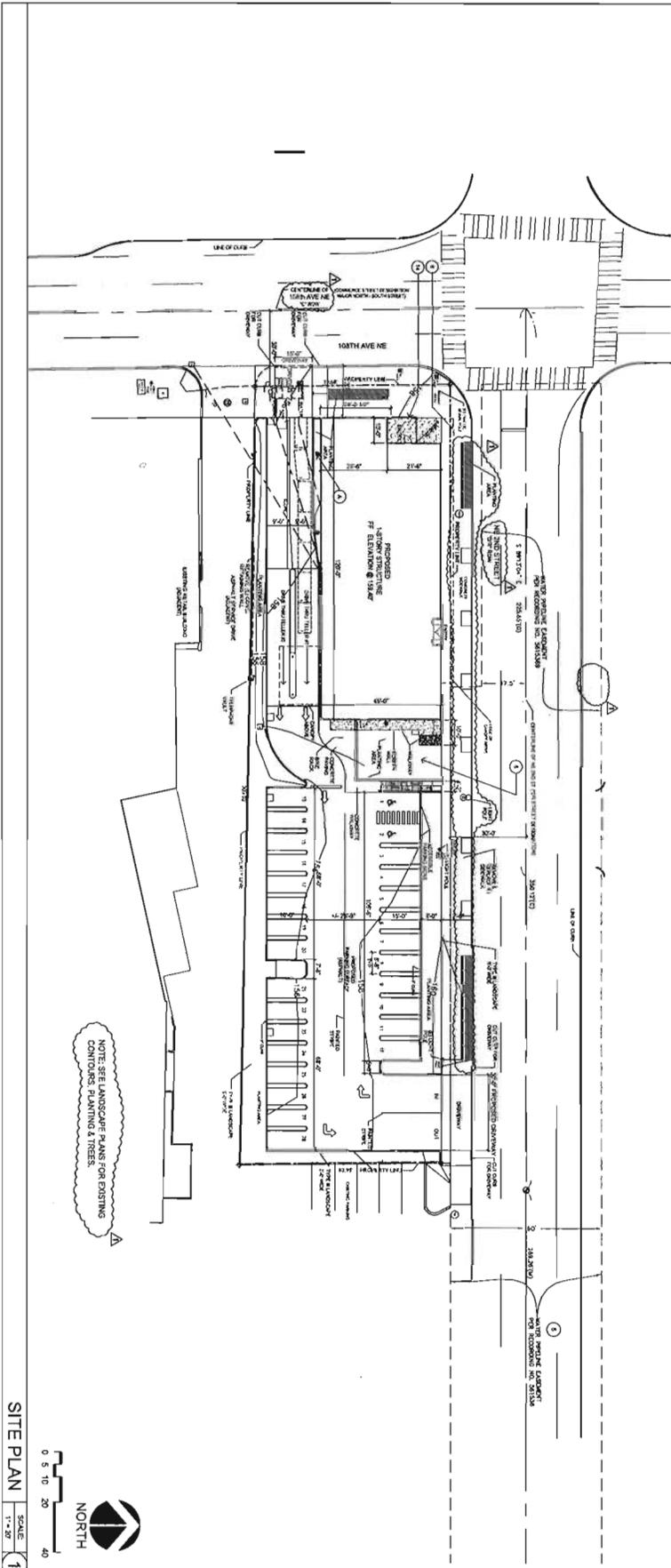
SITE PLAN  
 DEMOLITION

DATE: 08/08/08  
 PROJECT: 0825009 08 DEMOLITIONS

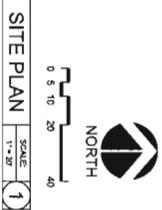
PREPARED BY: JAY ROBERTS  
 CHECKED BY: ROBERTSON  
 PROJECT NO: 0825009

**BANK OF AMERICA INTERIM SITE**  
 10825 NE 2ND STREET BELLEVUE, WA  
**DESIGN REVIEW APPLICATION**  
 SUBMITTED: 09.02.2008





NOTE: SEE LANDSCAPE PLANS FOR EXISTING CONTIGUOUS PLANTING & TREES.



**SITE PLAN & SITE LIGHTING**

DATE: 09/02/2008  
 DRAWN BY: D. WENDELSON  
 PROJECT NUMBER: 0902.001

**A1.02**

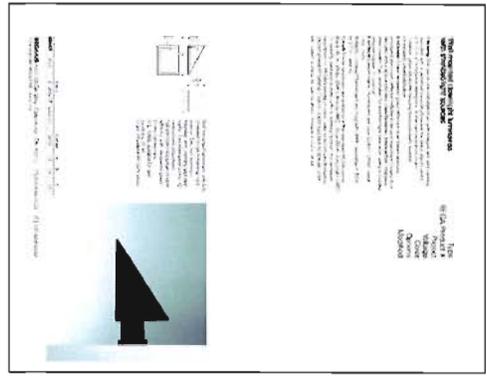


FIGURE 1

**PROPOSED AMENITIES**

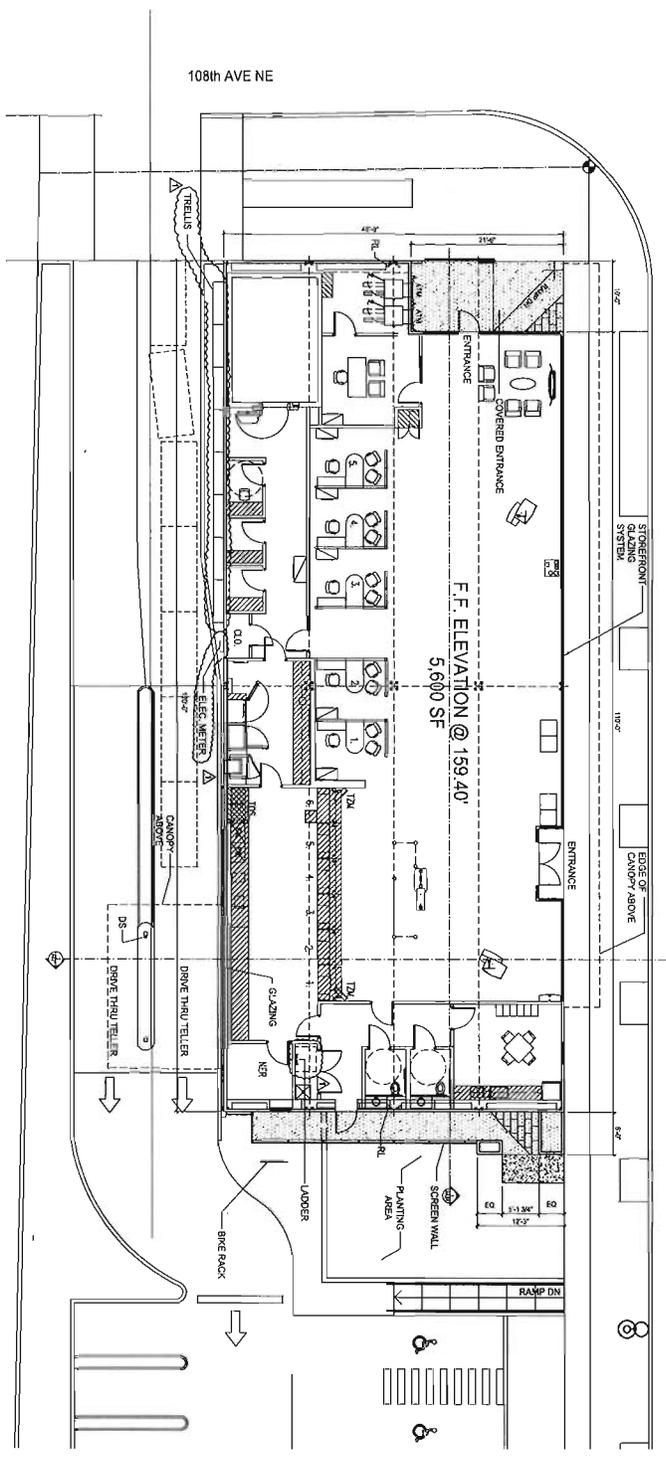
ITEM	UNIT	POINTS
1 MARQUEE	(2-1) 525 SF	1,050
2 LANDSCAPE FEATURE	(4-1) 546 SF	2,184
3 SCULPTURE - GLASS ART TILES	(5-1) 1,000 \$	5,000 (SEE SHEET A4.02)
TOTAL BONUS POINTS PROVIDED		8,234
TOTAL BONUS POINTS REQUIRED		2,497
TOTAL BONUS POINTS SURPLUS		5,737

**PLANNING DATA**

ZONING: DNT/MAMU PERIMETER DESIGN DISTRICT #2  
 SITE AREA: 24,967 SF  
 BUILDING AREA: 5,780 SF  
 IMPERVIOUS AREA: 21,060 SF (INCLUDES BUILDING AREA)  
 LANDSCAPE AREA: 490 SF REQUIRED / PROPOSED 852 SF  
 PARKING SPACES: 28 STALLS INCLUDING 1 VAN ACCESSIBLE, 1 ACCESSIBLE

**BANK OF AMERICA INTERIM SITE**  
 10825 NE 2ND STREET BELLEVUE, WA  
**DESIGN REVIEW APPLICATION**  
 SUBMITTED: 09.02.2008





FLOOR PLAN



A2.01

DATE: 09/02/2008  
 USER: j...

PROJECT: BANK OF AMERICA INTERIM SITE  
 10825 NE 2ND STREET, BELLEVUE, WA  
 DESIGN REVIEW APPLICATION  
 SUBMITTED: 09.02.2008

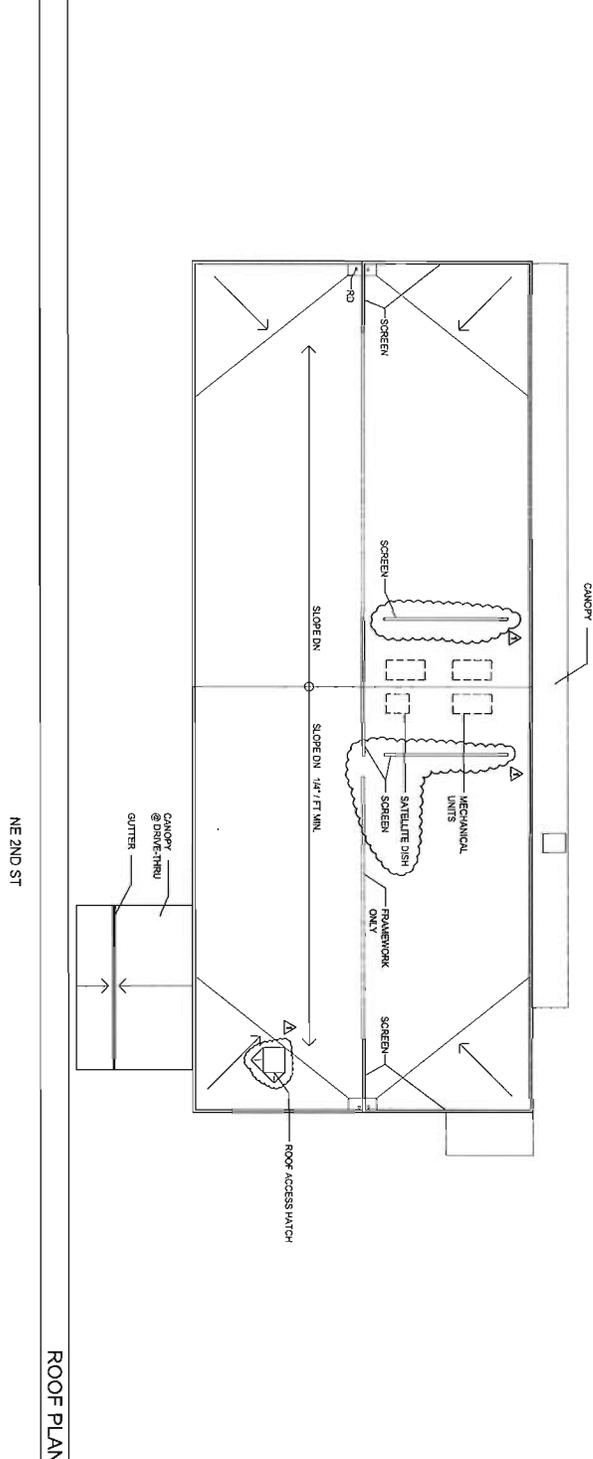
SCALE: 1/8" = 1'-0"  
 NORTH

PROJECT: BANK OF AMERICA INTERIM SITE  
 10825 NE 2ND STREET, BELLEVUE, WA  
 DESIGN REVIEW APPLICATION  
 SUBMITTED: 09.02.2008

SCALE: 1/8" = 1'-0"  
 NORTH

PROJECT: BANK OF AMERICA INTERIM SITE  
 10825 NE 2ND STREET, BELLEVUE, WA  
 DESIGN REVIEW APPLICATION  
 SUBMITTED: 09.02.2008

SCALE: 1/8" = 1'-0"  
 NORTH



ROOF PLAN



A2.01

DATE: 09/02/2008  
 USER: j...

PROJECT: BANK OF AMERICA INTERIM SITE  
 10825 NE 2ND STREET, BELLEVUE, WA  
 DESIGN REVIEW APPLICATION  
 SUBMITTED: 09.02.2008

SCALE: 1/8" = 1'-0"  
 NORTH

PROJECT: BANK OF AMERICA INTERIM SITE  
 10825 NE 2ND STREET, BELLEVUE, WA  
 DESIGN REVIEW APPLICATION  
 SUBMITTED: 09.02.2008

SCALE: 1/8" = 1'-0"  
 NORTH

PROJECT: BANK OF AMERICA INTERIM SITE  
 10825 NE 2ND STREET, BELLEVUE, WA  
 DESIGN REVIEW APPLICATION  
 SUBMITTED: 09.02.2008

SCALE: 1/8" = 1'-0"  
 NORTH





**MP-1**  
 METAL WALL PANEL - CENTRIA CONCEPT SERIES, CS-610  
 (OR PROFILE SERIES W-30A, 1-1/2" 7/8" PROFILE,  
 CONCEALED CLIPS & FASTENERS, W/MICROSEAM CORNERS,  
 PNT-1, 156 COLONIAL RED.

**MP-2**  
 METAL WALL PANEL - CENTRIA CONCEPT SERIES, CS-660  
 (OR PROFILE SERIES W-41A, 1-1/2" 7/8" PROFILE,  
 CONCEALED CLIPS & FASTENERS, W/MICROSEAM CORNERS,  
 PNT-2, 9921 CHARCOAL GRAY.

**MP-3**  
 FLAT METAL PANEL, VARIOUS APPLICATIONS (PNT-2)  
 9921 CHARCOAL GRAY.

**MS-1**  
 ALUM SCREEN ON ALUM FRAMING PAINTED PNT-2,  
 CHARCOAL GRAY.

**ROOF/MECH UNITS**  
 BUILT-UP ROOFING AND MECHANICAL UNITS, GRAY.

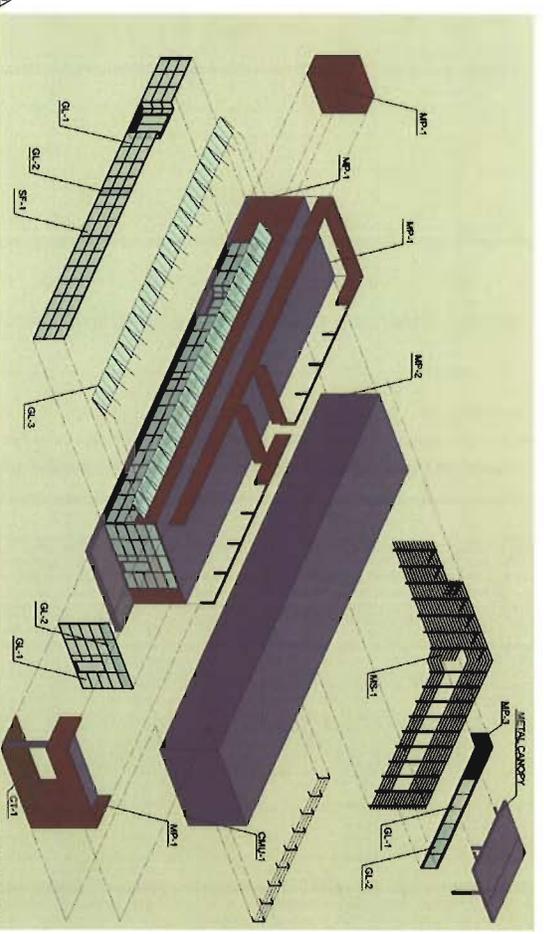


**SF-1**  
 VISTA WALL SERIES 3000 THERMAL FRONT SET  
 STOREFRONT SYSTEM (PNT-2) CHARCOAL GRAY.

**CMU-1**  
 CMU 48X16 GROUND FACE, COLOR CHARCOAL.

**MTL CANOPY**  
 STEEL/ALUM COLUMNS, JOISTS, SLOPE TO DRAIN  
 EXPOSED METAL DECKING, W/ GUTTER & DOWNSPOUT  
 (PNT-2) CHARCOAL GRAY.

**CT-1**  
 CROSSVILLE BUENOS AIRES VS153 TX RECOLETA  
 TEXTURED 12X24, ON METAL DECKING.



**GL-1**  
 1" INSULATED LOW-E VISION GLAZING  
 VIRACON VE-1-2M.

**GL-2**  
 1" INSULATED SPANDREL GLAZING TO MATCH  
 VIRACON VE-1-2M.

**GL-3**  
 1/4" TEMPERED, LAMINATED CLEAR GLAZING  
 VIRACON.

GLASS ART TILE SCALE 2

EXPLODED ISOMETRIC SCALE 1



**BANK OF AMERICA INTERIM SITE**  
 10825 NE 2ND STREET BELLEVUE, WA  
**DESIGN REVIEW APPLICATION**  
 SUBMITTED: 09.02.2008

DATE: 09/02/2008  
 TIME: 09:08:00  
 USER: james  
 PLOTTER: HP DesignJet 5000  
 PLOTTING: PLOT  
 PLOT SCALE: 1/8" = 1'-0"  
 PLOT SHEET: AA.02  
 PLOT NUMBER: 0000.001

**MATERIALS & COLORS**

1" INSULATED LOW-E VISION GLAZING  
 VIRACON VE-1-2M

1" INSULATED SPANDREL GLAZING TO MATCH  
 VIRACON VE-1-2M

1/4" TEMPERED, LAMINATED CLEAR GLAZING  
 VIRACON

STEEL/ALUM COLUMNS, JOISTS, SLOPE TO DRAIN  
 EXPOSED METAL DECKING, W/ GUTTER & DOWNSPOUT  
 (PNT-2) CHARCOAL GRAY

CMU 48X16 GROUND FACE, COLOR CHARCOAL

VISTA WALL SERIES 3000 THERMAL FRONT SET  
 STOREFRONT SYSTEM (PNT-2) CHARCOAL GRAY

CROSSVILLE BUENOS AIRES VS153 TX RECOLETA  
 TEXTURED 12X24, ON METAL DECKING

ALUM SCREEN ON ALUM FRAMING PAINTED PNT-2,  
 CHARCOAL GRAY

FLAT METAL PANEL, VARIOUS APPLICATIONS (PNT-2)  
 9921 CHARCOAL GRAY

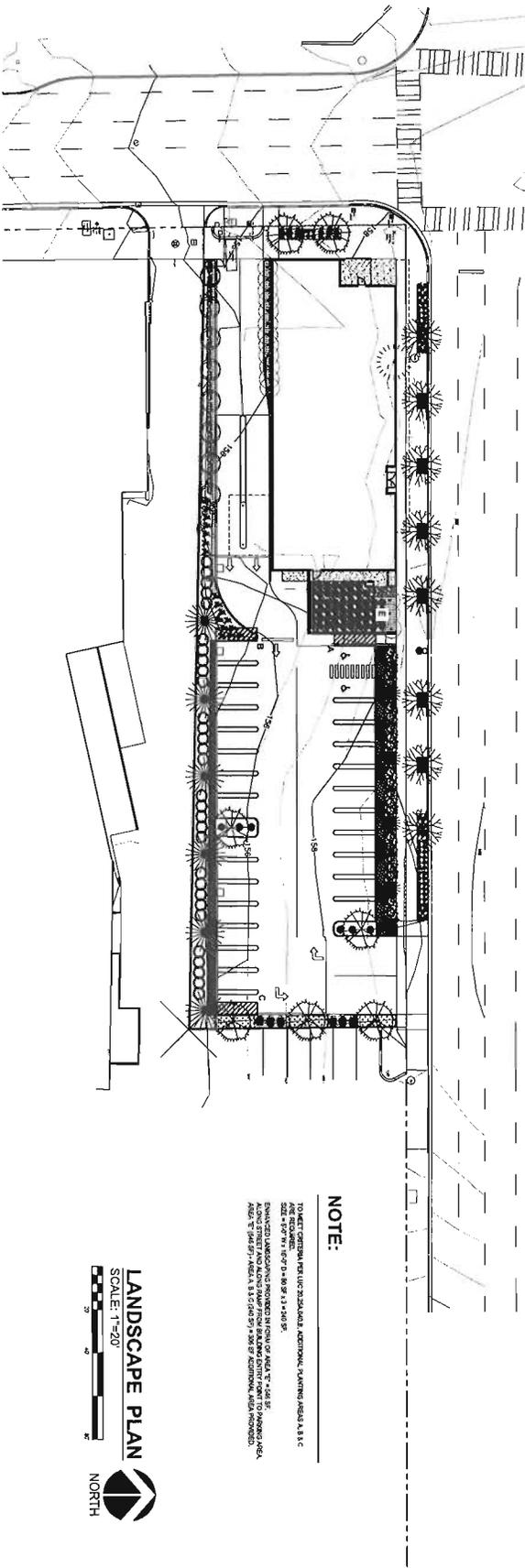
METAL WALL PANEL - CENTRIA CONCEPT SERIES, CS-610  
 (OR PROFILE SERIES W-30A, 1-1/2" 7/8" PROFILE,  
 CONCEALED CLIPS & FASTENERS, W/MICROSEAM CORNERS,  
 PNT-1, 156 COLONIAL RED

METAL WALL PANEL - CENTRIA CONCEPT SERIES, CS-660  
 (OR PROFILE SERIES W-41A, 1-1/2" 7/8" PROFILE,  
 CONCEALED CLIPS & FASTENERS, W/MICROSEAM CORNERS,  
 PNT-2, 9921 CHARCOAL GRAY

BUILT-UP ROOFING AND MECHANICAL UNITS, GRAY







**NOTE:**

1) ALL AREAS SHOWN ARE FOR INFORMATION ONLY. ALL AREAS ARE TO BE VERIFIED BY THE CLIENT AND THE DESIGNER. ALL AREAS ARE TO BE VERIFIED BY THE CLIENT AND THE DESIGNER. ALL AREAS ARE TO BE VERIFIED BY THE CLIENT AND THE DESIGNER.

**LANDSCAPE PLAN**  
SCALE: 1"=20'  
NORTH

DATE: 08/08/08  
L.01a

LANDSCAPE AREA CALCUS.

DATE: 08/08/08  
L.01a

DATE: 08/08/08  
L.01a

DATE: 08/08/08  
L.01a

DATE: 08/08/08  
L.01a

**BANK OF AMERICA INTERIM SITE**  
10825 NE 2ND STREET BELLEVUE, WA  
**DESIGN REVIEW APPLICATION**  
SUBMITTED: 09.02.2008





# CERTIFICATE OF CONCURRENCY

## BANK OF AMERICA

This certificate documents the Transportation Department Director's decision that the development project at 10825 NE 2<sup>nd</sup> Street (Design Review File No. 08-132309 LD) complies with the requirements of the Traffic Standards Code (BCC 14.10). This decision reserves 138 net new p.m. peak hour trips to that project, subject to Process II appeal of either the concurrency determination or the Design Review decision. This reservation will expire one year from the land use decision date unless a complete building permit application is filed prior to that date (BCC 14.10.010D). At the time of a complete building permit application, the concurrency reservation will remain in effect for the life of that application (BCC 23.05.090H). Upon issuance of the building permit, concurrency is reserved for one year; the applicant may request up to two one-year extensions (BCC 23.05.100E).

  
\_\_\_\_\_  
Director, Transportation Department

3/25/2010  
\_\_\_\_\_  
Date

Certificate No. 58