



DEVELOPMENT SERVICES DEPARTMENT  
 ENVIRONMENTAL COORDINATOR  
 450 110<sup>TH</sup> AVENUE NE, P.O. BOX 90012  
 BELLEVUE, WA 98009-9012

## DETERMINATION OF NON-SIGNIFICANCE

**PROPONENT:** Three Cedars School

**LOCATION OF PROPOSAL:** 556 124<sup>th</sup> Avenue NE

**DESCRIPTION OF PROPOSAL:** To construct two classroom buildings and an additional floor to an existing modular building along with related site improvements to landscaping and play ground.

**FILE NUMBER:** 08-115426 LI

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Department of Planning & Community Development. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on March 19, 2009.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carrie V. Stollard  
 Environmental Coordinator

3/2/09  
 Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

State Department of Fish and Wildlife  
 State Department of Ecology,  
 Army Corps of Engineers  
 Attorney General  
 Muckleshoot Indian Tribe



City of Bellevue  
Development Services Department  
Land Use Division Staff Report

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Proposal Address: 556 124<sup>th</sup> Avenue NE

Proposal Description: To construct two classroom buildings and an additional floor to an existing modular building along with related site improvements to landscaping and play ground.

File Number: **08-115426 LI**

Applicant: Three Cedars School

Decisions Included: Administrative Amendment to a previously approved Conditional Use, Process II

Planner: Antoinette Pratt, Senior Planner, (425) 452-5374

State Environmental Policy Act  
Threshold Determination: **Determination of Non-Significance (DNS)**

*Carol V. Helland*

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Carol V. Helland, Environmental Coordinator  
Development Services Department

Director's Recommendation: **Approval with Conditions**  
Michael A. Brennan, Director  
Development Services Department

By: *Carol V. Helland*

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Carol V. Helland, Land Use Director

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Application Date: May 8, 2008  
Public Notice (500 feet): June 5, 2008  
Minimum Comment Period: June 19, 2008  
Bulletin Publication Date: **March 5, 2009**  
Appeal Deadline: **March 19, 2009**

For information on how to appeal a proposal, visit Development Services at City Hall or call (425) 452-4570. Appeal of the Decision must be made by 5 p.m. on the date noted for appeal of the decision.

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Development Services Department ■ 425-452-4570 ■ Hearing Impaired: dial 711  
450 110<sup>th</sup> Avenue NE, Bellevue, WA 98004

## I. Request and Project Description

The Three Cedars School requests approval for an Administrative Amendment to a previously approved Conditional Use to conduct the following improvements in phases. Some of the phases proposed below may overlap based on fund raising campaign efforts:

### Phase I: Completed 2005 (Permit #05-103121 GC)

- Parking lot expansion from 49 parking stalls to 75 (required) when student population increased beyond 152 students.
- Completed in 2005 to fulfill conditions five and six from Conditional Use 01-106314 LB (see attached) for a total of 76 parking stalls.

### Phase 2.1: Building D (Summer 2010)

- A new 2-story building (6,826 sf) with 4 classrooms (grades 1-4), a kitchen, small lesson room, toilet rooms and vestibule is proposed.
- Also included are site grading, utilities, detention vault, a paved fire lane, and bridge connection to existing Building A.
- A new outdoor covered play area (483 sf) will connect to the southeast corner of Building A.
- A new level outdoor play area will be carved out to the south and east of Building A, providing a climbing wall, and ball wall below a new covered ball court area (2750 sf) to the east of Building D.
- A picnic shelter and storage shed (320 sf each) are also proposed to the east of the existing buildings.
- Building D and the covered play structures will be sprinklered.
- Install associated landscaping along south property line and increase parking lot landscaping with this phase. See Sheets L.0 through L.30.

### Phase 2.2: Building C (Anticipated 2011)

- Shift the existing interim modular classroom, Building C, slightly to the west.
- Raise the structure and add an additional story below.
- The lower level will also be used as classroom space.
- Building C will be sprinklered. The combined area of the existing upper level and proposed lower level is 3,840 sf.
- An exterior ramp and canopied walkway structure together add 2071 sf.

### Phase 2.3: Building E (Anticipated 2012)

- A new 2-story building (13,555 sf) with 4 classrooms (grades 1-4), a kitchen, small lesson room, toilet rooms and vestibule with a similar layout as Building D is proposed.
- Additional special classrooms are proposed for Eurythmy and Movement & Games classes, which have dance, music, and physical education components.
- A partial basement for accessory storage is planned.
- A covered play area (769 sf) is proposed between Buildings E and C.

See Attachment A: Plans and Drawings.

## II. Project History

Three Cedars received a Conditional Use permit for the site in 2001 (01-106314 LB). Under this previous approval, there was a requirement that when school development exceeded 152 students the parking lot be reconfigured to accommodate increased parking demands. Although the school did not exceed this population density, the administration increased the parking supply as noted previously. The maximum student population at this site is limited to 218 but may be modified by 20 percent per Land Use Code (LUC) 20.20.010, subnote 25, b.i.

## III Proposed Site and Building Design

### A. Design goals

Three Cedars School is a Waldorf elementary school proposing to expand on a developed site in an urbanizing, suburban area to provide additional learning environments to their existing campus. The existing classroom building area including exterior circulation is 13,180 square feet. The area of proposed classroom buildings including exterior circulation is 29,583 square feet. The total building area including exterior circulation would be 42,763 square feet.

The design goals include establishing a site and building design that address the unique needs and requirements of Waldorf education and the school community's commitment to environmental sustainability, as well as their desire to steward the existing forested site. A grouping of modestly scaled buildings responds to site topography and neighborhood scale, forming outdoor play and gathering spaces, reducing site impacts and energy use. An incremental phasing plan meets an additional goal of allowing the school to raise funds over a longer time frame and remain operational during construction upon completion of all phases. The future phases will be subject to LUC 20.40.500 which requires a completed building permit application two years after the date of the issuance of this decision. See Section XIV for related condition. Additionally, if the applicant does not begin the subsequent phases prior to the end of this two year period, the applicant shall be required to submit a Land Use Exemption (LUX) with each building permit for each phase to ensure compliance with the LUC in force and effect at the time of review. See Section XIV for related condition.

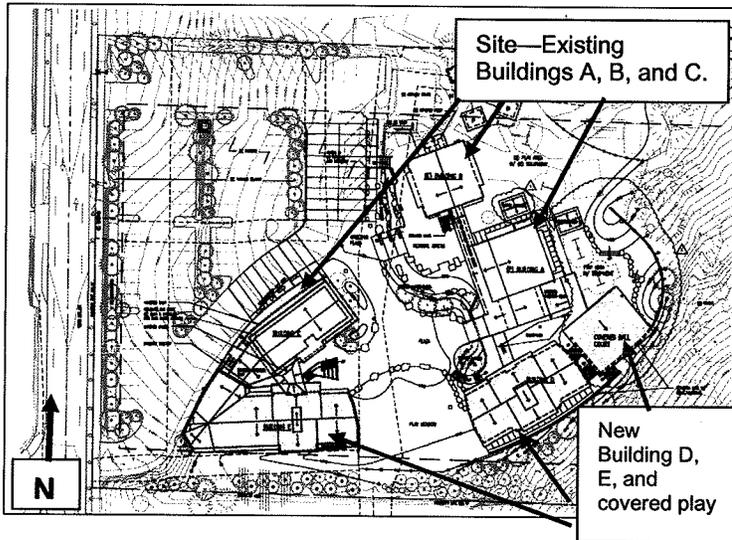
### B. Site Design



The project area is located on 124<sup>th</sup> Avenue NE between two single-family developments to the north and south of the subject site. The zoning for this site is R-3.5 which corresponds to the Comprehensive Plan designation of Single-Family Medium.

The site is developed with two, two story school structures and a single story modular building (A, B, and C respectively) which are located in the center of this 4.78

acre site. There is a 76 stall parking area located in the western portion of the site. The eastern portion of the site is wooded and will remain in an undeveloped state.



The applicant has proposed to add two buildings to their existing campus, Buildings D and E, south and west of their existing buildings. They will also add a lower level to the existing portable that is north of Building E to increase the floor area of that building (Building C).

The applicant has arranged these buildings to form a series of connected outdoor spaces for gathering and play. Separate two-story buildings reduce the total building footprint on the

side and allow greater access to natural light, views and ventilation. The modestly scaled campus reinforces close physical relationship between students and the natural environment.

Main pedestrian and fire access to the buildings and play areas are provided from the loading and drop off zone by a central plaza and fire lane. Plaza edges help define a play area to the south and landscape learning zones with connections to existing and proposed buildings. The existing amphitheatre west of Building A will remain providing gathering space for festival and community activities which can spill into the plaza, play area, and courtyard between Buildings A and D. Play equipment zones are located to the east of the existing buildings sheltered from the neighbors and bounded by the existing buildings, proposed climbing/ retaining wall, and woods.

Nearly 40% of the site to the east is covered with second growth forest, providing educational opportunities, including stewardship and sustainability. Approximately 97% of existing significant trees and an 8 ft high wood fence along the south property to the east will be preserved. Although not required by the Land Use Code (LUC), significant landscaping is proposed in the existing parking area to supplement the existing landscaping installed in Phase 1. A 20 ft wide landscape buffer is planned along the south property line, reducing the side setback requirement from 50 ft to 30 ft. Buffer plant species and locations are designed to maximize screening capacity between the school campus and residential neighbors to the south. Planting selections will include mostly native Pacific Northwest species requiring little or no maintenance, irrigation, or chemicals.

City of Bellevue storm and sewer drains exist on the site. No proposed building structures shall encroach on these utilities or their required easements. Together with the existing detention vault installed in Phase 1, the proposed storm water drainage and detention system is designed to receive water from the areas of the site to be occupied by buildings C, D, and E, covered play structures, and added impervious surfaces.

### C. Building Design



Building D—North Elevation

Proposed building massing and materials resemble the existing buildings on campus. Many neighboring single family residences are two-story structures and of a similar scale. The proposed two-story building heights will not exceed the maximum building height for this zoning district. The proposed gable roofs also resemble many of the roof types in the area and reflect the roof line configuration of the existing buildings.

Exterior circulation is planned for student movement through the site. This supports the school's desire to foster a connection with nature. Access to Building D's second floor will be provided by an existing bridge system from existing Buildings A and B which will align with Building D along with a ramp. Access to the raised second floor of Building C is provided by an exterior ramp that wraps around the building and leads to the entry and a canopied walkway structure with a translucent roof. This ramp and canopied walkway will also provide access to Building E.

Internal organization of Buildings D and E are similar. Students enter and interact in a shared vestibule space with outdoor gear storage. The building core contains bathrooms, sprinkler and laundry rooms, small kitchen, and lesson room. A mechanical room is located in the mezzanine of Building D and the basement of Building E. The core is flanked by classrooms on each side. Each classroom has 3 exterior walls allowing natural light and outdoor views. Classrooms are designed to allow for shared resources and flexibility. The main floor layout of Building C reflects the layout of the existing structure as well as that of the central core and flanking classrooms of Building D and E.

Natural, local, recycled, and recyclable materials were carefully selected and detailed to utilize their intrinsic properties and ensure durability. Western red cedar siding will be treated with a non-toxic stain and wood preservative. Horizontal fiber composite panel finished in red to match the existing buildings siding is included in accent areas. Metal roofs will provide recycled/ recyclable content, longevity (50 years vs. 30 years for composition shingles) and improved roof/storm water quality (Kynar coating). The roof color is a dark grey to minimize reflection. Covered play area roofs and outdoor bridges will be supported by glulam post and beam structures reflecting the language of the existing balcony and bridge. The roofing for the covered play areas will be metal to match the buildings with areas of translucent roofing to allow light below.

No sign designs have been submitted with this application. If the applicant desires to modify existing signs, a separate sign package will be required for formal review and approval. No sign design approval is intended with the approval of this Administrative Amendment. See Section XIII for related condition.

**IV. Consistency with Land Use Code/Zoning Requirements**

**a. General Provisions of the Land Use Code**



This site is located within an R-3.5 zoning district. Land Use Code (LUC) 20.10.440, Services permits primary and secondary educational facilities within residential land use districts.

The proposal complies with the LUC general development requirements LUC 20.20.010 as summarized in the chart below:

**LAND USE CODE (LUC) REQUIREMENTS—Zoning R-3.5**

Category	LUC Requirements	Proposal by Applicant
<b>Minimum Site Area</b> LUC 20.20.010	10,000 square feet	<b>207,589 square feet or 4.77 acres</b>
<b>Maximum Lot Coverage</b> LUC 20.20.010	35 percent	25,755 square feet or 12%
<b>Maximum Building Height</b> LUC 20.20.010	30 feet	Building C: 29'-4" Building D: 23'-6" Building E: 28'-11"
<b>Minimum Building Setbacks</b> LUC 20.20.010 Front /rear(east) Front (west) Side (north) Side (south)	20 feet 20 feet 50 feet 30 feet <sup>1</sup>	207 from covered play area 66 feet from Building E 67 feet from Building B 30 feet
<b>Minimum Number of Parking Stalls (2)</b> LUC 20.20.590.F.2	Unspecified Use	<b>76 stalls provided per 01-106314 LB</b>
<b>Landscaping</b> LUC 20.20.740.A.5.a.i-ii Perimeter Buffers North South East West	10 feet 20 feet <sup>3</sup> 10 feet 10 feet	10 to 50 feet 20 feet 50 feet 10 feet
<b>Tree Preservation Interior</b> LUC 20.20.520.E.2	15% minimum of the existing diameter tree inches=190 diameter inches	1,167 diameter inches maintained (102 diameter inches removed)
<b>Tree Preservation Perimeter</b> LUC 20.20.520.E.1	100% of diameter inches	8% removed based on Arborist report dated August 28, 2008 by Gilles Consulting.

<sup>1</sup> LUC 20.20.740.A.2. permits a reduction in the 50 foot side and rear yard setbacks for schools to 30 feet if landscaping is increased to a minimum of 20 feet, the underlying zoning height is applied, and no building entrances/exits with exception for emergency egress are placed less than 50 feet from the property line.

<sup>2</sup> See Section IV.d for further discussion regarding parking.

<sup>3</sup> The landscape buffer was increased from 10 to 20 feet as required due to reduction in building setback from 50 to 30 feet per LUC 20.20.740.A.2. See note 1 above.

#### **b. Schools**

LUC Chapter 20.20.740 provides development standards for schools in residential districts. The proposal meets the dimensional standards for schools including building setbacks, lot coverage and landscaping as detailed in the chart above.

#### **c. Student Population**

Three Cedars received Conditional Use approval to achieve a maximum student population of 218. At the time of this application, student population is approximately 127. The administration for Three Cedars will be required to apply for a new conditional use if there is more than a 20 percent increase in student population from the approved 218 (additional 43 students for a total of 261 students) or change in student age group. Additionally, pre-kindergarten students shall be limited to 25 percent of the student body. See Section XIV for related conditions. Of the 127 students enrolled at this facility, 7 are pre-kindergarten.

#### **d. Mechanical Equipment**

The LUC 20.20.525 requires that mechanical equipment be installed so as not to detract from the appearance of the building or development with roof or at grade installations. All mechanical equipment must be screened from public view through use of a solid, nonreflective visual barrier that equals or exceeds the height of the installed mechanical equipment. See Section XIII for related condition.

#### **e. Parking Standards**

Parking was evaluated with the original Conditional Use application. At the time of that application, the site contained 49 parking stalls. Conditions 5, 6 and 7 required installation of a loading lane, 26 additional parking stalls for a total of 75 and parking management during school events. The applicant installed an extra parking stall for a total of 76 and has complied with these conditions with completion of 05-103121 GC.

### **V. Landscaping**

The attached landscape plans, sheets L1.0-L1.3, fulfill the landscape requirements for schools within residential districts (see attached). Also, see Section VI, Landscape buffer below for discussion regarding landscaping at the southwest corner of the site.

### **VI. Public Comment**

A required public meeting was held on June 19, 2008. Six individuals attended this meeting along with City staff and the applicant and its representatives. Concerns were raised at this meeting regarding the following:

- **Metal Roof:** Concerns were raised about the use of the proposed metal roof for Buildings D and E. Sun reflection/glare were the primary issues.

Response: The applicant stated the school administration was looking for a durable roof material and the proposed metal roof material would seem to address this concern rather than use of the typical composite shingle. The administrator heard these concerns and has since modified the original metal sample with a darker grey material with low reflectivity.

- **Parking:** Parking was installed per 01-106314 LB which has been approved and accepted by the City. There was a general concern that the site now has too many parking stalls on-site.

Response: As noted in Section IV.e there are no changes to parking with this application. Parking requirements were established to address anticipated future enrollment numbers.

- **Colors and Materials:** Many neighbors questioned the use of cedar staining proposed for Buildings D and E. It was their contention that the cedar stained exteriors would not look attractive over time.

Response: In response to these comments, the applicant has since modified the proposed stain for a darker stain that would weather better over time.

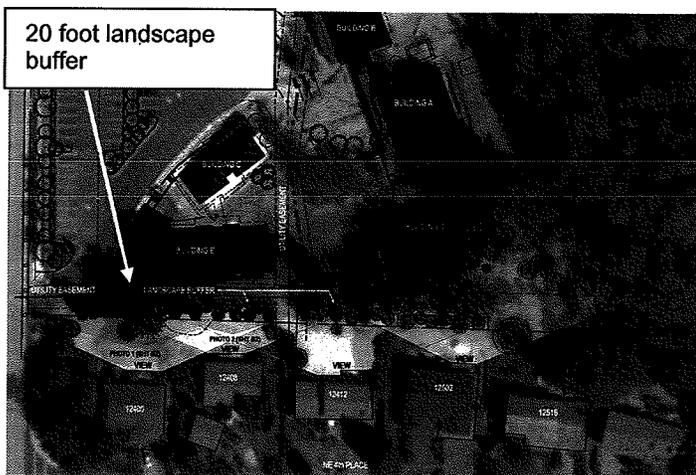
- **Play Areas:** The applicant received comments regarding the placement of play areas on the site. Some adjacent neighbors reported that recess can be overly loud when students are at play.

Response: The applicant will be relocating some of the play areas on this site with this application. Covered play areas are proposed to the northeast of Building D and covered play will be located between Building C and E. It is staff's understanding that the play areas located behind the existing Buildings A and B will be used for lower grade elementary students.

- **Setback (Building E):** Questions were raised about the building setback for Building E. This structure is proposed to have a 30 foot building setback rather than the standard 50 foot setback.

Response: Staff explained that since the original approval of this project in 2001, the school code chapter (LUC 20.20.740) was substantially modified in 2002. One of the modifications was to structure setback requirements. LUC 20.20.740.A.2 allows a building setback modification from 50 feet to 30 feet if the landscape buffer is increased to 20 feet from the minimum 10 foot requirement, the underlying height of the district is maintained for the facility (30 feet) and no building entrances or exits other than emergency ingress/egress. The applicant's proposal fulfills these LUC requirements.

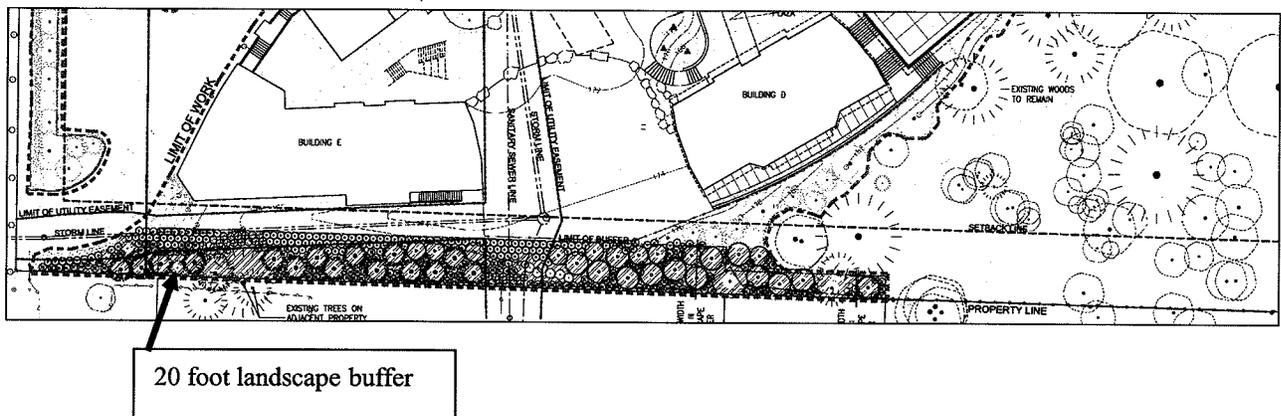
- **Landscape buffer (southwest corner):** Concerns were expressed about the proposed landscaping plan at the southwest corner of the site—especially given the proposed placement of Building E.



Response: The original landscape plan, dated May 29, 2008, contained tree materials that interfered with an existing utility easement that is present in a portion of the 20 foot landscape buffer. Staff from Utilities and Land Use met with the applicant to determine plant materials that would provide screening while limiting interference with the

water line. Staff also met on-site (June 30, 2008) with three neighbors to see first hand the existing vegetation on their sites in comparison to the existing vegetation on the Three Cedars site. One of the neighbors had contacted an arborists who recommended *Bamboo, Huckleberry and incense cedar*. The arborist's recommendations were discussed at this site visit.

Staff followed up on the three plant materials listed above with DSD's arborist who thought that the plant materials suggested with the exception of bamboo were good recommendations. The applicant's landscape architect incorporated the huckleberry and the western red cedar into the proposed landscape plan. Additional shrub and ground cover materials will be placed in this area as well. Follow up occurred with the adjacent residents by the applicant's landscape architect who met with them on August 8, 2008. The revised landscape plan was described to the residents who confirmed acceptability.



## VII. City Department Response

### Utilities Department

The Utilities Department reviewed the conceptual design only. Changes to the site layout may be required to accommodate the utilities after utility engineering is approved. All utility design review, plan approval, and field inspection shall be performed under the Developer Extension Agreement. See Section XIII for related conditions. At the time of writing this staff report, Developer Extension permits had been submitted to the Utilities Department.

### Clear and Grade Division

The Clear and Grade Section has reviewed and approved this proposal. Further review will occur with the submittal of the associated clear and grade permits.

### Fire Department

The site development plans for this application generally conform to Fire Code requirements. However, there are a number of conditions that must be met prior to issuance of building permits. See Sections XIII and XIV for related conditions.

## **Transportation**

### **Site Access**

Access to the site will continue to occur from the existing driveways from 124<sup>th</sup> Avenue NE. Note that on-street loading will not be allowed.

### **Holiday Construction & Traffic Restrictions**

From November 15<sup>th</sup> to January 5<sup>th</sup>, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department.

### **Use of the Right of Way During Construction**

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit.

### **Pavement Restoration**

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced.

Near this project 124<sup>th</sup> Avenue NE has been classified as "Overlay required." The project elements do not show any work on the public right of way. If there is any disturbance to the pavement surface during construction, an overlay pavement restoration will be required.

See Sections XI, XII, XIII and XIV for related conditions.

## **VIII. State Environmental Policy Act (SEPA)**

The environmental review indicates no probability of significant adverse environmental impacts resulting from the proposal. Issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

Adverse impacts which are less than significant are usually subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory requirements correspond, no further documentation is necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

## Earth

This site contains non-sensitive slopes (0-15%), (15-25%) and (25-40%). These slopes exist along the east and south property lines and in the interior of the site adjacent to the existing playfield. Site topography generally slopes down from the north to the south west. The six existing structures are located in the central portion of this site. The slopes vary between 0 to 15% in the existing classroom areas.

There is the potential for erosion and sedimentation impacts due to the construction of the classroom and chapel buildings. The Clearing and Grading Code BCC 23.76 contains adequate standards and requirements to mitigate expected impacts to earth resources due to erosion and sedimentation during construction.

## Noise

As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Normal hours for construction are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday except for legal holidays. Exceptions to the construction related noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction on schools which cannot be undertaken during exempt hours. However, prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction that extends from 2010 through the summer 2011. In order to minimize detriment on residential uses in the immediate vicinity of the Three Cedars School, the administration and the Contractor should not rely on City issuance of a blanket exemption from the Noise Control Code during the pendency of the construction period. Allowances for short term work outside of normal construction related noise hours will be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. If expanded hours are necessary to accommodate a specific component of the school construction, **the applicant must apply for a separate noise permit for review and approval by staff.** See Section XIII for related condition.

## Transportation

### Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2017 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2017 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. Three Cedars School lies within MMA #8, which does not have an increase in institutional land use. This development proposes the addition of approximately 22,007 square feet of institutional land use. It is recognized that the TFP projections fall short in this area in terms of this proposed land use; however, the TFP is updated every two years at which time land use projections can be updated to meet current growth trends. With this considered, the long-term transportation impacts are fully mitigated by payment of traffic impact fees, as described below.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be

adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance.

### **Operational Impacts and Mitigation**

The proposed land use approval amendment is not expected to have a significant impact on the traffic operations in the adjacent street.

See Sections XI, XII, XIII and XIV for related conditions.

## **IX. Applicable Decision Criteria**

**Amendment to a Conditional Use:** The Director may approve or approve with modification, an application for Amendment to a Conditional Use if it complies with the decision criteria of Land Use Code Section 20.30B.175.D. After conducting the various administrative reviews for this project, including Comprehensive plan goals and policies and the Land Use Code provisions, the following conclusions are made with regard to the Administrative Amendment decision criteria. The approval of an Administrative Amendment may at any time be revoked if the use of on-site facilities are changed from the stated application. See Section XIV for related condition. The criteria are as follow:

### **A. The amendment maintains the design intent or purpose of the original approval.**



Finding: Three Cedars' request to add Buildings D and E to their existing campus maintains this site's original design and use as a educational facility. It is the school administration's desire to increase classroom space without increasing their student

population beyond their original approval of 2001. There is a need to increase storage space and covered play areas for their facility.

### **B. The amendment maintains the quality of design or product established by the original approval.**

Finding: The amendment maintains the quality of design established by the original approval. The school was originally approved in 2001 in the former Temple DeHirsh Sinai facility. The proposed building additions will also match the existing buildings which are also two stories in height. The existing buildings (A and B) will be connected via an elevated pedestrian balcony to Building D. Elevated walkways currently exist between Buildings A and B. The colors chosen will match the existing brick red used for Buildings A and B for the proposed buildings.

### **C. The amendment does not cause a significant adverse environmental or land use impact on or beyond the site.**

Finding: The conditions of approval per 01-106314 LB established development standards for this site. The number of students is still limited to 218 with the 20 percent allowance for

student growth to mitigate traffic and parking impacts that were anticipated in the 2001 approval. The current student population of 127 for 2008-2009 is significantly below the maximum student count permitted so the previous environmental review regarding student population is not modified by this application. See Section IV.c and e above for further discussion regarding student count and parking. The amendment does not cause a significant adverse environmental or land use impact on or beyond the site.

**D. The amendment is not precluded by the terms of the Bellevue City Code or by state law from being decided administratively.**

Finding: The amendment is not precluded by the terms of the Bellevue City Code or by state law from being decided administratively. LUC 20.30B.175.D establishes the procedural standard for modifying an existing Conditional Use. The applicant will apply for the required Building, Clearing & Grading permit and Developer Extension Agreements.

**X. Decision of the Director**

After conducting the various administrative reviews associated with this proposal, including applicable Land Use consistency, SEPA, and City Code and Standard compliance reviews, the Director of Development Services Department does hereby recommend **APPROVAL WITH CONDITIONS:**

**XI. A. General Conditions**

1. **Holiday Construction and Traffic Restrictions:** Construction activities such as hauling and lane closures between November 15<sup>th</sup> and January 5<sup>th</sup> will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

Authority: BCC 14.30.060  
Reviewer: Jon Regalia, (425) 452-4299

2. **Provisions for Loading:** The property owner shall provide an off-street loading space which can access a public street. On-street loading and unloading will not be permitted.

Authority: LUC 20.20.590.K.4  
Reviewer: Jon Regalia, (425) 452-4299

**XII. PRIOR TO ISSUANCE OF ANY CLEAR AND GRADE PERMIT**

1. **Right-of-Way Use Permit:** Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:
  - a) Designated truck hauling routes.
  - b) Truck loading/unloading activities.
  - c) Location of construction fences.
  - d) Hours of construction and hauling.
  - e) Requirements for leasing of right of way or pedestrian easements.
  - f) Provisions for street sweeping, excavation and construction.
  - g) Location of construction signing and pedestrian detour routes.

- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

Authority: BCC 11.70 & 14.30  
Reviewer: Jon Regalia (425) 452-4599

2. **Civil Engineering Plans – Transportation:** Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. All transportation features must meet the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Specific requirements for the engineering plans may include, but are not limited to:

- a) Traffic signs and markings.
- b) Show and label the right of way edge, and the existing curb, gutter, and sidewalk widths on 124<sup>th</sup> Avenue NE
- c) Location of fixed objects in the sidewalk or near the driveway approach.
- d) Trench restoration within any right of way or access easement.

Authority: BCC 14.60; Transportation Department Design Manual  
Reviewer: Rohini Nair, (425) 452-2569

### XIII. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT

1. **Transportation Impact Fee:** Payment of the traffic impact fee will be required at the time of building permit issuance. The current impact fee rate for an elementary school in impact fee area 8 is \$4.21 per student. This rate is anticipated to increase early in 2009, subject to City Council approval. The parking analysis memorandum showed an estimated future enrollment of 181 students. Transportation impact fee will be assessed on the increased number of students from the existing 120 students. The impact fee using the current rate is estimated to be \$256.81. The impact fee as per the existing traffic impact fee rate at the time of issuance of the building permit will be applicable.

Authority: BCC 22.16  
Reviewer: Rohini Nair, (425) 452-2569

2. **Building and Site Plans – Transportation:** Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Final design must comply with vehicle and pedestrian sight distance requirements.

Authority: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241  
Reviewer: Rohini Nair, (425) 452-2569

3. **Existing Easements:** If there are any utility easements contained on this site which are affected by this development, any negative impact that this development has on those easements must be mitigated or easements relinquished.

Authority: BCC 14.60.100  
Reviewer: Jon Regalia (425) 452-4599

4. **Signs:** If any change is made to the existing sign, a separate sign package shall be submitted to DSD for staff review and approval. Any proposed sign shall be architecturally compatible with the existing building.

Authority: BCC 22B.10.040.B.1,2  
Reviewer: Antoinette Pratt, (425) 452-5374

5. **Final Utilities Approval:** The Utilities Department approval of the Administrative Conditional Use application is based on the preliminary utility design. Final civil engineering of the utility design may require changes to the site layout to accommodate the utilities.

Authority: BCC Title 24.02, 24.04, 24.06  
Reviewer: Don Rust, (425) 452-4856

6. **Developer Extension Agreement:** The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under the Developer Extension Agreement and Utilities Permit Processes.

Authority: BCC Title 24.02, 24.04, 24.06  
Reviewer: Don Rust, (425) 452-4856

7. **Construction Hours:** Normal hours for construction related noises are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday except legal holidays. No deliveries shall be scheduled prior to 7:00 a.m. to 6:00 p.m. as well. Exceptions for construction related noise limitations contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction on schools which cannot be undertaken during exempt hours. No blanket exemption exists. Allowances for short term work outside of normal hours for construction related noise shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. If expanded hours are necessary to accommodate a specific component of the school construction, **the applicant must apply for a separate noise permit for review and approval by staff.**

Authority: BCC 9.18.040  
Reviewer: Antoinette Pratt (425) 452-5374

8. **Mechanical Equipment:** Mechanical equipment proposed for the roof or at grade shall be entirely screened from public view. All mechanical equipment shall be screened from public view through use of a solid, nonreflective visual barrier that equals or exceeds the height of the installed mechanical equipment.

Authority: LUC 20.20.525.B through C  
Reviewer: Antoinette Pratt, (425) 452-5374

9. **Demolition:** Demolition/construction shall conform to the requirements of International Fire Code.

Authority: IFC Chapter 14  
Reviewer: Adrian Jones, (425) 452-6032

**XIV. Conditions of Approval Prior to Certificate of Occupancy:**

1. **Landscape Installation Assurance Device:** If a Temporary Certificate of Occupancy is requested prior to completion of the landscaping installation the applicant shall file with DSD a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed.

Authority: LUC 20.40.490  
Reviewer: Antoinette Pratt, (425) 452-5374

2. **Landscape Maintenance Assurance Device:** The applicant shall file with the DSD a landscape maintenance assurance device in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all landscaping on the site.

Authority: LUC 20.40.490  
Reviewer: Antoinette Pratt, (425) 452-5374

3. **Revocation of Administrative Amendment to the Conditional Use permit:** Approval of an Administrative Conditional Use permit may at any time be revoked if the use of on-site facilities, traffic pattern/parking or transportation methods are changed from the approved application.

Authority: LUC 20.30E.175.B  
Reviewer: Antoinette Pratt, (425) 452-5374

4. **Pavement Restoration:** 124<sup>th</sup> Avenue NE: Based on this street's condition, it is classified with the City's overlay program as "Overlay Required." Currently, the project elements do not show a need for work within the public right of way. If there is any pavement disturbance during the construction process, overlay pavement restoration will be required.

Authority: BCC 14.60. 250; Design Manual Design Standard #21  
Reviewer: Jon Regalia (425) 452-4599

5. **Student Population:** Three Cedars School administration shall be required to submit a new conditional use application if there is more than a 20 percent increase in student population, change in student age group, or change to programmed use of this site. Additionally, pre-kindergarten students shall be limited to 25 percent of the student body.

Authority: LUC 20.10.440, footnote 25.b.i-iii and 20.50.047, school definition  
Reviewer: Antoinette Pratt, (425) 452-5374

6. **Automatic Fire Sprinklers:** Provide automatic fire sprinklers throughout all building designed per NFPA 13. A dry pipe sprinkler system shall be provide for the attached outdoor covered play areas.

Authority: IFC 903.2.2  
Reviewer: Adrian Jones, (425) 452-6032

7. **Fire Department Connection:** Provide a Fire Department Connection at an approved location at least 50 feet from the building and within 50 feet of a fire hydrant.

Authority: IFC 903 and BFDDS  
Reviewer: Adrian Jones, (425) 452-6032

8. **Fire Alarm Notification:** Provide a fire alarm notification system throughout the buildings.

Authority: Bellevue City Amendment 5749  
Reviewer: Adrian Jones, (425) 452-6032

9. **Fire Sprinklers:** Revise/extend automatic fire sprinklers into new areas of existing buildings.

Authority: IFC 903  
Reviewer: Adrian Jones, (425) 452-6032

10. **Kitchen Hood Suppression:** Provide a kitchen hood suppression system over the range in each Building.

Authority: IFC 609  
Reviewer: Adrian Jones, (425) 452-6032

11. **Fire Lane:** The paved area for the fire lane/greeting plaza shall be capable of supporting a fire apparatus with a vehicle load of 64,000 pounds.

Authority: Bellevue Development Information 11/90  
Reviewer: Adrian Jones, (425) 452-6032

12. **Vested Status of Land Use Approval:** The vested status of a land use permit or approval shall expire two years from the date of the City's final decision, unless a completed building permit application is filed before the end of the two year term. Upon issuance of a building permit, the vested status of a land use permit or approval shall be automatically extended for the life of the project.

Authority: LUC 20.40.500.B.2 and 3  
Reviewer: Antoinette Pratt, (425) 452-5374

13. **Modifications to Proposed Phasing:** If the applicant does not begin the subsequent phases prior to the end of this two year period, the applicant shall be required to submit a Land Use Exemption (LUX) with each building permit for each phase to ensure compliance with the LUC in force and effect at the time of review.

08-115426 LI  
Three Cedars School  
Page 18 of 18

Authority: LUC 20.30B.175.C  
Reviewer: Antoinette Pratt, (425) 452-5374

**Attachments**

Attachment A – Conditions 5, 6, and 7 of 01-106314 LB  
Attachment B – Plans and Drawings

**ATTACHMENT A**  
**(CONDITIONS 5, 6, AND 7 OF 01-106314 LB)**



**City of Bellevue**  
**Department of Planning and Community Development**  
**Development Services Division Staff Report**

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Proposal Name: Three Cedars School

Proposal Address: 556 124<sup>th</sup> Ave NE

Proposal Description: Conditional Use Permit to establish a private school on a 4.75-acre site previously owned and occupied by the Temple De Hirsch Sinai.

File Number: 01-106314-LB

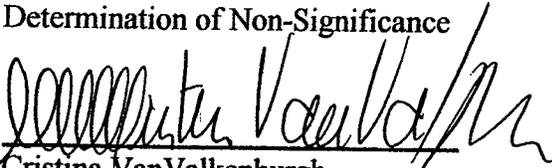
Applicant: Three Cedars School

Decisions Included: Conditional Use (Process I)

Planner: Dan Hardin, Senior Planner  
Department of Planning and Community Development

State Environmental Policy Act  
Threshold Determination:

Determination of Non-Significance

  
Cristina Van Valkenburgh  
Environmental Coordinator

Director's Decision:

**Approval with conditions**

  
Matthew A. Terry,  
Director, Department of Planning  
and Community Development

---

Bulletin Publication Date:

Appeal Deadline:

For information on how to appeal a proposal, visit the Permit Center at City Hall or call 452-6864. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be made by 5:00pm on the date of the appeal deadline of the decision.

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color samples for all exterior building materials.

AUTHORITY: LUC 20.30B.175 D.4

**2. Utility Improvements Required:** Prior to issuance of an occupancy permit for the school, a new water main and on-site fire hydrant will be required and the sanctuary and classroom buildings will be required to be fire sprinklered.

AUTHORITY: BCC Title 24.02, 24.04, 24.06

**3. Preliminary Utility Review:** The Utility Department approval is based on the preliminary utility design. Final civil engineering of the utility design may require changes to the site layout to accommodate the utilities.

AUTHORITY: BCC Title 24.02, 24.04, 24.06

**4. Developer Extension Agreement:** The water system shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under the Developer Extension Agreement and Utilities Permit Processes

AUTHORITY: BCC Title 24.02, 24.04, 24.06

**5. Parking Requirement:** To mitigate parking and loading impacts, the school shall develop and provide a separate pick-up/drop-off lane for 20 vehicles to the south of the existing parking area when projected enrollment exceeds 114 students (or six fully enrolled grade classrooms), provided that the lane shall be provided sooner if parking /loading space demand exceeds the capacity of the parking area and back up onto 124<sup>th</sup> Ave NE occurs.

Authority: LUC Section 20.20.590. F.2

**6. Parking Requirement:** To mitigate potential spill-over parking impacts, 26 additional parking stalls for a total of 75 stalls shall be provided when projected enrollment exceeds 152 students (eight fully enrolled grade classrooms) provided such parking shall be developed sooner if spill over parking occurs in the area.

Authority: LUC Section 20.20.590. F.2

**7. Parking Requirement:** School events that are open to the public or school-wide shall require event management including, but not limited to, off-site parking and shuttle to and from the site.

Authority: LUC Section 20.20.590.F.2

**8. Future Expansion:** Future expansion of buildings, parking or other exterior improvements shall be reviewed and approved by the city through the applicable land use process and code requirements in affect at the time of submittal.

Authority: LUC Section 20.30B.140 E.

**9. Traffic Impact Fee:** The applicant shall pay a traffic impact fee under the provisions of the Transportation Improvement Program Ordinance. The current impact fee schedule in effect at the time of building permit issuance will apply.

Authority: BCC 22.16, Ordinance No. 4824

**ATTACHMENT B**  
**(Plans and Drawings)**



1050 North 36th Street  
 Seattle Washington 98103  
 Telephone 206.675.5151  
 Facsimile 206.675.8150  
 www.ahsarchitect.com

SNYDER | HARTUNG | KANE | STRAUSS  
 ARCHITECTS

Three  
 Cedars School  
 Phase 2 "LI"  
 Land Use Permit  
 Submittal

556 124th Ave. NE  
 Bellevue, WA 98005

DRAWN BY DC  
 CHECKED BY KS  
 DATE Sept. 05/08  
 REVISION

RECEIVED

SEP 10 2008  
 BUFFER  
 SCREENING  
 DIAGRAM

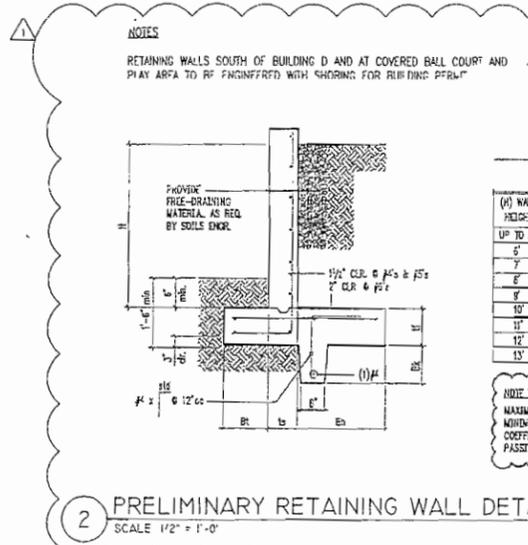
SEE SHEET L1.0 FOR BUFFER DESIGN

PERMIT PROCESSING

B1

1 LANDSCAPE BUFFER SCREENING DIAGRAM  
 SCALE: 1"=40'





**2 PRELIMINARY RETAINING WALL DETAIL**  
SCALE 1/2" = 1'-0"

**BUILDING AREA CALCULATIONS**

NOTE: "EXT CIRC" INCLUDES OCCUPIABLE AREAS ON OR BELOW EXTERIOR CIRCULATION. "FLOOR AREA" INCLUDES OCCUPIABLE INTERIOR AREAS MEASURED TO EXTERIOR BUILDING WALLS.

(E) BUILDING A  
MAIN FLOOR + EXT CIRC (under ramp, balcony, bridge) ± 2977 + 676 = 3653 SF  
2ND FLOOR + EXT CIRC (ramp, balcony, bridge) ± 2824 + 671 = 3795 SF  
TOTAL ± 5901 + 1547 = 7448 SF

(E) BUILDING B  
MAIN FLOOR ± 1970 SF  
2ND FLOOR ± 1970 SF  
TOTAL ± 3940 SF

BUILDING D  
{MAIN FLOOR + EXT CIRC (under bridge) 3413 + 263 = 3676 SF}  
2ND FLOOR + EXT CIRC (bridge) 3413 + 263 = 3676 SF  
TOTAL: 6826 + 526 = 7352 SF

COVERED BALL COURT 2750 SF

COVERED PLAY (Bldg A) 483 SF

BUILDING C  
MAIN FLOOR (below raised portable) + EXT CIRC (under covered ramp & bridge) ± 1782 SF + 455 SF = 2247 SF  
2ND FLOOR (raised portable) + EXT CIRC (covered ramp & bridge) ± 1782 SF + 2071 SF = 3853 SF  
TOTAL ± 3564 + 2526 = 6110 SF

BUILDING E  
{BASEMENT: 3425 SF}  
MAIN FLOOR + EXT CIRC (under balcony) 5065 + 178 = 5243 SF  
2ND FLOOR + EXT CIRC (balcony) 5065 + 178 = 5243 SF  
TOTAL: 13,555 + 356 = 13,911 SF

COVERED PLAY (between Bldgs C & E) 769 SF

\*DO NOT INCLUDE THIS AREA IN IBC AREA CALCULATIONS SINCE FLOOR IS DEFINED AS BASEMENT (IBC 502.1) AND BASEMENTS ARE NOT INCLUDED IN AREA CALCULATIONS (IBC 506.1)

**COMPOSITE BUILDING AREA CALCULATIONS (for IBC allowable area comparison)**

COMPOSITE AREA 1: BUILDINGS A+ B+ D+ COVERED BALL COURT+ COVERED PLAY = 7292+ 3940+ 7352+ 2750+ 483 = 21,817 SF  
COMPOSITE AREA 2: BUILDINGS C+ E+ COVERED PLAY = 6110 + 13,911 + 769 = 20,790 SF

**EASEMENT NOTES**  
REFER TO SURVEY FOR ADDITIONAL EASEMENT INFO FOR NOTES A-F

**EASEMENT WIDTH PER**

A. CITY OF SEATTLE  
PURPOSE: ELECTRIC TRANSMISSION  
RECORDING NUMBER: 2412039

B. LAKE HILLS SEWER DISTRICT  
PURPOSE: SEWER  
RECORDING NUMBER: 6557731

C. CITY OF BELLEVUE  
PURPOSE: SIDEWALK  
RECORDING NUMBER: 19990709001776

D. CITY OF BELLEVUE  
PURPOSE: WATER  
RECORDING NUMBER: 20000918001194

E. CITY OF BELLEVUE  
PURPOSE: WATER  
RECORDING NUMBER: 20011105000015

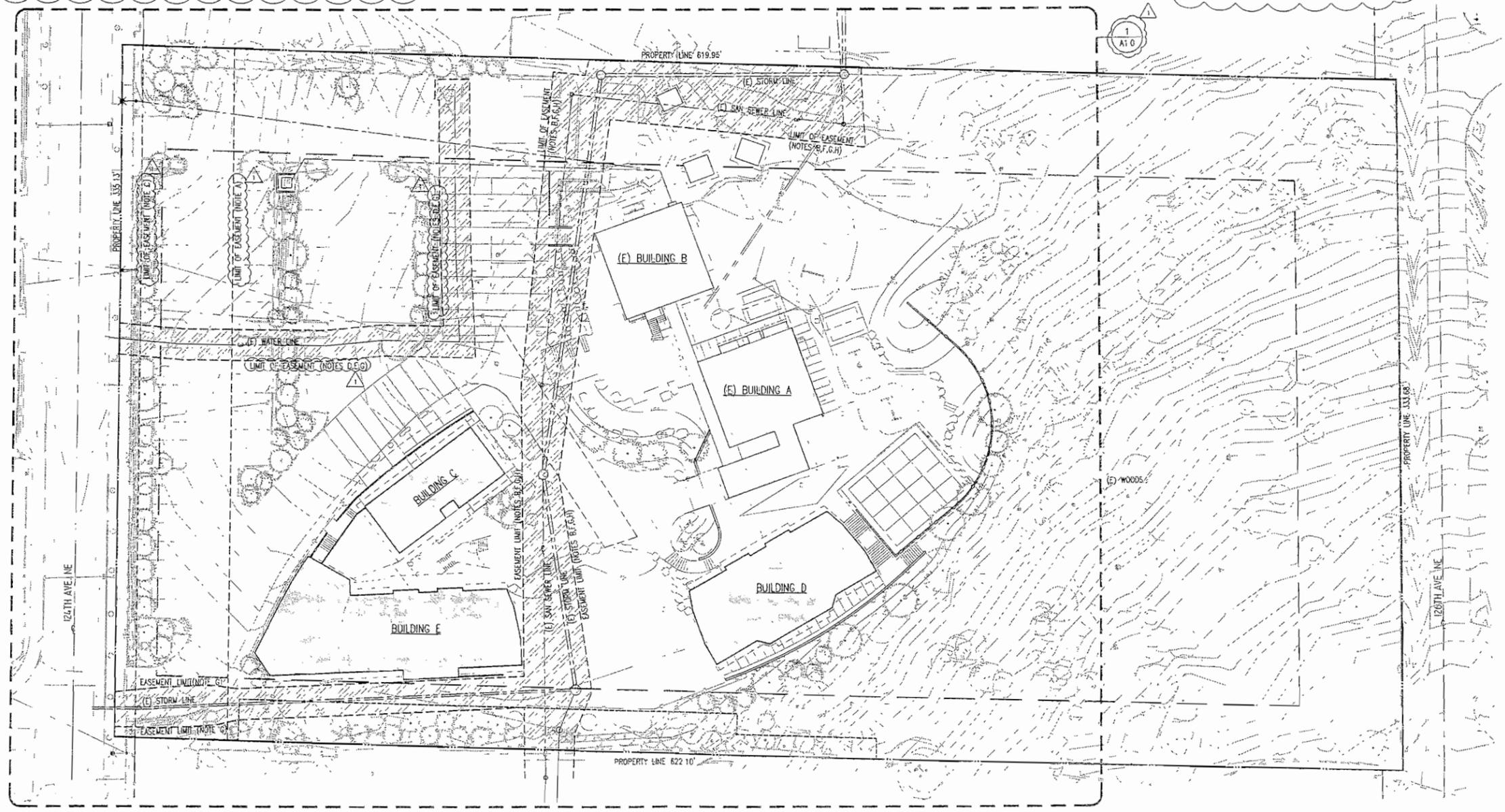
F. CITY OF BELLEVUE  
RECORDING NUMBER: 20011105000015

G. CITY OF BELLEVUE SURFACE WATER ENGINEERING STANDARDS, SECTION D4-07.2. (Applicable paragraphs) For pipes and vaults, the required utility easement width shall be 1) the minimum value set forth below, or 2) determined by extending a line from the bottom edge of the structure or the bottom of the excavation to the outside diameter for pipes, at a 1H:1V slope until it intercepts the finished grade, whichever is greater. For pipes up to 18" in diameter, the minimum easement width shall be 15 feet.

H. CITY OF BELLEVUE SANITARY SEWER ENGINEERING STANDARDS, SECTION S3-09 C. All easements shall be a minimum of 15' in width, or twice the depth of pipe, whichever is greater. Locate sewer main 10' feet from edge of easement facing interior of lot, to ensure setback from building.

**NOTES**

1 REFER TO A1.0 FOR ENLARGED PARTIAL SITE PLAN  
2 REFER TO A1.1 FOR ROOF SITE PLAN  
3 REFER TO A1.2 FOR PHASING INFORMATION



**1 SITE PLAN**  
SCALE 1/32" = 1'-0"



1050 North 38th Street  
Seattle, Washington 98103  
Telephone: 206.675.9151  
Facsimile: 206.675.9150  
www.snyderhartung.com

SNYDER | HARTUNG | KANE | STRAUSS  
A R C H I T E C T S



KEY PLAN

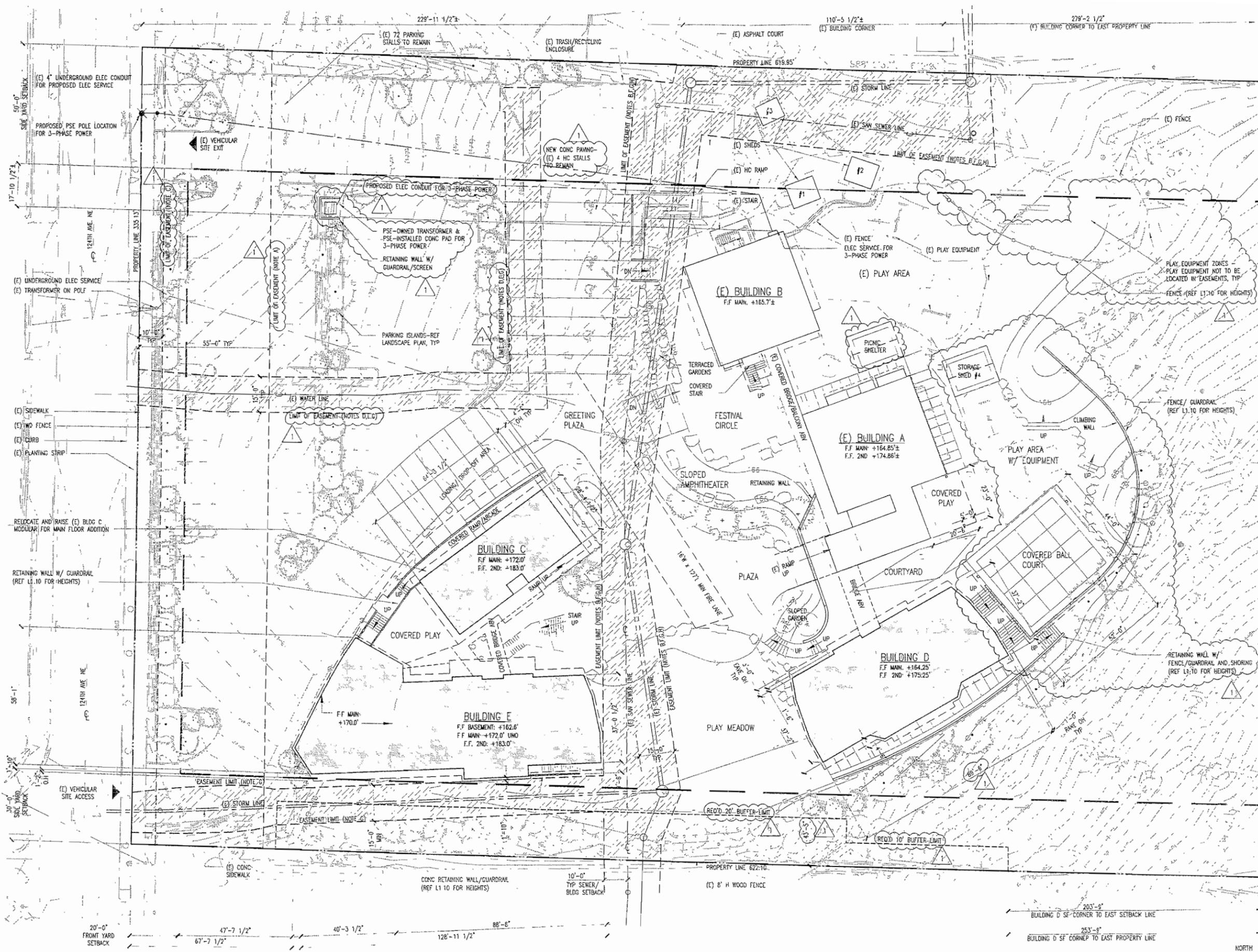


Three Cedars School  
Ph 2 Land Use  
Submittal

556 124th Ave NE  
Bellevue, WA 98005

Drawn by: KS, DRC  
Checked: KS  
Date: Sep 12 2008  
Scale: 1" = 30'-0"

Revisions:  
No. Date: Remains  
05/19/08 U CORRECTIONS



- NOTES**
- 1 REFER A0.2 FOR EASEMENT INFORMATION
  - 2 REFER A1.2 FOR PHASING LINES AND INFORMATION
  - 3 REFER L1.0 FOR LANDSCAPE BUFFER PLAN
  - 4 REFER L1.10 FOR PROPOSED PLANTING OUTSIDE THE BUFFER AREA
  - 5 REFER L1.20 EXISTING TREE PLAN FOR SIGNIFICANT TREE SUMMARY AND (E) TREES TO BE REMOVED
  - 6 REFER L1.30 FOR EXTERIOR LIGHTING PLAN
  - 7 REFER C1.00 FOR PROPOSED CIVIL WORK AND IMPERVIOUS SURFACE CALCULATIONS
  - 8 PROPOSED CHAIN LINK FENCING SHALL BE COATED IN BLACK

1650 North 38th Street  
Seattle Washington 98103  
Telephone 206.675.9151  
Facsimile 206.675.9150  
www.sskfirm.com



KEY PLAN



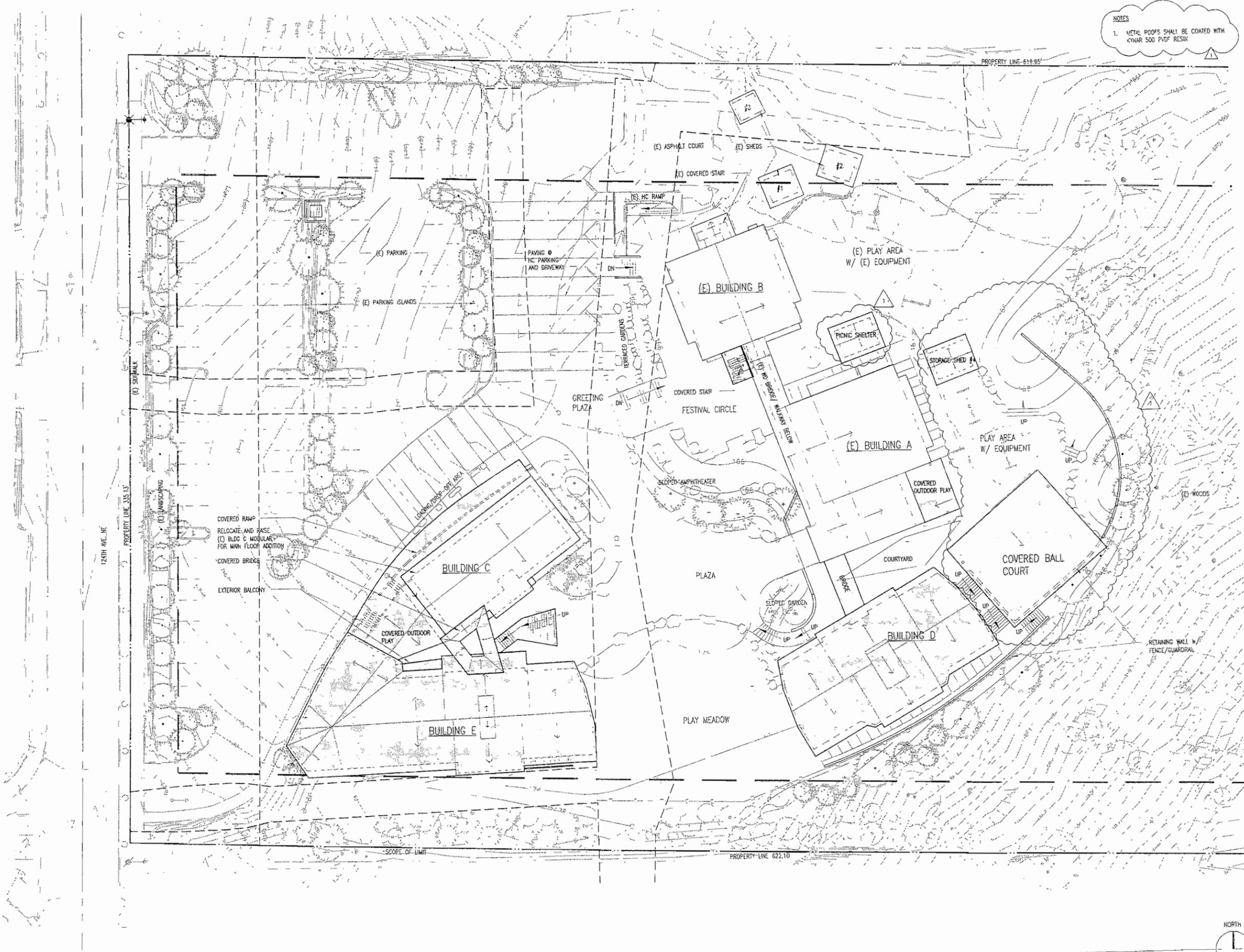
Three Cedars School  
Ph. 2 Land Use Submittal

556 124th Ave NE  
Bellevue, WA 98005

Drawn by	KS, DRC
Checked	KS
Date	Sep 12, 2008
Scale	1" = 20'-0"
Revisions	No. Date Remarks
	1 09/19/08 U CORRECTIONS

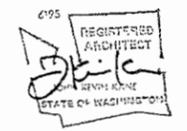
**SITE PLAN**  
SCALE: 1" = 20' 0"

Partial Site Plan  
**A1.0**



NOTES  
 1. METAL ROOFS SHALL BE COATED WITH KYNAR 500 PVDF RESIN

1050 North 38th Street  
 Seattle, Washington 98103  
 Telephone: 206.675.9151  
 Fax: 206.675.9150  
 www.shva.com



Three Cedars School  
 Ph. 2 Land Use Submittal

556 124th Ave NE  
 Bellevue WA 98005

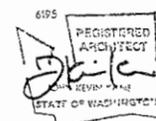
Drawn by: K.S.D.R.C.  
 Checked: K.S.  
 Date: Sep 12 2005  
 Scale: 1" = 20'-0"

Revisions:  
 No. Date Remains  
 1 09/19/08 LI CORRECTION

1 ROOF SITE PLAN  
 SCALE: 1" = 20'-0"

Roof Site Plan  
 A1.1

1050 North 38th Street  
Seattle Washington 98103  
Telephone 206.675.9151  
Facsimile 206.675.9150  
www.shsncr-facts.com



### PHASE 2 ESTIMATED CONSTRUCTION SEQUENCE:

**GENERAL NOTE -- ALL PHASES:**

-EXTERIOR WORK TO BE COMPLETED DURING SCHOOL'S SUMMER BREAK WHEN THE CAMPUS IS NOT OCCUPIED. INTERIOR WORK TO CONTINUE THROUGH SCHOOL SESSION WHILE OCCUPIED.

**PHASE 2.1 SCOPE OF WORK (EST CONSTRUCTION 2009)**

- ARCHITECTURAL**
- CONSTRUCT BUILDING D
  - EXTERIOR BRIDGE BETWEEN BUILDINGS D & A
  - COVERED BALL COURT, COVERED PLAY AREA AT BUILDING A, & COVERED STAIR AT BUILDING B
  - FIRE LANE TO BUILDING D
  - STORAGE SHED
  - SHORING AND RETAINING WALLS
  - PICNIC SHELTER, FOOD

- LANDSCAPE**
- SOUTH LANDSCAPE BUFFER PLANTING
  - FIRE LANE/PALAZA/BALL COURT PAVING
  - SLOPED GARDEN, WOODLAND EDGE, CLIMBING WALL, PLAY AREA, & PLAY MEADOW

- CIVIL**
- DETENTION VAULT AND STORM DRAINAGE FOR BUILDING D
  - UTILITIES FOR BUILDING D AND COVERED PLAY & BALL COURT
  - CLEAR & GRADE FOR BUILDING D

- ELECTRICAL**
- 3 PHASE POWER INSTALLATION

**PHASE 2.2 SCOPE OF WORK (EST CONSTRUCTION 2010)**

- ARCHITECTURAL**
- RELOCATE & RAISE (E) BUILDING C FOR MAIN FLOOR ADDITION
  - EXTERIOR RAMP
  - EXTERIOR STAIR & COVERED BRIDGE STRUCTURE
  - RELOCATE (E) PLAY EQUIPMENT TO PLAY AREA EAST OF BUILDING A

- LANDSCAPE**
- EXTEND PLAZA PAVING
  - RAIN GARDEN AND LOADING/ DROP-OFF AREA

- CIVIL**
- TIE BUILDING C INTO DETENTION AND STORMWATER SYSTEM
  - UTILITIES FOR BUILDING C
  - CLEAR & GRADE FOR BUILDING C

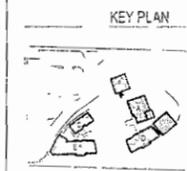
**PHASE 2.3 SCOPE OF WORK (EST CONSTRUCTION 2011)**

- ARCHITECTURAL**
- CONSTRUCT BUILDING F
  - EXTERIOR BALCONY ALONG BUILDING E
  - COVERED PLAY AREA BETWEEN BUILDINGS C & E

- LANDSCAPE**
- EXTEND PLAZA PAVING
  - WOODLAND EDGE SOUTH OF BUILDING E
  - NEW PAVING AT LOADING/DROP-OFF & HC PARKING AREAS
  - FESTIVAL CIRCLE PAVING & SLOPED AMPHITHEATER

- CIVIL**
- TIE BUILDING E INTO DETENTION AND STORMWATER SYSTEM
  - UTILITIES FOR BUILDING E
  - CLEAR & GRADE FOR BUILDING E

- LEGEND**
- PHASE 2.1
  - PHASE 2.2
  - PHASE 2.3

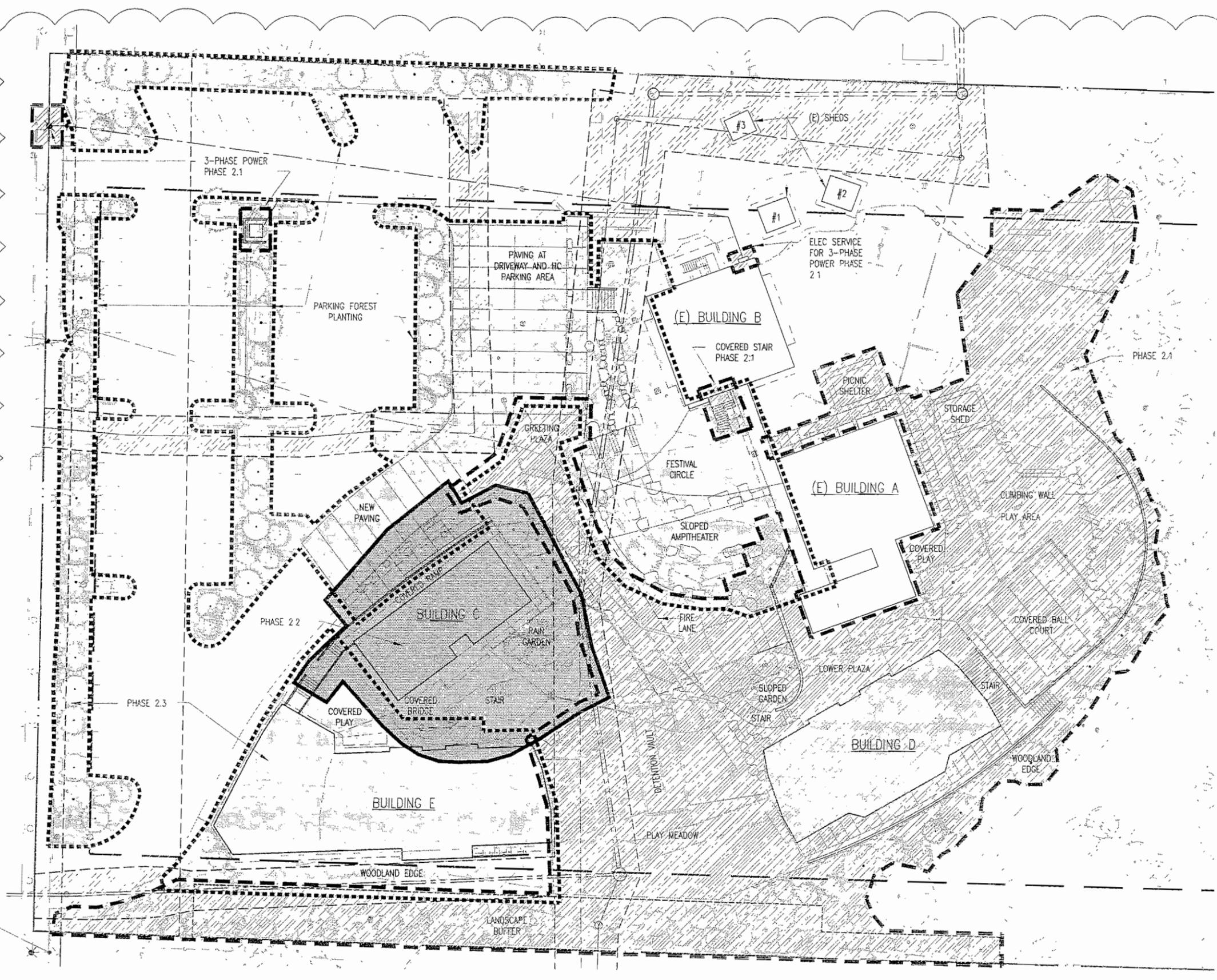


Three Cedars School  
Ph. 2 Land Use Submittal

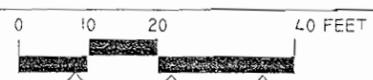
556 124th Ave NE  
Bellevue, WA 98005

Drawn by: KS  
Checked: KK  
Date: Sept. 12, 2008  
Scale: AS NOTED

Revisions:  
No. Date Remarks  
09/19/08 LI CORRECTIONS

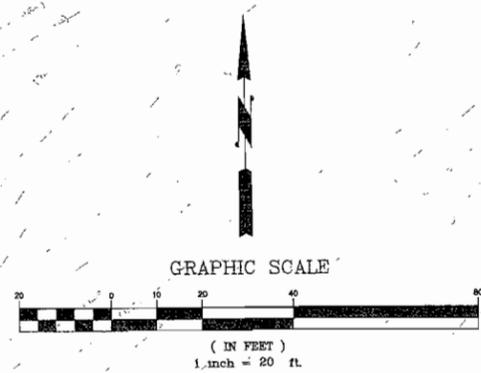
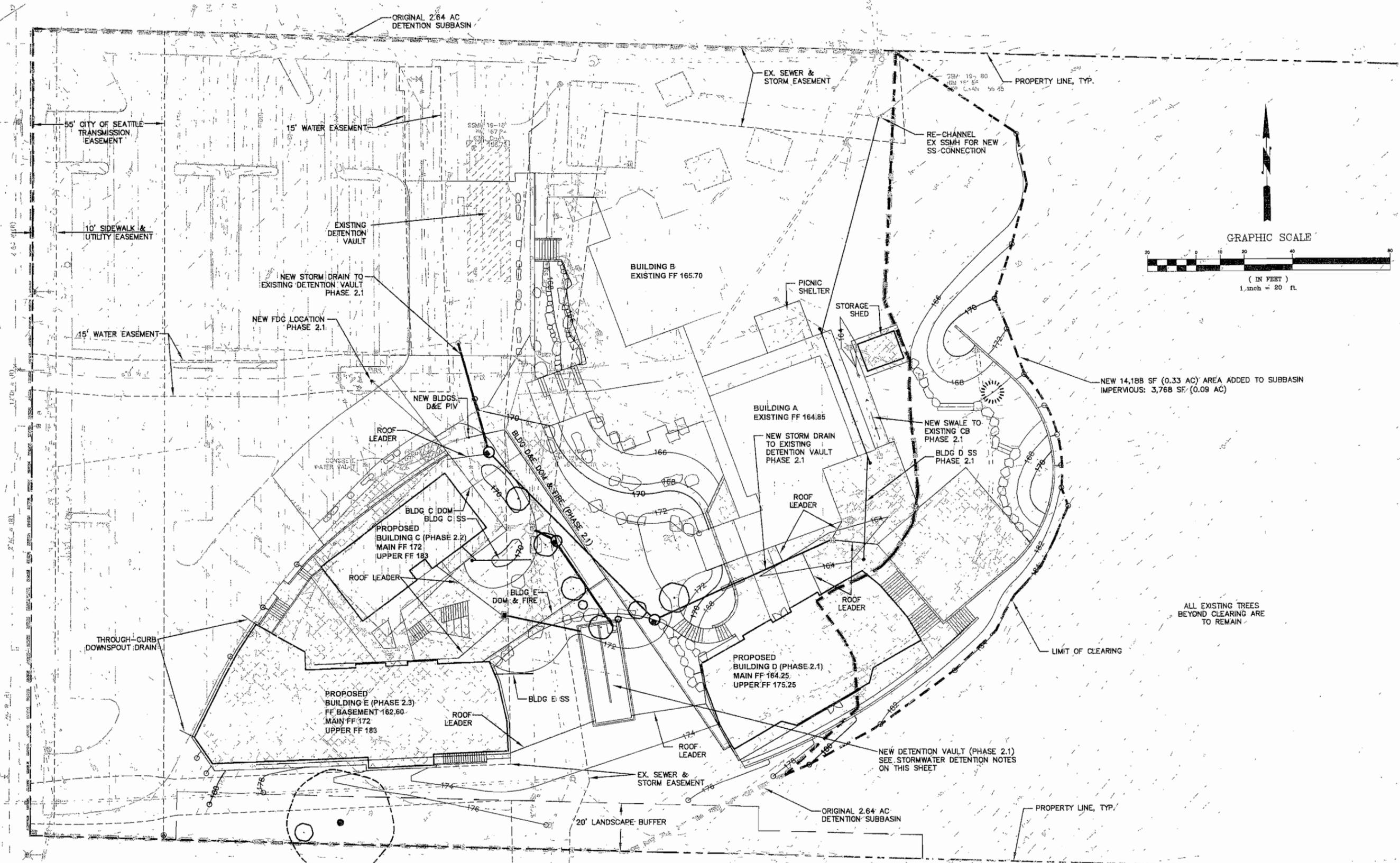


NORTH



PHASING DIAGRAM  
SCALE: 1" = 20'-0"

124TH AVE. NE



**EARTHWORK VOLUMES**  
FOR PERMITTING PURPOSES ONLY

8,800 CY CUT  
300 CY FILL  
8,500 CY CUT (NET)

**LEGEND**

- EXISTING IMPERVIOUS SURFACE TO REMAIN  TOTAL: 52,353 SF = 1.20 AC
- NEW IMPERVIOUS SURFACE  TOTAL: 24,332 SF = 0.56 AC
- TOTAL IMPERVIOUS AFTER IMPROVEMENTS = 76,685 SF = 1.76 AC
- TREE TO BE REMOVED

**STORMWATER DETENTION NOTES**

NEW ADDITIONAL DETENTION FACILITY IS PROPOSED TO ACCOUNT FOR INCREASED SUBBASIN SIZE AND BASIN CHARACTERISTICS.

SUBBASIN CHARACTERISTICS FOR ORIGINAL DETENTION VAULT DESIGN BY BUSH, ROED & HITCHINGS, DATED 5/24/2005 IS AS FOLLOWS:  
TOTAL AREA = 2.64 AC  
IMPERVIOUS AREA = 1.52 AC  
PERVIOUS AREA = 1.12 AC

PROPOSED IMPROVEMENTS ALTER EXISTING SUBBASIN CHARACTERISTICS AS FOLLOWS:  
TOTAL AREA = 2.97 AC (+0.33 AC)  
IMPERVIOUS AREA = 1.76 AC (+0.24 AC)  
PERVIOUS AREA = 1.21 AC (+0.09 AC)

MINIMUM ADDITIONAL AREA REQUIRING DETENTION AFTER IMPROVEMENTS:  
TOTAL AREA = 0.33 AC  
IMPERVIOUS AREA = 0.24 AC

PROPOSED MITIGATION FOR SUBBASIN ALTERATION: ADDITIONAL DETENTION FACILITY IN PARALLEL TO EXISTING DETENTION VAULT. NEW FACILITY WOULD PROVIDE DETENTION FOR 0.48 AC, WHICH IS 0.15 AC GREATER THAN MINIMUM ADDITIONAL AREA. SUBBASIN CHARACTERISTICS FOR THE NEW FACILITY SUBBASIN ARE AS FOLLOWS:  
TOTAL AREA = 0.48 AC (REQUIRED MINIMUM = 0.33 AC)  
IMPERVIOUS AREA = 0.27 AC (REQUIRED MINIMUM = 0.24 AC)  
PERVIOUS AREA = 0.21 AC (REQUIRED MINIMUM = 0.09 AC)

1050 North 38th Street  
 Seattle Washington 98103  
 Telephone 206.675.9151  
 Facsimile 206.675.9150  
 www.bushroedhitchings.com

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BUSH, ROED, AND HITCHINGS, II  
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2009 MANOR AVENUE EAST  
SEATTLE, WASHINGTON  
(206) 323-4144 FAX (206) 323-7988

Phase 2 "LI"  
Land Use Permit  
Submittal

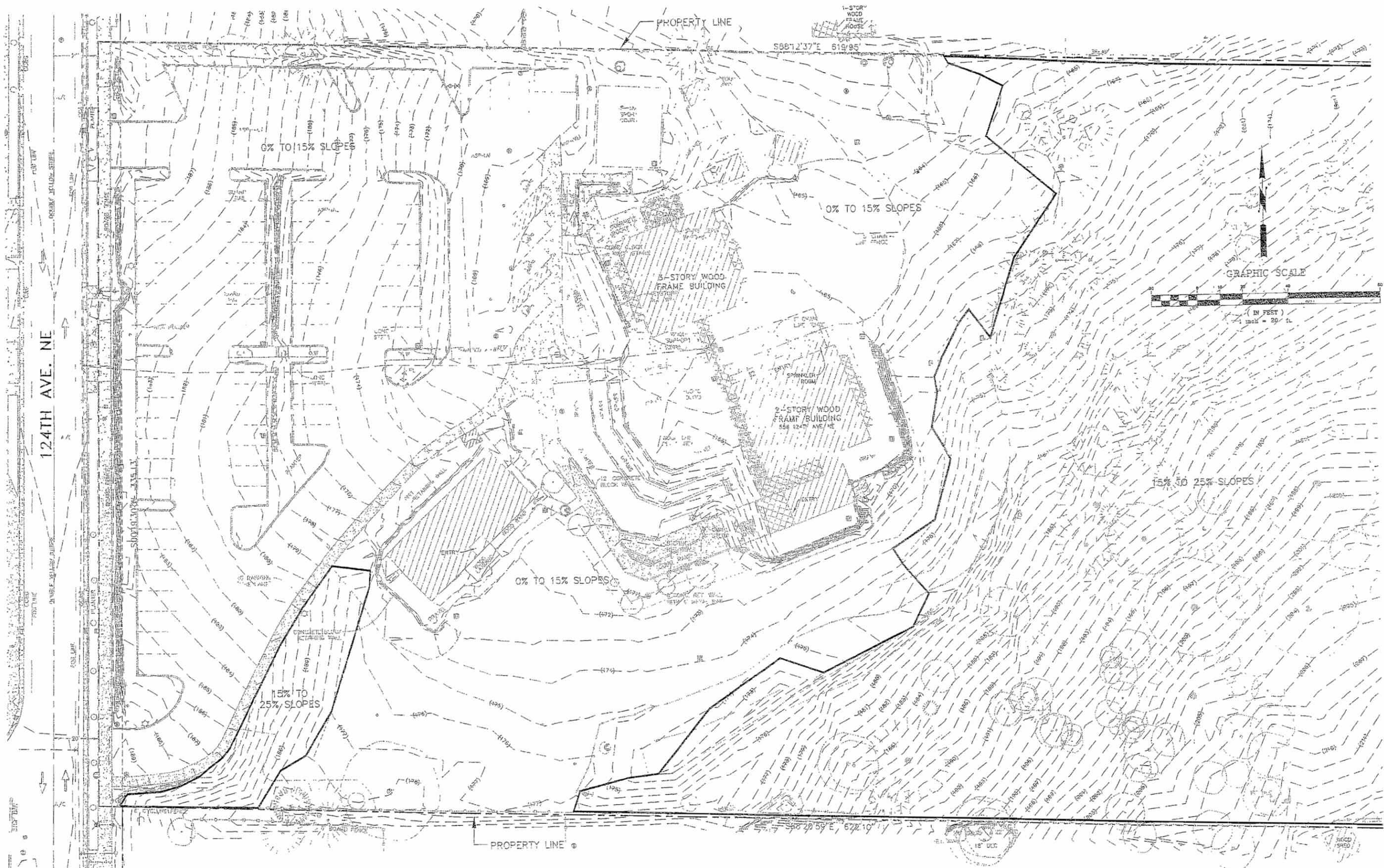
Three  
Cedars School

556 124th Ave NE  
Bellevue, WA 98005

Drawn by	KMC	
Checked		
Date	May 7, 2008	
Scale	1"=20'	
Revisions		
No	Date	Remarks
1	9/19/08	LI Corrections

Preliminary  
Clearing & Grading Pl:

**C1.00**



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BUSH, ROED, AND HITCHINGS, II  
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 SEATTLE, WASHINGTON 98102  
 (206) 323-4144 FAX (206) 323-7998



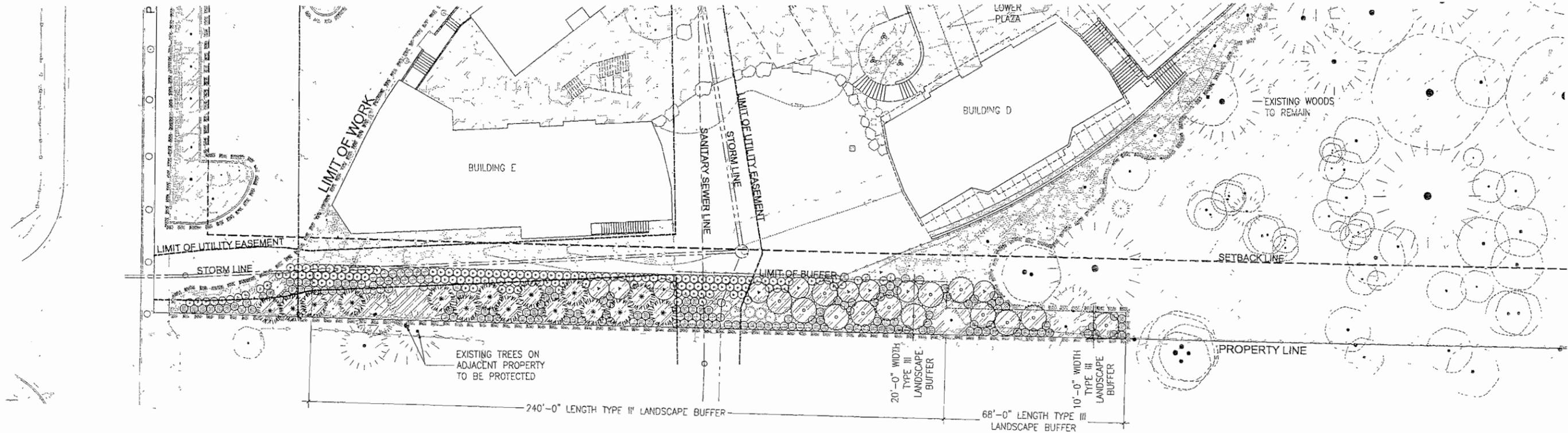
Phase 2 "L1"  
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Three  
 Cedars School

556 124th Ave. NE  
 Bellevue, WA 98005

Drawn by:	KMC	
Checked:		
Date:	May 8, 2008	
Scale:	1"=20'	
Revisions:		
No.	Date	Remarks

Slope Categories  
 Drawing  
**C2.00**



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ARCHITECTS

**1 LANDSCAPE BUFFER PLAN**  
L1.0 SCALE: 1"=20'



**BUFFER PLANT LEGEND**

- NOTES**
- SEE LANDSCAPE PLAN SHEET L1.10 FOR PLANTING OUTSIDE THE BUFFER AREA.
  - SEE EXISTING TREE PLAN L1.20.
  - TABLE DOES NOT INCLUDE QUANTITIES FOR PLANTS LOCATED OUTSIDE THE REQUIRED BUFFER AREA.
  - ALL NEW SHRUB AND GROUND COVER PLANTINGS WITHIN DRIP LINES OF EXISTING TREES TO REMAIN SHALL BE 1 GALLON MAX. TO MINIMIZE IMPACTS TO CRITICAL ROOT ZONE OF EXISTING TREES TO REMAIN. LARGER SIZES TYPICAL OUTSIDE OF DRIP LINES.

**CODE COMPLIANCE SUMMARY**

CITY OF BELLEVUE LUC 20.25B.040 C.2:

- Buffer.
  - A landscaped buffer, at least 20 feet in width, shall be provided along the entire street frontage where any portion of the street frontage is abutting a district receiving transition and along the interior property line abutting the district receiving transition.
  - All significant trees within 15 feet of the property line shall be retained as required by LUC .E.
  - The buffer shall be planted with the following, and shall include at least 50 percent native species in the required plantings:
    - Evergreen and deciduous trees, of which no more than 40 percent can be deciduous. There shall be a minimum of five trees per 1,000 square feet of buffer area, which shall be a minimum of 10 feet high at planting, along with the evergreen shrubs and living groundcover as described in paragraphs C.2.c.ii and iii of this section to effectively buffer development from adjacent residential properties; and
    - Evergreen shrubs, a minimum 42 inches in height at planting, at a spacing no greater than three feet on center; and
    - Living groundcover planted to cover the ground within three years; and

TREE REQUIREMENT CALCULATIONS:	
Length of West Buffer = 240', Width of West Buffer = 20', Area of West Buffer = 4,800 SF	
Length of East Buffer = 68', Width of East Buffer = 10', Area of East Buffer = 680 SF	
<b>TOTAL BUFFER AREA = 5,480 SF</b>	
Required Trees = 5,480 SF @ 5 Trees/1,000 SF = 27.4 (28) Trees	
Native Trees Required = 50% = 14 Trees	
Minimum Evergreen Trees = 60% = 16.8 (17) Trees	
Maximum Deciduous Trees = 40% = 11.2 (11) Trees	

**PLANTINGS WITHIN BUFFER**

Symbol	Latin Name	Common Name	Spacing	Size	Native Required	Native Provided	Quantity Required	Quantity Provided
	<u>Specimen Evergreen Trees</u> <i>Cupressocyparis leylandii</i>	Leyland Cypress	As Shown	15' ht. min	50%	60%	17 min.	13
	<u>Evergreen Trees</u> <i>Thuja plicata 'Hogan'</i>	Hogan Red Cedar	As Shown	8' ht. min				12
	<u>Deciduous Trees</u> <i>Acer circinatum</i>	Vine Maple	As Shown	Multi-stem, 10' ht., 2" cal. min.			11 max.	8
	<u>Specimen Evergreen Shrubs</u> <i>Mahonia aquifolium</i> <i>Myrica californica</i> <i>Rhododendron macrophyllum</i>	Tall Oregon Grape Pacific Wax Myrtle Pacific Rhododendron	3' o.c. 3' o.c. 3' o.c.	5' ht. min. 5' ht. min. 5' ht. min.	50%	100%	N/A	34
	<u>Screening Evergreen Shrubs</u> <i>Mahonia aquifolium</i> <i>Myrica californica</i> <i>Rhododendron macrophyllum</i>	Tall Oregon Grape California Wax Myrtle Pacific Rhododendron	3' o.c. 3' o.c. 3' o.c.	5 gal. 5 gal. 5 gal.	50%	100%	N/A	124
	<u>Mid-size Evergreen Shrubs</u> <i>Gaultheria shallon</i> <i>Sarcococca hookeriana</i> <i>Vaccinium ovatum</i>	Salal Sweet Box Evergreen Huckleberry	3' o.c. 3' o.c. 3' o.c.	2 gal. 2 gal. 2 gal.	50%	66%	N/A	125
	<u>Groundcovers and Ferns</u> <i>Arctostaphylos uva-ursi</i> <i>Mahonia repens</i> <i>Polystichum munitum</i>	Kinnikinnick, Bearberry Creeping Oregon Grape Sword Fern	12" o.c. 18" o.c. 30" o.c.	4" pots 1 gal. 1 gal.	50%	100%	N/A	2,625 SF



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT

ROBERT N. SHROSBREE  
CERTIFICATE NO. 310

Three Cedars School  
Ph. 2 Land Use  
Submittal

556 124th Ave. NE  
Bellevue, WA 98005

Drawn by: YS  
Checked: RS  
Date: May 6, 2006  
Scale: 1"=20'

No.	Date	Remarks
1	9/18/06	L1 Corrections
2	11/8/08	L1 Corrections 2

Landscape  
Buffer Plan

**L1.0**

**LANDSCAPE PLAN LEGEND**

- TF TOP OF FENCE
- TG TOP OF GUARDRAIL
- TW TOP OF WALL

- NOTES**
- 1 SEE LANDSCAPE PLAN LEGEND SHEET L1.11.
  - 2 SEE BUFFER LANDSCAPE PLAN SHEET L1.0 FOR PLANTING IN BUFFER AREA
  - 3 SEE EXISTING TREE PLAN SHEET L1.20
  - 4 SEE EXTERIOR LIGHTING PLAN SHEET L1.30.
  - 5 SEE PHASING DIAGRAMS SHEET A1.2 FOR PHASING INFORMATION

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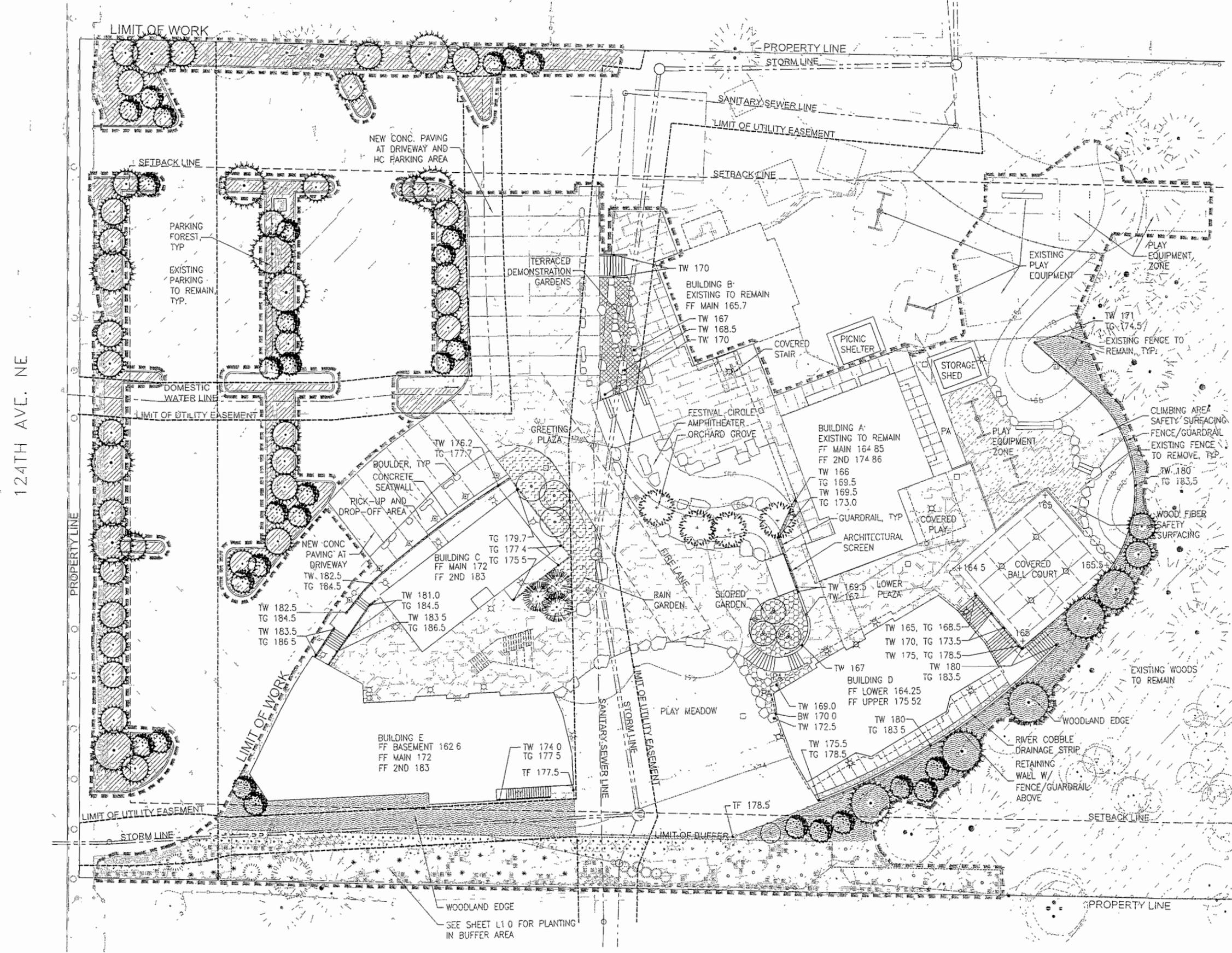


STATE OF WASHINGTON  
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 LANDSCAPE ARCHITECT  
 ROBERT N. SHROSBREE  
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556 124th Ave NE  
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Revisions		
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124TH AVE. NE



PLANT LIST

- NOTES:  
 1. SEE LANDSCAPE BUFFER PLAN L1.0 FOR PLANTING IN BUFFER AREA.  
 2. SEE EXISTING TREE PLAN L1.20.  
 3. FINAL PLANT LIST TO BE SELECTED FROM THIS LIST UPON AVAILABILITY AND OWNER INPUT.  
 4. WORK IN THE EXISTING PARKING LOT INCLUDES PLANTING ONLY.

PARKING FOREST

Symbol	Latin Name	Common Name	Spacing	Size
	<b>Evergreen Trees</b>			
	<i>Abies amabilis</i>	Pacific Silver Fir	As Shown	6' ht. min
	<i>Calocedrus decurrens</i>	Calocedrus	As Shown	6' ht. min
	<i>Pseudotsuga menziesii</i>	Douglas Fir	As Shown	6' ht. min
	<i>Thuja plicata</i>	Western Red Cedar	As Shown	6' ht. min
	<i>Tsuga heterophylla</i>	Western Hemlock	As Shown	6' ht. min
	<b>Deciduous Trees</b>			
	<i>Acer circinatum</i>	Vine Maple	As Shown	Multi-stem, 2" cal. min.
	<b>Shrubs</b>			
	<i>Cornus nuttallii</i>	Western Flowering Dogwood	As Shown	3" Cal.
	<b>Groundcovers and Ferns</b>			
	<i>Amelanchier alnifolia</i>	Serviceberry, Saskatoon	12' o.c.	Multi-stem, 2" cal. min
	<i>Corylus cornuta</i>	Beaked Hazelnut	8' o.c.	5 Gal.
	<i>Physocarpus capitatus</i>	Pacific Ninebark	8' o.c.	5 Gal.
	<i>Ribes sanguineum</i>	Red Flowering Currant	5' o.c.	5 Gal.
	<i>Rosa nutkana</i>	Nootka Rose	5' o.c.	5 Gal.
	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	3' o.c.	5 Gal.
	<i>Viburnum edule</i>	High Bush Cranberry	5' o.c.	5 Gal.
	<i>Kinnikinnick</i>	Bearberry	12" o.c.	4" pots
	<i>Wild Ginger</i>		12" o.c.	1 Gal.
	<i>Deer Fern</i>		18" o.c.	1 Gal.
	<i>Bunchberry</i>		12" o.c.	4" pots
	<i>Spiny Wood Fern</i>		18" o.c.	1 Gal.
	<i>Woodland Strawberry</i>		12" o.c.	4" pots
	<i>Salal</i>		18" o.c.	4" pots
	<i>Dull Oregon Grape</i>		18" o.c.	1 Gal.
<i>Wood Sorrel</i>		18" o.c.	1 Gal.	
<i>Sword Fern</i>		36" o.c.	1 Gal.	
<i>Pink Wintergreen</i>		12" o.c.	1 Gal.	

RAIN GARDEN

Symbol	Latin Name	Common Name	Spacing	Size
	<b>Evergreen Trees</b>			
	<i>Chamaecyparis nootkatensis</i>	Alaskan Cedar	As Shown	12-14' Ht.
	<b>Deciduous Trees</b>			
	<i>Betula nigra</i>	River Birch	As Shown	Multi-Stem, 3" cal. min.
	<b>Shrubs</b>			
	<i>Cornus stolonifera 'Kelseyii'</i>	Kelsey Dogwood	3' o.c.	1 Gal.
	<i>Rhododendron macrophyllum</i>	Pacific Rhododendron	10' o.c.	5 Gal.
	<b>Perennials and Ferns</b>			
	<i>Vanilla Leaf</i>		8" o.c.	4" pots
	<i>Red Columbine</i>		8" o.c.	4" pots
	<i>Wild Ginger</i>		8" o.c.	4" pots
	<i>Lady Fern</i>		12" o.c.	1 Gal.
	<i>Deer Fern</i>		12" o.c.	1 Gal.
	<i>Blechnum spicant</i>		12" o.c.	1 Gal.
<i>Carex sp.</i>	Sedge	12" o.c.	1 Gal.	
<i>Bleeding Heart</i>		12" o.c.	1 Gal.	
<i>Small-flowered Alumroot</i>		12" o.c.	1 Gal.	
<i>Oregon Iris</i>		12" o.c.	1 Gal.	
<i>Daggerleaf Rush</i>		18" o.c.	1 Gal.	
<i>Twinflower</i>		8" o.c.	1 Gal.	
<i>False Lily-of-the-Valley</i>		12" o.c.	1 Gal.	
<i>Wood Sorrel</i>		18" o.c.	1 Gal.	
<i>Sword Fern</i>		36" o.c.	1 Gal.	
<i>Foamflower</i>		12" o.c.	1 Gal.	
<i>Western Trillium</i>		12" o.c.	1 Gal.	
<i>Inside-out Flower</i>		8" o.c.	1 Gal.	

WOODLAND EDGE

Symbol	Latin Name	Common Name	Spacing	Size
	<b>Evergreen Trees</b>			
	<i>Pseudotsuga menziesii</i>	Douglas Fir	As Shown	6' ht. min
	<i>Thuja plicata</i>	Western Red Cedar	As Shown	6' ht. min
	<b>Deciduous Trees</b>			
	<i>Tsuga heterophylla</i>	Western Hemlock	As Shown	6' ht. min
	<b>Deciduous Trees</b>			
	<i>Acer circinatum</i>	Vine Maple	As Shown	Multi-stem, 2" cal. min.
	<b>Shrubs</b>			
	<i>Cornus nuttallii</i>	Western Flowering Dogwood	As Shown	3" Cal.
	<b>Groundcovers and Ferns</b>			
	<i>Serviceberry, Saskatoon</i>		12' o.c.	Multi-stem, 2" cal. min
	<i>Beaked Hazelnut</i>		8' o.c.	5 Gal.
	<i>Ocean Spray</i>		6' o.c.	5 Gal.
	<i>Red Flowering Currant</i>		5' o.c.	5 Gal.
	<i>Pacific Rhododendron</i>		6' o.c.	5 Gal.
	<i>Red Huckleberry</i>		3' o.c.	5 Gal.
	<i>Evergreen Huckleberry</i>		3' o.c.	5 Gal.
	<i>Kinnikinnick, Bearberry</i>		12" o.c.	4" pots
	<i>Wild Ginger</i>		12" o.c.	1 Gal.
	<i>Deer Fern</i>		18" o.c.	1 Gal.
	<i>Bunchberry</i>		12" o.c.	4" pots
	<i>Spiny Wood Fern</i>		18" o.c.	1 Gal.
	<i>Salal</i>		18" o.c.	4" pots
	<i>Dull Oregon Grape</i>		18" o.c.	1 Gal.
	<i>Sword Fern</i>		36" o.c.	1 Gal.

ORCHARD GROVE

Symbol	Latin Name	Common Name	Spacing	Size
	<b>Deciduous Trees</b>			
	<i>Prunus x yedoensis</i>	Flowering Cherry	As Shown	3" Cal.
	<i>Prunus x yedoensis 'Akebono'</i>	Akebono Cherry	As Shown	3" Cal.
	<i>Malus 'Adirondack'</i>	Flowering Crabapple	As Shown	3" Cal.
	<i>Malus 'Evereste'</i>	Evereste Crabapple	As Shown	3" Cal.

SLOPED GARDEN

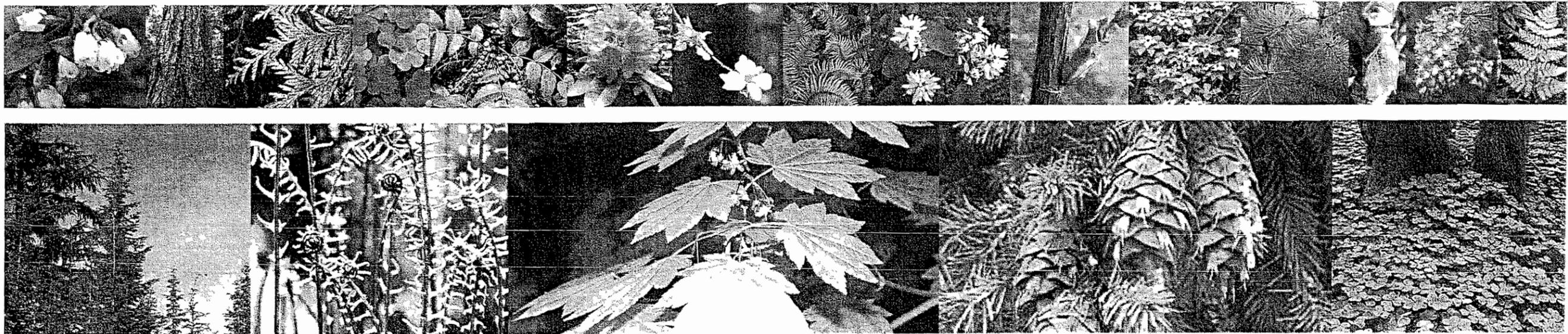
Symbol	Latin Name	Common Name	Spacing	Size
	<b>Deciduous Trees</b>			
	<i>Oxydendron arboreum</i>	Sourwood Tree	As Shown	3" Cal.
	<i>Parrotia persica</i>	Persian Ironwood	As Shown	3" Cal.
	<i>Stewartia pseudocamelia</i>	Japanese Stewartia	As Shown	3" Cal.
	<i>Styrax obassia</i>	Fragrant Snowbell	As Shown	3" Cal.
	<b>Ferns</b>			
	<i>Dryopteris erythrosora</i>	Autumn Fern	36" o.c.	1 Gal.
<i>Polystichum munitum</i>	Sword Fern	36" o.c.	1 Gal.	

DEMONSTRATION GARDENS

Symbol	Remarks
	VARIOUS ANNUAL VEGETABLES, FLOWERS, HERBS FOR DEMONSTRATION PURPOSES. OWNER INSTALLED

PLAY MEADOW & AMPHITHEATER

Symbol	Remarks
	LAWN



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Three  
 Cedars School  
 Ph. 2 Land Use  
 Submittal

556 124th Ave. NE  
 Bellevue, WA 98005

Drawn by CS/SVS  
 Checked RS  
 Date May 8, 2008  
 Scale NA

Revisions  
 No. Date Remarks  
 1 9/19/06 cl Corrections

Landscape Plan  
 Legend  
 L1.11

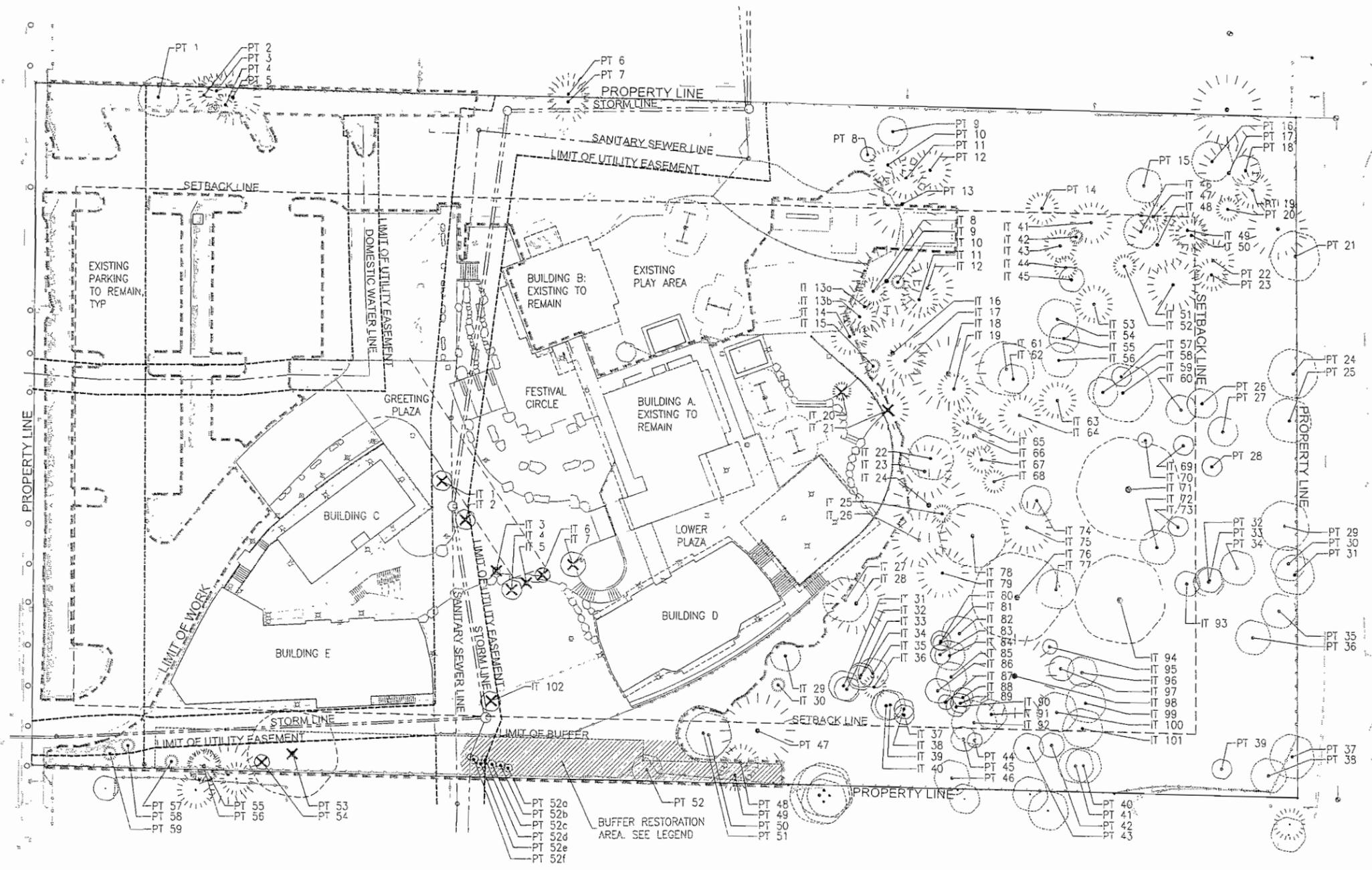


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556 124th Ave. NE  
 Bellevue, WA 98005

Drawn by:	VS	
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Date:	May 8, 2008	
Scale:	1"=30'	
Revisions:		
No.	Date	Remarks
1	5/19/08	LI Corrections

Existing  
 Tree Plan  
**L1.20**



**1** EXISTING TREE PLAN  
 L1.20 SCALE: 1"=30'

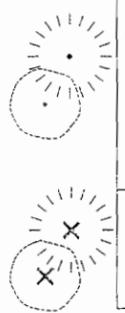


**NOTES**

- REFERENCE ARBORIST REPORT "ANALYSIS OF TREES AT THREE CEDARS SCHOOL PROPERTY" FOR EVALUATION OF SIGNIFICANT TREES TO BE REMOVED AND FOR PERIMETER AND INTERIOR SIGNIFICANT TREE CALCULATIONS, COPIED BELOW.
- ALL TREES 8" CALIPER OR GREATER TO REMAIN UNLESS OTHERWISE NOTED ON PLANS.
- ALL TREES OUTSIDE LIMIT OF WORK TO REMAIN.

<b>PERIMETER SIGNIFICANT TREE CALCULATIONS:</b>	
Total Perimeter Significant Tree Caliper Inches:	778.6
Total Caliper Inches to be Saved: 92.7% (% of Total)	
<b>INTERIOR SIGNIFICANT TREE CALCULATIONS:</b>	
Total Interior Significant Tree Caliper Inches:	1269.9
Total Caliper Inches to be Saved: 92.4% (% of Total)	

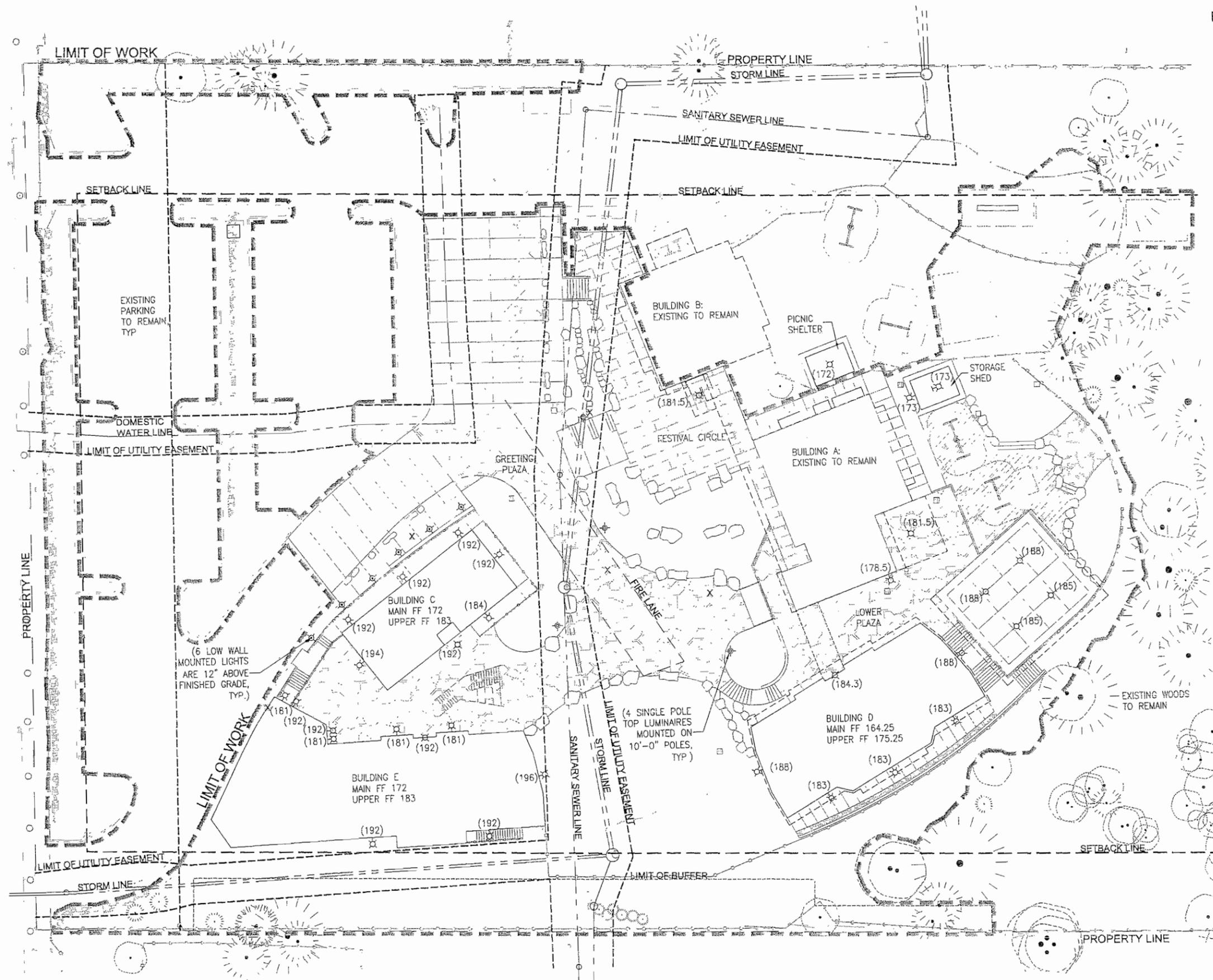
**EXISTING VEGETATION & RESTORATION AREAS**



- EXISTING TREES TO REMAIN:**
- Establish rigid tree protection fencing at dripline of existing trees to remain within limit of work.
  - Mulching and watering within the tree protection fencing shall be maintained throughout construction.
  - When work is required within the dripline only hand tools are permitted. No operation of heavy equipment or storage of materials shall be allowed within the dripline of trees designated to remain.
- EXISTING TREES TO REMOVE**



- BUFFER RESTORATION AREA:**
- Remove all invasive species in this area.
  - Preserve and protect all existing significant trees (trees 8" caliper or greater) in this area.
  - Owner's representative to log existing shrubs and small trees to remain. Species include existing vine maples and small conifers in good condition.
  - Prune and clear any dead, dying or dangerous tree branches within 25 vertical feet into the tree from the ground plane.
  - Install new shrubs and groundcovers as specified in the buffer planting plan. Field adjust locations based on existing conditions.
  - Install min 2" depth mulch.



**EXTERIOR LIGHTING LEGEND**

- (192) MOUNTING HEIGHT ELEVATION
- ⊕ EXISTING LIGHT FIXTURES TO REMAIN
- ✕ LIGHT FIXTURE TO BE REMOVED
- ⊠ BUILDING WALL-MOUNTED LUMINAIRE: BEGA 3221
- ⊞ STEM MOUNTED DOWN LIGHT: SPECTRUM RLM WAREHOUSE SHADE
- ⊕ LOW WALL-MOUNTED: PRISMA SYNCRO VISA 073019
- ⊕ SINGLE POLE TOP LUMINAIRE: INVUE ELM

NOTE: REFER TO ATTACHED FIXTURE CUT SHEETS AND PRELIMINARY PHOTOMETRY STUDY

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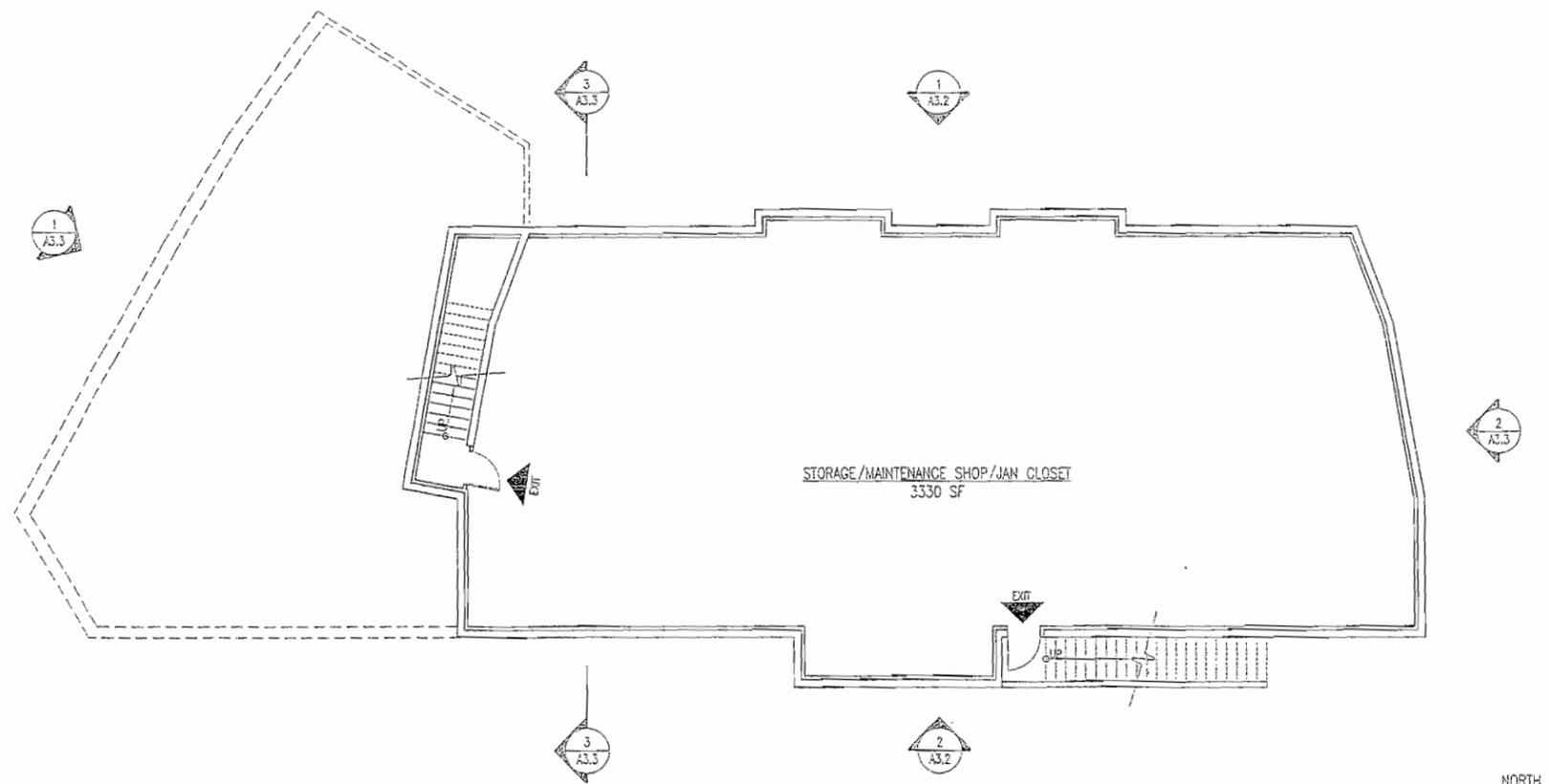
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Revison	No.	Date	Remans
1	9/19/06		LI Corrections
2	11/8/06		LI Corrections 2





1 BUILDING E: BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"

0 8 16 FEET



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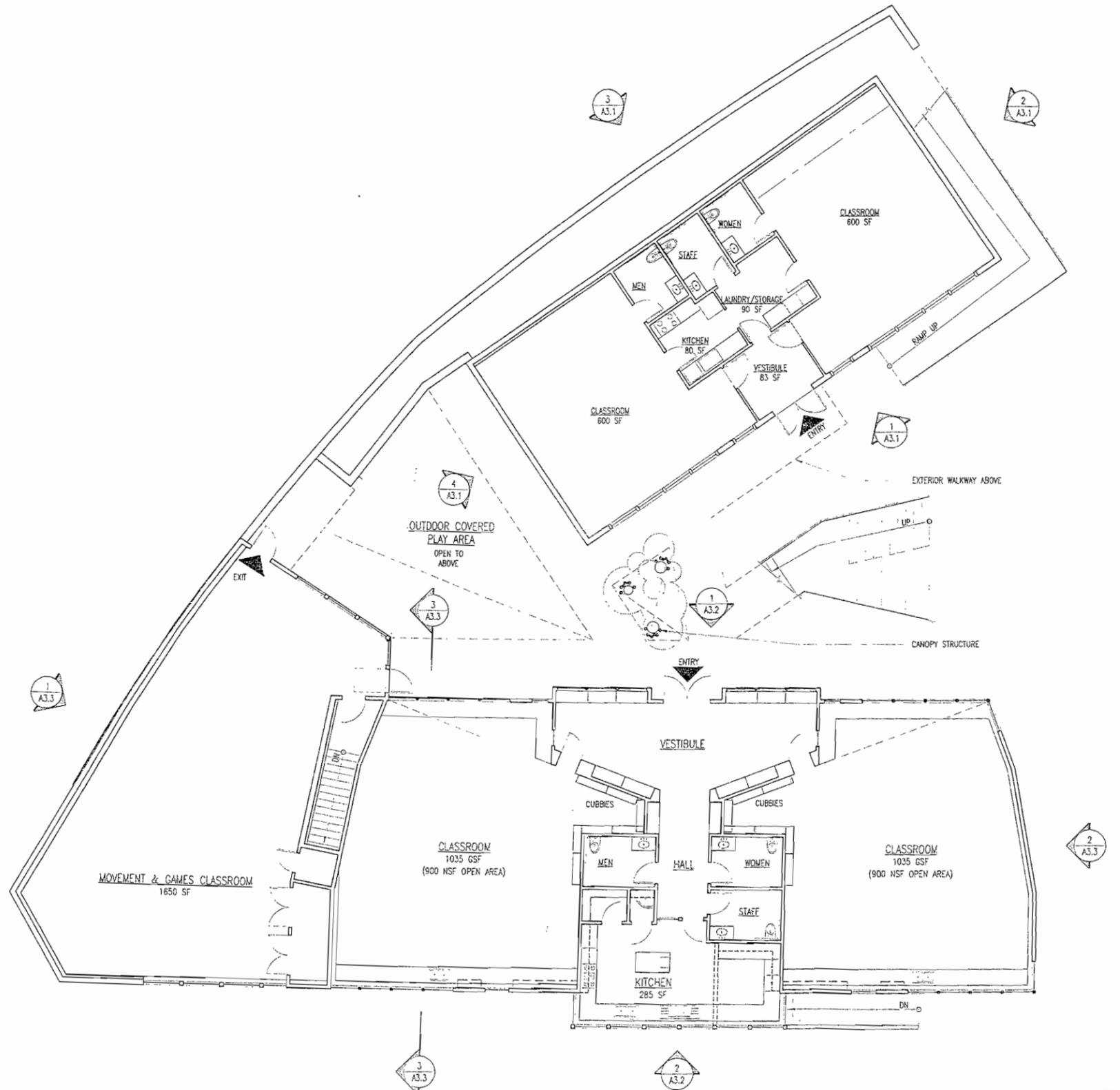
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Drawn by: KS  
Checked:  
Date: May 8, 2008  
Scale: 1/8" = 1'-0"

Revisions:	No.	Date	Remarks

Building E  
Basement Fir Plan

A2.0

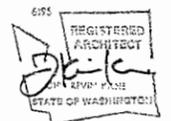


BUILDING C AND BUILDING E: MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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A R C H I T E C T S



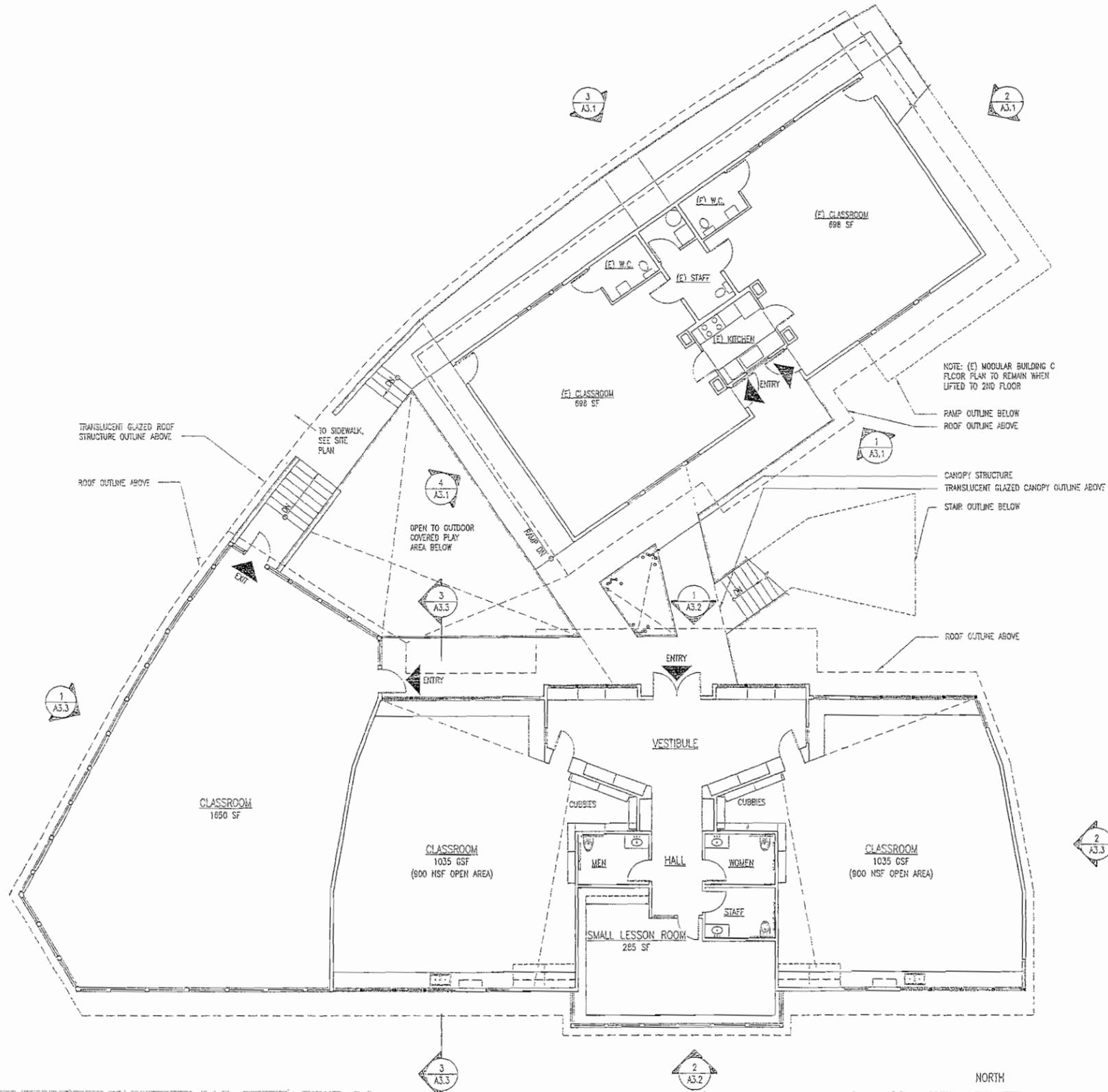
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Revisions:  
No. Date Remarks

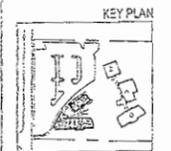
Building C & E  
Main Floor Plans

A2.1



1 BUILDING C AND BUILDING E: SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"

1059 North 26th Street  
Seattle, Washington 98103  
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Facsimile: 206.875.6150  
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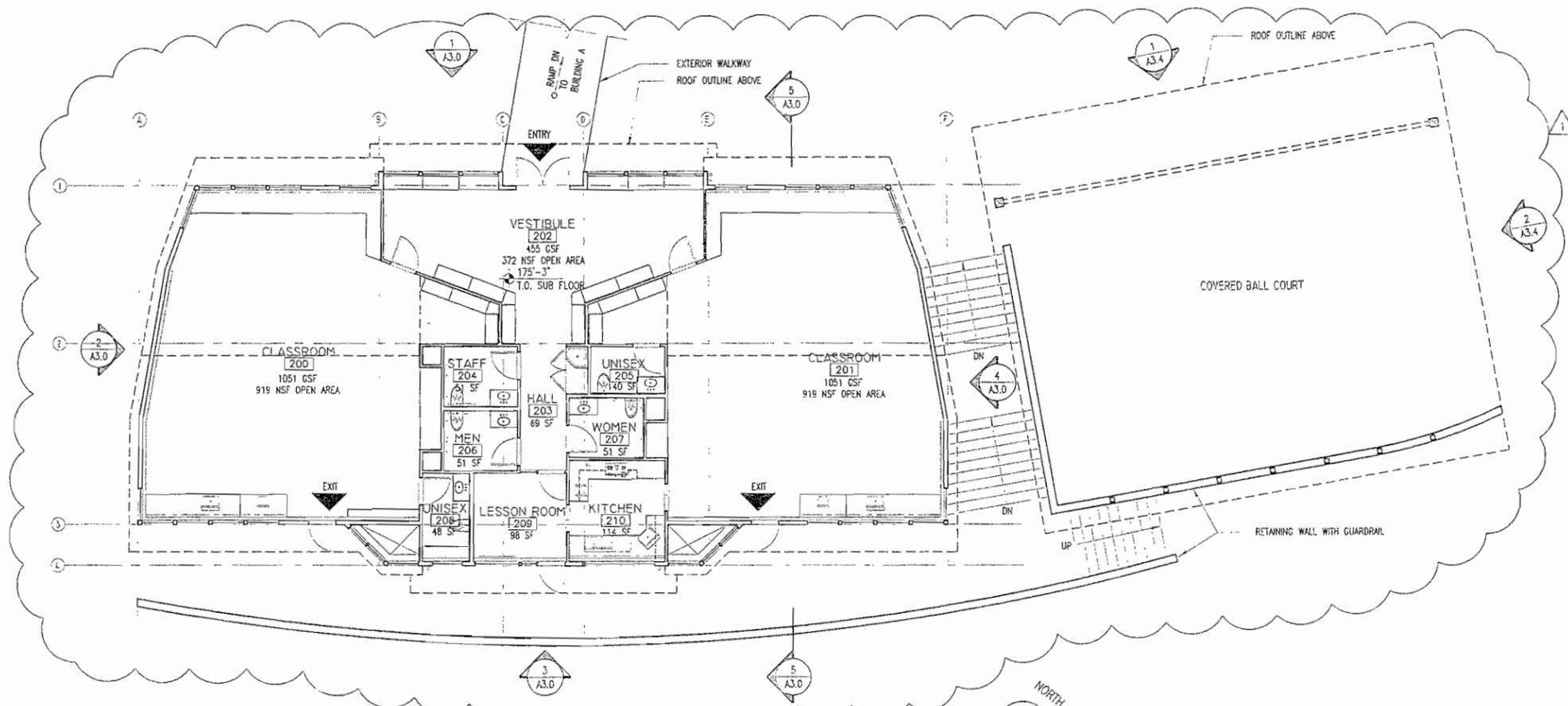
Three Cedars School  
Ph. 2 Land Use Submittal

556 124th Ave. NE  
Bellevue, WA 98005

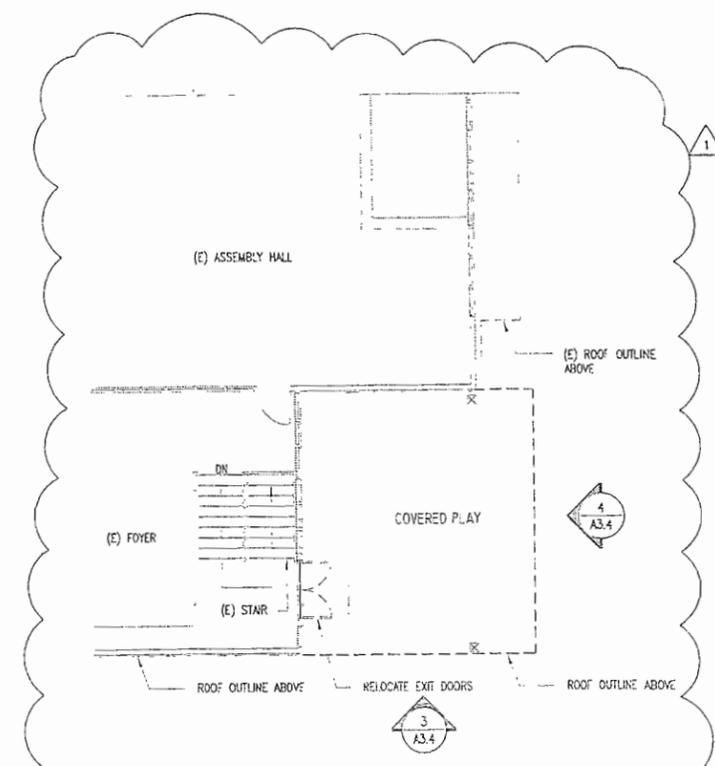
Drawn by:	KS	
Checked:		
Date:	May 6, 2008	
Scale:	1/8" = 1'-0"	
Revisions:		
No.	Date	Remarks

Building C & E  
Second Floor Plans

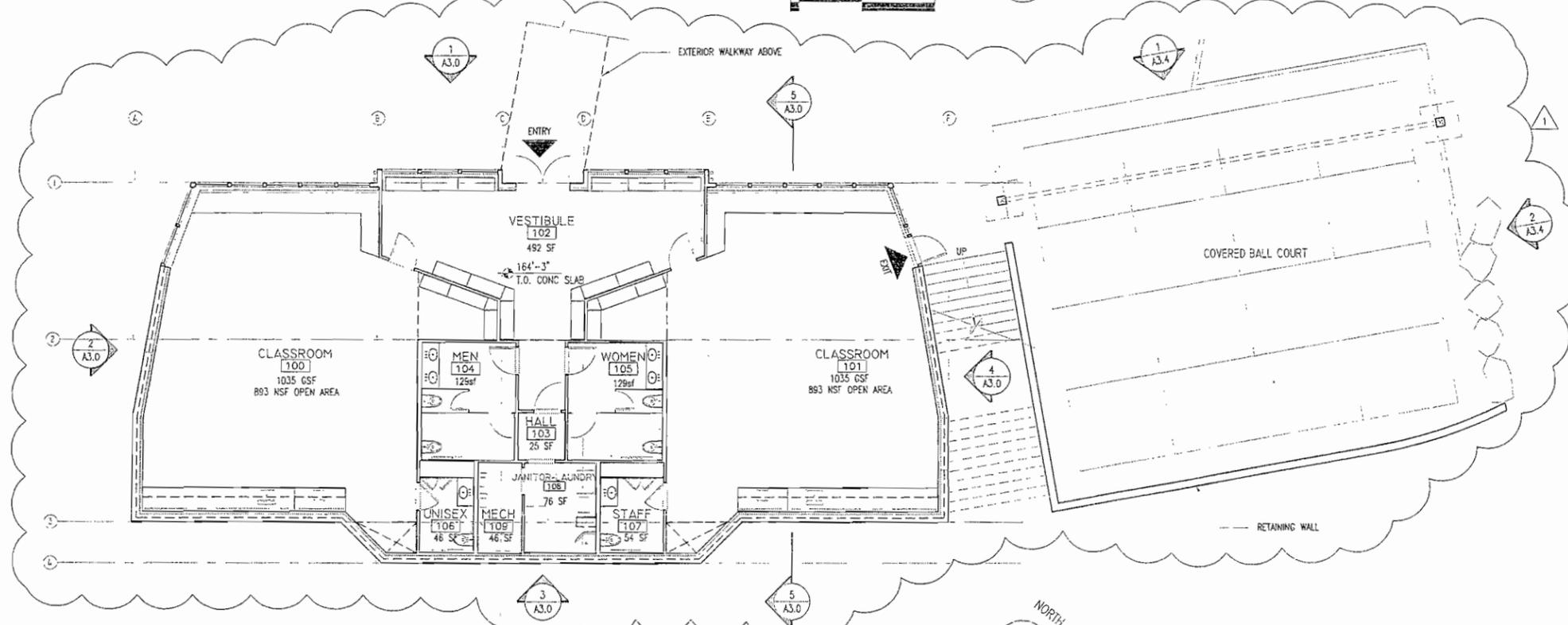
A2.2



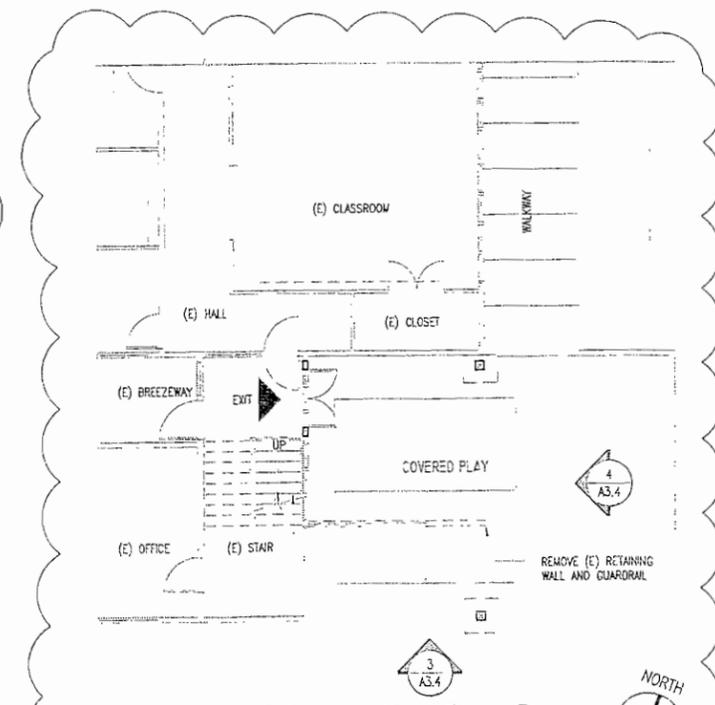
1 BUILDING D: 2ND FLOOR PLAN  
SCALE: 1/8"=1'-0"



2 COVERED PLAY @ BLDG A: 2ND FLOOR PLAN  
SCALE: 1/8"=1'-0"



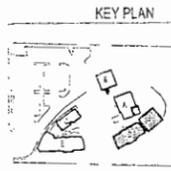
3 BUILDING D: MAIN FLOOR PLAN  
SCALE: 1/8"=1'-0"



4 COVERED PLAY @ BLDG A: MAIN FLOOR PLAN  
SCALE: 1/8"=1'-0"

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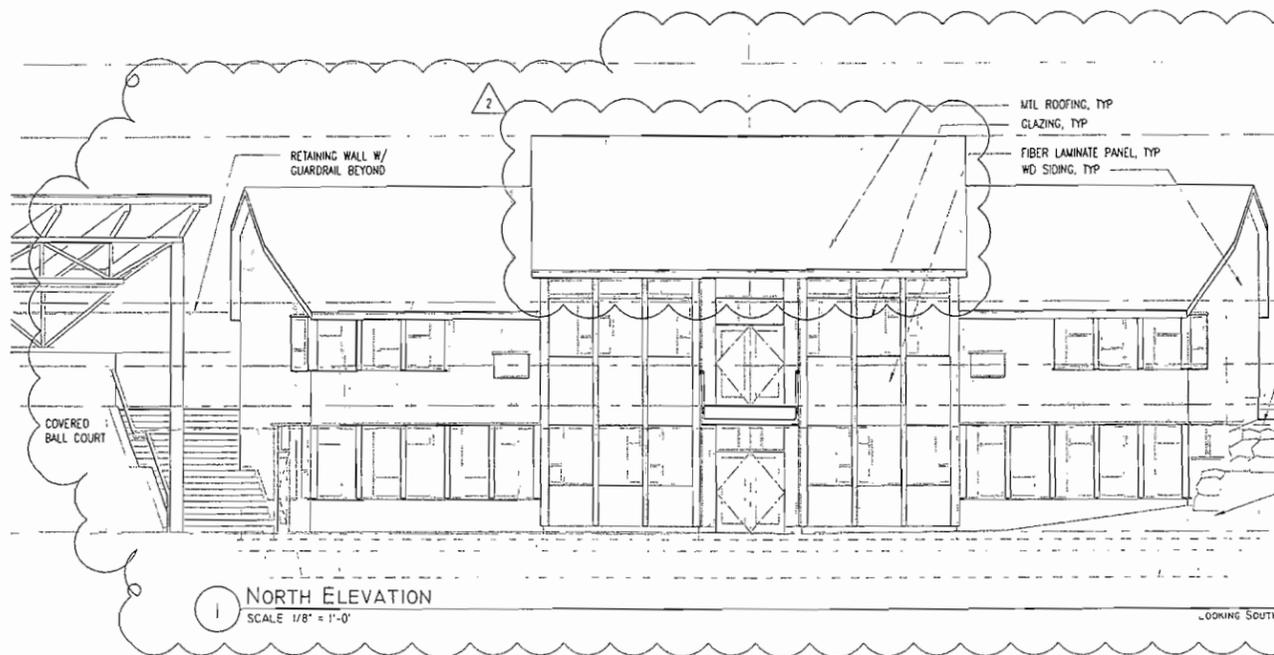
Three Cedars School  
Ph. 2 Land Use  
Submittal

556 124th Ave. NE  
Bellevue, WA 98005

Drawn by: KS  
Checked: KS  
Date: Sept. 12, 2005  
Scale: 1/8" = 1'-0"

Revisions	No.	Date	Remarks
U	09/19/08		U CORRECTIONS

Building D/  
Covered Play Plans  
**A2.3**



204.84'  
C.O.B. MAX ALLOWED HEIGHT

6'-6"

23'-6"

204.84'  
C.O.B. MAX ALLOWED HEIGHT

6'-6"

23'-6"

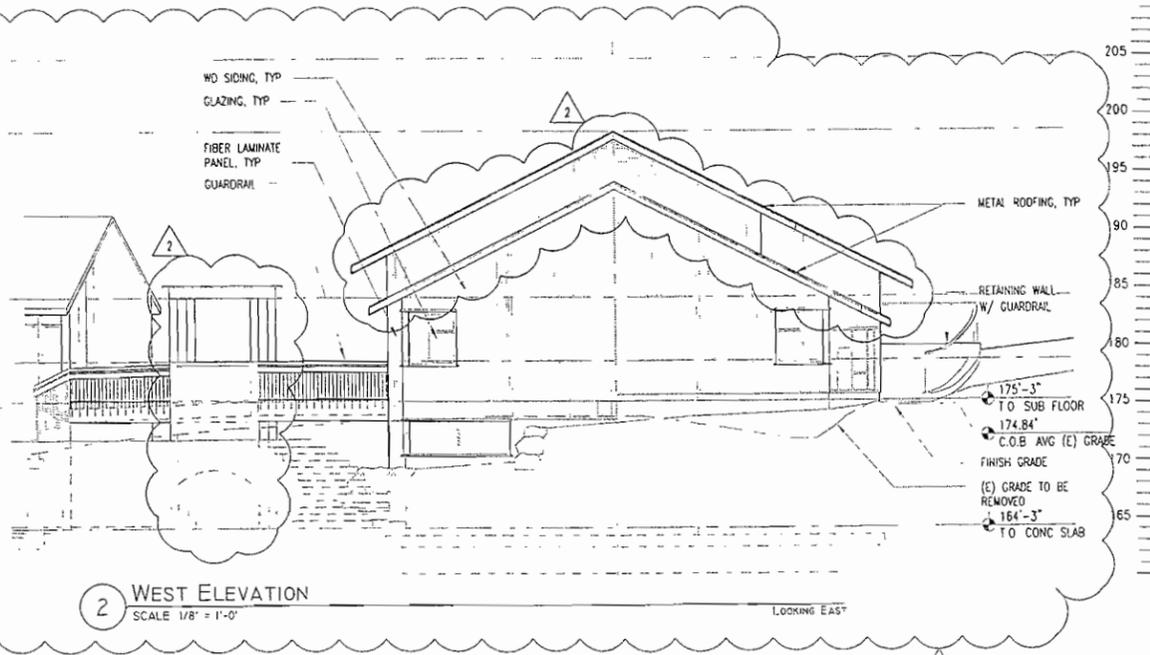
175'-3"  
TO SUB FLOOR

174.84'  
C.O.B. AVG (E) GRADE

FOUNDATION WALL BEYOND

164'-3"  
TO CONC SLAB

TYP GUARDRAIL NOTE:  
ALL PROPOSED GUARDRAILS  
TO BE MIN 42" ABOVE  
FINISH SURFACE W/ MAX  
4" OPEN SPACE BETWEEN  
INTERMEDIATE RAILS



Wd Siding, Typ

Glazing, Typ

Fiber Laminate Panel, Typ

Guardrail

205'

195'

90'

85'

80'

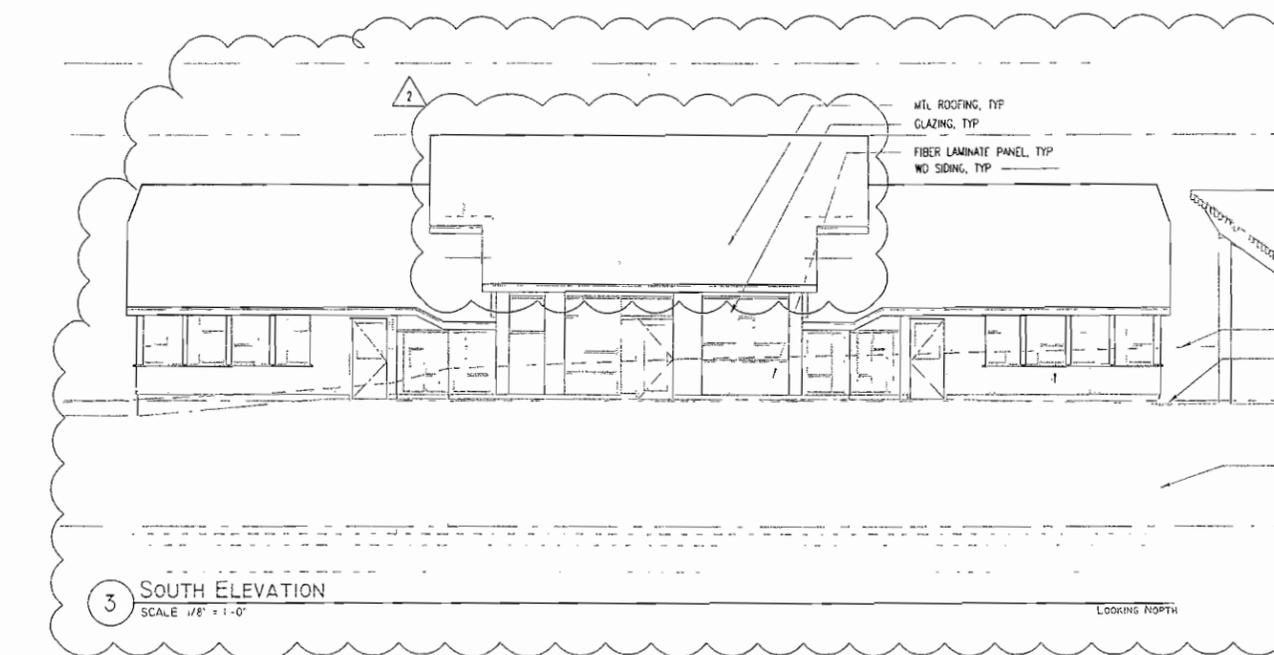
175'-3"  
TO SUB FLOOR

174.84'  
C.O.B. AVG (E) GRADE

FINISH GRADE

(E) GRADE TO BE REMOVED

164'-3"  
TO CONC SLAB



204.84'  
C.O.B. MAX ALLOWED HEIGHT

6'-6"

23'-6"

204.84'  
C.O.B. MAX ALLOWED HEIGHT

6'-6"

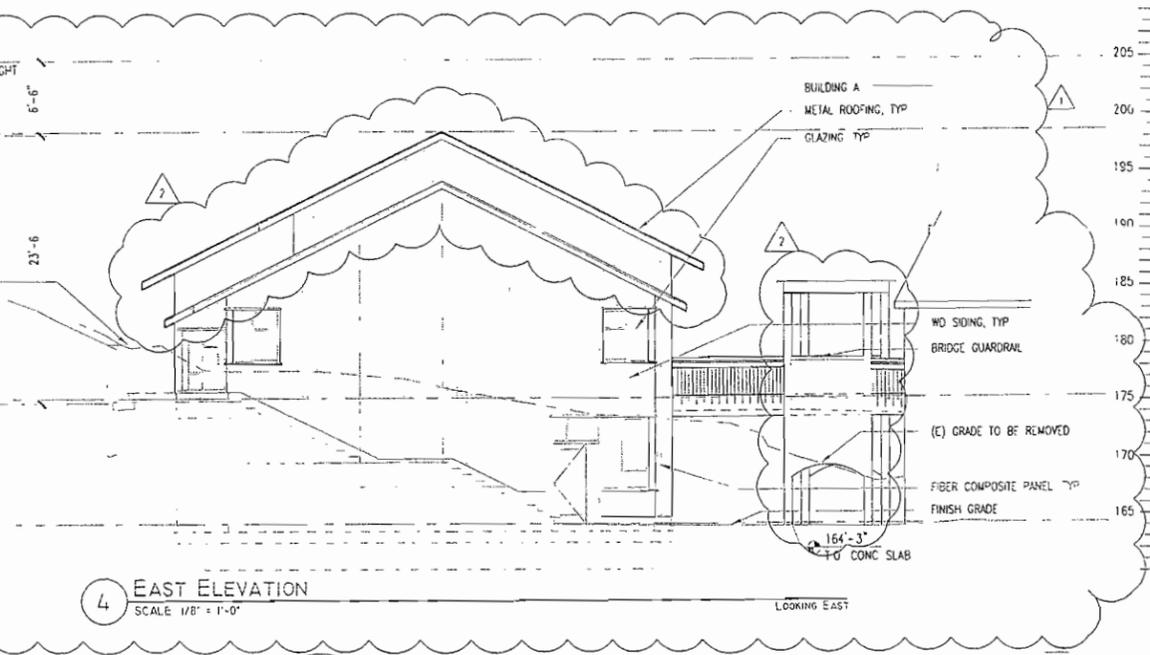
23'-6"

175'-3"  
TO SUB FLOOR

174.84'  
C.O.B. AVG (E) GRADE

FOUNDATION WALL BEYOND

164'-3"  
TO CONC SLAB



205'

195'

160'

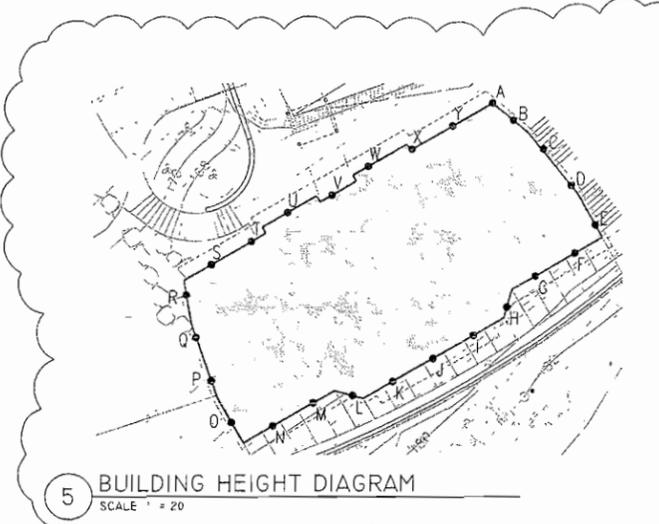
185'

175'

170'

165'

164'-3"  
TO CONC SLAB

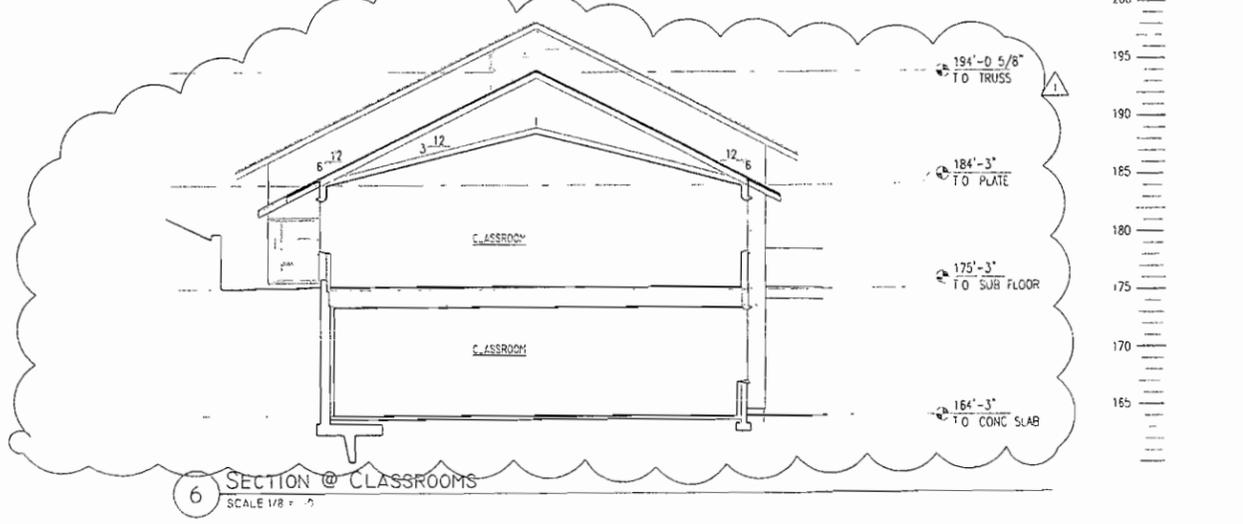


**BUILDING D  
SPOT ELEVATION TABLE  
FOR HEIGHT CALCULATION**

A	173.5	N	174
B	174	O	172
C	175.5	P	174
D	177.25	Q	174.75
E	177.5	R	173.75
F	176.75	S	173.5
G	176.5	T	173.5
H	177	U	173.5
I	177	V	173.5
J	177	W	173.5
K	177	X	173.5
L	175	Y	173.5
M	174		

TOTAL = 4371  
4371 / 25 PTS = 174.84

AVERAGE EXISTING GRADE 174.84',  
MAX. BLDG ELEVATION (OR MIDPT OF  
SLOPED ROOF) 174.84' + 30' =  
204.84'



200'

195'

190'

185'

180'

175'

170'

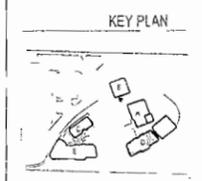
165'

194'-0 5/8"  
TO TRUSS

184'-3"  
TO PLATE

175'-3"  
TO SUB FLOOR

164'-3"  
TO CONC SLAB



Three Cedars School  
Ph. 2 Land Use  
Submittal

556 124th Ave NE  
Bellevue, WA 98005

Drawn by: KSD/CAM  
Checked: HK  
Date: May 8 2008  
Scale: 1/8" = 1'-0"

Revisions:  
No. Date Remarks  
09/19/08 U CORRECTIONS  
11/07/08 U CORRECTIONS 2



1 NORTH ELEVATION  
SCALE 1/8" = 1'-0"

LOOKING SOUTH



2 WEST ELEVATION  
SCALE 1/8" = 1'-0"

LOOKING EAST



3 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

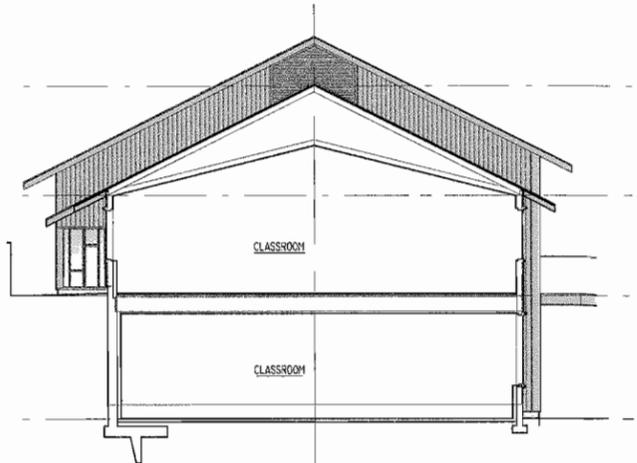
LOOKING NORTH



4 EAST ELEVATION  
SCALE 1/8" = 1'-0"

LOOKING EAST

-  ROOF: STANDING SEAM METAL ROOF  
ALTERNATE: ASPHALT COMPOSITION SHINGLES
-  SIDING: WOOD
-  SIDING: FIBER COMPOSITE PANEL



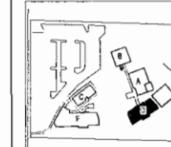
6 SECTION @ CLASSROOMS  
SCALE 1/8" = 1'-0"

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KEY PLAN



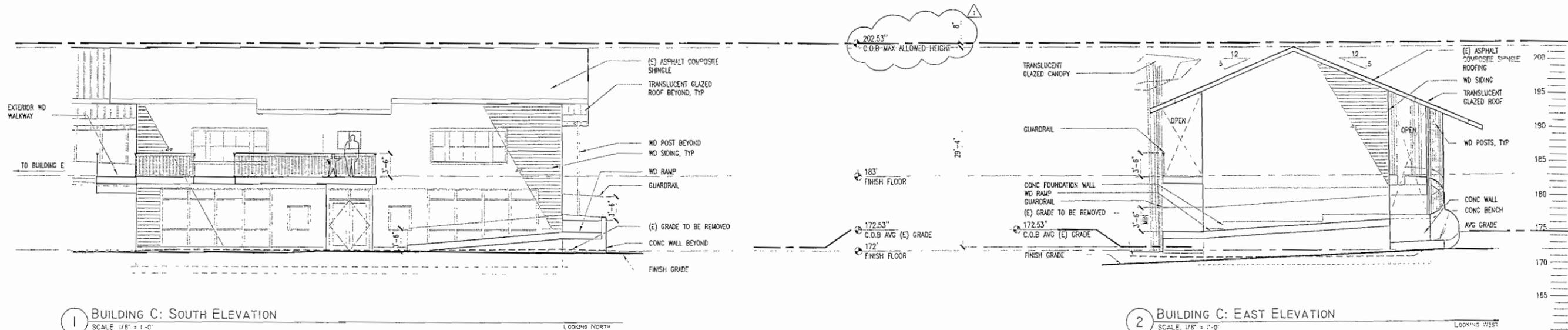
Three Cedars School  
Ph. 2 Land Use  
Submittal

556 124th Ave. NE  
Bellevue, WA 98005

Drawn by: ST  
Checked:  
Date: May 8, 2008  
Scale: 1/8" = 1'-0"

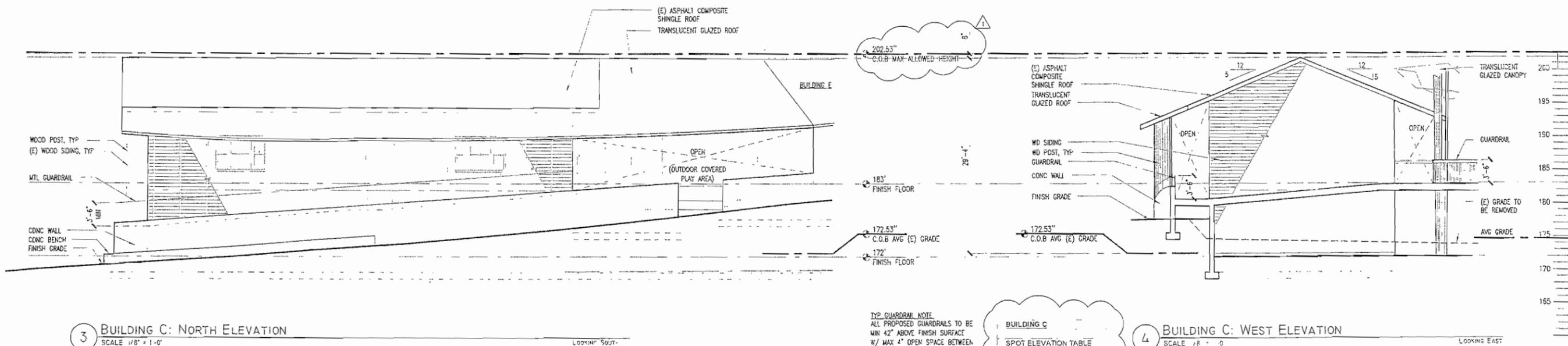
Revisions	No.	Date	Remarks
1	09/19/08	U. CORRECTIONS	
2	11/07/08	U. CORRECTIONS 2	

Building D  
Elevations  
A3.0



1 BUILDING C: SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

2 BUILDING C: EAST ELEVATION  
SCALE 1/8" = 1'-0"



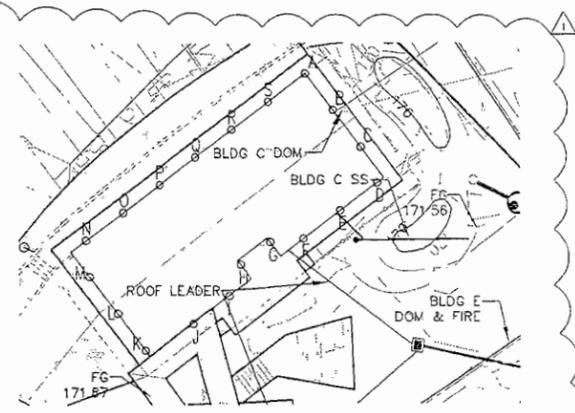
3 BUILDING C: NORTH ELEVATION  
SCALE 1/8" = 1'-0"

4 BUILDING C: WEST ELEVATION  
SCALE 1/8" = 1'-0"

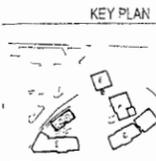
TYP GUARDRAIL NOTE  
ALL PROPOSED GUARDRAILS TO BE  
MIN 42" ABOVE FINISH SURFACE  
W/ MAX 4" OPEN SPACE BETWEEN  
INTERMEDIATE RAILS

BUILDING C  
SPOT ELEVATION TABLE  
FOR HEIGHT CALCULATION

A	172
B	172
C	172
D	172
E	172
F	172
G	172
H	172
I	172
J	172
K	172
L	172
M	173
N	176
O	175
P	174
Q	172
R	172
S	172
TOTAL	3278
3278 / 19 PTS = 172.53'	
AVERAGE EXISTING GRADE 172.53'	
MAX BLDG ELEVATION (OR MIDPT OF SLOPED ROOF) 172.53' + 30' = 202.53'	



5 BUILDING HEIGHT DIAGRAM  
SCALE 1" = 20'

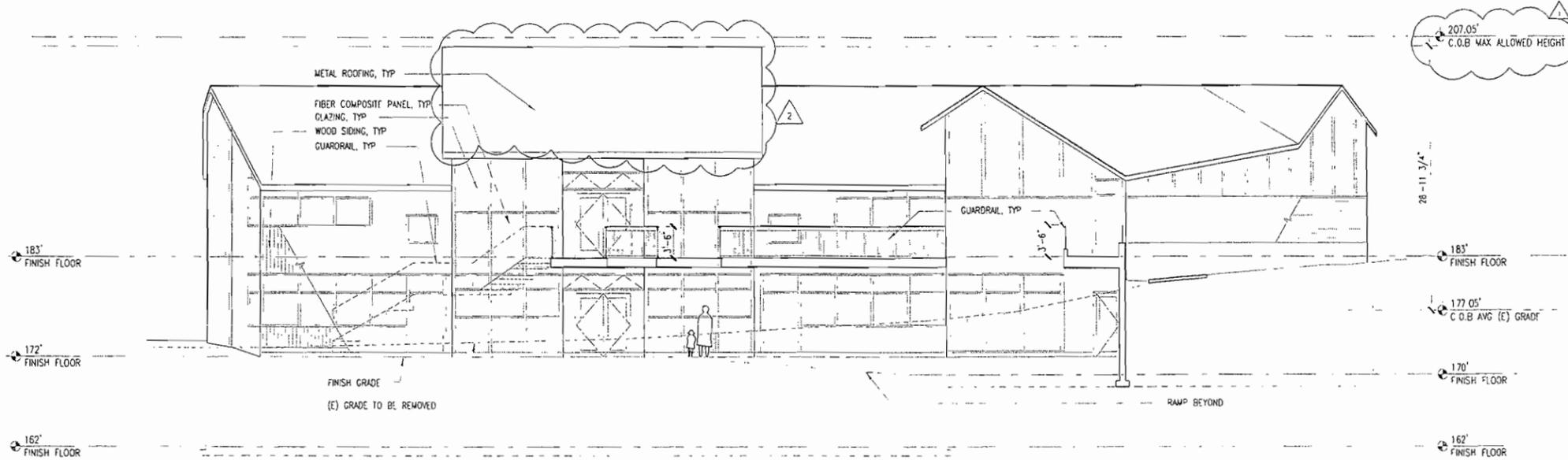


Three Cedars School  
Ph. 2 Land Use  
Submittal

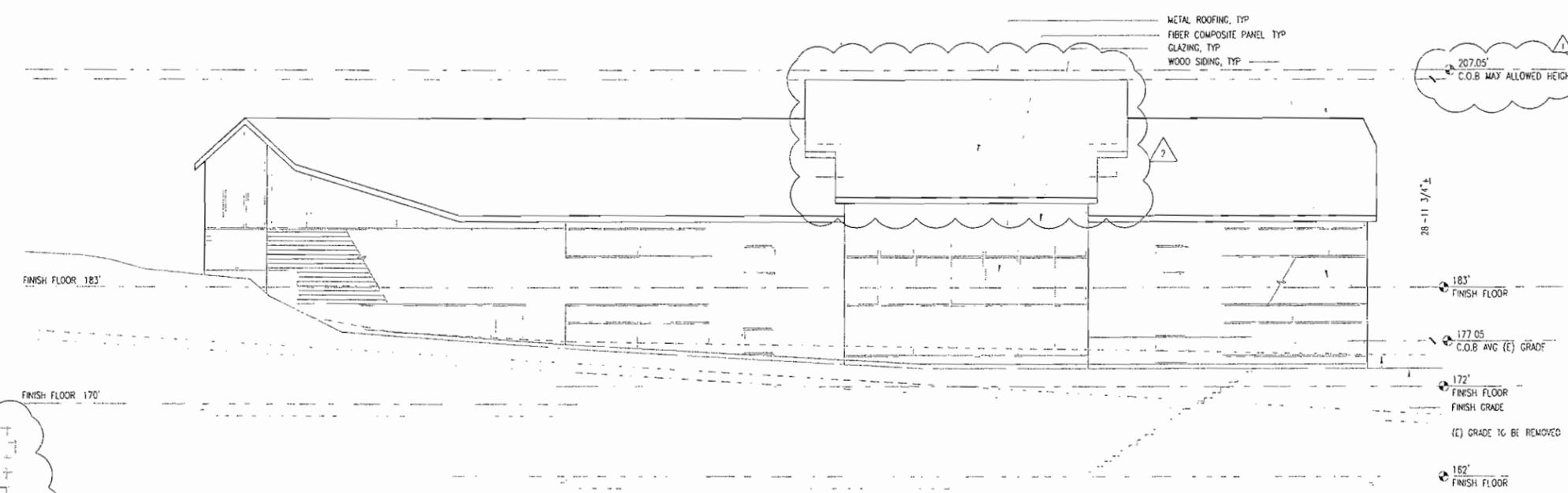
556 124th Ave NE  
Bellevue, WA 98005

Drawn by STMS  
Checked KX  
Date Sep 12, 2008  
Scale 1/8" = 1'-0"

Revisions  
No Date Remarks  
09/19/08 U CORRECTIONS



1 BUILDING E: NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

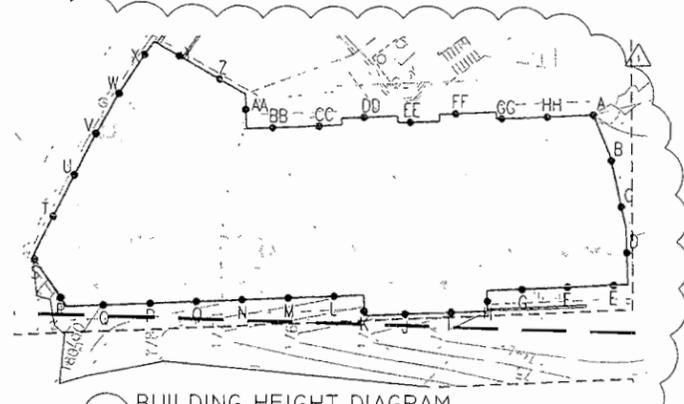


2 BUILDING E: SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

**BUILDING E**

SPOT ELEVATION TABLE  
FOR HEIGHT CALCULATION

A	172.8	R	182
B	173.5	S	184.5
C	174	T	184
D	174.5	U	183
E	175	V	182
F	175.25	W	181.5
G	175.75	X	180.5
H	176	Y	179
I	176.2	Z	177
J	176.4	AA	176.5
K	176.6	BB	175.75
L	176.5	CC	175
M	176.6	DD	175
N	176.8	EE	174
O	177.2	FF	173
P	178	GG	173
Q	180	HH	173



3 BUILDING HEIGHT DIAGRAM  
SCALE: 1/8" = 1'-0"



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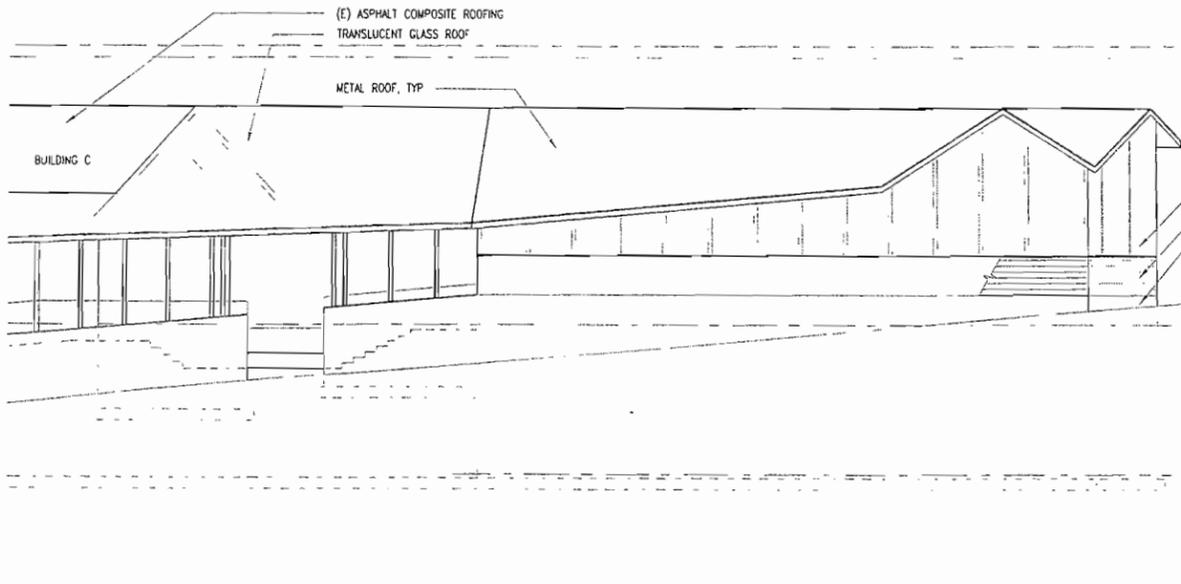


Three  
Cedars School  
Ph. 2 Land Use  
Submittal

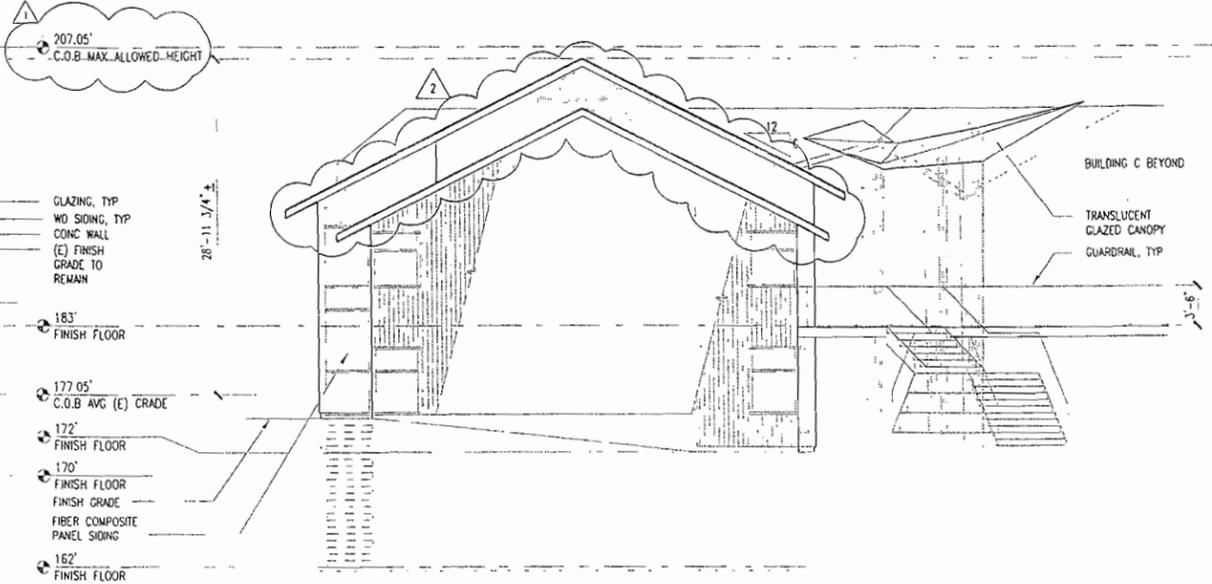
556 124th Ave NE  
Bellevue, WA 98005

Drawn by: KSM  
Checked: KS  
Date: May 6, 2008  
Scale: 1/8" = 1'-0"

Revisions:  
No. Date Reason  
1 09/19/06 LI CORRECTIONS  
2 11/06/06 LI CORRECTIONS

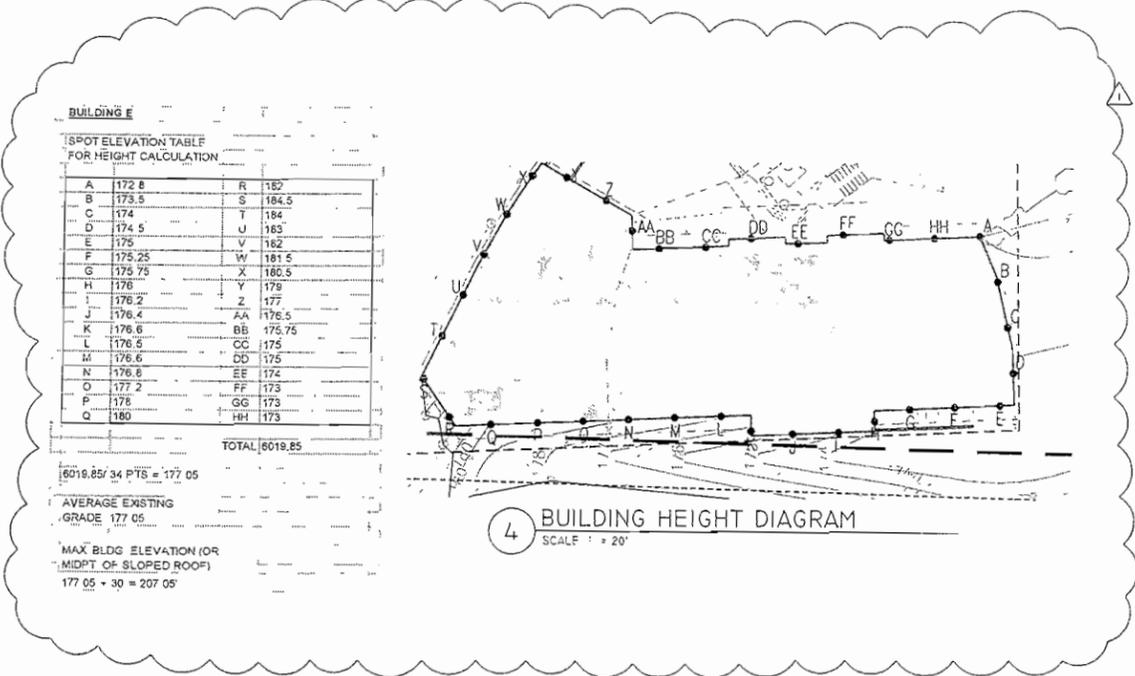


1 BUILDING E: WEST ELEVATION  
SCALE 1/16" = 1'-0"

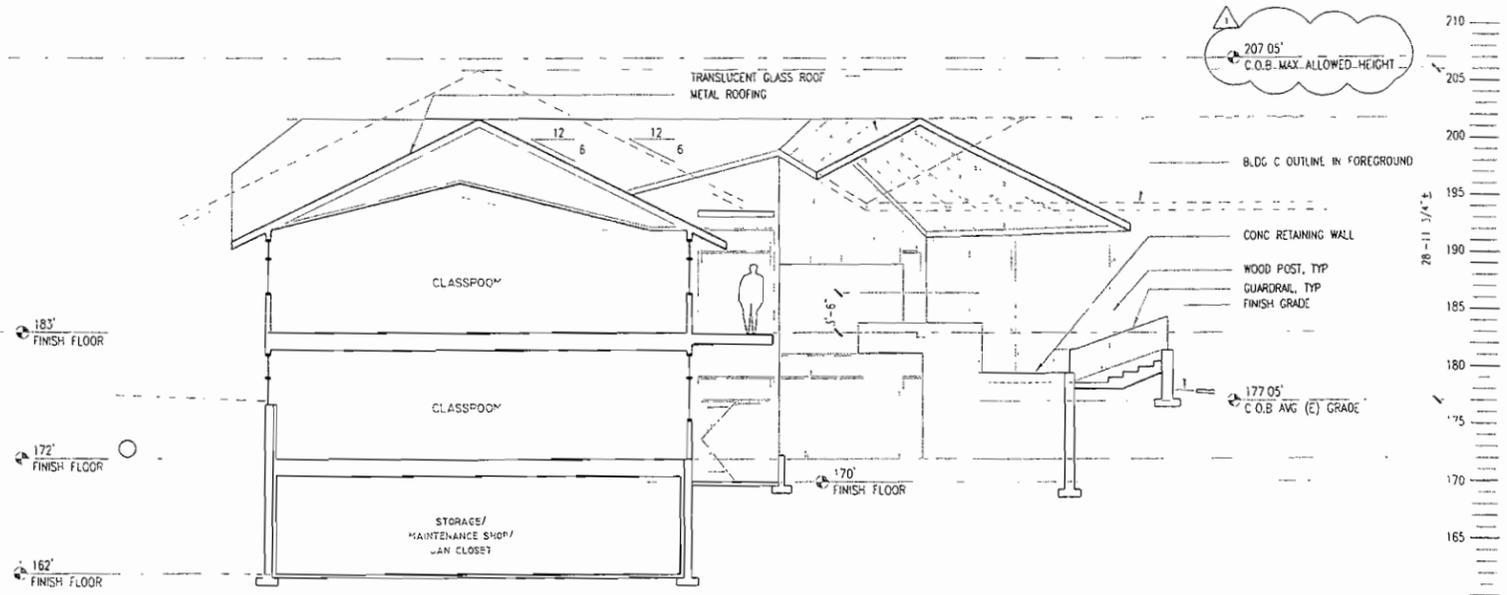


2 BUILDING E: EAST ELEVATION  
SCALE 1/8" = 1'-0"

TYP. GUARDRAIL NOTE  
ALL PROPOSED GUARDRAILS TO BE  
MIN 42" ABOVE FINISH SURFACE  
1/4" MAX 4" OPEN SPACE BETWEEN  
INTERMEDIATE RAILS



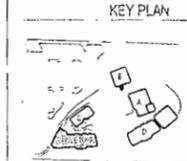
4 BUILDING HEIGHT DIAGRAM  
SCALE 1" = 20'



3 BUILDING E: NORTH-SOUTH SECTION  
SCALE 1/8" = 1'-0"



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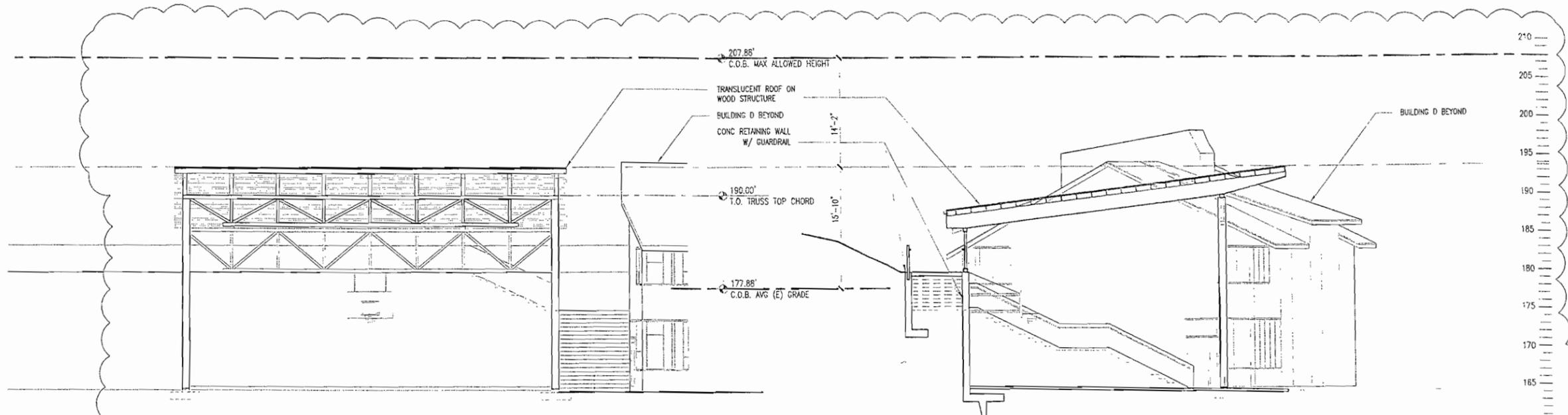


Three Cedars School  
Pn. 2 Land Use  
Submittal

556 124th Ave NE  
Bellevue, WA 98005

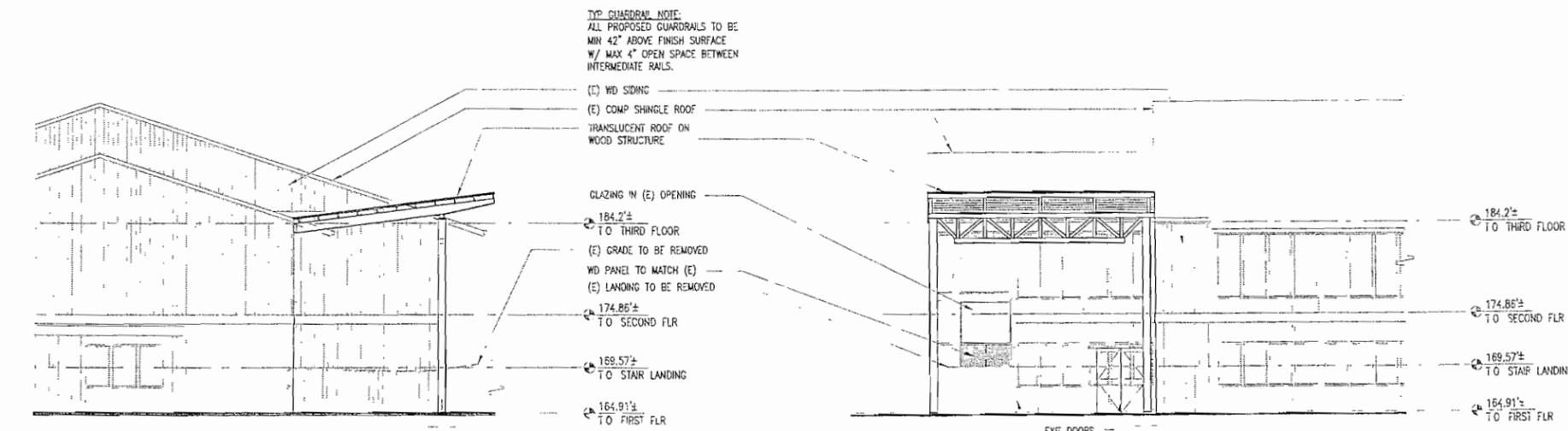
Drawn by KSNM  
Checked by YS  
Date May 8, 2008  
Scale 1/8" = 1'-0"

Revisions  
No Date Remarks  
1 09/19/08 LI CORRECTIONS  
2 11/06/08 LI CORRECTIONS 2



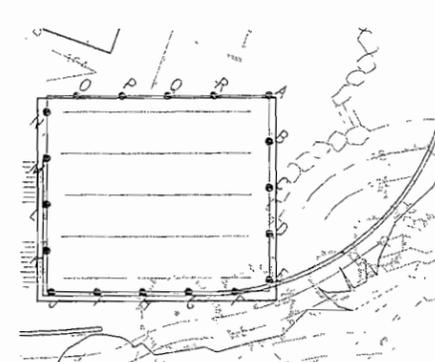
1 COVERED BALL COURT - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

2 COVERED BALL COURT - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 COVERED PLAY AT BUILDING A - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

4 COVERED PLAY AT BUILDING A - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



5 BUILDING HEIGHT DIAGRAM  
SCALE: F = 20'

COVERED BALL COURT  
SPOT ELEVATION TABLE  
FOR HEIGHT CALCULATION

A	176.75	IN	173.5
B	178.5	IO	173.25
C	178.75	IP	173
D	181.25	IQ	173.25
E	183.25	R	174.5
F	183.5		
G	182.75		
H	181.5		
I	180.5		
J	178.5		
K	178.25		
L	176.5		
M	174.5		

TOTAL = 3202  
6019.85 / 18 PTS = 177.88'

AVERAGE EXISTING GRADE 177.88',  
MAX BLDG ELEVATION (OR MDPT OF SLOPED ROOF) 177.88' + 30' = 207.88'

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ARCHITECTS

6195 REGISTERED ARCHITECT  
J. KEVIN KANE  
STATE OF WASHINGTON

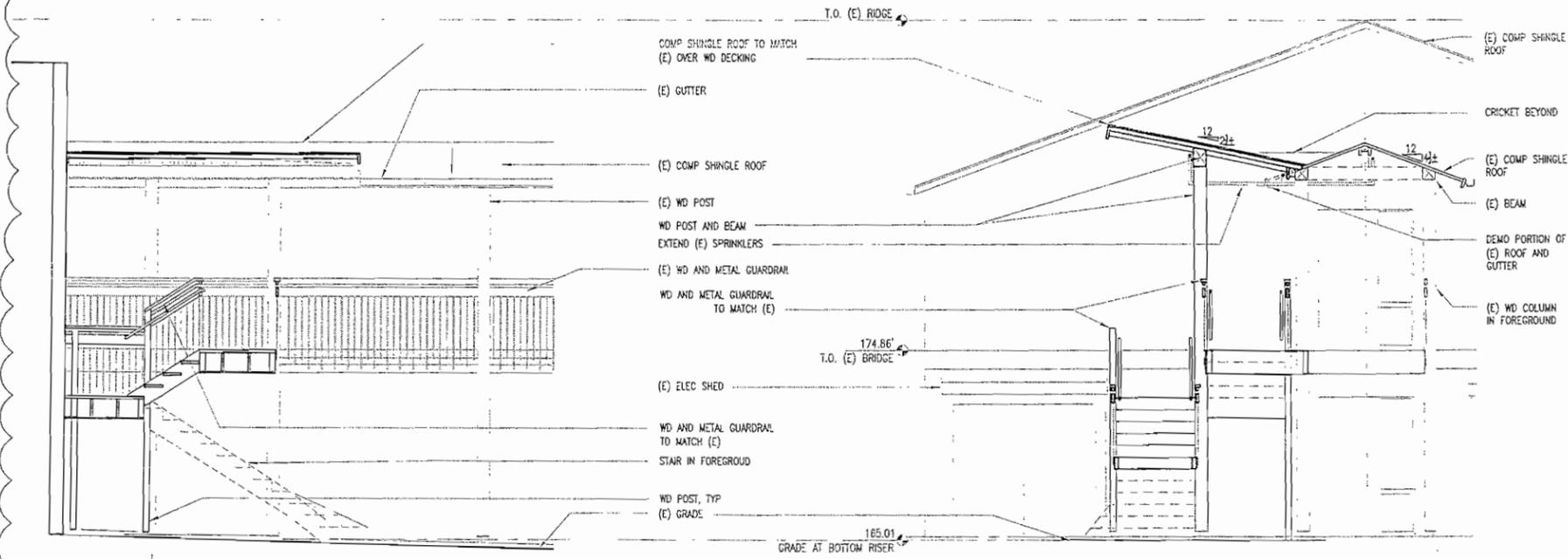


Three Cedars School Ph 2 Land Use Submittal

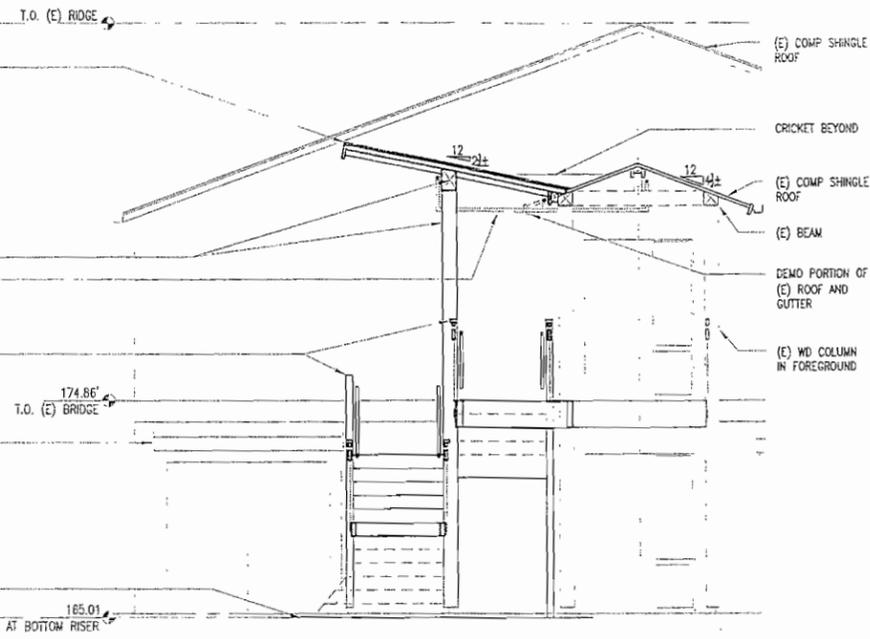
556 124th Ave NE  
Bellevue, WA 98005

Drawn by: NM  
Checked: \_\_\_\_\_  
Date: Sep. 12 2008  
Scale: 1/8" = 1'-0"  
Revisions: \_\_\_\_\_  
No. Date Remarks  
△ 09/19/08 U CORRECTIONS

Covered Play Area Elevations  
A3.4

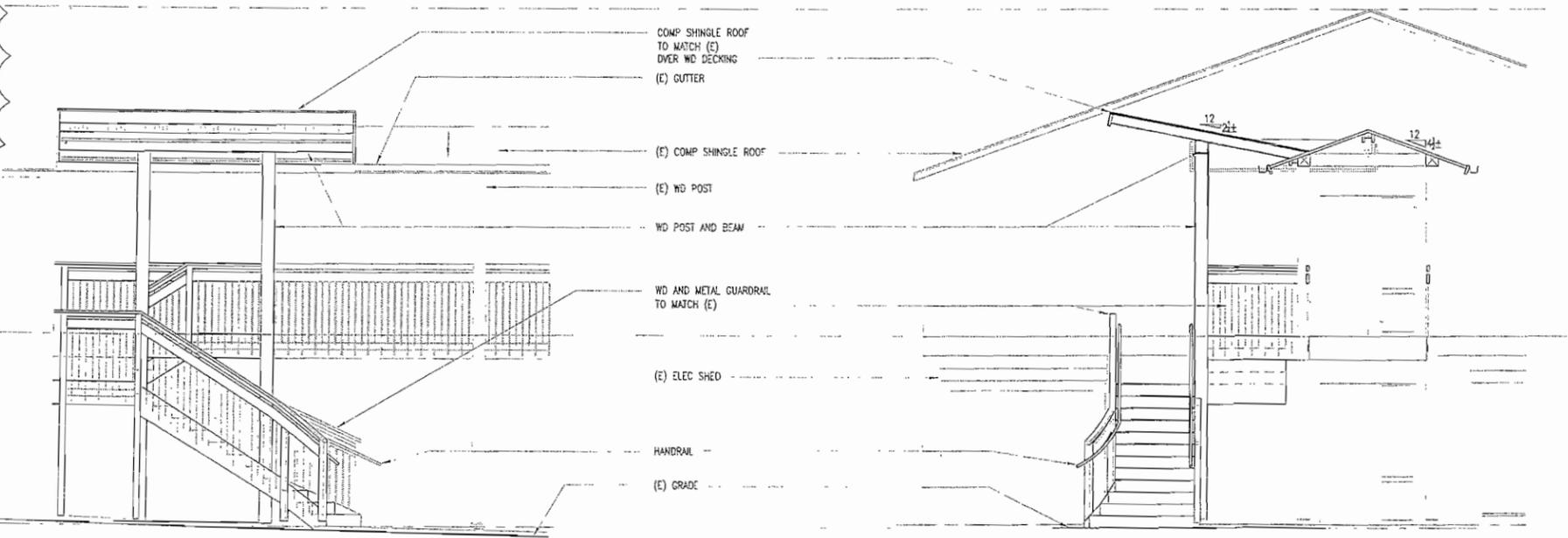


1 NORTH STAIR - SECTION A  
SCALE: 1/4" = 1'-0"

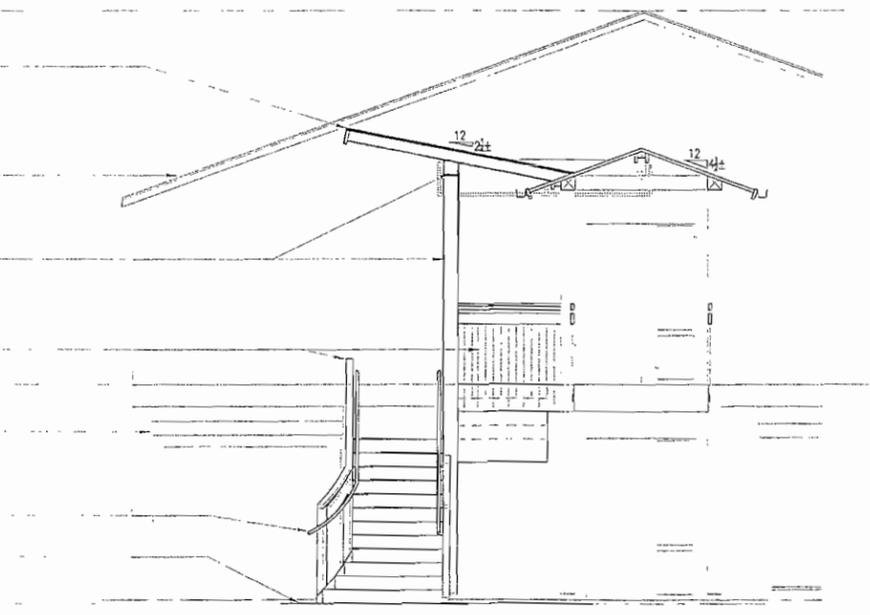


2 NORTH STAIR - SECTION B  
SCALE: 1/4" = 1'-0"

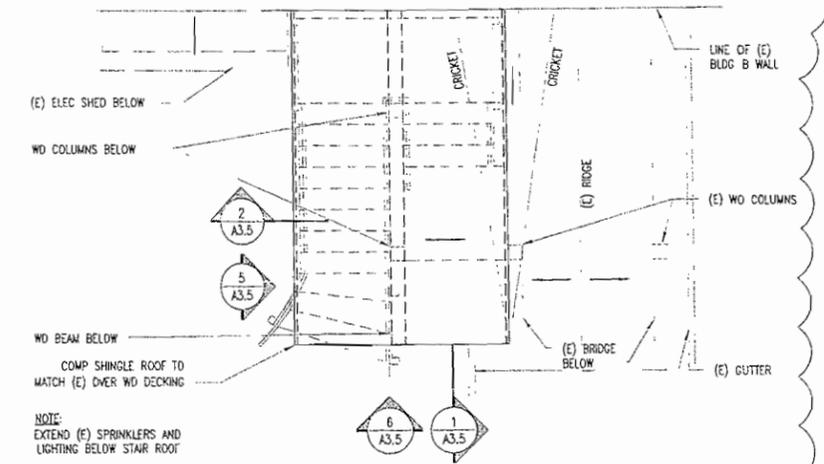
TYP. GUARDRAIL NOTE:  
ALL PROPOSED GUARDRAILS TO BE MIN 42" ABOVE  
FINISH SURFACE W/ MAX 4" OPEN SPACE BETWEEN  
INTERMEDIATE RAILS.



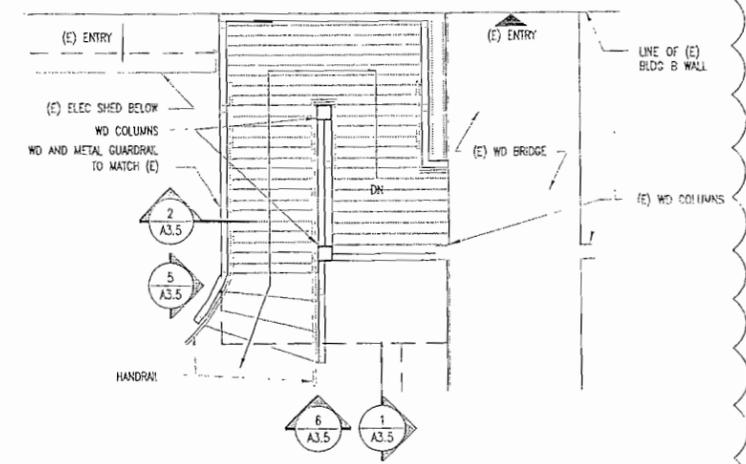
5 NORTH STAIR - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



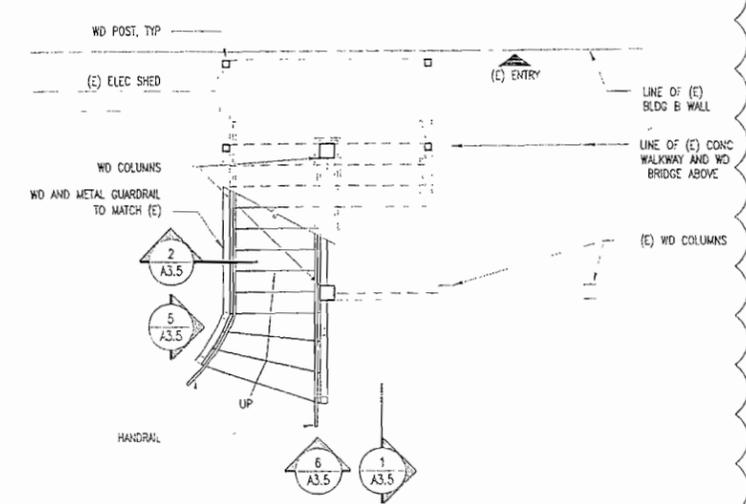
6 NORTH STAIR - SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



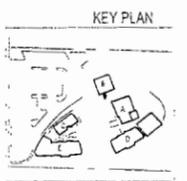
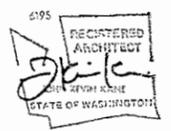
3 NORTH STAIR - ROOF PLAN  
SCALE: 1/4" = 1'-0"



4 NORTH STAIR - SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



7 NORTH STAIR - MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

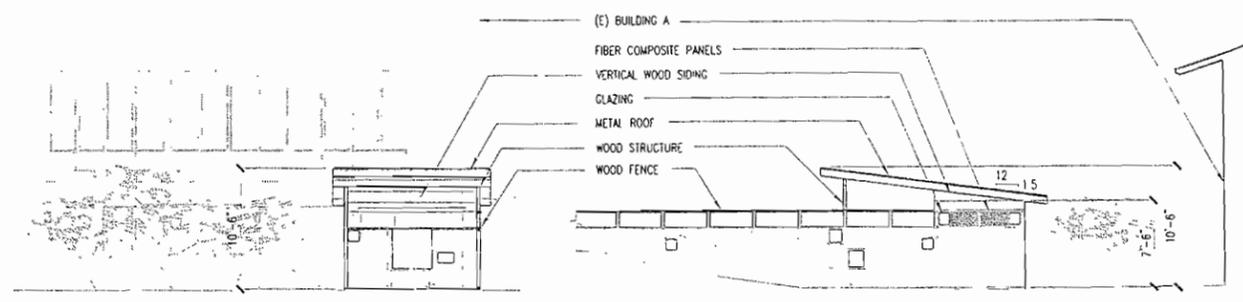


Three Cedars School  
Ph. 2 Land Use Submittal

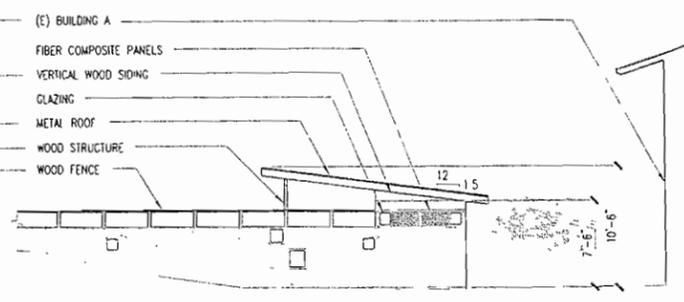
556 124th Ave. NE  
Bellevue, WA 98005

Drawn by: NM  
Checked: KS  
Date: Sep. 12, 2008  
Scale: 1/4" = 1'-0"

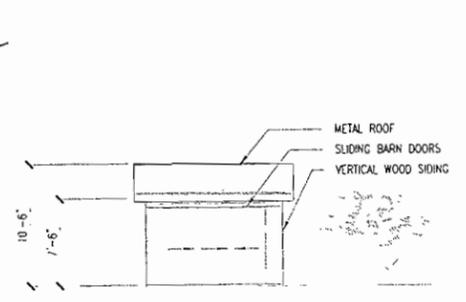
Revisions:  
No. Date Remarks  
△ 09/19/08 U CORRECTIONS



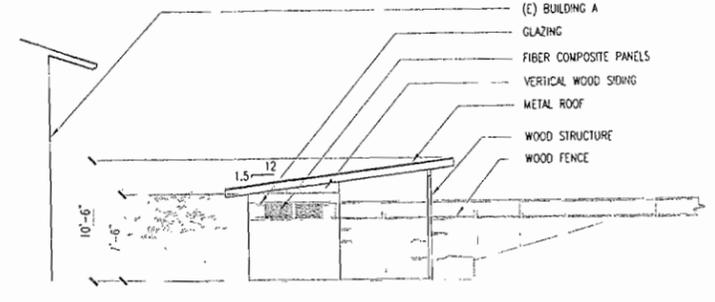
1 EAST SHED ELEVATION  
SCALE 1/8" = 1'-0"



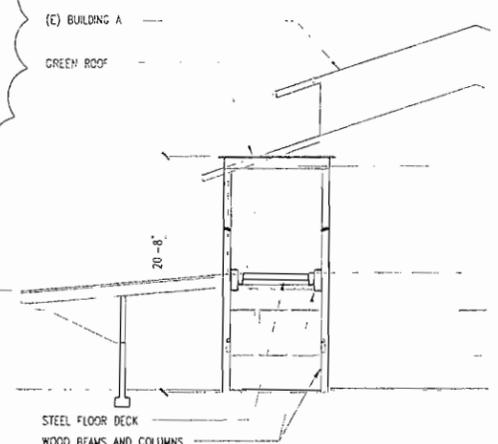
2 NORTH SHED ELEVATION  
SCALE 1/8" = 1'-0"



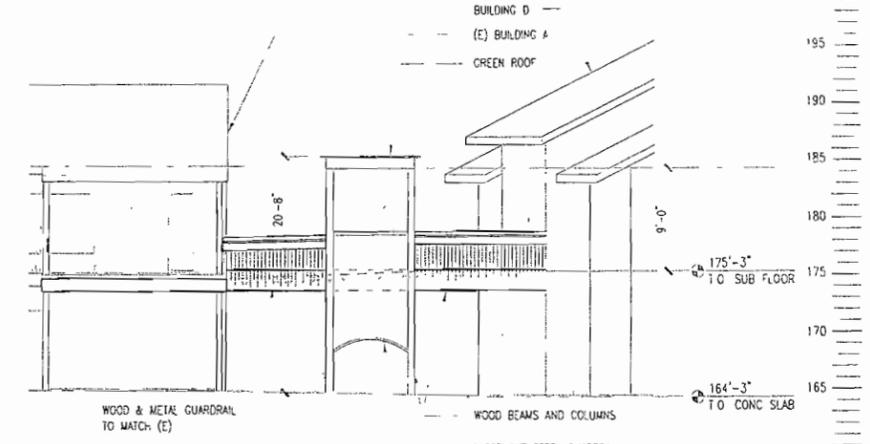
3 WEST SHED ELEVATION  
SCALE 1/8" = 1'-0"



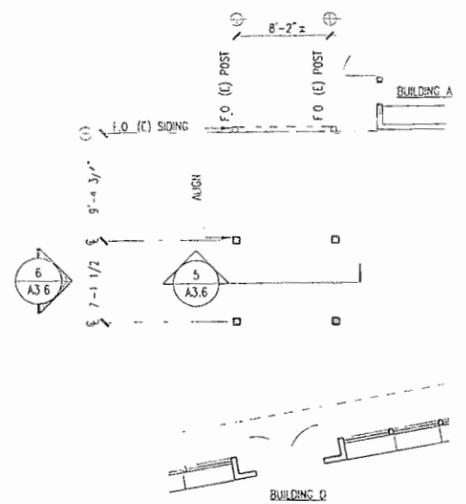
4 SOUTH SHED ELEVATION  
SCALE 1/8" = 1'-0"



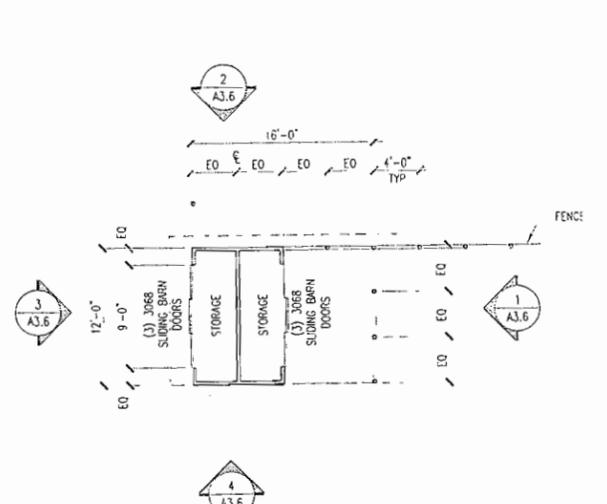
5 BRIDGE E-W SECTION  
SCALE 1/8" = 1'-0"



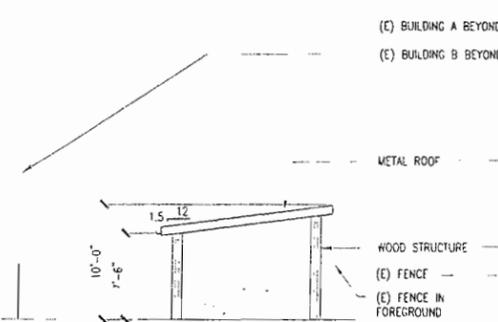
6 BRIDGE - WEST ELEVATION  
SCALE 1/8" = 1'-0"



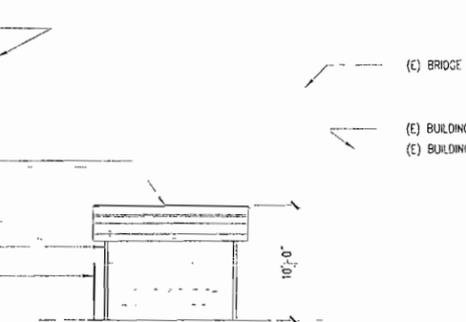
7 BRIDGE PLAN  
SCALE 1/8" = 1'-0"



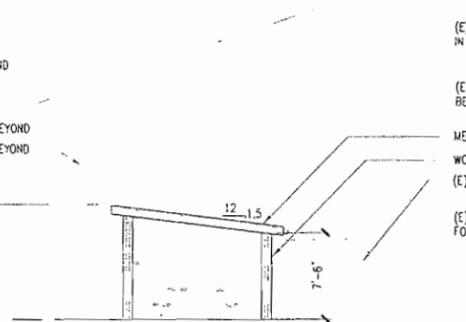
8 SHED PLAN  
SCALE 1/8" = 1'-0"



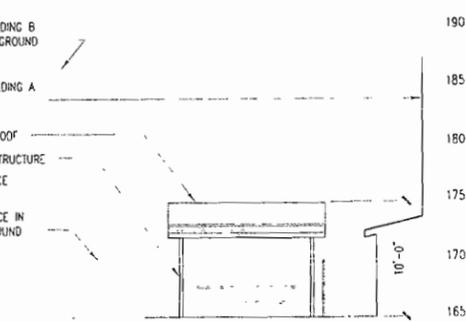
9 SOUTH PICNIC SHELTER ELEVATION  
SCALE 1/8" = 1'-0"



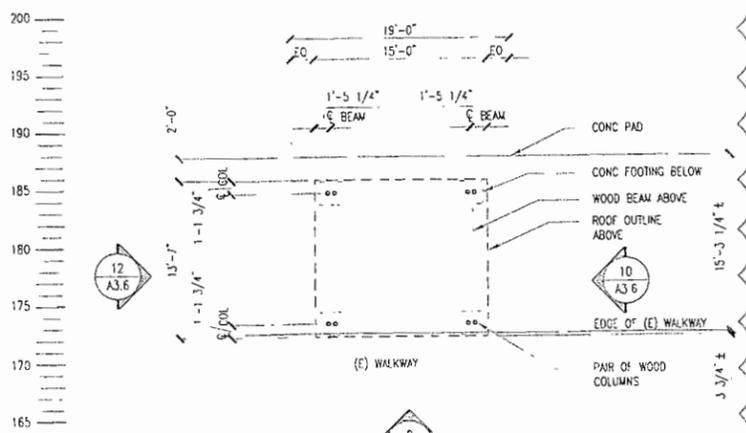
10 EAST PICNIC SHELTER ELEVATION  
SCALE 1/8" = 1'-0"



11 NORTH PICNIC SHELTER ELEVATION  
SCALE 1/8" = 1'-0"



12 WEST PICNIC SHELTER ELEVATION  
SCALE 1/8" = 1'-0"



13 PICNIC SHELTER PLAN  
SCALE 1/8" = 1'-0"



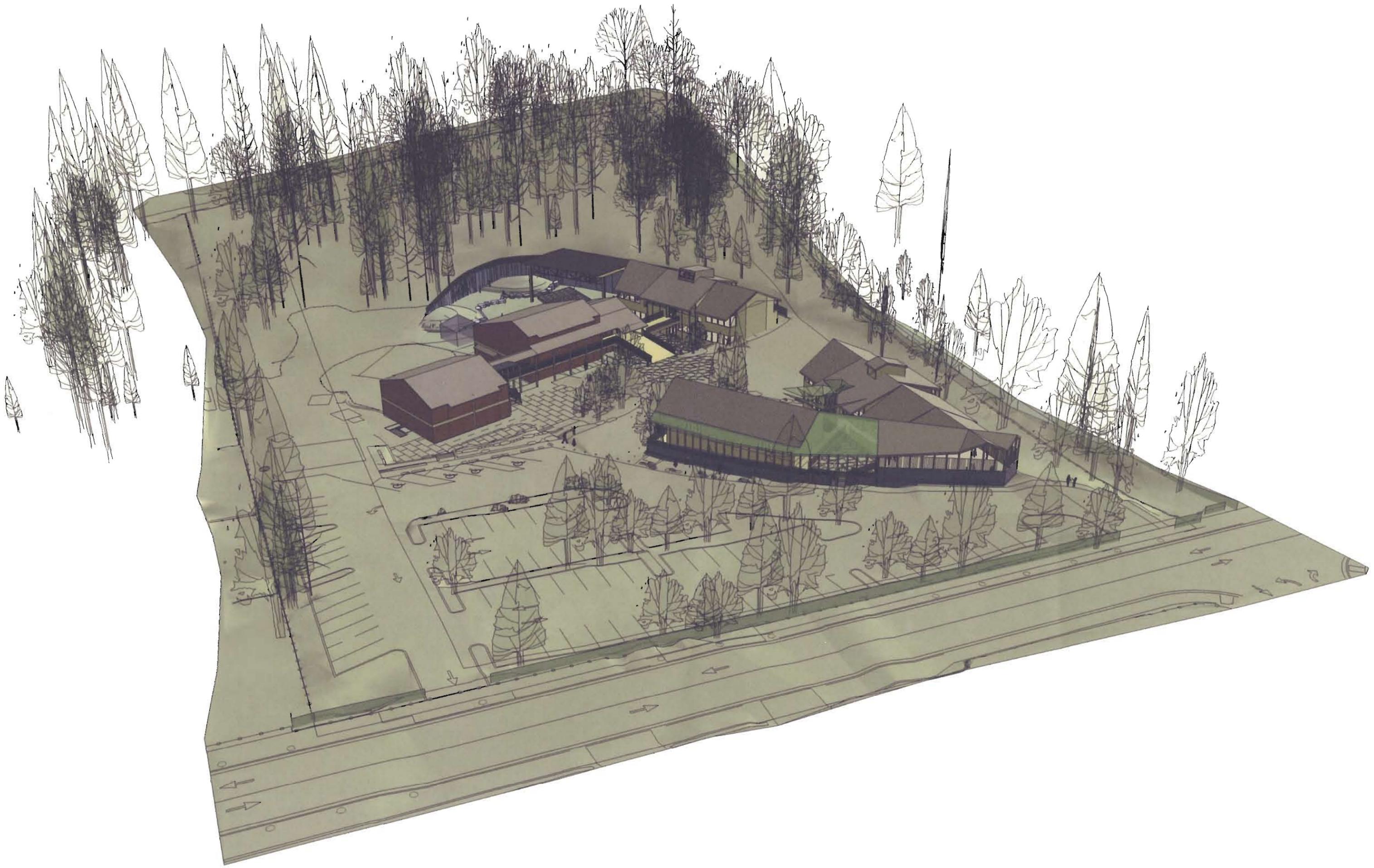
Three Cedars School Ph. 2 Land Use Submittal

556 124th Ave NE  
Bellevue, WA 98005

Drawn by: KS  
Checked: May 8, 2008  
Date: May 8, 2008  
Scale: 1/8" = 1'-0"

Revisions:  
No. Date Remains  
1 11/04/08 LI CORRECTIONS

Picnic Shelter/  
Shed Drawings  
**A3.6**





1. LOOKING NORTH ON 124TH AVE NE



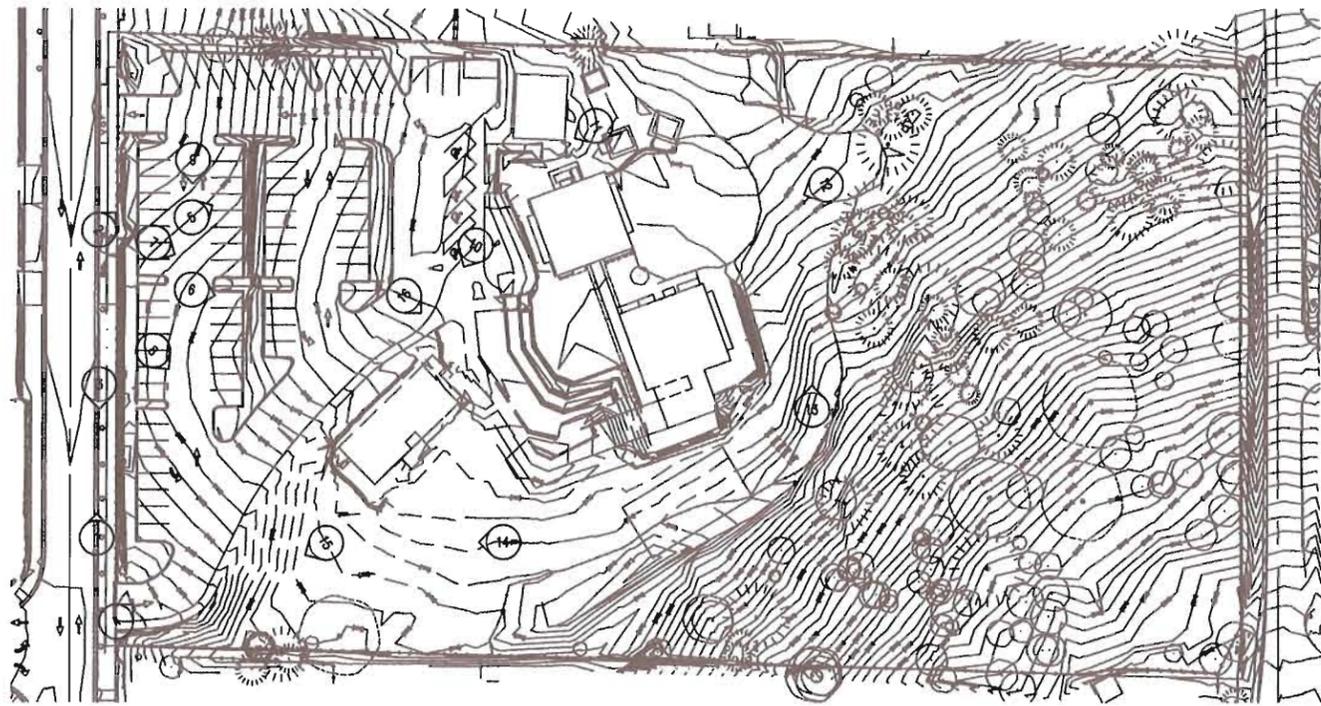
2. LOOKING NORTHEAST ON 124TH AVE NE



3. LOOKING SOUTH ON 124TH AVE NE



4. LOOKING NORTHEAST FROM SITE ENTRY ON 124TH AVE NE



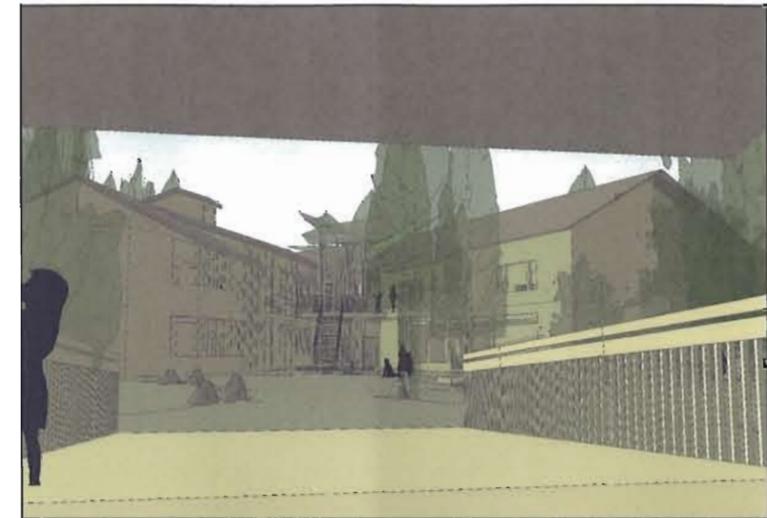
**Three  
 Cedars School  
 Phase 2 "L1"  
 Land Use Perm  
 Submittal**

556 124th Ave. NE  
 Bellevue, WA 98005

DRAWN BY	_____
CHECKED BY	_____
DATE	May 08/08
REVISION	As Noted
	_____
	_____
	_____
	_____



LOOKING NORTHEAST FROM SITE ENTRY ON 124TH AVE NE



VIEW FROM EXISTING BUILDING "A" ENTRY LOOKING WEST



LOOKING WEST FROM WOODS



VIEW FROM LOADING AREA TO THE EAST PLAY MEADOW

**Three  
 Cedars School  
 Phase 2 "LI"  
 Land Use Perm  
 Submittal**

556 124th Ave. NE  
 Bellevue, WA 98005

DRAWN BY	
CHECKED BY	
DATE	May 08/08
REVISION	As Noted



5. LOOKING NORTHEAST FROM UPPER PARKING LOT



6. LOOKING EAST FROM UPPER PARKING LOT



7. LOOKING SOUTHEAST FROM UPPER PARKING LOT



8. LOOKING SOUTHEAST FROM UPPER PARKING LOT



9. LOOKING DUE SOUTH FROM UPPER PARKING LOT



10. LOOKING SOUTHWEST FROM LOWER PARKING LOT

Three  
 Cedars School  
 Phase 2 "LI"  
 Land Use Perm  
 Submittal  
 556 144th Ave. NE  
 Bellevue, WA 98005

DRAWN BY	
CHECKED BY	
DATE	May 08/08
REVISION	As Noted



11. LOOKING SOUTHWEST TOWARDS PARKING LOT



12. LOOKING SOUTHWEST FROM WOODS



13. LOOKING DUE NORTH BETWEEN EXISTING SCHOOL BUILDINGS AND WOODS



14. LOOKING WEST ALONG SOUTHERN PROPERTY LINE



15. LOOKING SOUTHWEST TOWARDS ENTRY ALONG SOUTHERN PROPERTY LINE



16. LOOKING SOUTHEAST FROM LOWER PARKING LOT

1000 North 38th Street  
 Seattle Washington 98103  
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 Facsimile 206 675 9150  
 www.sksarchitects.com

| SNYDER | HARTUNG | KANE | STRAUSS |  
 A R C H I T E C T S

Three  
 Cedars School  
 Phase 2 "LI"  
 Land Use Perm  
 Submittal

556 124th Ave. NE  
 Bellevue, WA 98005

DRAWN BY:	_____
CHECKED BY:	_____
DATE:	May 08/08
REVISION:	_____

_____	_____
_____	_____
_____	_____
_____	_____

Photo Key  
 Site Diagram

P3.0