



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 450 110th AVENUE NE
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Micah Pittman

LOCATION OF PROPOSAL: 25 102nd Avenue NE

DESCRIPTION OF PROPOSAL: To demolish an existing two story office/retail building to construct a 9 story, 32 unit building with at-grade retail above 2.5 levels of underground parking. Total parking provided will be 68 stalls.

FILE NUMBER: 07-143899 LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on November 13, 2008.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

[Signature]
 Environmental Coordinator

10/30/2008
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife
- State Department of Ecology,
- Army Corps of Engineers
- Attorney General
- Muckleshoot Indian Tribe

Jonivall
12/27/08

City of Bellevue Submittal Requirements

27a

ENVIRONMENTAL CHECKLIST

4/18/02

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

BACKGROUND INFORMATION

Property Owner: **Micah Pittman**

Proponent: **Jeff Bates**

Contact Person: **Jeff Bates**

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: **911 Western, Ste 406, Seattle WA 98104**

Phone: **206.264.7744**

Proposal Title: **Essex**

Proposal Location: **25 102nd Ave, NE Bellevue WA**, Site is at corner of NE 1st and 102nd Ave NE
Legal Description: Tract 6 in Sharp's subdivision of Cheriton Fruit Garden, according to the plat thereof recorded in volume 7 of plats, page 45 in King County, WA; except the west 466' and except the south 200' and except that portion conveyed to King County for NE 1st by deed recorded 3168360 and except that portion conveyed to King County for 102nd Ave NE by deed recorded 1617971

1. General description: **New 9 Story 32 unit Multi-family Condominium Building with retail at grade above 2.5 level parking garage for 68 stalls.**
2. Acreage of site: **.355 A**
3. Number of dwelling units/buildings to be demolished: ~~None~~ **1**
4. Number of dwelling units/buildings to be constructed: **32**
5. Square footage of buildings to be demolished: **7,300 GSF**
6. Square footage of buildings to be constructed: ~~78,480 GSF~~ ^{42,644} **36,251 GSF (Heated above grade) 36,251 GSF (Below grade parking) Total, 79,550 GSF**
7. Quantity of earth movement (in cubic yards): **12,000 cubic yards**
8. Proposed land use: **Multi-family Residential**
9. Design features, including building height, number of stories and proposed exterior materials: **Building to be 9 stories with exterior materials of glass, masonry, precast concrete and metal panels**
10. Other **Building to have interesting rooftop feature for height bonus per Bellevue Land Use Code**

RECEIVED
DEC 14 2007
PERMIT PROCESSING

T.P.

Estimated date of completion of the proposal or timing of phasing:
Project is proposed to start late Q2- 2008. Assuming a 14 month construction period project completion estimated Q3 - 2009.

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. **None known**

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

A geotech report has been prepared by Pan Geo December 2007. Also a phase 1 environmental site assessment was prepared by Farallon Consulting in May of 2007.

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known. **None known**

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known. **None known**

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development
Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other

b. What is the steepest slope on the site (approximate percent slope)? **5%**

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

The project site is underlain by dense to very dense glacial till. An upper layer of medium dense, silty sand with various amounts of gravel over medium dense to dense gray-brown silty sand with some gravel was found at boring sites.

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.
None Known
- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill. **No fill Proposed**
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.
Temporary erosion and sediment control measures will be implemented per approved TESC plan and City of Bellevue regulations.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? **100%**
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:
Temporary erosion control will be provided per the City of Bellevue requirements and per Civil Engineering drawings.

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.
Emissions from construction vehicles during construction. Exhaust from autos going to and from site after completion of building
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.
None known
- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:
During construction, loose dirt will be watered to prevent emissions.

3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If

appropriate, state what stream or river it flows into.

There are no known surface water bodies on or in the immediate vicinity of the site.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

Does not apply

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

Does not apply

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

Does not apply

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

None Known

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

Not applicable.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

Not applicable.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

See Civil Engineering drawings.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

Not to our knowledge.

- d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

See Civil Engineering drawings.

4. Plants

- a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

minimal vegetation

- b. What kind and amount of vegetation will be removed or altered?

The site currently consists primarily of a parking lot and two story building. All improvements existing on the site will be removed for construction of the project.

- c. List threatened or endangered species known to be on or near the site.

None Known

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The project will be landscaped to meet the City of Bellevue Landscape requirements. See the Landscape plan for further details.

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:
- Birds: hawk, heron, eagle, songbirds, other:
 - Mammals: deer, bear, elk, beaver, other:
 - Fish: bass, salmon, trout, herring, shellfish, other:
- b. List any threatened or endangered species known to be on or near the site. **None known**
- c. Is the site part of a migration route? If so, explain. **None known**
- d. Proposed measures to preserve or enhance wildlife, if any: **Does not apply**

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.
Project will use electric and gas heat sources
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.
No
- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:
Project will comply with all WA state energy codes

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.
None Known

(1) Describe special emergency services that might be required. **Does not apply**

(2) Proposed measures to reduce or control environmental health hazards, if any. **None known**

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

None known

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Noise from construction over approximate 14 month period. Noise created during working hours only. After construction of building noise would be created by traffic ingress/egress

- (3) Proposed measures to reduce or control noise impacts, if any: **None known**

*Construction noise limited to the following:
7-6 Monday - Friday, 9-6 Saturday*

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

Commercial/Retail and surface parking

- b. Has the site been used for agriculture? If so, describe. **No**

- c. Describe any structures on the site. **Existing two story retail/office building**

- d. Will any structures be demolished? If so, what? **Yes, existing structure to be demolished**

- e. What is the current zoning classification of the site? **DNTWN-OB-B**

- f. What is the current comprehensive plan designation of the site?

Old Bellevue portion of Downtown Bellevue

- g. If applicable, what is the current shoreline master program designation of the site? **Does not apply**

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. **No**

- i. Approximately how many people would reside or work in the completed project?

64 residents and 5 retail/building operations working

- j. Approximately how many people would the completed project displace? **None**

- k. Proposed measures to avoid or reduce displacement impacts, if any: **Does not apply**

- i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:
Project will be reviewed through City of Bellevue Administrative Design Review Building Department and Land Use for compatibility. Project will be compatible with City of Bellevue Land use code.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.
32 middle to high income housing units

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.
Does not apply

- c. Proposed measures to reduce or control housing impacts, if any:
Does not apply

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?
Building height is 99' including 15' mechanical is 114'. Principal exterior materials will be glass, brick and precast *max bldg height is 114'*
- b. What views in the immediate vicinity would be altered or obstructed?
Views to the east from existing multi-family building will be obstructed
- c. Proposed measures to reduce or control aesthetic impacts, if any:
Building will be set back from property lines according to City of Bellevue land use code.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?
Residential units and retail at base may produce light from windows during evening hours.
- b. Could light or glare from the finished project be a safety hazard or interfere with views? **No**

T.P.

- c. What existing off-site sources of light or glare may affect your proposal?

None known

- d. Proposed measures to reduce or control light or glare impacts, if any:

None known

Avoid spillover lighting per IUC 20,20.520

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Project is adjacent to Bellevue Downtown Park

- b. Would the proposed project displace any existing recreational uses? If so, describe. **No**

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

Does not apply

Residents may use Downtown Park to north.

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

None known

- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

None known

- c. Proposed measures to reduce or control impacts, if any:

Does not apply

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

The site is served by NE 1st to the north and 102nd Ave Ne to the east. Vehicular access will be via curb cut on 102nd Ave NE.

- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

Yes. The nearest transit stops are two blocks east of the site on Bellevue Way SE. These stops are served by Metro Transit Route 550, which provides half-hourly service to and from Seattle. In addition, the Bellevue Transit Center is located on NE 6th Street about six blocks northeast of the site. The Bellevue Transit Center is served by 22 Metro Transit bus routes that provide service throughout the region.

- c. How many parking spaces would the complete project have? How many would the project eliminate?

Project will provide 68 below grade parking stalls. Project would displace 32 existing surface parking stalls.

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe. **No**
The project will include new sidewalks on NE 1st Street and 102nd Ave NE
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. **No**
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.
Project has not done a traffic report
- g. Proposed measures to reduce or control transportation impacts, if any:
None known

Satisfy req. of COB Transportation Dept.

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.
No
- b. Proposed measures to reduce or control direct impacts on public services, if any.
None known

16. Utilities

- a. Circle utilities currently available at the site:
electricity, natural gas, water, refuses service, telephone, sanitary sewer, septic system, other.
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.
All of the above utilities will be needed with the City of Bellevue and existing utility companies providing services. Natural gas and electricity will be provided by Puget Sound Energy, and water and sewer will be provided by the City of Bellevue.

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....*[Handwritten Signature]*.....
 Date Submitted.....*12/14/07*.....



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: The Essex on the Park

Proposal Address: 25 102nd Avenue NE

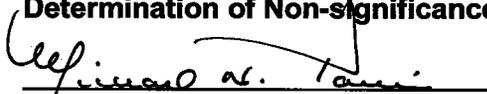
Proposal Description: To demolish an existing two story office/retail building and construct a 9 story, 32 unit building with at grade retail above 2.5 levels of underground parking. Total parking provided will be 67 stalls.

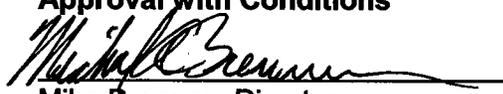
File Number: 07-143899 LD

Applicant: Micah Pittman

Decisions Included: Design Review with SEPA, Process II

Planner: Antoinette Pratt, Senior Planner

State Environmental Policy Act Threshold Determination: **Determination of Non-significance**

Michael Paine
Environmental Coordinator

Director's Decision: **Approval with Conditions**

Mike Brennan, Director
Development Services Department

Application Date: December 7, 2007
Notice of Application Date: January 10, 2008
Minimum Comment Period: January 24, 2008
Bulletin Publication Date: October 30, 2008
Appeal Deadline: November 13, 2008

For information on how to appeal a proposal, visit Development Services at City Hall or call (425) 452-4570. Appeal of the Decision must be made by 5 p.m. on the date noted for appeal of the decision.

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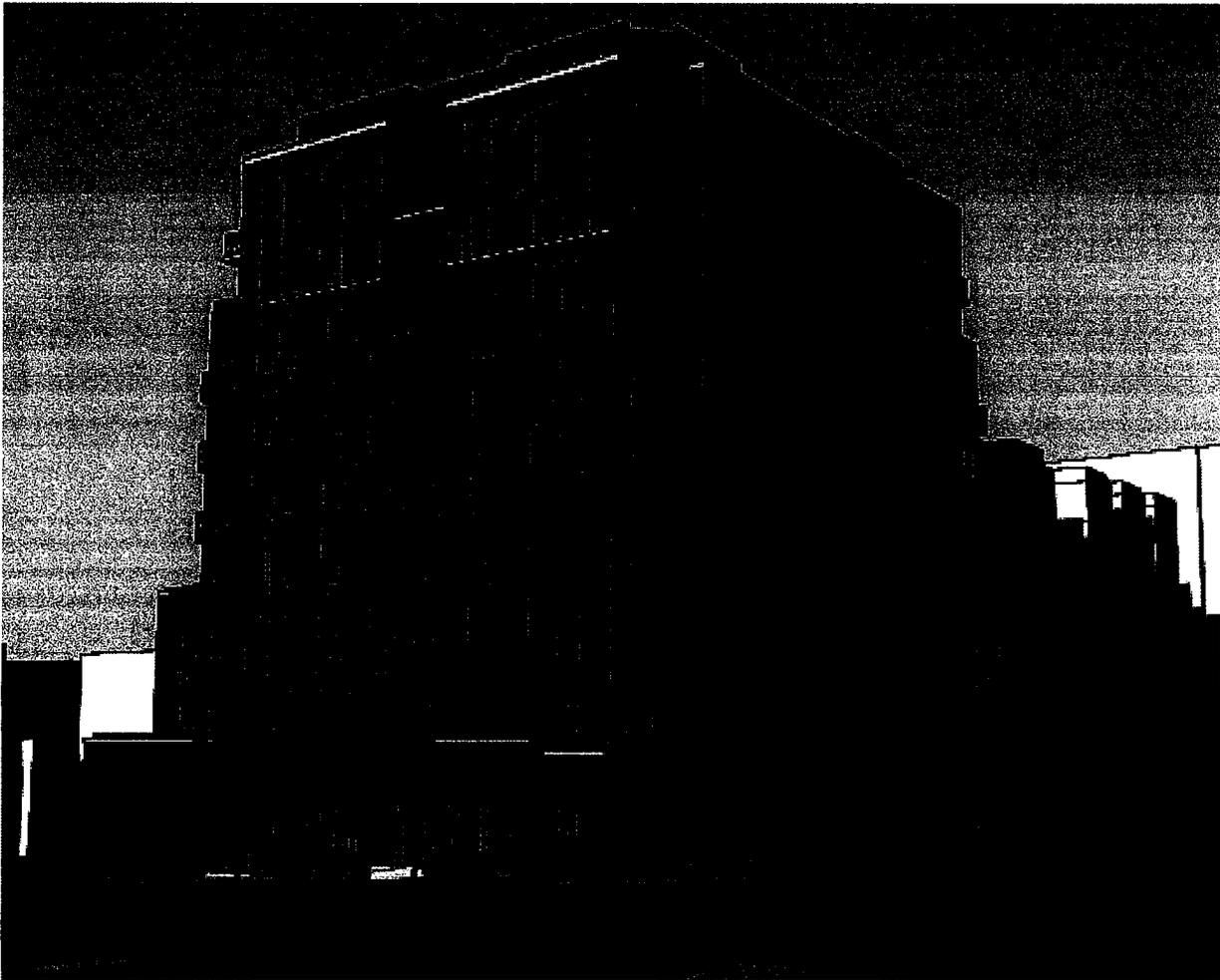
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I. REQUEST/PROPOSAL DESCRIPTION

A. Request

Micah Pittman requests Design Review approval to demolish an existing two story retail/office building and construct a nine story, 32 unit building with retail at grade over 2.5 levels of underground parking for a total of 68 parking stalls. A garden deck is proposed at level 9 for residents. The applicant has proposed 79,550 GSF of building area with 37,906 GSF of below grade parking. Included within the 79,550 GSF is 2,135 SF of retail and 3,222 square feet of resident, lobby and amenity space.

The project includes street frontage improvements along NE 1st Street and 102nd Avenue NE.



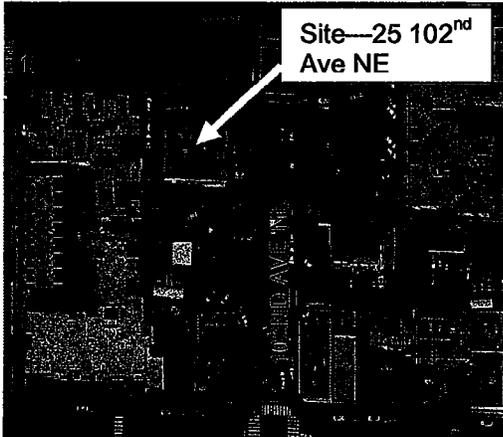
See attached Project Plans & Drawings for more information.

B. Review Process

Design Review is required by Land Use Code (LUC) 20.30F. The Design Review, and SEPA Determinations are both Process II decisions. Process II is an administrative process. The Environmental Coordinator issues the SEPA Threshold Determination and the Director of the Development Services Department issues the Design Review decision. An appeal of any Process II decision is heard and decided upon by the City of Bellevue Hearing Examiner.

II. SITE, ZONING & LAND USE CONTEXT

A. Site



Total site size for this project is .355 acres or 15,483 square feet.

The site is located at southwest corner of NE 1st Street and 102nd Avenue NE. To the immediate west are a series of mid-rise residential buildings. To the east, across 102nd Avenue NE, are underdeveloped parcels that contain low rise structures. To the north, across NE 1st Street is the Downtown Park.

As part of the Old Bellevue neighborhood, the site is convenient to the Downtown Park and the Old Bellevue Shopping District. The Old Bellevue neighborhood is characterized by low to medium

density development and acts as a transition zone between the Downtown Park and its peripheral areas.

The building is addressed off NE 1st Street where the main pedestrian lobby is located. To the west of this lobby are two ground related residential units which face the Downtown Park. To the east of this lobby is retail which wraps the corner of NE 1st and 102nd AVE. and continues south to the vehicular entry and conforms to 102nd Avenue NE as a Type "A" street type. South of the garage entry is a 130 square foot landscaped area that contains remote fuel fill for the emergency generator. Retail parking is located on the P-1 level and is separated from residential users by interior gate.

Building servicing, loading and access to dumpsters is provided with an 11'-1" clear ceiling height. The loading area is sized to accommodate a 17' long mid-size U-Haul that can enter on and back off within the site. Pickup for garbage will be staged near the garage entry. All garage exhaust venting is to south of the building.

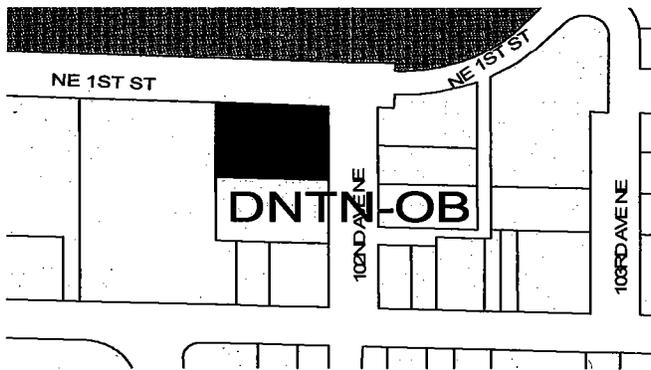
The building will be set back five feet off the west property line to provide light and air at the ground level of the neighboring property which is the McKee. To the east, the building is set 4'4" off the property line to provide the required 12 foot sidewalk. Zero setbacks are provided at the north and south property lines at grade.

Street trees in grates line both NE 1st and 102nd Avenue to reinforce the urban character of the street. At the street corner, on-grade planters include a mix of shrubs, grasses and perennials consistent with existing plantings along NE 1st. A large planter at the SE corner of the building includes an evergreen Magnolia with grasses and low shrubs below. An enclosed viewing

garden is proposed at the SW corner of the building and planted in shade tolerant species for the enjoyment of residents in the adjacent work studio spaces.

The Common Roof Terrace includes multiple seating areas for dining, conversation and sunning. A kitchen with barbecue grill, sink and bar is proposed, as well as a fireplace. Planting at the roof terrace has a more informal character than the street level planting and includes a mix of flowering and evergreen shrubs. Espaliered apples and a specimen Japanese Maple are also proposed.

B. Zoning



The property is located within the Downtown-Old Bellevue (DNTN-OB) land use district, Subdistrict B. No concomitant agreement applies to the property.

C. Building Design

The project's primary design goals are to reinforce the architectural backdrop to Bellevue's Downtown Park, provide a strong, well defined corner at 102nd and NE 1st and create an updated version of the memorable residential buildings along Manhattan's Central Park. The base of the building will reinforce the residential character along NE 1st Street with the provision of two studio units at grade while providing a more active retail character along 102nd.

North Elevation (NE 1st Street—See Sheet A0.04a): The entry façade has an urban relationship to the Bellevue Downtown Park. The North façade is vertically proportioned into three glazed bays through the use of masonry pilasters capped by a metal accent cornice.

Two different masonry colors will be used; one at the building's base, the other for the building's middle and top. Pre-cast concrete detailing at level 3 window sills will differentiate the lower 2 floors of the building and create a well defined base. At the building's middle the glazed vertical bays and Juliette balconies will provide residential scale and detail. The window openings at the penthouse levels are grouped together to create a more vertical pattern unique to the building's top. A continuous band of pre-cast at the 8th floor will also help differentiate the top two floors. A larger cornice of pre-cast concrete will also help differentiate the top two floors. The northwest corner of the top two floors will be recessed to reduce the building mass and create a more distinctive silhouette. At the rooftop screen wall's NE corner a backlit lantern will provide an interesting rooftop feature and relate to the chamfered glazing of the units below.

The one story retail base wraps the NE corner from 102nd Ave. NE. and weaves into the 9 story building elevation. At the sidewalk adjacent to the 9 story portion a pre-cast concrete plinth will

ground the building and provide human scale. Above the concrete plinth along NE 1st a series of masonry reveals will create light rustication to further articulate the lower two floors.

Pre-cast/stone accent courses, decorative lighting and a suspended entry canopy at 10' above the sidewalk will define the building's main entry. A landscaped espalier will add interest to the east of the main entry. To the west, the stoops and window bays of the Park Homes will relate to and help continue the residential character along NE 1st. The Park homes will have deeply recessed terraces stepping up from the sidewalk to help ensure privacy for the residents.

At the NW corner of the North Elevation the Essex steps down in scale to a three story elevation. The brick clad first floor podium steps back from the north property line 1'-4" and is held 5' off the west property line in order to make a more graceful transition to the neighboring property.

West Elevation (Façade facing McKee—See sheet A0.04b): This façade is comprised of two masonry colors and is modulated by numerous setbacks. The first floor podium level is clad with brick color 1 and set back 5' from the property line. A built in planter will allow vines to climb and provide greenery for this wall. The setback allows daylight to penetrate closer to ground plane and provides an exit path for stair two and three discharge. Above the exit path a portion of the second floor terrace will cantilever 1'-4" into the 5' setback. To the south of the building exit a planter will be located in the 5' setback zone and provide additional greenery for the masonry wall.

At the second floor terrace the building is set back an additional 5' for a total 10' off the west property line. This two story portion at levels two and three is clad in brick color 1 with a bay of storefront glazing returning at the NW corner. At level four the building steps back an additional 10' for a total of 20' off the west property line. This portion of the building is clad with brick color 2 with a portion of storefront glazing used vertically in the center of the façade to break up the mass. Storefront glazing also returns at the NW corner. This wall plane continues to the building roof and is stepped back at the mechanical screen wall. The top two penthouse floors are clad in brick color 2 and are differentiated by a continuous band of pre-cast at the 8th floor. The floor levels of Essex are misaligned with the McKee by approximately half a floor. This will help maintain privacy between the two buildings.

South Elevation (See Sheet A0.04c): At the southwest corner, a five foot wide wall will wrap the corner. From the planter down to grade the wall will be cast in place concrete. From the top of the planter to the second floor the podium level will be clad in brick color 1. On the south property line the cast in place concrete wall steps up to the podium level further along the south wall. The CMU block at the podium wall will transition to meet brick color 1 wrapping the corner from 102ND Ave NE.

At the second floor terrace the building is set back an additional five feet for a total of ten feet off the south property line. This two story portion at levels two and three is clad in brick color 1 with the garage louver exhaust located at the southwest corner, discharging to the south. The emergency generator exhaust is also located on the south wall. At level four the building steps back an additional 10' for a total of 20' off the south property line. This portion of the building is clad with brick color 2 with a portion of storefront glazing used vertically in the center of the façade and returning at the SE corner. This wall plane continues to the building roof and is

stepped back at the mechanical screen wall. The top two penthouse floors are clad in brick color 2 and are differentiated by a continuous band of pre-cast at the 8th floor.

East Elevation (102nd Avenue NE—See Sheet A0.04a): The Brick color 1 retail podium is set back from the property line 4'-4" to accommodate a 12' sidewalk. The wall is recessed 10'-3" south of the garage entry, 3'-0" at the central retail entry and 3'-0" at the corner retail entry. A planter will be located at the SE corner with all landscaping conforming to site triangle dimensions. The fuel fill for the emergency generator is located within the planting area and is accessed by pavers. The heat rejection louver for the emergency generator is located behind the landscaping. The garage entry will also conform to all site triangle dimensions. The garage entry has been carefully designed to be architecturally integrated into the project and scaled to relate to the pedestrian environment at 102nd Avenue NE. A continuous 4'-4" canopy will extend above all retail and garage entry bays. The transformer exhaust grille is located above the first retail bay canopy. Additional exhausts/intakes for retail tenants will be located above canopies as required.

The building will step back 15' from the east property line above the first floor podium. Levels 2-7 will be clad in brick color 2. The building's mass will be further reduced by a series of centrally located Juliette balconies and larger glazed openings from level 2 through 7. A portion of storefront will be used vertically at the SE corner. At the SE corner the top 2 floors of the building will be recessed to reduce the building mass and create a more distinctive silhouette. An additional recess will occur at levels 8 and 9 at the center of the façade. The window openings at the 2 penthouse levels are grouped together to create a more vertical pattern unique to the building's top. The top two penthouse floors are clad in brick color 2 and are differentiated by a continuous band of pre-cast at the 8th floor.

Retail at Base of Building:

The project will contain 2,135 square feet of retail at the building's first floor. The retail wraps the NE corner of the building activating the corner and sidewalk at 102ND Ave NE. Because of the site slope the retail is divided into 2 portions. The corner retail bay is 1,277 SF, the other is 858 SF. The floor to clear ceiling height to bottom of slab is 11'-5 1/2" and 13'-8" respectively. Glazing will be clear to window head height except where mechanical louvers are required. Removable continuous overhead marquees averaging 10'6" above the sidewalk will project 4'-4" over the sidewalk of each retail bay.

Entries for both retail bays are fully recessed with a pair of entry doors. Signage for retail will be a combination of blade signs, and stem mounted letters on canopies. All signage criteria will be regulated by building standard retail guidelines. Parking for retail is per required parking code for mixed-use buildings and is provided adjacent to the main garage entry.

Custom lighting sconces, up lights, and hardware will be provided at all retail entries. Individual tenant heat pumps and required intake and exhaust grilles will be located above canopies as required.

Site Amenities:

Various amenities will be offered to residents. They include a well designed entry lobby with a seating and concierge area. Up a short ramp from the main lobby a series of 6 work studios and fitness center will also be provided. A pet relief area is provided on the roof.

Terraces will be provided for individual units at all building step backs. At the main building roof a 1,763 square foot common roof terrace will be provided including an outdoor kitchen and dining area, overlook, outdoor fireplace and living room. The common roof terrace will be able to accommodate several groups of people.

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

Uses are regulated by Section 20.10.400 (Use Charts) and 20.25A (Downtown-Mixed Use zoning district). In addition, the uses proposed for this project are permitted with Design Review approval subject to meeting the Design Review criteria of Land Use Code (LUC) 20.25A.110 and the Design Guidelines – Building/Sidewalk Relationships of LUC section 20.25A.115, summarized as follows:

Item	Permitted/Required	Proposed	Comments/Conditions
Project Limit	No minimum	15,483 SF	None
Building Height	90 FT	99 FT	Max. Height + 10% (9') See Section III B for additional height analysis.
Floor Area Ratio (FAR)	2.0 Base / 5.0 Max	5	The project is at its maximum FAR.
Total Gross Square Feet (GSF)	No minimum	79,550 GSF(Building) 37,906 GSF (Garage)	None
Exempt Retail/Ped-Oriented Frontage Floor Area	Maximum 1.0 FAR	2,135 SF (.13 FAR)	Two exempt retail spaces proposed.
GSF for FAR	77,415 GSF	77,415 GSF	Exempt retail not included

Item	Permitted/Required	Proposed	Comments/Conditions
Floor Area per Floor Above 40 Feet	20,000 GSF / Floor	8,437 GSF / Floor	Levels 5-7
Floor Area per Floor Above 80 Feet	12,000 GSF / Floor	8,088 GSF / Floor	Levels 8-9
Setbacks			
Fronts (North and East) 102 nd Avenue NE NE 1 st Street	0 FT	0 FT	LUC 20.25A.020
Side (South)	0 FT	0 FT	LUC 20.25A.020
Rear (West/McKee)	0 FT	5 FT	LUC 20.25A.020
Stepbacks			
Upper level Stepback in Perimeter Design District West/South Elevations East Elevation	20 FT 15 FT	20 FT 15 FT	LUC 20.25A.020, note 25 LUC 20.25A.090.D.5.a
Sidewalk Width	12'-6"	12'-6"	8' Sidewalk + 4' Planting Strip + 6" Curb
Street Tree/ Species & Caliper	3", except 4" on Main Street, 100 th Avenue, 12 th Street in Perimeter District	Scarlet Oak (QC) and Skyline Honey Locust (GTS) / 3"	Species meets LUC requirements.
Mid-Block Walkways	Not Required	None	LUC 20.25A.D60.C.4.a

Parking and Loading

Item	Required		Proposed	Comments/ Conditions
Parking	Minimum and Maximum Permitted Ratios	Required and Permitted Parking Stalls	Proposed Parking Stalls	LUC 20.25A.050
Residential Units (32 units)	1.0/ Unit Max 2.0/ Unit Max	32 Min 64 Max	62	Based on 32 Units
Retail (Retail 1-1,291 SF) (Retail2-1,042 SF)	0 / 1000 SF Min 5.0 / 1000 SF Max	0 Min 12 Max	5	No parking required for retail space less than 1,500 SF per LUC 20.25A.050.B, subnote 4
Total		32 Min 76 Max	67	Conforms to standard
	Required/Permitted		Proposed	
Compact Stalls	43 Max		33= 49%	Based on 65% Max
Loading Area	10' x 55' Adjacent to Arterial + 40' for maneuvering clearance		Proposed location on A2.03 – Level P1	
Recycling & Solid Waste	1.5 SF/unit x 32 units = 48 SF 5 SF/1000 SF retail x 1,200 SF = 6 SF 54 SF (LUC 20.20.725)		319 SF	Email from Wes Smith, commercial supervision for Allied Waste of Bellevue dated 10/15/07.

B. Analysis of Height Modification

The applicant has requested a height increase beyond the underlying zoning district. LUC 20.25A.090.D.2, subnote 2 states the following regarding height modifications:

In Subdistrict B, the maximum height may be exceeded by no more than 10 percent, and only if the applicant can demonstrate that the additional height accommodates architecturally integrated mechanical equipment, interesting roof forms, significant floor plate modulation, significant facade modulation, or other such unique architectural features, and that the resulting design exceeds the quality and design requirements of LUC 20.25A.110.

The basic height for the DT-OB, Subdistrict B is 90 feet. Height may be increased to 99 feet per LUC 20.25A.090.D.2, subnote 2 as noted above. An additional 15 feet is permitted for mechanical equipment. Total maximum height is 114 feet. Building height proposed is 114 feet which includes the increase for mechanical equipment.

The applicant should note that if the design of the mechanical equipment increases in height, a building height reduction will be necessary to conform to this standard. Changes to the shown roof details below are subject to approval by staff and consistency with the code during building permit review. If modifications are made after building permit approval, the Land Use Exemption (LUX) process may be used. Modification to the roof design/mechanical equipment without such approval may place the height increase gained at risk for reduction to the normal maximum building height of 90 feet plus 15 mechanical or 105 feet. See Section X.C for related condition.

A height modification is granted because the applicant has proposed the following:

- Placement of the elevator overrun in the center of the building.
- A 15 foot metal screen wall to screen the elevator overrun and to provide additional area for placement of associated equipment.
- Decks at the southwest corner of the roof and Levels 2 through 9 create façade modulation and an interesting roof form.
- Provision of a roof cornice at the north elevation to further define building identity at this elevation while providing a unique architectural feature.
- The colors and materials used for the mechanical equipment will match the building body creating an architecturally integrated system.

See images below:



As conditioned, the proposal is eligible for a modification of height per LUC 20.25A.090.D.2, subnote 2.

C. Special District Requirements

1. FAR Amenity System Requirements

Subject to LUC 20.25A.020C.2, the amount of bonus floor area in square feet generated by the amenities provided to meet the Basic Floor Area Ratio (FAR) requirement must at a minimum be equal to 20% of the Project Limit area times the Basic FAR permitted for a non-residential building in the land use district. The Basic FAR requirement in square feet = $0.20 \times$ the Project Limit area \times the Basic Non-residential FAR ($0.20 \times 15,483 \times 0.5 = 1,548.3$ SF).

The amount of "Basic" FAR Amenity Earned (21,549 SF), calculated below, exceeds the minimum required 1,548.3 SF by 21,390.7 SF.

Table 1: Bonus Amenity Area Earned

Project Gross Floor Area (GFA)	77,415 SF
Basic Permitted Floor Area (Basic FAR X Project Limit)	30,966 SF (2.0 X 15,483 SF)
Additional Floor Area Requested (Project GFA – Basic Permitted Floor Area)	46,449 SF (77,415 – 30,966)
"Basic" FAR Amenity Earned	21,378 SF (Refer to Table 2 below)
Remaining ("Bonus") FAR Amenity to Earn (Project GFA - Basic Permitted Floor Area – "Basic" FAR Amenity Earned)	25,071 SF (77,415 - 30,966 - 21,378)
Total FAR Amenity Earned	97,190 SF (Refer to Table 2 below)
Excess FAR Amenity Earned (Total FAR Amenity Earned – Basic FAR Amenity Earned – Bonus FAR Amenity to Earn)	50,741 SF (97,190 – 21,378 – 25,071)

Table 2: Bonus Amenities

Subject to LUC 20.25A.030.D, the total amount of bonus floor area earned through the Amenity Incentive System for a project, and the total amount of bonus floor area to be utilized on-site for that project, must be recorded with the King County Division of Records and Elections and with the Bellevue City Clerk. Therefore, a condition is included in Section X of this report requiring that the applicant record a copy of the approved bonus point calculations, project drawings and conditions of this Design Review approval. See Section X.D for related condition.

Amenity		Units of Measure	Bonus Ratio	Bonus Floor Area Earned	How it Meets the Description and Design Criteria? Public Benefit?	
Basic Amenities						
	Pedestrian Oriented Frontage	LF	200:1	(102'-8" x 200') 20,532 SF	Stimulates sidewalk pedestrian activity.	
	Marquee (east elevation)	SF	2:1	(386 SF x 2) 772 SF	Entry cover from inclement weather.	
	Awning (north elevation)	SF	0.5:1	(147 SF x 0.5) 74 SF	Entry cover from inclement weather.	
	Sub-Total Basic			21,378 SF		
Non-Basic	Underground Parking	SF	2:1	(37,906 SF x 2) 75,812 SF	Hides unsightly parking area underground.	
		Sub-Total Bonus			75,812 SF	
		Combined Total			97,190 SF	

2. Design Review Criteria and Design Guidelines

The proposal meets the Design Review criteria (LUC 20.25A.110) as follows:

Site Design Criteria

Vehicular Circulation and Parking

- a. *Provide efficient vehicular access to parking and service areas which is coordinated on a superblock basis.* **Finding:** The superblock configuration does not exist in Old Bellevue. Vehicular access will be available via one access point: the southeast corner of 102nd Avenue NE. This access point will lead vehicles into the interior of the garage with an interior gate

separating residential parking areas from retail. A loading dock will be provided in this same vicinity.

b. *Coordinate the location of vehicular and pedestrian mid-block connections, considering opportunities for mid-block crossings.* Finding: No midblock connections are required for this project. A midblock connection exists west of the McKee development.

c. *Provide for safe and pleasant movement within the Downtown for the pedestrian and bicyclist.* Finding: The NE 1st Street sidewalk will remain the same size at 12 feet. The 102nd Avenue NE sidewalk will increase from 8 to 12 feet as required by the LUC. A 12 foot sidewalk with a two foot scoring pattern will be provided along with vegetation and benches. Since this is a Type "A" right-of-way along 102nd Avenue NE, the addition of these amenities to this area will further define the pedestrian connection to the Downtown Park, Main Street and Meydenbauer bay.

d. *Maximize the separation of vehicular traffic from pedestrian areas by means of level changes, space and distance, or landscaping.* Finding: The sidewalk is separated from the roadway by a six-inch curb and four-foot tree grates.

e. *Incorporate retail shopping space at ground level into parking structures whenever practical and appropriate.* Finding: Ground level retail is proposed at the northeast corner which then wraps around the building at the east elevation. Placement of retail in this location will activate the sidewalk in this area of the project, fulfilling standards for a Type "A" street.

f. *Minimize the location of parking adjacent to pedestrian connections.* Finding: All parking is located within the building. On-street parking exists east on 102nd Avenue NE in the public right-of-way. These parking stalls will continue to exist after this proposal is complete.

g. *Limit the number of driveway openings and the number of access lanes in each opening.* Finding: Only one driveway opening will be proposed at the southeast corner of the site.

h. *Where appropriate, fit garages into the topography and make use of garage roofs for public open space, recreation or landscaped areas.* Finding: Residential units, owner amenities, and retail spaces are proposed over the P1 level of the garage.

i. *Maximize the use of underground parking.* Finding: All parking will be contained within 2.5 levels of underground parking.

Pedestrian Circulation and Amenities

Pedestrians can circulate around the building by way of sidewalks at the north and east edges of the site. Street trees, weather protection, benches, landscaping, and special paving are used to provide a more pleasant pedestrian experience.

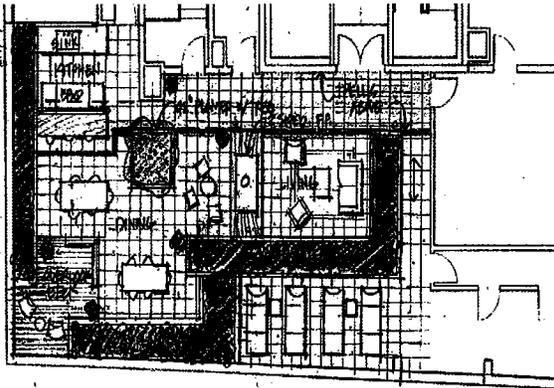
Wind and Sun

The building is designed to step down to the pedestrian level. Required building stepbacks on the west, south and east elevations define the building podium. These stepbacks allow sun penetration into the project. Level one will meet building setbacks which are zero for this district

on the north, south and east sides. The applicant has chosen to provide a five foot building setback at the west elevation. This setback will provide further sun penetration and air circulation in the area between the Essex and the McKee to the west.

Sheet L1.01, landscaping also makes provision for trees along the north and east edges of this site. Additionally, the presence of the building wall will block prevailing winds from the south.

Open Space



The project has two open space areas for residents: a roof deck and individual residential decks at Levels 2 through 9. An at grade minor urban plaza will be located at the northeast corner. It will contain benches, landscaping and scored pavement. Placement of these features creates a focal area not only for the project but the neighborhood.

Light and Glare

The project will minimize light spill and provide cut-off fixtures to reduce glare whenever possible. The project will respect all existing and future adjacent residential projects with no exterior building illumination to the west or south except as needed to provide exit pathway lighting.

Downtown Patterns and Context

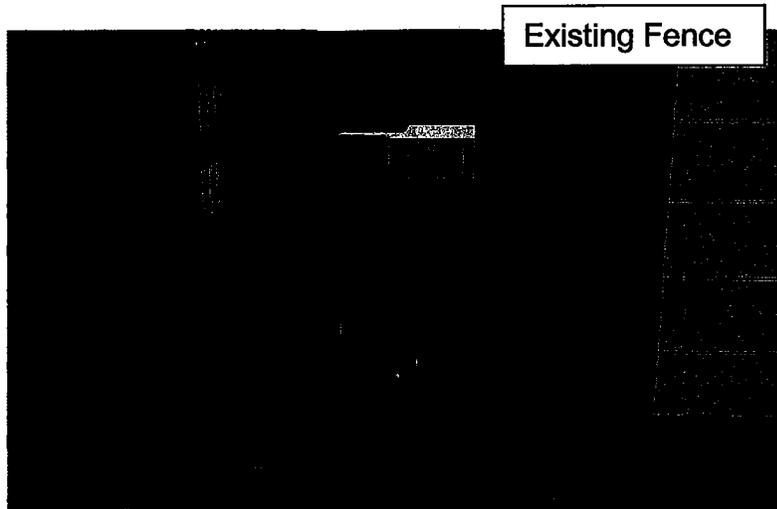
Natural Setting and Topography

This site is almost rectangular in shape and measures approximately 137 feet along NE 1st Street and 115 feet along 102nd Avenue NE. Topography on this site is generally level with a slight drop in elevation from the north property line to the south property line of about four feet. There is a drop of only one foot between the west and east property lines.

Landscape Design

Landscaping will be provided along NE 1st Street and 102nd Avenue NE. The site does not contain significant existing vegetation. There is an existing street tree in a grate along NE 1st Street. See Section II. A (Site) above for further discussion regarding landscaping.

Views



McKee

Residents at the very lower levels of the east elevation will have views of an existing six foot fence located on McKee property. Beyond this fence, southeast corner residents will also have views of landscape planters provided at the southwest corner and the western portion of the Essex. These planters will contain overstory and understory vegetation such as climbing vines, shrubs that are linear in form along

with bushy shrubs, and ground cover. The applicant has provided a five foot setback to allow better sun penetration to this vegetation.

In addition to the above, building materials in this vicinity have been upgraded from the initial submission of concrete to a masonry color 1 as shown on the Sheet A8.04.

Essex

Floors 7 through 9 will have views westerly to Seattle over the McKee. The windows and balconies have been designed to off-set, as much as possible, to provide privacy between units. The finish floors between the two buildings are offset by approximately half a story. The lower floors of the Essex will have views of the existing McKee fence and building.

The northern residential units of the Essex will have views of the Downtown Park and beyond into the downtown core.

Building Height and Bulk

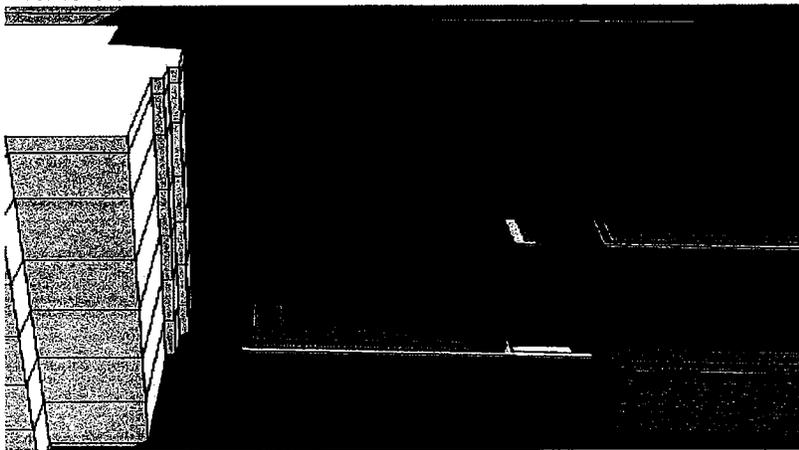
The building base has been designed to maximize the permitted zero setbacks for this zoning district with exception of the west property line where a five foot setback is provided. Required building setbacks of 20 feet on the west and south property lines cause the tower portion of the structure to diminish in size and square footage. A required 15 foot setback further defines the building tower at the east elevation. No such setback is required for the north elevation. Provision of these building setbacks at the upper levels creates space between structures upon redevelopment. Diminishing floor plates of the tower potentially will allow views north to the Downtown Park from properties south of the park.

Initially, the proposed building will be larger than the surrounding neighborhood. But as redevelopment occurs, buildings of similar height will be produced. This structure will be 114 feet including mechanical equipment. The adjacent building, the McKee has a building height of 69

feet for building A and a height of 54 feet for building B. To the west of the McKee is the Seasons at 55 feet in height for the west building and a height of 90 feet for the east building.

The roof top of this structure has been designed as an integrated form of this structure. The roof contains modulation, integrated building materials to conform to the building body. The roof top deck will provide vegetative relief at the southwest corner.

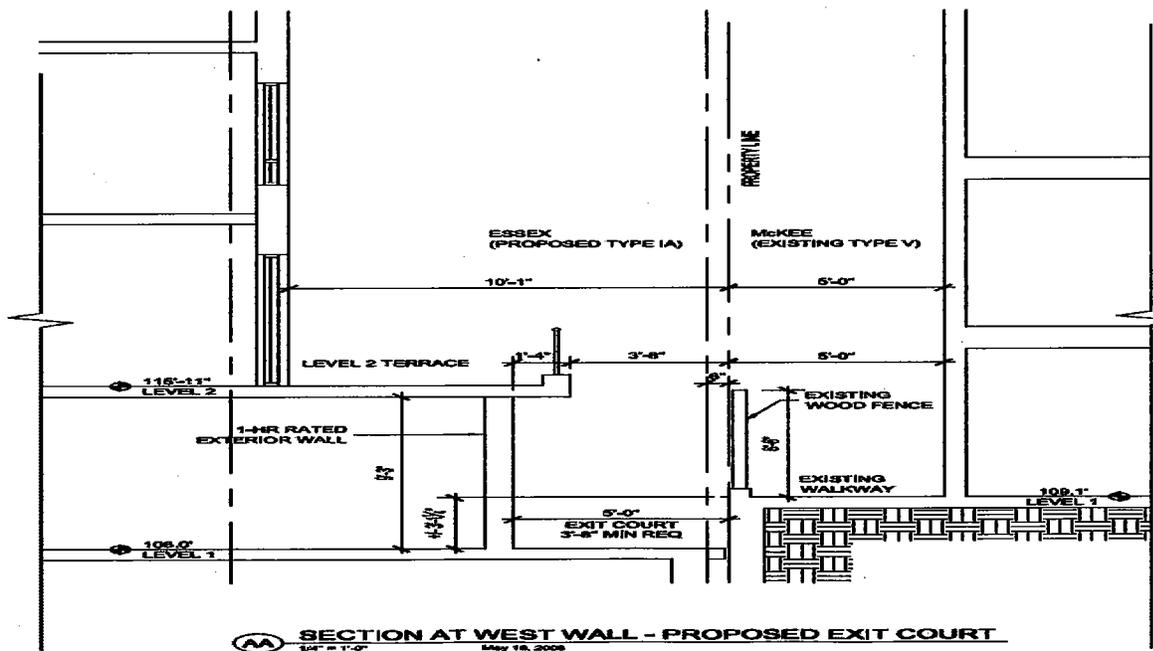
Transitions



The project has been designed to maximize open space at the west elevation with the provision of a five foot setback from the west property line. The applicant has provided five feet to create a larger open space between properties and sun penetration into this area. No landscaping exists on the McKee side of the property to create vegetative relief to residents looking west from the Essex but such visual relief will be provided to

the residents of the McKee at the lower, east elevation with visuals of the landscape planter at the southwest corner. Exiting requirements limit placement of such vegetation in the upper northwest corner of the Essex site.

See diagram below:



AA SECTION AT WEST WALL - PROPOSED EXIT COURT
 1/4" = 1'-0" May 18, 2008

Patterns of Activity

The building provides various opportunities for pedestrian-level activity including ground level retail, residential lobby and leasing spaces. At the northeast corner of this site, the pedestrian areas will be enhanced with benches, landscaping, and scored pavement materials.

Signage

Signage information has not been provided at this time. General signage information noted on the building will be required prior to building permit issuance with a formal sign package following such submittal. See Sections X.C and E.

Design Guidelines – Building/Sidewalk Relationships (LUC 20.25A.115)

NE 1st Street is classified as a “C” Right-of-Way while 102nd Avenue NE is classified as an “A” Right-of-Way. These rights-of-way have been given these designations as it is anticipated that they shall have moderate to the highest orientation to pedestrians respectively. Because of these street classifications, the applicant has oriented two townhouse units at the northwest corner of the site for direct access to the street level due to the moderate pedestrian use in this area. Conversely, 102nd Avenue NE has been given the highest pedestrian orientation due to its direct connection to Main Street.

Long term development plans are underway for the Meydenbauer area with linkages between this area and the downtown park, 102nd Avenue NE increases in importance as a pedestrian connection. Provision of additional retail will further activate this area of the Old Bellevue.

Downtown-Old Bellevue District

1. **Street Improvements.** The applicant shall provide half-street and sidewalk improvements including paving, street trees, lighting and other street furniture comparable to the existing Main Street streetscape between 102nd Avenue and Bellevue Way on:

b. 102nd and 103rd Avenues between SE 1st Street and NE 1st Street; and

Response: The applicant will provide sidewalk improvements on NE 1st Street and 102nd; thus, complying with the standard above.

2. **Mid-Block Connections.**

Response: Not required for this site.

3. **Parking.** An off-street parking area may not be located between the buildings and streets along:

a. 102nd Avenue NE between Main Street and NE 1st Street; and

Response: All associated parking for this project will be provided underground to comply with the standard above.

4. Minor Publicly Accessible Spaces.

Response: Not required for this project.

5. Pedestrian-Oriented Frontage and Marquees or Awnings.

a. The applicant shall provide pedestrian-oriented frontage and marquees or awnings on:

ii. 102nd Avenue between Main Street and NE 1st Street.

Response: The applicant has complied with the standard above by providing 4'-4" marquees along 102nd Avenue NE.

b. Pedestrian-oriented frontage, marquees, and awnings must comply with the design criteria of LUC 20.25A.030.C, and the FAR amenity bonus may be utilized.

Response: The applicant complies with the standards detailed above for marquees.

c. Pedestrian-oriented frontage must include display windows having mullions that are spaced two to six feet apart.

Response: Windows have been provided along 102nd Avenue NE to allow pedestrians visibility into the two retail spaces.

d. The use of exposed concrete, metal or plastic for storefront facades is not permitted. This does not preclude the use of metal and acrylic glazing on marquees or vinyl fabric on awnings, nor the use of brass, copper or aluminum for decorative trim.

Response: The applicant has proposed a textured CMU in masonry color 1 as shown on Sheet A8.02.

Perimeter Design District

The Perimeter Design District shall include the following property west of the centerline of 112th Avenue NE within the Downtown as defined in LUC 20.50.016. This site is located within Subdistrict B.

1. Development projects should include a mid-block street, where feasible, to provide more convenient circulation within the perimeter of the Downtown and to promote development with a human scale.

Response: This standard is not applicable as mid-block connections are not required for this site either through pedestrian or vehicular connections.

2. Buildings should incorporate interior arcades, open courtyards, enclosed plazas or combinations thereof which offer mid-block pedestrian connections between perpendicular and/or parallel streets.

Response: As discussed above, mid-block connections are not required for this project.

3. Buildings should be clad with materials which minimize reflected light. Overhangs, awnings, sunscreens and other devices should be considered in order to minimize conditions of glare.

Response: The building will be clad with two masonry building colors as shown on Sheet A8.01. These colors are tan/light tan in color with an accent band at the top of the building and at various intervals throughout the building body. A dark brown/grey metal panel material will be used for the cornices and mechanical screen. All materials have been proposed to minimize reflected light to comply with the standard above.

4. Building facades should be divided into increments through the use of bay windows, offsets, angled facets, recesses and other architectural features which serve to break down the scale.

Response: The proposed building fulfills the standards above. See Section III.C.2 above.

5. Rooftops should incorporate features such as pitched or sloped forms, terraces, perimeter planting to soften an otherwise rectilinear profile.

Response: The applicant has proposed a flat roof with a roof garden at the southwest corner of the structure. Private terraces will be available as well for residents of the building. See Section III.B above for further roof discussion.

6. Surface parking should be concealed from street level views by berms, hedges, walls or combinations thereof.

Response: No surface parking is proposed for this project.

7. Special attention should be given to the provision of elements at or near the ground level such as awnings, recessed entries, water features, address signs, seasonal flower beds, seating, pedestrian-oriented uses and display kiosks.

Response: The applicant has complied with the above by providing benches, an awning on the north elevation, street trees, recessed entries for the two residential units on the north elevation and pedestrian oriented uses on 102nd Avenue NE.

IV. PUBLIC NOTICE AND COMMENT

Public Correspondence: To date, staff has received several E-mails and three letters for this project. All correspondence is available for public view in the project file. Many of the letters and emails received reiterate the comments raised at the City public meetings as summarized below.

Outreach Meetings

The applicant held two documented outreach meetings on this proposal as summarized below:

1. The applicant provided public notice to owners within 500 feet to discuss their proposal. On January 23rd, 2008, the applicants met at the McKee to discuss their project. A general

overview was given by the project architect. Residents who attended asked questions regarding construction noise, placement of the construction trailer, and more information regarding the west wall design of the Essex and its connection to the east wall of the McKee. Because no residents from the east wall attended this meeting, the McKee requested that a second outreach meeting be held.

2. A second outreach meeting was held on January 29, 2008. This meeting was led by the McKee's land use representative, Julia Kruger. The primary concerns raised at the meeting were the following:

- Loss of sunlight at the east elevation of the McKee.
- Proposed materials on the west wall of the Essex.
- Concern regarding building bulk and location of the west wall.
- Economic impacts to east units of the McKee.

The meeting was adjourned with further study occurring on the items above by the Essex design team.

See project file for meeting minutes sent by Shugart Bates.

3. City Public Meetings

Meeting #1

In addition to the above outreach meetings, the Land Use Code (LUC) provides for an optional public meeting for design review applications. Staff determined that such a meeting was necessary and held this meeting on January 31, 2008. There were approximately 24 individuals who attended this meeting. See project file for lists of speakers.

Many of the attendees of this meeting were from the McKee. Comments from speakers on this proposal were wide ranging. See the following comments:

- Questions were raised about the existing fence at the east property line of the McKee and its relationship to the Essex for height comparisons.
- Light and ventilation issues were raised again between the McKee and this proposal. A mock up was requested by the McKee so they could gain understanding on this issue.
- Maintenance issues between structures.
- Potential to combine the existing walkways in order to gain a larger pedestrian space between the two sites.

Staff received a formal letter written by the McKee Homeowners Association which reiterated the items listed above along with a request for building redesign and statement that the submitted proposal did not comply with LUC 20.25B.110.B.5 and Urban Design Policies UD-4, 10, and 71.

Meeting #2

On March 18, 2008, a follow up meeting was held to address issues raised at the City's initial meeting. There were 12 individuals who attended this meeting. The applicant's representative responded to the McKee's concerns regarding the west wall. The applicant provided architectural sketches that showed a joint access easement between the two sites that would require removal of the existing 6 foot McKee fence. Site landscaping would be provided along the west wall of the Essex with pedestrian access occurring from an egress door with egress landing occurring on the McKee property. Approval for a joint use of easement would be required for such proposal and has not been agreed to as of the date of this decision.

As a follow up to the above meeting, the applicant determined that a joint use of easement would not be a viable solution; therefore, the applicant proposed exiting on the Essex site with removal of vegetation north of this door so that pedestrians can reach the sidewalk. An ornamental gate will be provided to secure this area from the sidewalk. The existing McKee fence would remain to create a physical separation between the two properties as the McKee's walkway is 3'-1/4" higher than the proposed Essex exit court.

In addition to the above, it was determined that the International Building Code (IBC) has a minimum exiting requirement of 3'-8". To accommodate this fully, the applicant has provided a five foot exiting court north of the exiting door. South of this door, a five foot wide planter is provided for two purposes: to prevent exiting to the south without an egress opening and to provide vegetative relief along the building wall of this façade.

V. TECHNICAL REVIEW

A. Utility Department

Utility review has been on a conceptual basis only, consequently there are no implied approvals of the engineering specifications for the water, sewer and storm drainage components of the project. Engineering review of the water, sewer and storm drainage infrastructure will be performed under the Utility Developer Extension Agreements, and will coincide with the clearing and grading permit review. Final civil engineering may require changes to the site layout to accommodate the utilities. See Section X.A for related condition.

B. Fire Department

This site contains current utility vaults located below grade, and all new utility equipment will be in the building or below grade with the exception of the gas meter which will be located in the landscaped area south of the main garage entry. The fuel fill receptacle for the emergency generator will be located outside the building in a landscaped area south of the main garage entry. Two new FDC's will be located on NE 1st Street and 102nd Avenue NE. Two new fire hydrants will be located on the site as well.

The site development plans for this application generally conform to Fire Code requirements. However, there are a number of conditions that must be met prior to issuance of building permits. See Section X.C for related conditions.

C. Transportation Department

Site Access

Access to the proposed project will be provided via a single driveway off 102nd Avenue, near the southern edge of the site. Deliveries and loading are required to take place inside the building or through the legal use of on-street parking spaces. Other on-street loading will not be allowed.

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), the Transportation Department Design Manual, and requirements stated elsewhere in this document. See Sections X.A, B, C, and D for related Conditions of Approval.

1. Analysis of street lighting levels shows that the developer is required to install a streetlight on 102nd Avenue in order to achieve minimum standard lighting levels on the street near the proposed driveway. A streetlight location and light fixture type identified in the clearing and grading plans received at the city on August 6, 2008 are satisfactory for the Design Review. Complete engineering details and specifications for the streetlight and all related equipment must be included in the project's final engineering plans. The identified streetlight location is on the eastern side of 102nd Avenue, opposite the site's southern boundary. Installation across the street is necessary because the project's driveway and the nearby driveway on adjacent property to the south preclude installation of a streetlight in the optimum portion of the site's frontage. Streetlight installation across the street will likely require asphalt restoration and replacement of some sidewalk panels on the eastern side of 102nd Avenue. The identified light location does not conflict with any street trees.
2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building floor elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations shall not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations. ADA-compliant curb ramps shall be installed where needed, consistent with standard drawings TE-12 or TE-13. Two existing ramps at the southwestern corner of the

adjacent street intersection must be replaced if the Transportation Department inspector determines that they do not meet current standards.

ADA also requires provision of a consistent travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Any planter boxes installed in the sidewalk must be designed to reduce the tripping potential and, if attached or adjacent to the building, must not extend more than two feet from the building. Traffic signal controller boxes, streetlight contactor cabinets, and fire hydrants must be located so as not to interfere with the main pedestrian path. Buildings shall be designed so that doors do not swing out into the pedestrian path.

Installation of Polara-type pedestrian pushbuttons, "countdown" pedestrian signal heads, and related equipment is required to update the developer's end of both crosswalks at the street intersection. Plan details and specifications for such equipment must be included in the final engineering plans.

3. The sidewalk on both street frontages shall be completely removed and reconstructed with a standard public sidewalk at least twelve feet wide. This width does not include the curb nor any bulb-outs. Planters or tree wells are included in the twelve-foot width. Existing driveways shall be closed with installation of standard curb and gutter in addition to standard sidewalk. On NE 1st Street, some existing curb and gutter may remain in place, if the Transportation Department inspector determines that it is in satisfactory condition and it is not damaged during construction.
4. The design and appearance of the sidewalk and landscaping on both street frontages shall comply with the standards and drawings in the Transportation Department Design Manual, including standard drawings TE-11 and DEV-3. The sidewalk shall be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern, with four-foot by six-foot tree wells, unless both the Transportation Department and the Development Services Department agree to accept any non-standard material, pattern, or color. See Alternative Paving Materials below.

Any non-standard features or vegetation in the public sidewalk area will be allowed only if approved by both the Transportation Department and the Development Services Department, and if an agreement is recorded against the property to hold the landowners responsible for maintenance and replacement of all such non-standard sidewalk features. Such features shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements.

5. Tree wells and other landscaping within the sidewalk on either adjacent city street shall be irrigated with a metered water source. Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the

electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.

6. The driveway on 102nd Avenue NE shall have an approach width, as defined in standard drawing DEV-5, of at least 24 feet. The driveway apron design and construction shall be consistent with a modified version of standard drawing DEV-5, as shown on the engineering plans received at the city on August 6, 2008.
7. No new building or garage structure, including pilings, shall be constructed under a street right of way, nor under an existing public sidewalk/utility easement if there would be any conflict with utilities. In some conditions (to be finalized during engineering and building plan review), new structure may be allowed under a new sidewalk/utility easement. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
8. No new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk, if a non-slip surface is installed.
9. Any awning, marquee, balcony, or other building fixture over a sidewalk or utility easement or over city right of way must be at least 16 feet above the sidewalk, or be removable (with an agreement regarding removal and replacement); and must have at least 3 feet horizontal clearance from any streetlight or traffic signal pole. No supports shall be installed within the public sidewalk. Installation of building fixtures over city right of way requires a long-term lease of air rights (see below).
10. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing Dev-6. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post. An exception is allowed for a fire hydrant south of the site's driveway, due to the limited space between that driveway and the driveway on the adjacent property.
11. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.

Easements

The property owner shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. At a minimum, that requires granting an easement roughly four or more feet wide along 102nd Avenue NE. Any utility easements on this site that will be negatively affected by this development must be mitigated or easements relinquished. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. See Section X.C for related Conditions of Approval.

Lease of Air Space above City Right of Way on NE 1st Street

Building fixtures that are proposed to extend over the existing city right of way on NE 1st Street cannot be allowed unless the developer obtains a long-term lease of air space to accommodate such fixtures. The developer and the Transportation Department have discussed an exchange by which, as compensation for use of the city's air space, the developer would give the city use of and access to part of the building structure to mount a city traffic camera. City Council approval is required for any long-term lease of property rights, including a lease of city air space. This decision will be made by Council and is not appealable. City Council approval of any such lease must be obtained prior to issuance of any building permit for this development. If such approval is not obtained, then the building design must be revised prior to building permit issuance to eliminate any use of the city's air space. See Section X.C for related Conditions of Approval.

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department. Additionally, the applicant shall be required to obtain approval from the Development Services Division as exterior noise is restricted between the hours of 6:00 p.m. to 6 a.m. per BCC 9.18. See Section X.A for related Conditions of Approval.

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit, including any demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. See Section X. B for related Conditions of Approval.

Trench and Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted", "Overlay Required", and "Standard Trench Restoration". Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Near the development site, NE 1st Street is presently classified as "Standard Trench Restoration" and 102nd Avenue NE is classified as "Overlay Required". Any trench or pavement

restoration in 102nd Avenue NE will require a grind and overlay at least 50 feet long for the full width of any affected lane. Pavement conditions change over time. The exact extent of pavement restoration will be specified in the right-of-way permit for this project, based on field conditions at the time of construction. See Section X.D for related Conditions of Approval.

Alternative Paving Materials

The developer has proposed a non-standard concrete color and scoring pattern for the main pedestrian entry on NE 1st Street and for the driveway apron area on 102nd Avenue NE and other parts of the public sidewalk. Prior to approval of final construction plans, the developer must submit a color sample for city review. The materials and installation methods must meet typical construction requirements. Approval of the alternative material or color is not guaranteed. If the alternative material or color is approved, then the property owner must sign and record an indemnification agreement which states that all future maintenance and replacement is the responsibility of the property owner. Work within the alternative material area by City, franchise or other workers as a result of either emergency, normal maintenance, or new installation will result in replacement of the surface by standard materials. Advance notification of such work will not be provided to the property owner. In such a circumstance, should the property owner wish to replace or repair the surface with the alternative material, a Right of Way Use Permit may be required. See Section X.D for related Conditions of Approval.

Transportation Management Program

In order to reduce single occupant vehicle trips and provide enhanced options to employees and infrastructure users, the City has adopted code requirements for developers to implement a Transportation Management Program. However, the number of dwelling units and amount of retail square footage for the Essex are below the threshold for this program. A Transportation Management Program is not required, per BCC14.60.070 and 14.60.080.

VI. STATE ENVIRONMENTAL POLICY ACT

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements, with incorporation by reference of the *2006-2017 Transportation Facilities Plan Final Environmental Impact Statement* (TFP EIS), dated November 2006. This document is available in the Records Office at City Hall, 450 110th Avenue NE. Transportation-related impacts associated with this project are consistent with the potential projected impacts analyzed within this document.

Adverse impacts which are less than significant are subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Sec. 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

Amendments to Environmental Checklist

The Environmental Checklist submitted with the application was revised per the revised design concept and it adequately discloses expected environmental impacts associated with the proposed project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts except as noted below. The following amendments to the Environmental Checklist are needed. These impacts will be mitigated through exercise of code authority as well as through project-specific conditions of approval, contained in Section X.A.

NOISE

Exterior Noise: As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Normal hours for allowed generation of noise related to construction are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to the construction noise hour limitation contained in the Noise Control Code MAY NOT be granted pursuant to 9.18.020C.1 & 2. However, prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding commercial and residential properties during the proposed timeline for construction. If expanded hours are necessary to accommodate a specific component of construction, a noise permit shall be required for exemption from the Noise Control Code must be submitted in advance of the scheduled onset of extended hour construction activity. In accordance with the Bellevue City Code – BCC 9.10 – Noise Control, the City will only be providing construction noise exemptions for the following work:

- Work in the ROW and essential public facilities (i.e., Water connections that require a main shut off are required to be done at night by the Utility Dept, public school construction)
- Work to accommodate transportation mitigation
- Required evening haul routes

Work that has been previously determined by sound level monitoring to not exceed the maximum permissible noise levels. Utility/site work on private projects/property is not essential public facilities. See Section X.A for related condition.

Interior Noise Levels: The Bellevue City Code, BCC 9.18, limits interior noise levels within residential structures to 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. Special construction is generally necessary to meet these thresholds. Prior to the issuance of any occupancy permits, the applicant shall verify that this threshold has been met.

TRANSPORTATION

Long-Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2017 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth projected to occur within the City by 2017 are evaluated on the roadway network assuming that all the

transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. The Essex project lies within MMA # 3 (Downtown). That MMA has a 2017 total growth projection of 6050 new multifamily dwelling units, 1,451,863 square feet of new retail space, and 5,207,311 square feet of new office. Approved and pending new developments have already claimed much of the projected growth. For retail, approximately 382,500 square feet are not yet allocated to approved or pending developments. For office, approximately one million square feet are not yet allocated to new developments. However, the projection for downtown multifamily dwelling units has already been exceeded by more than 800 units allocated to approved or pending developments.

This development proposes 32 new multifamily dwelling units and 2,135 square feet of retail space. The development will remove 6701 square feet of retail space in an old building, leading to a net reduction of 4,566 retail square feet. Reduced trip generation associated with the reduction in retail space approximately balances the trip generation associated with the new multifamily dwelling units. (The development will cause a net increase of approximately one PM peak hour trip.) Therefore, the development is within the assumptions of the Transportation Facilities Plan EIS, and the development will not have any negative off-site long-term traffic impacts, beyond those that will be mitigated by payment of transportation impact fees and installation of street frontage improvements.

Transportation impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. The development may be eligible for impact fee credit for removal of the previous land use. See Sections X.A, B, C, and D for related Conditions of Approval.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

With 32 downtown multifamily dwelling units at 0.38 PM peak hour trips per unit and 2,135 square feet of miscellaneous retail at 2.4 PM peak hour trips per 1000 square feet, this development will generate approximately 17 new PM peak hour trips. Removing 6,701 square feet of existing retail space will yield a reduction of 16 PM peak hour trips, for a net change of 1 PM peak hour trip. Therefore, the Traffic Standards Code does not apply. No concurrency test is required.

Short-Term Operational Impacts and Mitigation

Even though the net change in PM peak hour trips, as calculated above, is small, this development will create short-term transportation impacts that require mitigation. Such impacts include:

- Revised driveway locations and the concentration of all ingress and egress at one point will cause a concentration of vehicle turning movements, leading to operational and safety impacts that must be addressed.
- The Land Use Code requires an emphasis on pedestrian oriented development, leading to an increase in pedestrian traffic on the site's street frontages. This increase in pedestrians must be accommodated with improved sidewalks. Potential safety conflicts between pedestrians and vehicles must be addressed.

City staff analyzed the short-term operational impacts of this proposal in order to recommend mitigation. These impacts included driveway operations, proximity of driveways on adjacent sites, and evaluation of vehicle and pedestrian sight distance. It was determined that short-term traffic impacts can be mitigated by appropriate site design and street frontage improvements, as described in other sections of this document. See Sections X. A, B, C, and D for related Conditions of Approval.

VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Building Design

- Concern was expressed regarding the light coloring of the proposed brick material. The material is so light that staining may become a problem. The applicant has responded by deepening the color of "Mission textured brick—imperial grey".
- The applicant was requested to increase the width of the marquee along 102nd Avenue NE as the initial proposal was too shallow at three feet wide. This has since been increased to 4'-4" feet wide. The applicant was also required to add a marquee over the doors to the retail for weather protection. This has been provided.

Site Design

- The Transportation Department required a light level analysis for 102nd Avenue NE. The results of this study require the applicant to place an additional street light on the east side of 102nd Avenue NE.
- A pet relief area was requested for this site. Such location will occur at the southeast corner of the roof area.

VIII. APPLICABLE DESIGN REVIEW DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

- 1. The proposal is consistent with the Comprehensive Plan.**

Following are land use policies from the Urban Design Element of the City's Comprehensive Plan that are pertinent to, and supportive of, the project proposal:

Policy UD-1: Encourage high-quality, attractive, architecturally appealing designs for major buildings in order to create distinctive visual reference points in the community. Finding: This project will create an architecturally attractive building in its massing, materials, and detail at the intersection of NE 1st Street and 102nd Avenue NE that is consistent with the Old Bellevue Community.

Policy UD-2: Support Designs for the built environment that are visually stimulating and thoughtful and which convey excellence in architecture and workmanship, and durability in building materials. Finding: This project proposes high quality durable materials, including two types of masonry, metal panels for cornice and mechanical screening, as well as pavement materials. The building design incorporates careful attention to detail, variety in building heights and elements, integration of landscape, hardscape and building forms to create a visually stimulating, cohesive project.

Policy UD-3: Encourage a variety of site and building designs which are compatible and consistent with surrounding development and that implement the policies of this plan. (See finding below for UD-4).

Policy UD-4: Ensure that the development relates, connects, and continues design quality and site functions from site to site. Finding: This project will be compatible with the high quality high rise and mid rise residential development that exists now in Old Bellevue to the west and south along Main Street as well as the lower rise retail development along 102nd Avenue NE to the east and south of this project.

Policy UD-6: Design buildings located on the edge of public spaces using materials, forms, details and other architectural elements that will enrich the appearance of the places and encourage people to use them. Finding: The east side of the building faces 102nd Avenue NE will provide pedestrian interest through the use of windows to create visual interest to passersby while increasing amenities such as benches, façade articulation, and overhead weather protection for retail activities. The proposed building materials will enrich this intersection to create further visual interest. Additionally, this site is located directly south of the Downtown Park. The north elevation contains two studio units which front towards this park. Residents of these units will have views and pedestrian access via NE 1st Street to this area.

Policy UD-8: Design rooftop mechanical screening so that it is integral with building architecture. Consider the visual effects of technical advances such as satellite dishes, on building design. Finding: All roof-top mechanical equipment will be enclosed within a penthouse that has been designed to integrate with the building design. See discussion above in Section III.B

POLICY UD-10. Encourage public and private development to incorporate access to sunlight. Finding: This proposal has been designed to allow light penetration at the tower level by its diminishing floor plate above the podium. The podium setback of five feet along the west property line further allows light penetration between this site and the McKee to the west. See Section III.C.2 Sun and Wind above for further discussion.



Policy UD-11: Encourage architectural elements that provide for both rain cover and access to sunlight in pedestrian areas.

Finding: Transparent/ translucent marquees will be provided on 102nd Avenue NE at the back of sidewalk at the east elevation. A canopy will be provided at the north elevation to provide weather protection at the building entry.

Policy UD-14: Encourage seasonal color plantings in public and semi-public areas.

Policy UD-15: Use landscape design that is urban in character in more urban settings

Finding: The landscape design incorporates both hardscape and landscape to respond to the urban setting, and includes street trees along all public streets. Seasonal color will be provided as well.



Policy UD-20: Preserve and encourage open space as a dominant element of the community's character. Finding: A small, at grade gathering space is being provided at the northeast corner of the site. It will offer benches, interesting pavement materials, and landscaping. The placement of the plaza in this vicinity will create a focal point for the intersection of NE 1st Street and 102nd Avenue NE.

POLICY UD-71. Permit high intensity residential development subject to design criteria which assures a livable urban environment.

Finding: The applicant has applied for design review approval per the Land Use Code and is therefore; subject to all of the design criteria and applicable plan policies for this project. By submittal of this application and project design, the applicant has complied with this policy.

This proposal is also consistent with the following policies from the Downtown Sub-area of the Comprehensive Plan:

POLICY S-DT-1 promotes Downtown livability, with provisions made for the needs, activities, and interests of Downtown residents, employees, shoppers, and visitors. Finding: The retail will provide additional retail activities for area residents.

POLICY S-DT-2 encourages a variety of land uses to occur in mixed-use buildings or complexes where appropriate. Finding: This is a mixed use building with retail/residential at the base with residential above.

POLICY S-DT-3 promotes development of Downtown as an aesthetically attractive area. Finding: This proposal will add to the aesthetic environment of the Downtown.

POLICY S-DT-4 states that the highest intensity development shall be located in the core of Downtown, with diminishing intensities towards the edges of Downtown. Finding: By its

location, this site lies outside the Downtown core within Subdistrict B which requires lower building heights, etc.

POLICY S-DT-5 sets out to organize Downtown to provide complementary functional relationships between various land uses. Finding: This proposal will complement the mixed use environment of Downtown-Old Bellevue by adding to the retail/residential base.

POLICY S-DT-7 encourages the Downtown to continue to serve surrounding residential areas as a neighborhood retail district. Finding: Residents if this project will be served by the higher intensity retail/service/entertainment uses within the Downtown.

POLICY S-DT-9 promotes use of bonus incentives (related to permitted intensity, height, etc.) for private developments to accomplish the public objectives. Finding: See Section III.B above for discussion on how this project qualifies for the bonus incentive for height.

POLICY S-DT-24 promotes density incentives to encourage urban residential development throughout Downtown. Finding: See Section III.A above for review of project density.

POLICY S-DT-25 supports for a range of Downtown urban residential types and densities. Finding: Complies with standard.

POLICY S-DT-26 encourages residential uses to occur in mixed-use structures or complexes. Finding: Complies with standard.

POLICY S-DT-36 seeks to utilize development standards for building bulk, heights, setbacks, landscaping requirements, stepbacks, floor area ratios, open space requirements, and development incentives. Finding: See Section III.A to review dimensional standards.

POLICY S-DT-37 supports linking building intensity to design guidelines relating to building appearance, amenities, pedestrian orientation and connections, impact on adjacent properties, and maintenance of view corridors. These guidelines will seek to enhance the appearance, image, and design character of the Downtown. Finding: See Section III.C above for project attributes.

POLICY S-DT-40 seeks to enhance the appearance of all types of streets and adjoining sidewalks with street trees, landscaping, water features, pedestrian-scaled lighting, street furniture, paving treatments, medians, or other softening treatments as appropriate. Finding: The project complies with this standard. See Sheet L1.01 for details.

POLICY S-DT-57 promotes the creation of pedestrian linkages within and between the Downtown Districts as well as to surrounding residential areas outside Downtown. Finding: The redevelopment of the surrounding sidewalks will provide connections to the Downtown Park through Old Bellevue to Meydenbauer Bay.

POLICY S-DT-87. Provide a graceful pedestrian connection from Downtown Park through Old Bellevue to Meydenbauer Bay. Finding: Complies with standard.

POLICY S-DT-91. Reinforce the unique character of the Old Bellevue area by encouraging residential development, specialty retail, and other development with an emphasis on pedestrian activity. Finding: The applicant has proposed at grade residential uses to face the Downtown Park and retail activities to face 102nd Avenue NE to further define the pedestrian oriented frontage along 102nd Avenue Ne.

POLICY S-DT-105. Provide a visual and physical connection from Downtown to Meydenbauer Bay that terminates in a significant waterfront presence. The connection will provide unique recreation, retail, and tourism opportunities. Finding: Redevelopment of the sidewalks in this area will create the opportunity to connect to Meydenbauer Bay.

2. The proposal complies with the applicable requirements of this Code.

As conditioned, the proposal complies with applicable requirements of the Land Use Code and Bellevue City Code with exception of the items detailed below. Additionally, see Section III.A above for further Code discussion.

- More information was required regarding the parking lot layout and operable loading dock. The applicant will need to provide this information prior to Certificate of Occupancy. See Section X.D for related condition.
- More information was requested regarding building and site lighting. The applicant will need to provide more information regarding actual cut sheets for fixtures for the building and site use. See Section X.C for related condition.
- More information was requested regarding exhaust noise. The applicant has hired an acoustical engineer who is drafting a report. Review and approval of such report shall occur prior to building permit issuance to ensure proper dba of the proposed equipment. See Section X.C for related condition.
- More information is necessary regarding proposed ventilation and air vents as they have not been finalized for this project. See Section X.C for related condition.
- The applicant was requested to provide general information on where project signage will be portrayed per building elevation. See Sections X.C and E for related condition.
- Encroachment from balconies, cornice and marquees over the property line were noted with a subsequent submittal. The metal accent cornice will project 3'-6" over the sidewalk while the Juliette balconies will encroach by 18 inches, and small planter boxes 10 inches. The applicant was required by the Transportation Department to obtain a Right-of-Way Use permit for lease of air rights. This requires City Council approval under a separate process from this application. Final review and approval will be determined by Council and is not appealable. Additionally, the Director of Land Use must also approve such encroachment per LUC 20.25A.020, subnote 15. This was discussed with the Director who has determined that such encroachment is acceptable. However, if approval is denied by Council, the applicant must revise the north elevation to maintain architectural integrity.

3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

See Section III.C.2 of this report for discussion relating to how the applicable design guidelines and criteria are met. Additionally, see Section III.C.2, Downtown Old Bellevue and Perimeter design criteria.

4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

The project is designed to respond to existing site conditions and existing surrounding development. The proposal provides residents with many amenities on the roof deck, i.e., fire place, outdoor seating, pet relief area, and vegetation. Internal work spaces along with a small gym facility will be provided for resident use. Finally, the street trees proposed will be consistent with the type, pattern and size required by the Land Use Code. However, a condition of

approval is necessary to ensure that required landscaping is installed correctly along with a maintenance assurance device. See Section X.D for related condition.

5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

All required public services and facilities are available to the site. The applicant has received an email from Allied dated October 15, 2007, stating that they see no service issues for this project. The owner will provide for the return of receptacles and trash not removed from the property back into the building the day of pick-up. See Section X.C for related condition.

IX. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE WITH CONDITIONS** the subject proposal.

X. CONDITIONS OF APPROVAL

The following conditions are imposed under the authority referenced:

A. GENERAL CONDITIONS

1. Compliance with Bellevue City Codes and Ordinances: The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Clearing and Grading Code - BCC 23.76	Savina Uzunow	425/452-7860
Bellevue Development Standards	"	
Transportation Code - BCC 14.60	Carl Wilson	425/452-4228
Trans. Improvement Program - BCC.22.16	"	
Right-of-Way Use Permit - BCC 14.30	Jon Regalia	425/425-4599
Bellevue Utilities Code - BCC Title 24	Brad Ayers	425/452-6054
Construction Codes - BCC Title 23	Sheri Crawford	425/452-2843
Land Use Code - BCC Title 20	Antoinette Pratt	425/452-5374
Sign Code - BCC Title 22B	"	
Noise Control - BCC 9.18	"	
Uniform Fire Code - BCC 23.11	Adrian Jones	425/452-6032

2. Conceptual Approval: Utility Department approval of the design review application (07-143899 LD) is based on the conceptual design only. Changes to the site layout may be required to accommodate the utilities after utility engineering is approved.

Authority: BCC Title 24.02, 24.04, 24.06
Reviewer: Brad Ayers

3. City Code and Standards: The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards.

All design review, plan approval, and field inspection shall be performed under the Utility Developer Extension Agreements.

Authority: BCC Title 24.02, 24.04, 24.06
Reviewer: Brad Ayers

4. **Construction Hours:** Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Construction noise is prohibited on all Sundays and WA state holidays. Posting of construction hours is required. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY ONLY be granted pursuant to 9.18.020C.1&2. Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction. In order to minimize detriment on residential uses in the immediate vicinity of the project, the Contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. To vary construction noise hours, the applicant shall apply for a noise permit that must be submitted two weeks prior to the scheduled onset of extended hour construction activity. Such requests may be required to include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

Authority: BCC 9.18.040
Reviewer: Antoinette Pratt

5. **Holiday Construction and Traffic Restrictions:** Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

Authority: BCC 14.30.060
Reviewer: Jon Regalia

6. **Provisions for Loading:** The property owner shall provide an off-street loading space which can access a public street. After construction is complete, on-street loading and unloading will not be permitted, except for vehicles which can legally use available on-street parking spaces.

Authority: LUC 20.20.590.K.4
Reviewer: Carl Wilson

- B. **The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements and to mitigate adverse environmental impacts not addressed through applicable Code provisions. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:**

1. **Right-of-Way-Use Permit:** Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.
- i) Sufficient off-street parking for construction workers.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

Authority: BCC 11.70 & 14.30
Reviewer: Jon Regalia

2. **Civil Engineering Plans - Transportation:** Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Specific requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings, if any.
- b) Curb, gutter, sidewalk, and driveway approach design. (The final engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) Handicapped ramps, crosswalk revisions, and crosswalk equipment such as pushbuttons and pedestrian signal heads.
- d) Installation or relocation of streetlights and related equipment.
- e) Sight distance. (Show the required sight triangles and include any sight obstructions, including those off-site.)
- f) Location of fixed objects in the sidewalk or near the driveway approach.
- g) Trench and pavement restoration within any right of way or access easement.

Authority: BCC 14.60; Transportation Department Design Manual
Reviewer: Carl Wilson

C. The following conditions are required by City Code. These conditions must be complied with prior to Building Permit Issuance:

- 1. Transportation Impact Fee:** Payment of the transportation impact fee will be required at the time of building permit issuance for the primary structure. The net impact fee is estimated to be \$2433.64, with credit for removal of the existing miscellaneous retail square footage. Even though the calculated net change in the number of PM peak hour trips is negative, the relative difference in average trip length for different trip types yields a positive impact fee. This fee is subject to change, and the fee schedule in effect at the time of building permit issuance will apply.

Authority: BCC 22.16
Reviewer: Carl Wilson

- 2. Building and Site Plan – Transportation:** The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings or signs and driveway design as specified in the engineering plans. Any gate across the driveway or parking ticket station in the driveway must be located so that stopped vehicles do not block the sidewalk. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

Authority: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 200, 210, 240, 241
Reviewer: Carl Wilson

- 3. Existing Utility Easements:** The developer shall identify existing utility easements on the site. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

Authority: BCC 14.60.100
Reviewer: Jon Regalia

- 4. Lease of Air Space, City Council Approval:** Building fixtures that the developer has proposed to extend over the existing city right of way on NE 1st Street will not be allowed unless the developer obtains a long-term lease of air space to accommodate such fixtures, prior to issuance of any building permit for this development. City Council approval is required for any long-term lease. If such approval is not obtained, then the building design must be revised prior to building permit issuance to eliminate any use of the city's air space while maintaining the architectural integrity of the north elevation. Granting a lease of city property rights, including air space, requires compensation for fair market value from the lessee. Some or all of such compensation may be provided by the property owner allowing the city use of and access to part of the building structure

to mount a city traffic camera. Details of the proposed air space lease and any rights granted to the city in exchange will be established via a separate legal document.

Authority: BCC 14.30, 14.60.100, LUC 20.25A.090.E.3 and 4
Reviewer: Carl Wilson and Antoinette Pratt

5. **Sidewalk/Utility Easements:** The applicant shall provide sidewalk and utility easements to the City, using a city-approved form, such that the required width of public sidewalks outside of the City right of way along the property frontages is located within a sidewalk/utility easement area.

Authority: BCC 14.60.100
Reviewer: Carl Wilson

6. **General Signage Information:** General signage information noted on the building will be required prior to building permit issuance.

Authority: LUC 20.25A.110, LUC 20.30F, BCC 22B
Reviewer: Antoinette Pratt

7. **Solid Waste/Recycling:** The owner shall provide for the return of receptacles and trash not removed from the property back into the building the day of pick-up; all rights of way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items. Additionally, the applicant must show approval of area by Rabanco.

Authority: LUC 20.20.720
Reviewer: Antoinette Pratt

8. **Garage Exhaust Noise:** The garage exhaust fans can create noise levels at the public sidewalk which exceed that allowed by the Bellevue City Code. This decision is conditioned to require certification by the project noise consultant that the garage exhaust fan noise will not exceed 60 dBA prior to the issuance of any mechanical permits.

Authority: BCC 9.18.030
Reviewer: Antoinette Pratt

9. **Residential Noise Levels:** Residential noise levels shall not exceed the standard below:

a. Noise Levels: Noise levels shall not to exceed 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. The applicant shall measure the noise levels in a random sample of the rooms and submit the findings to the City. If the maximum threshold is exceeded, additional noise mitigation will be required to meet the threshold prior to the issuance of any Occupancy Permit.

Authority: BCC 9.18
Reviewer: Antoinette Pratt

b. Garage Exhaust: The applicant shall provide certification from the mechanical engineer that the air flow from the garage exhaust fans will not exceed 60 dBA.

Authority: BCC 9.18.030
Reviewer: Antoinette Pratt

10. **Exterior and Retail Lighting:** The applicant shall submit a detailed design for all building exterior lighting. Lighting shall be contained to this site and not be permitted to spillover to adjacent sites. In addition to this, information on retail lighting along the pedestrian oriented frontage (102nd Avenue NE) shall be supplied as well to determine appropriate use for façade.

Authority: LUC 20.20.522, LUC 20.25A.110.5.a
Reviewer: Antoinette Pratt

11. **Fire and Life Safety:** The following fire and life safety conditions must be addressed on the plans submitted with the building permit application. Authority is provided for each:
- a. Provide life safety systems to include fire alarm, automatic fire sprinklers, emergency voice/alarm communication systems, fire communications system, standpipes, smoke control and shaft pressurization systems, building radio coverage system. (Various chapters IBC)
 - b. Provide Standby and Emergency power systems and fuel systems in accordance with the requirements of the IBC/IFC, in particular COB Amended IFC 604, chapters 27 & 34.
 - c. Provide a communication amplification (Building radio coverage) system in accordance with COB Amended IFC 511.
 - d. A minimum of two fire pumps independently driven shall be provided and sized for the sprinkler demand and for standpipe operations. At least one fire pump shall be piped to the standpipe side of an isolation valve. The fire pump room can only contain the fire pumps and related equipment. (IFC 903)
 - e. Two separate water supplies are required for the sprinkler/standpipe system in accordance with COB Amended IFC 903.3.5.2.
 - f. Standpipe systems shall be provided in accordance with Amended IFC 905 and Chapter 7 of the BFDDS. The design of the standpipes shall meet two design points: 1) Provide 750 gpm at a minimum residual pressure of 100 psi and 2) Provide 300gpm at 175psi at the outlet of the hydraulically most remote hose connection. COB Amended 905.3.8 and Chapter 7 of BFDDS.
 - g. Fire Alarm systems shall be provided in accordance with IFC 907, Chapter 8 of the BFDDS, and NFPA 72 - 2007 edition.
 - h. The Bellevue will require one Fire Command Center (FCC) with direct exterior exit at an approved location near core stairwells.
 - i. A smoke control system that complies with IBC 909 and the BFDDS shall be provided.

- j. Before the parking garage can be used for storage, vehicular parking or construction shacks the permanent automatic sprinklers, fire alarms, emergency lighting and exit lighting shall be installed. The Fire Marshal may allow temporary water supplies or other protection systems but specific prior approval is required. (IFC 903)
- k. Remote fuel station must be located a minimum of 5' from any building opening. (IFC 3404.2.7.5)
- l. Existing Landscape plans shall be modified in the area of the remote fuel station to show the area clear and unobstructed. (IFC 903)
- m. Before any floor of the building can be occupied for use the following shall be completed (IFC 903):
 - i. Permanent automatic sprinkler protection shall be installed on the occupied floor and all floors below.
 - ii. The permanent fire alarm system shall be installed on the occupied floor and all floors below.
 - iii. The elevator recall system shall be installed on all floors
 - iv. The emergency generator shall be in service.
 - v. The smoke control system shall be complete and functional
 - vi. An approved evacuation and life safety plan shall be in place
 - vii. Other requirements may be imposed by the fire department as needed to insure life safety.

12. **Mechanical Equipment/Ventilation:** The current maximum mechanical roof height is 114 feet. No changes shall be permitted to the shown roof details for this project without consent of staff during building permit review. Additional height is based on the details provided herein. Modification of the building design may place the additional height gained at risk for reduction to normal maximum building height of 105 feet (includes mechanical). Additionally, all venting shall be designed so that it does not detract from the architectural integrity of the building for staff review prior to building permit issuance.

Authority: LUC 20.20.525
Reviewer: Antoinette Pratt

- D. **The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):**

1. **Parking Lot Striping/Operable Loading Bay:** All parking stalls shall be striped and the loading bay shall be operable prior to Temporary Certificate of Occupancy.

Authority: LUC 20.20.590.K
Reviewer: Antoinette Pratt

2. **Bonus System Recording:** The applicant shall record a copy of the approved bonus point calculations, a statement that 100% of the project frontage shall remain pedestrian-oriented retail, and the project drawings & conditions of this Design Review with the King County Records office.

Authority: LUC 20.25A.020.D.3
Reviewer: Antoinette Pratt

3. **Landscape Installation Assurance Device:** If a Temporary Certificate of Occupancy is requested prior to completion of the landscaping installation the applicant shall file with PCD a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed.

Authority: LUC 20.40.490
Reviewer: Antoinette Pratt

4. **Landscape Maintenance Device:** The applicant shall file with the Department of Planning & Community Development a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

Authority: LUC 20.40.490
Reviewer: Antoinette Pratt

5. **Street Frontage Improvements:** All street frontage improvements and other required transportation elements, including landscaping and streetlight and traffic signal revisions, must be constructed by the applicant and accepted by the City Inspector. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. Bonding or other types of assurance devices will not be accepted in lieu of construction. Specific requirements include the following:

- a) Curb, gutter, sidewalk, ramps, crosswalks, and driveway approaches shall be constructed per the approved engineering plans. ADA compliance must be achieved. Any non-standard materials or features in the public sidewalk must be acceptable to the City.
- b) Driveway approaches shall not exceed a slope of 7% for a distance of 30 feet behind the sidewalk on either street. Any grade changes in the driveways must be designed to prevent vehicles from bottoming out. Any gate or parking ticket station in the driveway shall be located so that stopped vehicles do not block the sidewalk.
- c) Traffic signs and markings, if any, shall be installed per the approved engineering plans, with possible modifications per Transportation Department inspectors.
- d) Vehicle and pedestrian sight triangles shall be achieved per BCC 14.60.240 and 14.60.241, including consideration of all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

- e) Streetlights, pedestrian signals, and related equipment shall be installed per the approved streetlight and signal plan and specifications. ADA compliance must be achieved.
- f) Location of fixed objects within any right of way or near the driveway approaches shall meet Transportation Department standards per the Transportation Department Design Manual and as described elsewhere in this Design Review Staff Report.
- g) Landscaping and irrigation within any city right of way or sidewalk easement shall be installed per the approved landscaping plans.

Authority: BCC 14.60.060, 100, 110, 120, 150, 181, 190, 200, 210, 240, 241; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings.

Reviewer: Carl Wilson

6. Trench and Pavement Restoration: Pavement and trench restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

- a) NE 1st Street: This street requires standard trench restoration, per the Transportation Design Manual.
- b) 102nd Avenue NE: Based on this street's excellent condition, it is classified in the City's overlay program as "Overlay Required". Street cutting is permitted only with a grind and overlay at least 50 feet long for the full width of any affected lane.

Pavement conditions change over time. The exact extent of pavement restoration will be specified in the right-of-way permit for this project, based on field conditions at the time of construction.

Authority: BCC 14.60. 250; Design Manual Design Standard #21
Reviewer: Jon Regalia

E. PRIOR TO ISSUANCE OF SIGN PERMITS

1. Signs: All signage shall be pedestrian oriented. A comprehensive sign package shall be submitted to DSD for review and approval prior to issuance of any sign permits. The sign package plans, elevations, and other sketches shall include but are not limited to:

- A. Location
- B. Lighting
- C. Color Palette
- D. Material
- E. Design (No cabinet and freestanding signs are permitted)

Signage shall be the minimum size necessary to convey information and shall be architecturally compatible and integrated with the building. See Sign Code limitations or other design criteria. Design review of individual signs and compliance with the approved sign package will occur through review of each sign permit application.

Essex on the Park
07-143899 LD
Page 43 of 44

Authority: LUC 20.25A.110, LUC 20.30F, BCC 22B.10.025.B.4
Reviewer: Antoinette Pratt

ATTACHMENTS

A. Project Plans and Drawing

ATTACHMENT A
(Plans and Drawings)



2. Dimensional Requirements
 As conditioned, all applicable dimensional requirements of the Land Use Code would be met. Refer to the following tables for further information.
 (Note to planner: Insert the table header row whenever the table carries over to the next page.)

Item	Permitted/Required	Proposed	Comments/Conditions
Project Limit	No minimum	15,483 SF	
Building Height	90 FT	99 FT	Max. Height + 10% (P)
Floor Area Ratio (FAR)	2.0 Base / 5.0 Max	5	
Total Gross Square Feet (GSF)	---	78,200 GSF (BUILDING) 37,800 GSF (GARAGE)	
Exempt Retail/Ped-Oriented Frontage Floor Area	Maximum 1.0 FAR	20,533 SF (1.33 FAR)	102'-8" LF x 200'
GSF for FAR	77,415 GSF	77,415 GSF	Exempt retail not included
Floor Plate Option Used (only for non-residential project)	N/A	N/A	Residential project
Floor Area per Floor Above 40 Feet	20,000 GSF / Floor	8,637 GSF / Floor	Levels 5-7

B. Special District Requirements
1. FAR Amenity System Requirements
 (Note to planner: If this project site lies within the Civic Center, DNTN-Old Bellevue, Perimeter, and/or DNTN Core Design Districts, describe how the proposal complies with those additional requirements here. When this is the case, this sub-section B.B.1 "FAR Amenity System Requirements" would become B.B.2, and B.B.2 "Design Review Criteria" will become B.B.3.)
 Subject to LUC 20.25A.020C.2, the amount of bonus floor area in square feet generated by the amenities provided to meet the Basic Floor Area Ratio (FAR) requirement must at a minimum be equal to 20% of the Project Limit area times the Basic FAR permitted for a non-residential building in the land use district. The Basic FAR requirement in square feet = 0.20 X the Project Limit area X the Basic Non-residential FAR (0.20 X 15,483 X 0.5 = 1,548.3 SF).
 The amount of "Basic" FAR Amenity Earned (21,705 SF), calculated below, exceeds the minimum required 1,548.3 SF.

Table 1: Bonus Amenity Area Earned

Project Gross Floor Area (GFA)	77,415 SF
Basic Permitted Floor Area (Basic FAR X Project Limit)	30,966 SF (2.0 X 15,483 SF)
Additional Floor Area Requested (Project GFA - Basic Permitted Floor Area)	46,449 SF (77,415 - 30,966)
"Basic" FAR Amenity Earned	21,500 SF (Refer to Table 2 below)
Remaining ("Bonus") FAR Amenity to Earn (Project GFA - Basic Permitted Floor Area - "Basic" FAR Amenity Earned)	24,949 SF (77,415 - 30,966 - 21,500)
Total FAR Amenity Earned	97,411 SF (Refer to Table 2 below)
Excess FAR Amenity Earned (Total FAR Amenity Earned - Basic FAR Amenity Earned - Bonus FAR Amenity to Earn)	50,962 SF (97,411 - 21,500 - 24,949)

Table 2: Bonus Amenities

Amenity	Units of Measure	Bonus Ratio	Bonus Floor Area Earned	How it Meets the Description and Design Criteria? Public Benefit?
Pedestrian Oriented Frontage	SF	200:1	20,533 SF	Retail along N and E pedestrian frontage
Marquee	SF	2:1	772 SF	On East Elevation
Awning	SF	2:1	294 SF	Entry Awning
Sub-Total Basic			21,599 SF	
Underground Parking	SF	2:1	75,812 SF	Net parking for Residential and Retail
Sub-Total Bonus			75,812 SF	
Combined Total			97,411 SF	

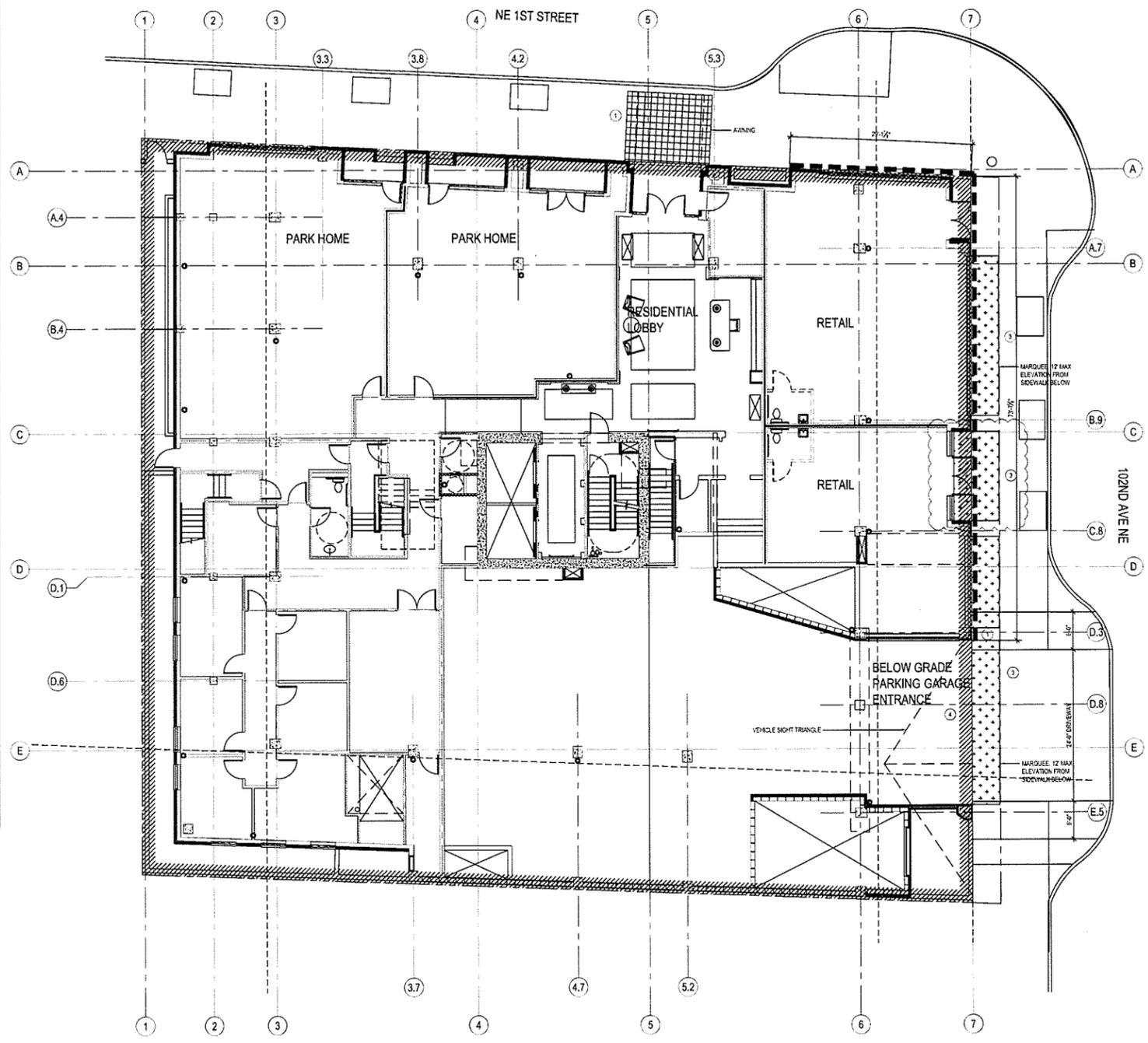
This project provides more than the amount of total amenity required for the floor area proposed. As summarized in Table 1 above, the project is required to provide a minimum of 1,548.3 square feet of amenity. The project provides 97,411 SF, well in excess of the amount required.
 Subject to LUC 20.25A.030 D, the total amount of bonus floor area earned through the Amenity Incentive System for a project, and the total amount of bonus floor area to be utilized on site for that project must be recorded with the King County Division of Records and Elections and with the Bellevue City Clerk. Therefore, a caption has been added to Section X of this report to require that the applicant record a copy of the approved bonus point calculations, project drawings and conditions of this Design Review.
 (Note to planner: Provide a clean break by starting the next section on the next page.)

Floor Area per Floor Above 80 Feet	12,000 GSF / Floor	8,000 GSF / Floor	Levels 5-8
Setbacks (Front)	0 FT	0 FT	
Sides	0 FT on West 15 FT on East	0 FT on West 15 FT on East	Per LUC 20.25A.060.D.5.v
Rear	0 FT	0 FT	
Stepbacks			
Upper Level Stepback in Core Design District	N/A	N/A	Not located in the Core Design District
Upper Level Stepback in Perimeter Design District	20 FT	20 FT	LUC 20.25A.020, note 25
Sidewalk Width	12'-8"	12'-8"	8' Sidewalk + 4' Planting Strip + 8' Curb
Street Tree/Species & Caliper	3", except 4" on Main Street, 100' Avenue, 12" Street in Perimeter District	Raywood Ash (FOR) and Skyline Honey Locust (OTIS) / 2"	
Mid-Block Walkways	Not Required	None	RE: LUC 20.25A.030.C.4.a
Special Intersections at Gateway			UD policy 43
Gateway Intersection			UD policy 44

(Note to Planner: At this point, the table can be expanded as applicable to summarize additional requirements for projects within the Civic Center, DNTN-Old Bellevue, Perimeter, and/or DNTN Core Design Districts. Expanded discussion will occur below in section B.B.2 - Special District Requirements.)

Parking and Loading

Item	Required	Proposed	Comments/Conditions
Parking	Minimum and Maximum Permitted Ratios	Proposed Parking Stalls	LLUC 20.25A.050
Residential Units (number of units)	1.0 / Unit Max	32 Min (84 Max)	Based on 32 Units
Office (net square feet)	N/A	N/A	
Retail (net square feet)	2 / 1000 SF Min 0.0 / 1000 SF Max	0 Min 12 Max	Discretionary approval per pre-application conference letter dated 8/20/07
Restaurant (net square feet)	N/A	N/A	
Hotel (number of rooms)	N/A	N/A	
Meeting room (net square feet)	N/A	N/A	
Restaurant/Lounge (net square feet)	N/A	N/A	
Retail (net square feet)	N/A	N/A	
Other (net square feet)	N/A	N/A	
Other (specify)	N/A	N/A	
Total	Required/Permitted	Proposed (97%)	
Compact Stalls	43 Max	32 (40%)	Based on 65% Max
Loading Area	10' x 55' Adjacent to Arterial + 47' for maneuvering clearance	Proposed location on AZ 03 - Level P1	



AMENITIES FOR BASIC FAR REQUIREMENT

ITEM #	CATEGORY	DESCRIPTION/CALCULATION	AREA
1		PEDESTRIAN ORIENTED FRONTAGE 102'-8" LF X 200' = 20,533 SF	20,533 SF
2		AWNING (FABRIC) 147 SF X 2 = 294 SF	294 SF
3		MARQUEE 388 SF X 2 = 772 SF	772 SF
BASIC AMENITIES PROVIDED =			21,599 SF
BASIC AMENITIES REQUIRED =			1,548.3 SF

BONUS AMENITIES

ITEM #	CATEGORY	DESCRIPTION/CALCULATION	AREA
4		UNDERGROUND PARKING LEVEL P01 = 14,792 SF LEVEL P02 = 14,792 SF LEVEL P03 = 8,325 SF (TOTAL = 37,809 SF)	37,809 SF
BONUS AMENITIES TOTAL =			75,812 SF

FAR CALCULATIONS

SITE AREA = 15,483 SF	(0.2) X (15,483 SF) X (0.5) = 1,548.3 SF REQUIRED
BASIC PERMITTED FAR = 2.0	(2.0) X (15,483 SF) = 30,966 SF
ALLOWABLE MAXIMUM FAR = 5.0	(5.0) X (15,483 SF) = 77,415 SF
ADDITIONAL FLOOR AREA REQUESTED (PROJECT GFA - BASIC PERMITTED FLOOR AREA)	77,415 SF - 30,966 SF = 46,449 SF
BASIC FAR AMENITY EARNED	21,599 SF
REMAINING ("BONUS") FAR AMENITY TO EARN (PROJECT GFA - BASIC PERMITTED FLOOR AREA - "BASIC" FAR AMENITY EARNED)	77,415 SF - 30,966 SF - 21,599 SF = 24,850 SF
TOTAL FAR AMENITY EARNED	97,411 SF
EXCESS FAR AMENITY EARNED (TOTAL FAR AMENITY EARNED - BASIC FAR AMENITY EARNED - BONUS FAR AMENITY TO EARN)	97,411 SF - 21,599 SF - 24,850 SF = 50,962 SF

FAR SUMMARY

LEVEL 1 =	7,420 SF
LEVEL 2 =	10,264 SF
LEVEL 3 =	10,264 SF
LEVEL 4 =	8,437 SF
LEVEL 5 =	8,437 SF
LEVEL 6 =	8,437 SF
LEVEL 7 =	8,437 SF
LEVEL 8 =	8,088 SF
LEVEL 9 =	8,088 SF
FAR TOTAL =	77,415 SF

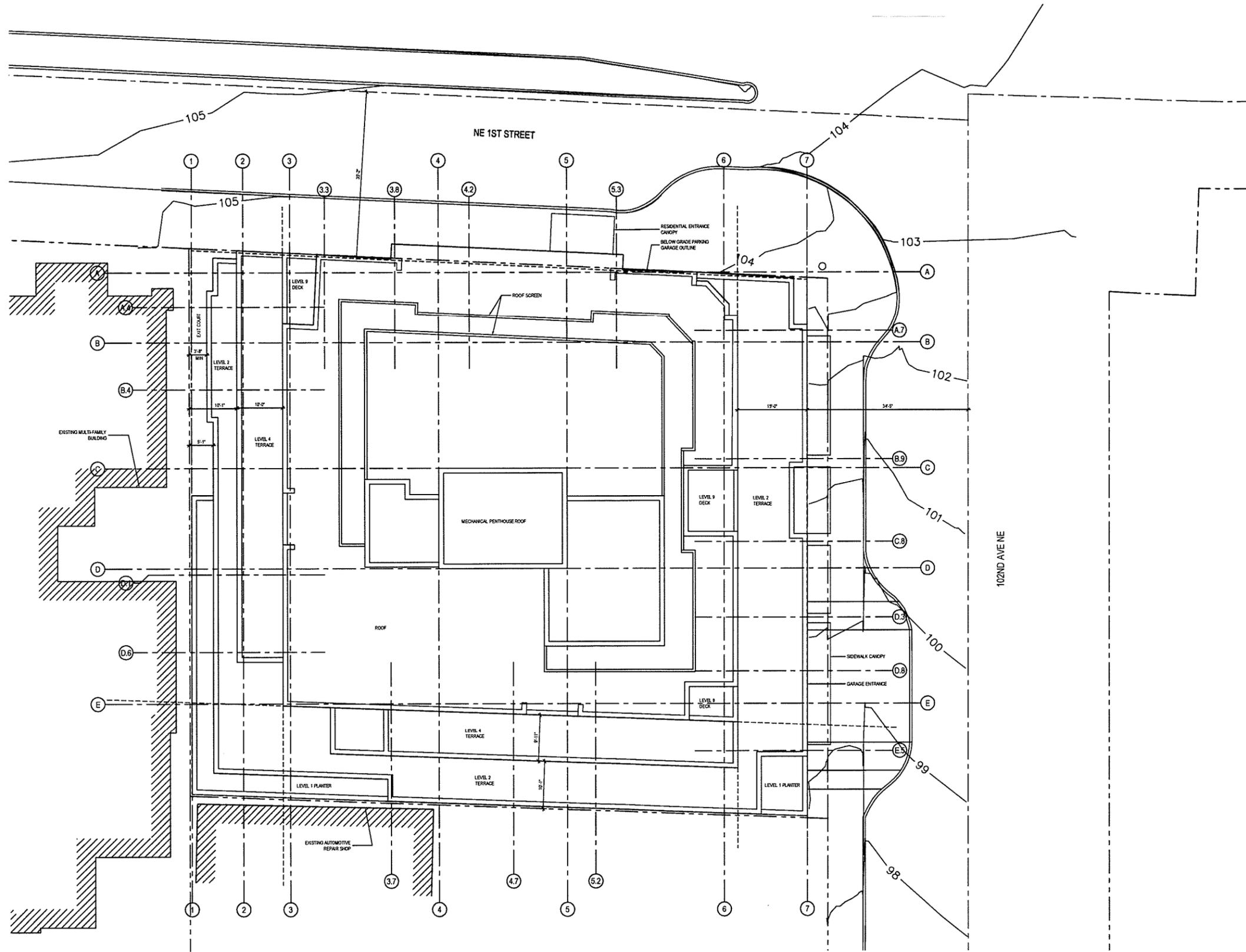
REVISIONS:

1	10/14/07	DR SUBMITTAL
2	05/22/08	DR RESUBMITTAL
3	07/11/08	DR RESUBMITTAL
4	09/13/08	DR RESUBMITTAL
5	09/25/08	DR RESUBMITTAL
6	10/09/08	DR RESUBMITTAL
7	10/22/08	DR RESUBMITTAL

DR Resubmittal

DATE: October 22, 2008
 JOB NUMBER: 2717
 COB/LAND USE NUMBER: 07-143899.D
 COB PHASE 1 PERMIT: 07-144159-08
 DRAWING: 46
 APPROVAL: JR

Amenity Plan & Chart
A0.01



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 206.923.8373

OWNER
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ESSEX ON THE PARK
 25 102ND AVE NE
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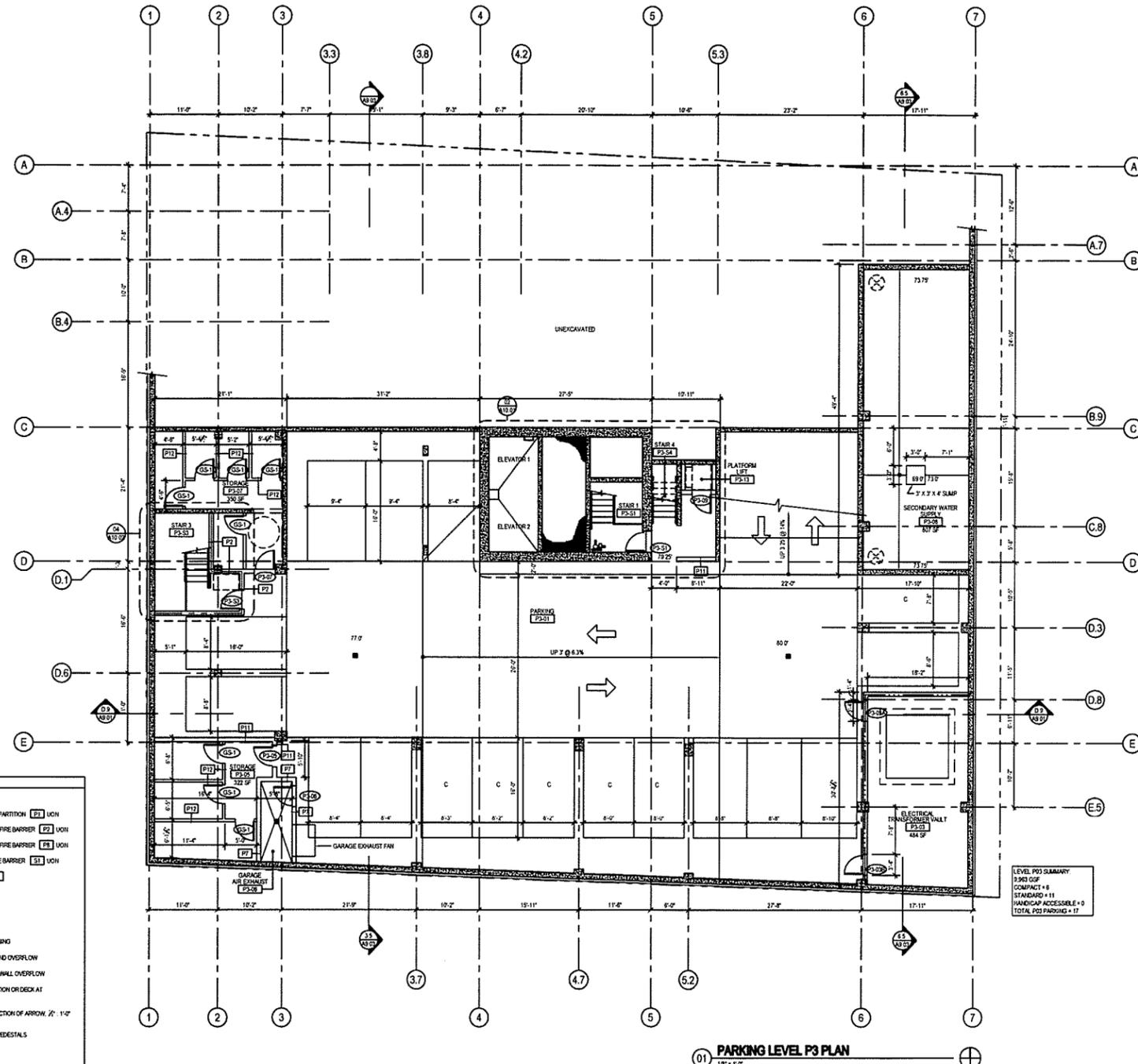
REVISIONS:

NO.	DESCRIPTION	DATE

DR Resubmittal

DATE: September 25, 2008
 JOB NUMBER: 27017
 CDD LAND USE NUMBER: 07-14359(LD)
 CDD PHASE: 1 PERMIT: 07-14169-00
 DRAWING:
 APPROVAL:

Site Plan
A1.01



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

- 1 HOUR CONSTRUCTION PARTITION [P1] UOH
- 2 HOUR CONSTRUCTION FIRE BARRIER [P2] UOH
- 3 HOUR CONSTRUCTION FIRE BARRIER [P3] UOH
- 2 HOUR SHAFT WALL FIRE BARRIER [S1] UOH
- UNMARKED FLOORING [F1]
- CONCRETE
- FIRE EXTINGUISHER
- SITE PROPERTY LINE
- FLOOR DRAIN, SEE PLUMBING
- INTERNAL ROOF DRAIN AND OVERFLOW
- TERRACE DRAIN & THRU-WALL OVERFLOW
- LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
- SLOPE TO DRAIN IN DIRECTION OF ARROW, 2" = 1'-0"
- CONCRETE PAVERS ON PEDESTALS
- MECHANICAL SHAFT
- SCURPER WITH OVERFLOW TO DOWNSPOUT
- DOWNSPOUT
- STAIRSTEP

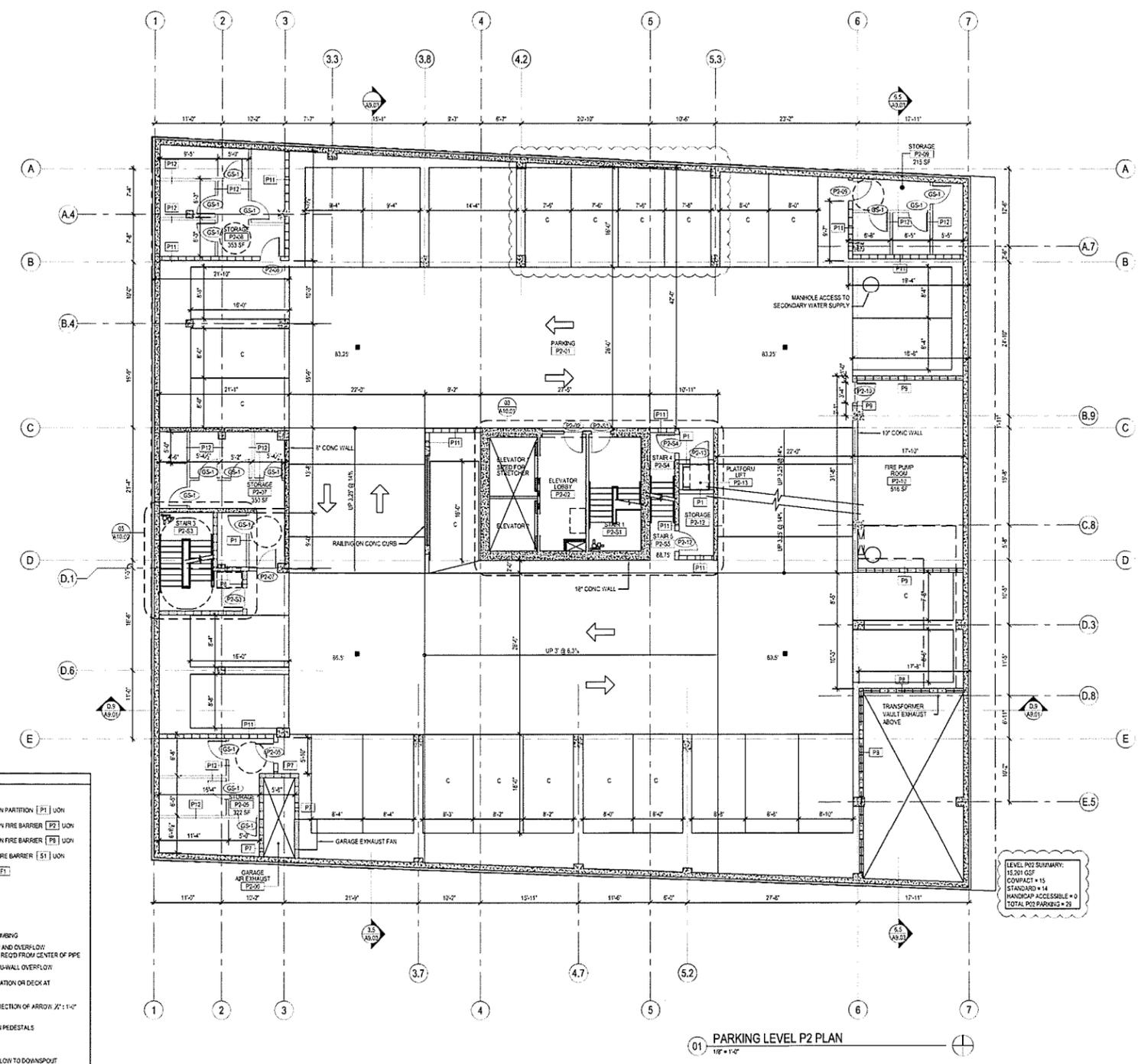
01 PARKING LEVEL P3 PLAN
1/8" = 1'-0"

FOR REFERENCE ONLY
ESSEX ON THE PARK
 735 102ND AVE NE
 BELLEVUE, WA 98004

REVISIONS

DR Resubmittal

DATE: September 25, 2008
 JOB NUMBER: 23117
 CDR LAND USE NUMBER: 07-14339ALD
 CDR PHASE 1 PERMIT: 07-14110-00
 DRAWING: 00
 APPROVAL: [Signature]



MATERIALS AND EQUIPMENT LEGEND:

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION [P1] UON
	2 HOUR CONSTRUCTION FIRE BARRIER [P2] UON
	3 HOUR CONSTRUCTION FIRE BARRIER [P3] UON
	2 HOUR SHAFT WALL FIRE BARRIER [S1] UON
	UNMARKED FURRING [F1]
	CONCRETE
	FIRE EXTINGUISHER
	SITE PROPERTY LINE
	FLOOR DRAIN, SEE PLUMBING
	INTERNAL ROOF DRAIN AND OVERFLOW
	2\"/>
	TERRACE DRAIN & THRU-WALL OVERFLOW
	LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 1/4\"/>
	CONCRETE PAVERS ON PEDESTALS
	MECHANICAL SHAFT
	SCUPPER WITH OVERFLOW TO DOWNSPOUT
	DOWNSPOUT
	STANDPIPE

LEVEL P2 SUMMARY:
 14,001 GSF
 COURTSIDE = 15
 HANDICAP ACCESSIBLE = 0
 TOTAL P2 PARKING = 29

01 PARKING LEVEL P2 PLAN
 1/8\"/>

REVISIONS:

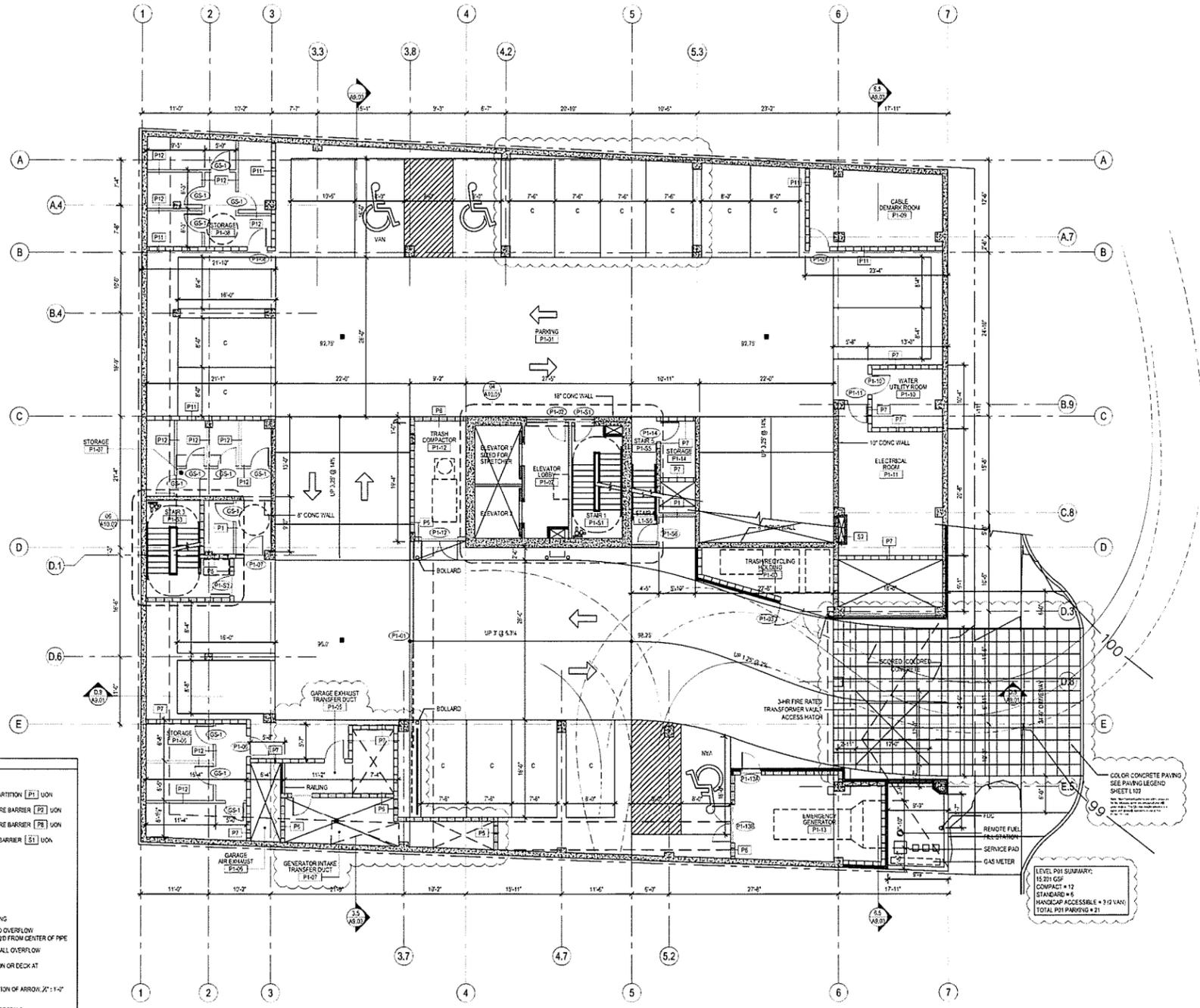
1	12/14/2017	DR SUBMITTAL
2	05/20/2018	DR RESUBMITTAL
3	07/11/2018	DR RESUBMITTAL
4	09/13/2018	DR RESUBMITTAL
5	09/25/2018	DR RESUBMITTAL
6	10/19/2018	DR RESUBMITTAL
7	10/22/2018	DR RESUBMITTAL

DR Resubmittal

DATE: October 22, 2018
 JOB NUMBER: 27017
 CDD LAND USE NUMBER: 07-143394D
 CDD PHASE: PERMIT: 07-144169D
 DRAWING: 01
 APPROVAL: JS

Parking Level P2
 Plan

A2.02



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION [P1] UON
	2 HOUR CONSTRUCTION FIRE BARRIER [P2] UON
	3 HOUR CONSTRUCTION FIRE BARRIER [P3] UON
	2 HOUR SHAFT WALL FIRE BARRIER [P4] UON
	UNMARKED FURRING [F1]
	CONCRETE
	FIRE EXTINGUISHER
	SITE PROPERTY LINE
	FLOOR DRAIN, SEE PLUMBING
	INTERNAL ROOF DRAIN AND OVERFLOW
	2\"/>
	TERRACE DRAIN & THRU-WALL OVERFLOW
	LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 1/4\"/>
	CONCRETE PAVERS ON PEDESTALS
	MECHANICAL SHAFT
	SCUPPER WITH OVERFLOW TO DOWNSPOUT
	DOWNSPOUT
	STANDPIPE

01 PARKING LEVEL P1 PLAN
1/8" = 1'-0"

REVISIONS:

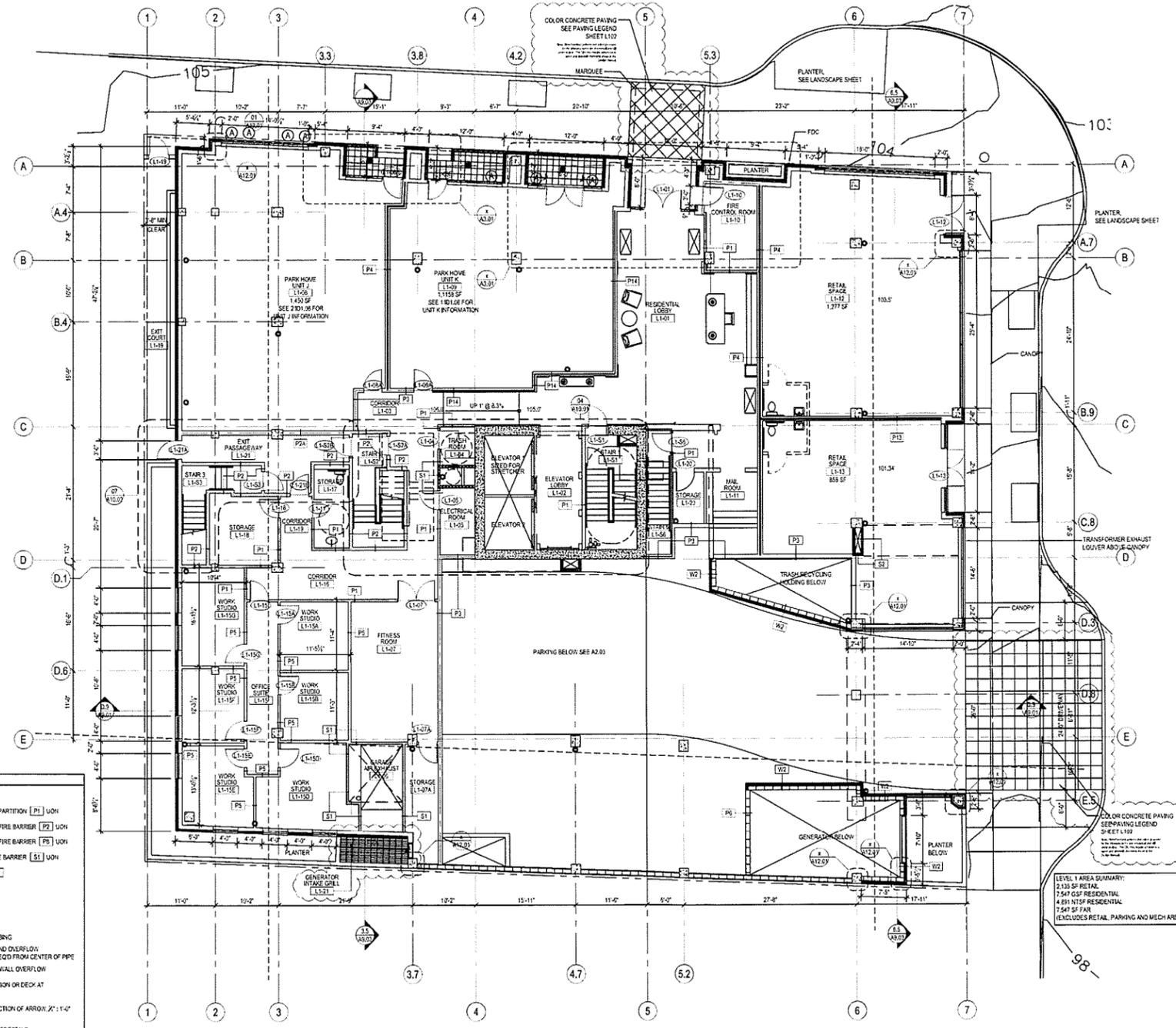
1	12/14/2007	DR SUBMITTAL
2	02/20/2008	DR RESUBMITTAL
3	07/11/2008	DR RESUBMITTAL
4	09/03/2008	DR RESUBMITTAL
5	09/25/2008	DR RESUBMITTAL
6	10/09/2008	DR RESUBMITTAL
7	12/22/2008	DR RESUBMITTAL

DR Resubmittal

DATE: October 22, 2008
JOB NUMBER: 27017
COS LAND USE NUMBER: 07-14310940
COS PHASE: 1 PERMIT: 07-14415469
DRAWING: 85
APPROVAL: 85

Parking Level P1 Plan

A2.03



MATERIALS AND EQUIPMENT LEGEND:
SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION [P1] UOH
	2 HOUR CONSTRUCTION FIRE BARRIER [P2] UOH
	3 HOUR CONSTRUCTION FIRE BARRIER [P3] UOH
	2 HOUR SHAFT FALL FIRE BARRIER [S1] UOH
	UNMARKED FURRING [F1]
	CONCRETE
	FIRE EXTINGUISHER
	SITE PROPERTY LINE
	FLOOR DRAIN, SEE PLUMBING
	INTERNAL ROOF DRAIN AND OVERFLOW
	7" DIA DRAIN, 6" CLEAR REQ'D FROM CENTER OF PIPE
	TERRACE DRAIN & THROUGH-WALL OVERFLOW
	LINE OF SLOPED INSULATION OR DECK AT ROSE OR VALLEY
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 1/4" = 1'-0"
	CONCRETE PAVERS ON PEDESTALS
	MECHANICAL SHAFT
	SCUPPER WITH OVERFLOW TO DOWNSPOUT
	DOWNSPOUT
	STANDPIPE

01 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

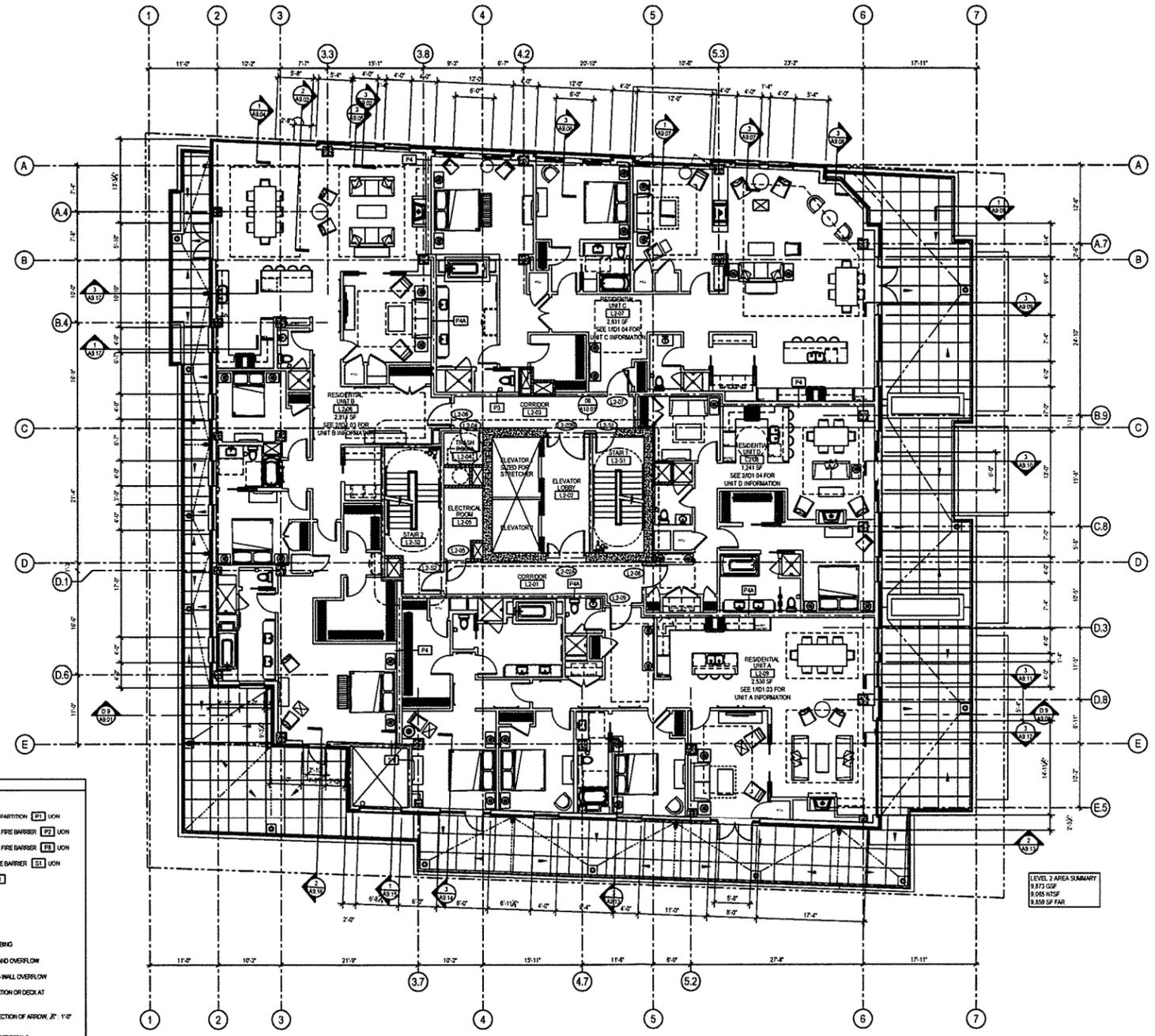
LEVEL 1 AREA SUMMARY:
2,135 SF RETAIL
7,547 GSF RESIDENTIAL
4,891 NTSF RESIDENTIAL
7,547 SF FAR
(ENCLOSES RETAIL, PARKING AND MECH AREAS)

REVISIONS:

1	10/20/2008	DR SUBMITTAL
2	10/20/2008	DR RESUBMITTAL
3	07/11/2008	DR RESUBMITTAL
4	09/03/2008	DR RESUBMITTAL
5	09/25/2008	DR RESUBMITTAL
6	10/20/2008	DR RESUBMITTAL
7	10/20/2008	DR RESUBMITTAL
8	10/22/2008	DR RESUBMITTAL

DR
Resubmittal

DATE: October 22, 2008
JOB NUMBER: 21017
COB LAND USE NUMBER: 07-144394AD
COB PHASE 1 PERMIT: 07-144159808
DRAWING: RS
APPROVAL: PS



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION [21] UON
	2 HOUR CONSTRUCTION FIRE BARRIER [22] UON
	3 HOUR CONSTRUCTION FIRE BARRIER [23] UON
	2 HOUR SHAWT WALL FIRE BARRIER [24] UON
	UNMARKED FINISHING [25]
	CONCRETE
	FIRE EXTINGUISHER
	SITE PROPERTY LINE
	FLOOR DRAIN, SEE PLUMBING
	INTERNAL ROOF DRAIN AND OVERFLOW
	TERRACE DRAIN & THRU-WALL OVERFLOW
	LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 1/4" = 1'-0"
	CONCRETE PAVERS ON PEDESTALS
	MECHANICAL SHAFT
	SCUPPER WITH OVERFLOW TO DOWNSPOUT
	DOWNSPOUT
	STAIRPIECE

01 LEVEL 2 FLOOR PLAN
1/8" = 1'-0"

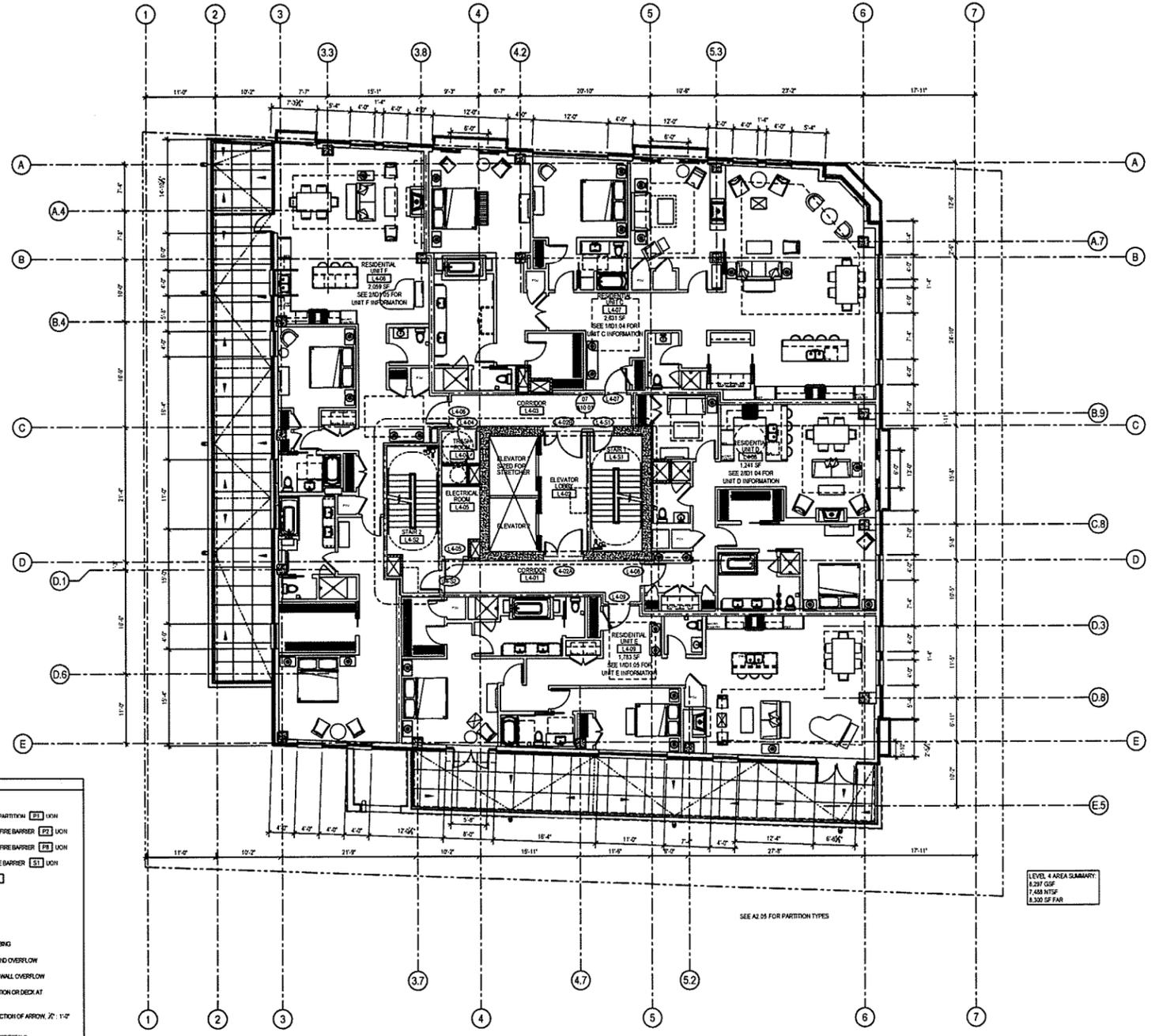
REVISIONS:

DR Resubmittal

DATE: September 23, 2008
JOB NUMBER: 27017
DOB LAND USE NUMBER: 07-143594-LD
DOB PHASE 1 PERMIT: 07-144154-SUB
DRAWING: ps
APPROVAL: js



ESSEX ON THE PARK
 25 102ND AVE NE
 BELLEVUE, WA 98004



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION [21] UON
	2 HOUR CONSTRUCTION FIRE BARRIER [22] UON
	3 HOUR CONSTRUCTION FIRE BARRIER [23] UON
	2 HOUR SHAFT WALL FIRE BARRIER [31] UON
	UNMARKED FLOORING [71]
	CONCRETE
	FIRE EXTINGUISHER
	SITE PROPERTY LINE
	FLOOR DRAIN, SEE PLUMBING
	INTERNAL ROOF DRAIN AND OVERFLOW
	TERRACE DRAIN & THRU-WALL OVERFLOW
	LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 2" : 1'-0"
	CONCRETE PAVERS ON PRECASTS
	MECHANICAL SHAFT
	SCUPPER WITH OVERFLOW TO DOWNSPOUT
	DOWNSPOUT
	STANDPIPE

01 LEVEL 4 FLOOR PLAN
 1/8" = 1'-0"

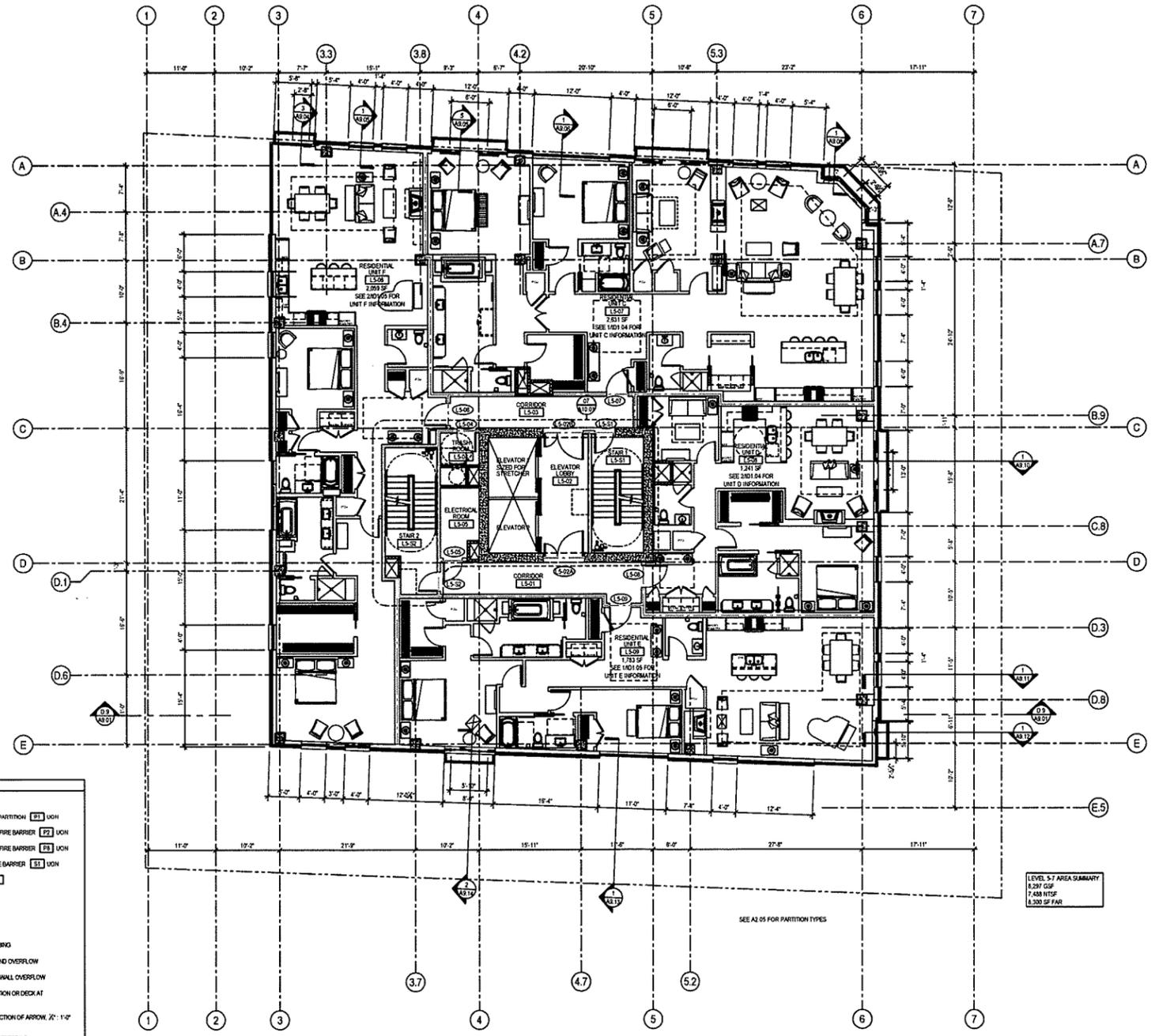
REVISIONS:

DR Resubmittal

DATE: September 25, 2008
 JOB NUMBER: 27917
 CDS LAND USE NUMBER: 07-142394-03
 CDS PHASE 1 PERMIT: 07-144159-03
 DRAWING: [initials]
 APPROVAL: [initials]

Level 4 Floor Plan
 A2.07

ESSEX ON THE PARK
25 102ND AVENUE
BELLEVUE, WA 98004



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION	01 UON
	2 HOUR CONSTRUCTION FIRE BARRIER	02 UON
	3 HOUR CONSTRUCTION FIRE BARRIER	03 UON
	2 HOUR SHAFT WALL FIRE BARRIER	04 UON
	UNMARKED FLOORING	05
	CONCRETE	
	FIRE EXTINGUISHER	
	SITE PROPERTY LINE	
	FLOOR DRAIN, SEE PLUMBING	
	INTERNAL ROOF DRAIN AND OVERFLOW	
	TERRACE DRAIN & THRU-WALL OVERFLOW	
	LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY	
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 2" : 1"	
	CONCRETE PAVERS ON PEDESTALS	
	MECHANICAL SHAFT	
	SCUPPER WITH OVERFLOW TO DOWNSPOUT	
	DOWNSPOUT	
	STANDPIPE	

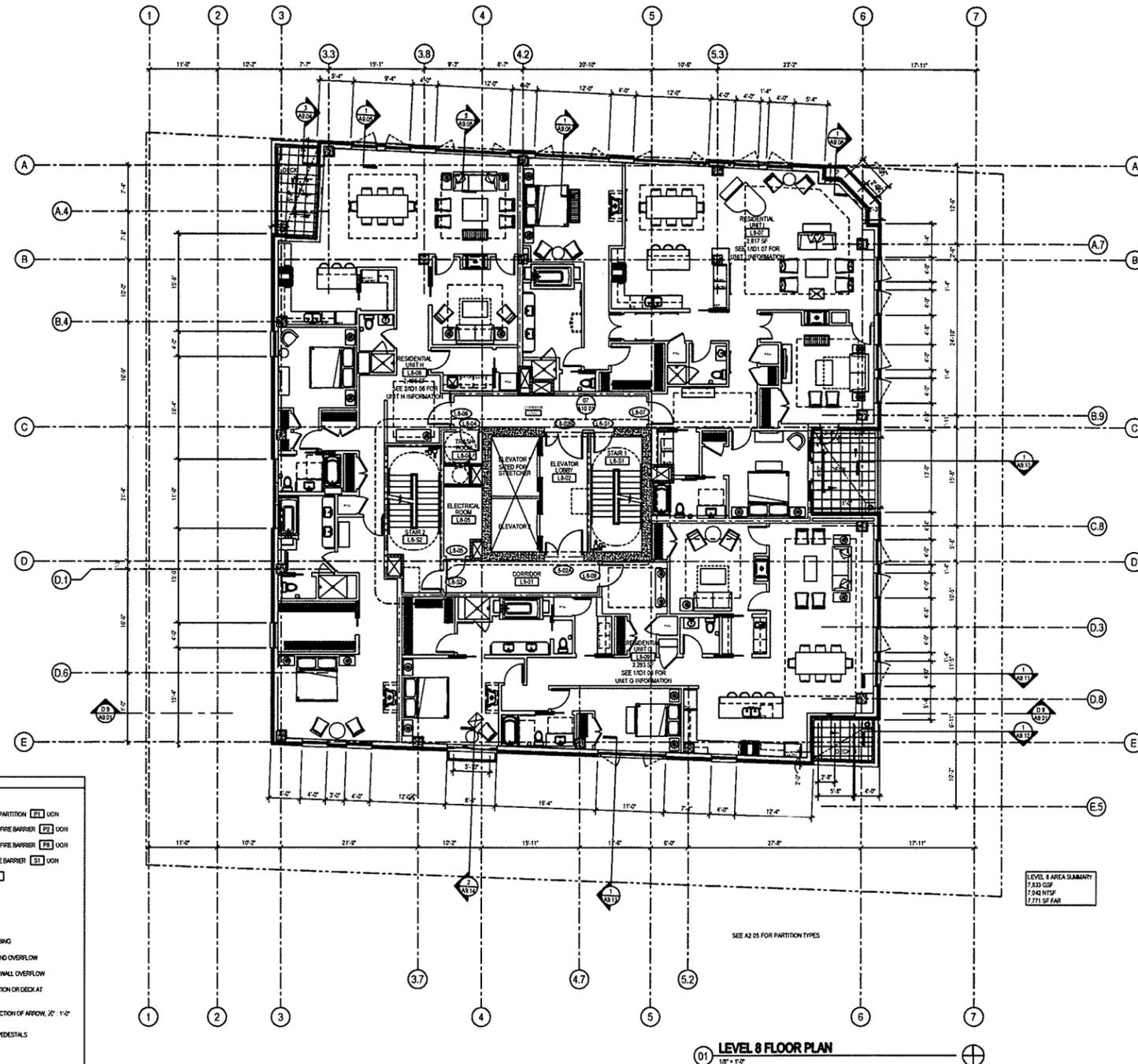
01 LEVEL 5-7 FLOOR PLAN
1/8" = 1'-0"

REVISIONS

DR Resubmittal

DATE: September 25, 2008
JOB NUMBER: 27017
JOB LAND USE NUMBER: 07-143594-02
CONTRACT PHASE / PERMIT: 07-144181-08
DRAWING: 08
APPROVAL: jpb

ESSEX ON THE PARK
25 102ND AVENUE NE
BELLEVUE, WA 98004



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

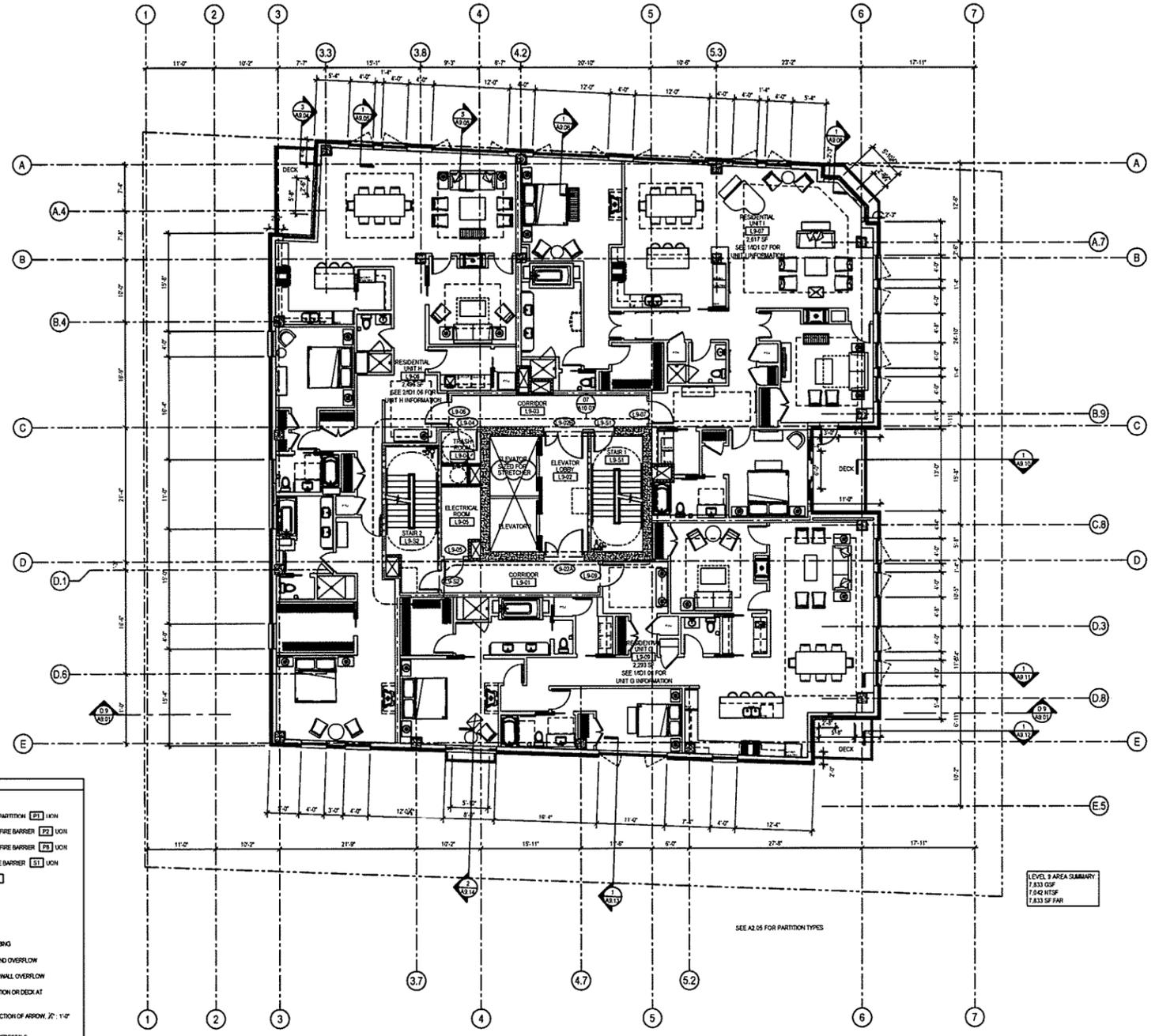
	1 HOUR CONSTRUCTION PARTITION [21] UOH
	2 HOUR CONSTRUCTION FIRE BARRIER [22] UOH
	3 HOUR CONSTRUCTION FIRE BARRIER [23] UOH
	2 HOUR SHAFT WALL FIRE BARRIER [31] UOH
	UNMARKED FURNISH [F1]
	CONCRETE
	FIRE EXTINGUISHER
	SITE PROPERTY LINE
	FLOOR DRAIN, SEE PLUMBING
	INTERNAL ROOF DRAIN AND OVERFLOW
	TERRACE DRAIN & THRU WALL OVERFLOW
	LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 2" : 1'-0"
	CONCRETE PAVERS ON PEDESTALS
	MECHANICAL SHAFT
	SCRIPPER WITH OVERFLOW TO DOWNSPOUT
	DOWNSPOUT
	STANDPIPE

REVISIONS:

DR Resubmittal

DATE: September 25, 2021
JOB NUMBER: 20111
COB LAND USE NUMBER: 07-143189L2
COB PHASE / PERMIT: 07-144189-08
DRAWING: 08
APPROVAL: JB

Level 8 Floor
Plan
A2.09



MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

	1 HOUR CONSTRUCTION PARTITION	01 UON
	2 HOUR CONSTRUCTION FIRE BARRIER	02 UON
	3 HOUR CONSTRUCTION FIRE BARRIER	03 UON
	2 HOUR SHAFT WALL FIRE BARRIER	04 UON
	UNMARKED FURRING	05
	CONCRETE	
	FIRE EXTINGUISHER	
	SITE PROPERTY LINE	
	FLOOR DRAIN, SEE PLUMBING	
	INTERNAL ROOF DRAIN AND OVERFLOW	
	TERRACE DRAIN & THRU-WALL OVERFLOW	
	LINE OF SLOPED INSULATION ON DECK AT RIDGE OR VALLEY	
	SLOPE TO DRAIN IN DIRECTION OF ARROW, 1/4" = 1'-0"	
	CONCRETE PAVERS ON PEDESTALS	
	MECHANICAL SHAFT	
	SQUEEGEE WITH OVERFLOW TO DOWNSPOUT	
	DOWNSPOUT	
	STANDPIPE	

01 LEVEL 9 FLOOR PLAN
1/8" = 1'-0"

SHUGART BATES
ARCHITECTS INC. INTERIOR DESIGNERS
311 Western Ave., Ste. 400
Seattle, Washington 98104
206.254.7744
206.903.8273

OWNER
Hydra, LLC
800 3rd Ave., Suite 4700
Phone: 206.447.1401
Fax: 206.447.1402
Micah Pittman
micah.pittman@hydra-developments.com

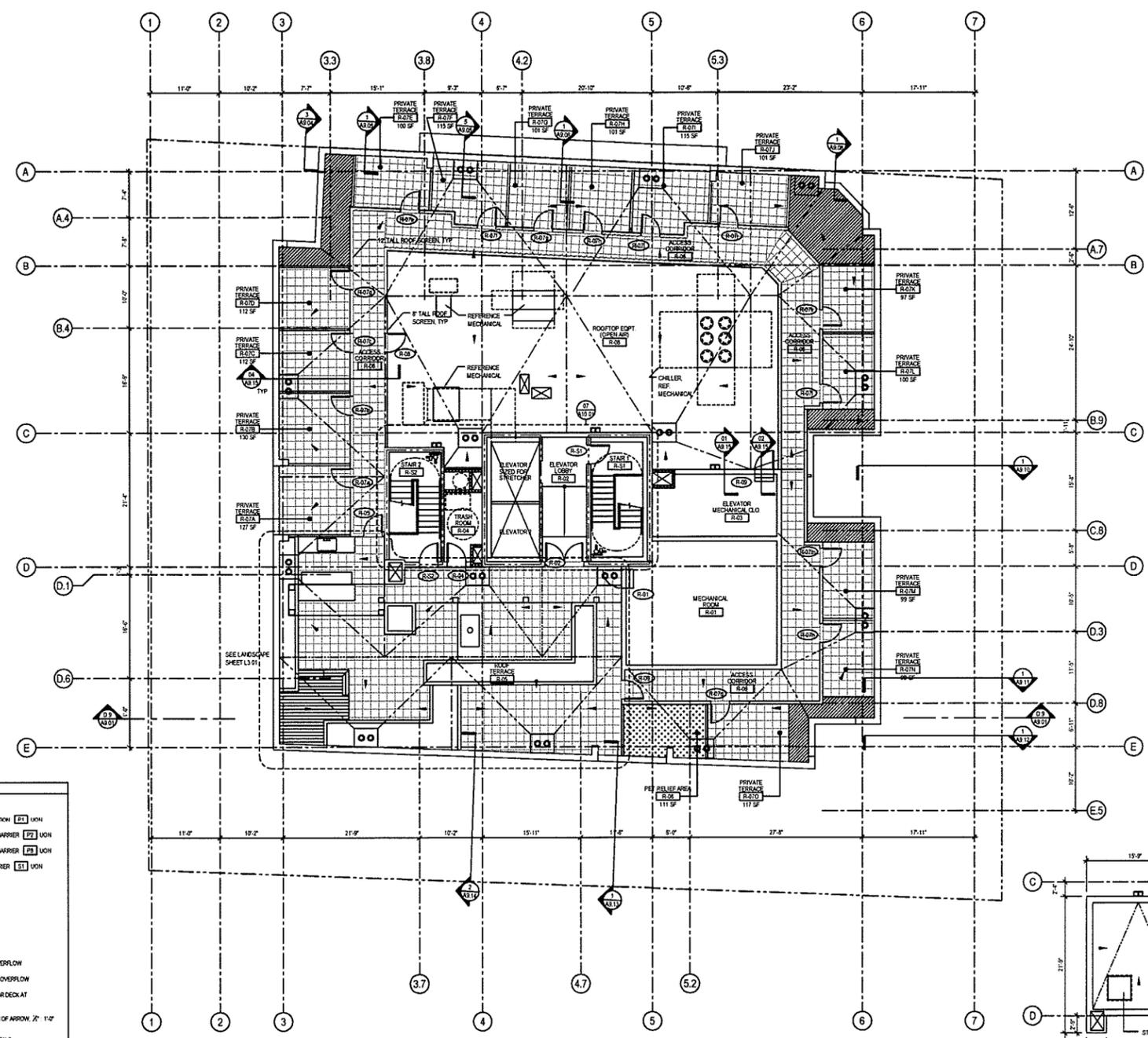


ESSEX ON THE PARK
25 102ND AVENUE NE
BELLEVUE, WA 98004

REVISIONS:

DR Resubmittal
DATE: September 25, 2009
JOB NUMBER: 0717
CODE LAND USE NUMBER: 01-143000LD
CODE PHASE: 1 PERMIT: 07-144199-00
DRAWING: 00
APPROVAL: jp

Level 9 Floor Plan
A2.10

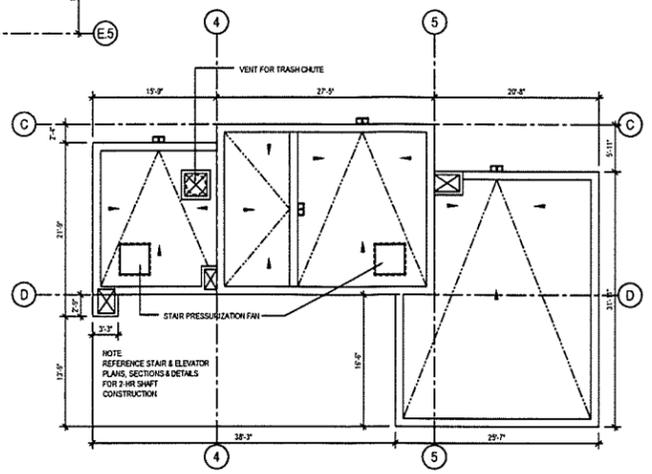


MATERIALS AND EQUIPMENT LEGEND

SEE SHEET A11.01 FOR ASSEMBLY DETAILS

- 1 HOUR CONSTRUCTION PARTITION [21] UON
- 2 HOUR CONSTRUCTION FIRE BARRIER [22] UON
- 3 HOUR CONSTRUCTION FIRE BARRIER [23] UON
- 2 HOUR SHAFT WALL FIRE BARRIER [31] UON
- UNMARKED FLOORING [27]
- CONCRETE
- FIRE EXTINGUISHER
- SITE PROPERTY LINE
- FLOOR DRAIN, SEE PLUMBING
- INTERNAL ROOF DRAIN AND OVERFLOW
- TERRACE DRAIN & THRU-WALL OVERFLOW
- LINE OF SLOPED INSULATION OR DECK AT RIDGE OR VALLEY
- SLOPE TO DRAIN IN DIRECTION OF ARROW, 2" / 1'-0"
- CONCRETE PAVERS ON PEDESTALS
- MECHANICAL SHAFT
- SCUPPER WITH OVERFLOW TO DOWNSPOUT
- DOWNSPOUT
- STANDPIPE

02 ROOF PLAN
1/8" = 1'-0"



01 MECHANICAL ROOF PLAN
1/8" = 1'-0"

REVISIONS

NO.	DESCRIPTION

DR Resubmittal

DATE: September 23, 2008
JOB NUMBER: 27017
JOB LAND USE NUMBER: 07-143094D
JOB PHASE / PERMIT: 07-144109-05
DRAWING: 01
APPROVAL: JB



03 CONTEXT VIEW LOOKING SOUTH
Not to Scale



01 VIEW AT NE CORNER
Not to Scale



04 CONDITION AT WEST WALL
Not to Scale



02 CONTEXT VIEW LOOKING SOUTH FROM BELLEVUE PARK
Not to Scale

SHUGART | BATES
ARCHITECTURE INTERIORS URBANISM
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Seattle, Washington 98104
206.264.7744
206.903.8273

OWNER
Hydra, LLC
800 5th Ave, Suite 4100
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Fax: 206.447.1402
Maui Pittman
maui.pittman@hydradevelopments.com

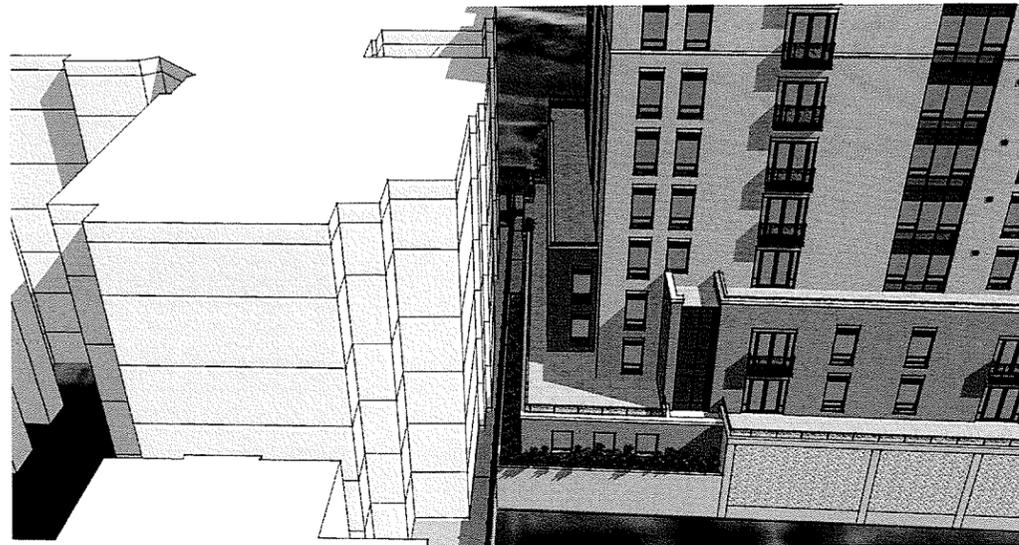


ESSEX ON THE PARK
25, 102ND AVE NE
BELLEVUE, WA 98004

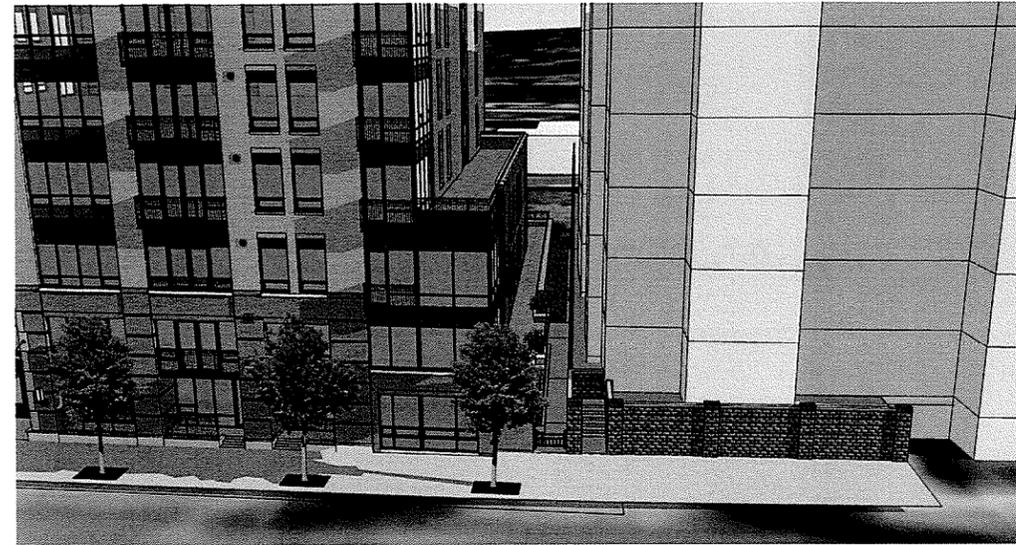
REVISIONS:

DR Resubmittal
DATE: September 25, 2008
JOB NUMBER: 27017
COB LAND USE NUMBER: 07-143899-01
COB PARCEL PERMIT: 07-144183-02
DRAWING: as
APPROVAL: jsb

Project Images
A0.04a



03 CONDITION BETWEEN ESSEX AND MCKEE
Not to Scale



01 CONDITION BETWEEN ESSEX AND MCKEE
Not to Scale



04 CONTEXT VIEW AT SE CORNER
Not to Scale



02 CONDITION BETWEEN ESSEX AND MCKEE
Not to Scale

SHUGART BATES
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911 Western Ave, Ste 405
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206.364.2744
206.363.8273

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833 5th Ave, Suite 4100
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Fax: 206.447.1402
Micah Pittman
micah.pittman@hydra-developments.com



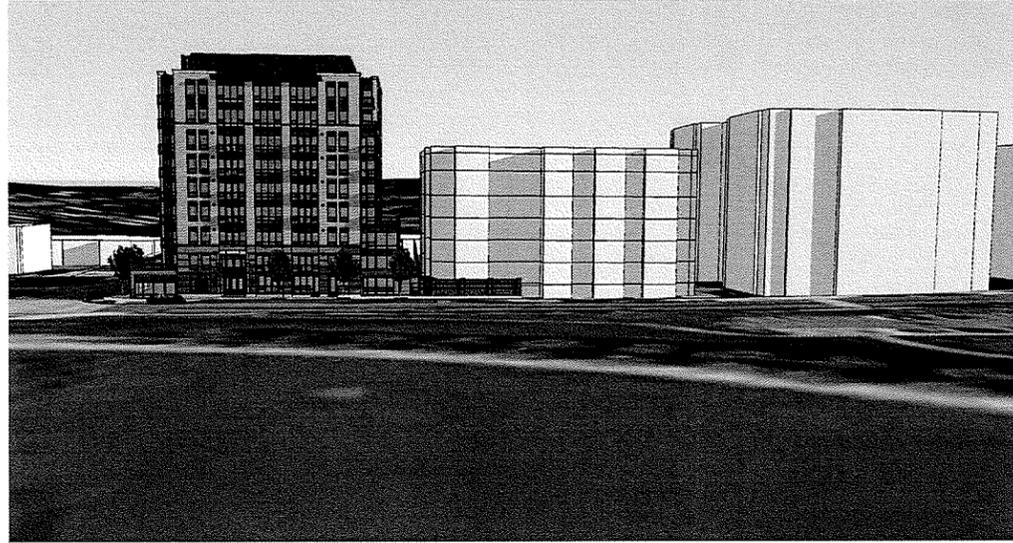
ESSEX ON THE PARK
25 102ND AVE NE
BELLEVUE, WA 98004

REVISIONS:

DR Resubmittal
DATE: September 25, 2008
JOB NUMBER: 07017
CDS/LAND USE NUMBER: 07-143294-D
CDS PHASE 1 PERMIT: 07-144109-03
DRAWING: 08
APPROVAL: 08

Project Images

A0.04b



03 CONTEXT VIEW LOOKING SOUTH
Not to Scale



01 PERSPECTIVE AT NE CORNER
Not to Scale



04 CONTEXT VIEW LOOKING AT NE CORNER
Not to Scale



02 PERSPECTIVE AT SE CORNER
Not to Scale

SHUGART BATES
ARCHITECTURE INTERIORS URBANISM
811 Western Ave. Ste 408
Seattle, Washington 98104
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OWNER
Hydra LLC
800 5th Ave. Suite 4100
Phone: 206.447.1421
Fax: 206.467.1462
Mouff Pittman
mouff.pittman@hydraelevators.com

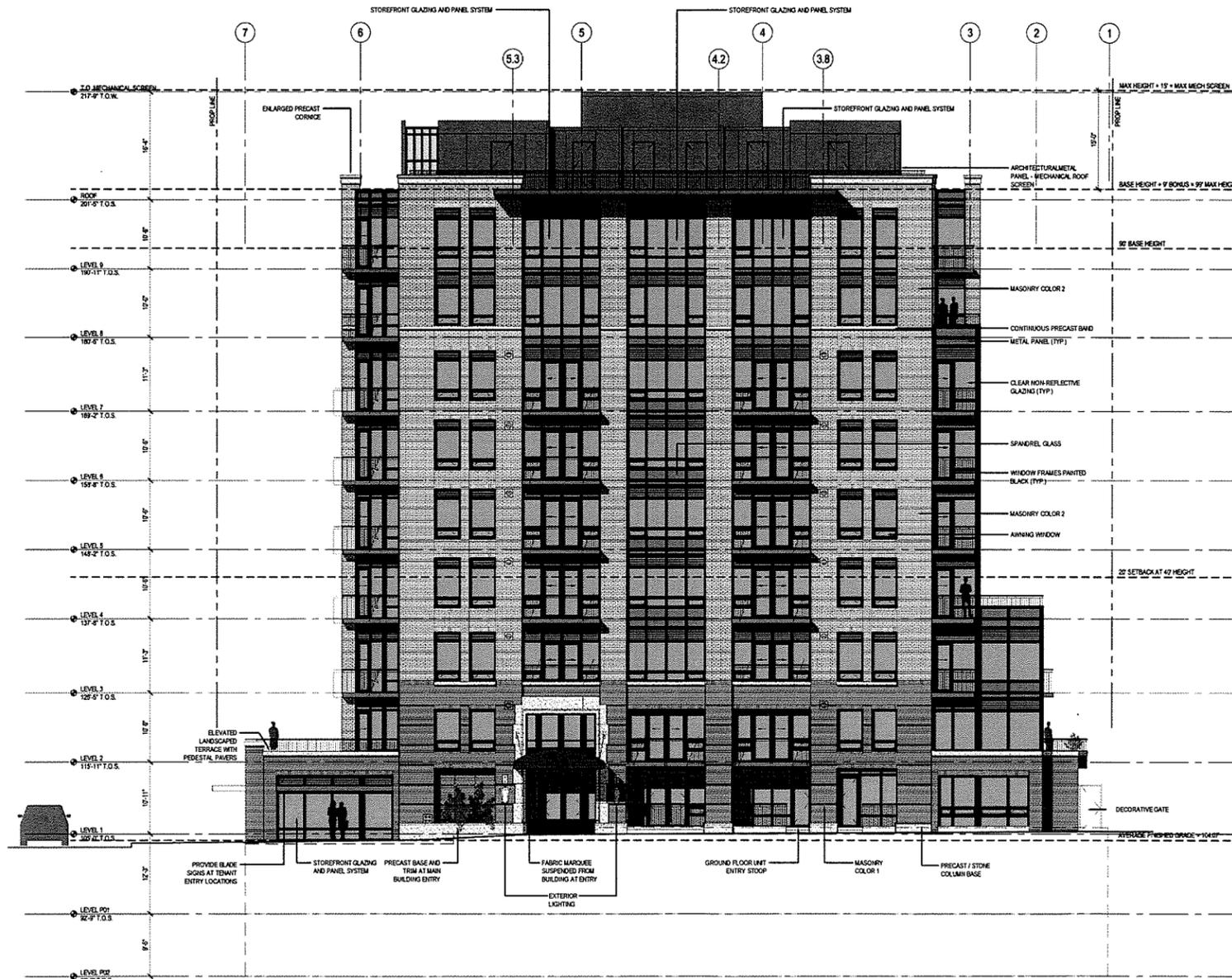


ESSEX ON THE PARK
25, 102ND AVE NE
BELLEVUE, WA 98004

REVISIONS:

DR Resubmittal
DATE: September 25, 2008
JOB NUMBER: 27017
COB LAND USE NUMBER: 07-143994-D
COB PHASE 1 PERMIT: 07-144189-08
DRAWING: 00
APPROVAL: JB

Project Images
A0.04c



01 NORTH ELEVATION
1/8" = 1'-0"

SHUGART BATES
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Fax: 206.447.1422
Mick Pitman
mick.pitman@hydra-developments.com



ESSEX ON THE PARK
25 102ND AVE NE
BELLEVUE, WA 98004

REVISIONS:

DR Resubmittal
DATE: September 25, 2008
JOB NUMBER: 27017
JOB LAND USE NUMBER: 07-143894-D
JOB PHASE 1 PERMIT: 07-141898-00
DRAWING: 00
APPROVAL: js

North Elevation
A8.01



01 EAST ELEVATION
 1/8" = 1'-0"

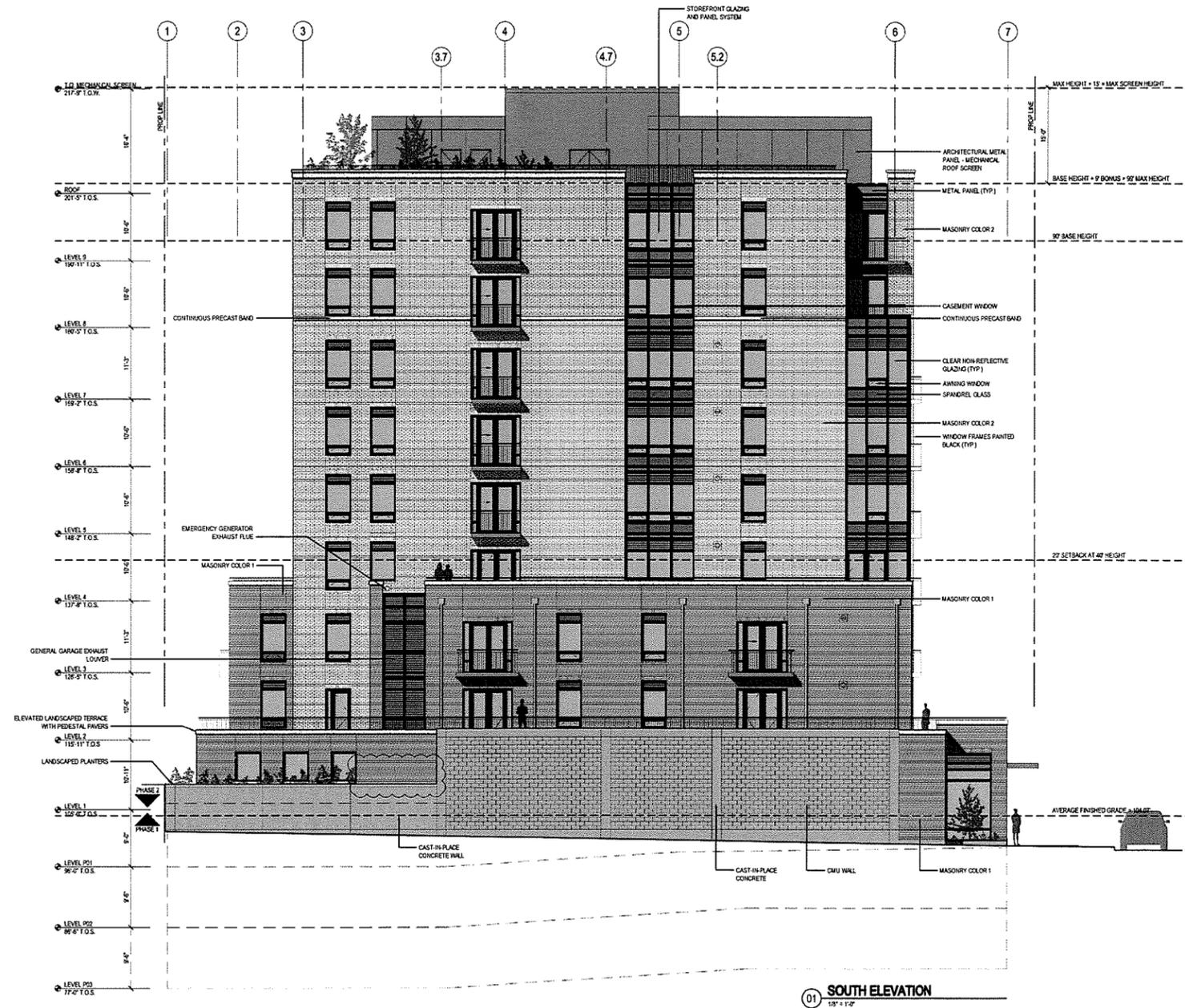
REVISIONS:

DR Resubmittal

DATE	September 25, 2008
JOB NUMBER	27017
DOB LAND USE NUMBER	07-14356-LD
DOB PHASE 1 PERMIT	07-144169-AB
DRAWING	01
APPROVAL	jp

East Elevation

A8.02



REVISIONS:

1	10/14/2008	DR SUBMITTAL
2	09/22/2008	DR RESUBMITTAL
3	09/11/2008	DR RESUBMITTAL
4	09/02/2008	DR RESUBMITTAL
5	08/29/2008	DR RESUBMITTAL
6	10/29/2008	DR RESUBMITTAL
7	10/22/2008	DR RESUBMITTAL

DR
Resubmittal

DATE: October 22, 2008
JOB NUMBER: 07097
DOB LAND USE NUMBER: 07-143289-02
DOB PHASE 1 PERMIT: 07-14159-08
DRAWING: 08
APPROVAL: JB

South Elevation
A8.03



01 WEST ELEVATION
1/8" = 1'-0"

SHUGART | BATES
ARCHITECTURE INTERIORS URBANISM
911 Western Ave, Ste 400
Seattle, Washington 98104
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206.863.9273

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800 5th Ave, Suite 1100
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Michal Pittman
dmichal@hydra-developments.com



ESSEX ON THE PARK
25 102ND AVE NE
BELLEVUE, WA 98004

REVISIONS:

DR Resubmittal
DATE: September 25, 2008
JOB NUMBER: 27017
COB LAND USE NUMBER: 07-14399-LD
COB PHASE 1 PERMIT: 07-14399-03
DRAWING: 00
APPROVAL: JB

West Elevation
A8.04

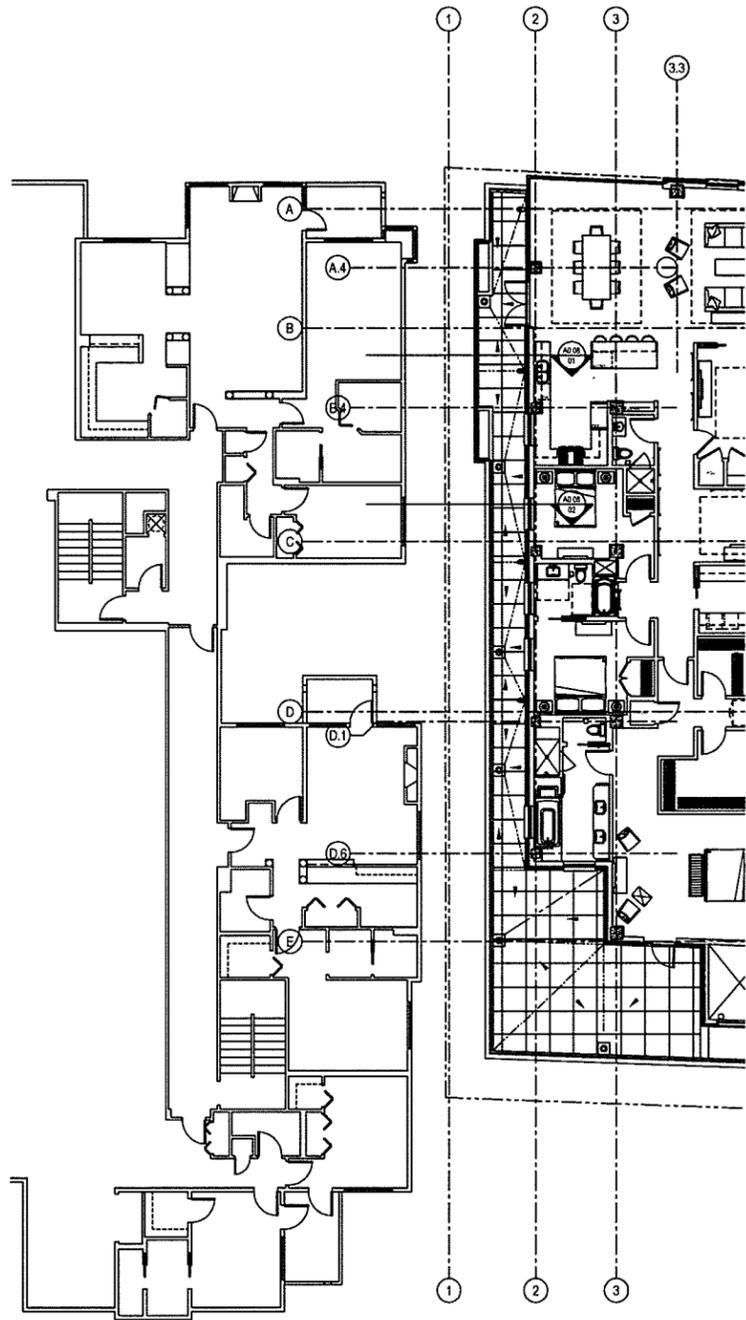
ESSEX ON THE PARK
 25 102ND AVENUE NE
 BELLEVUE, WA 98004

REVISIONS:

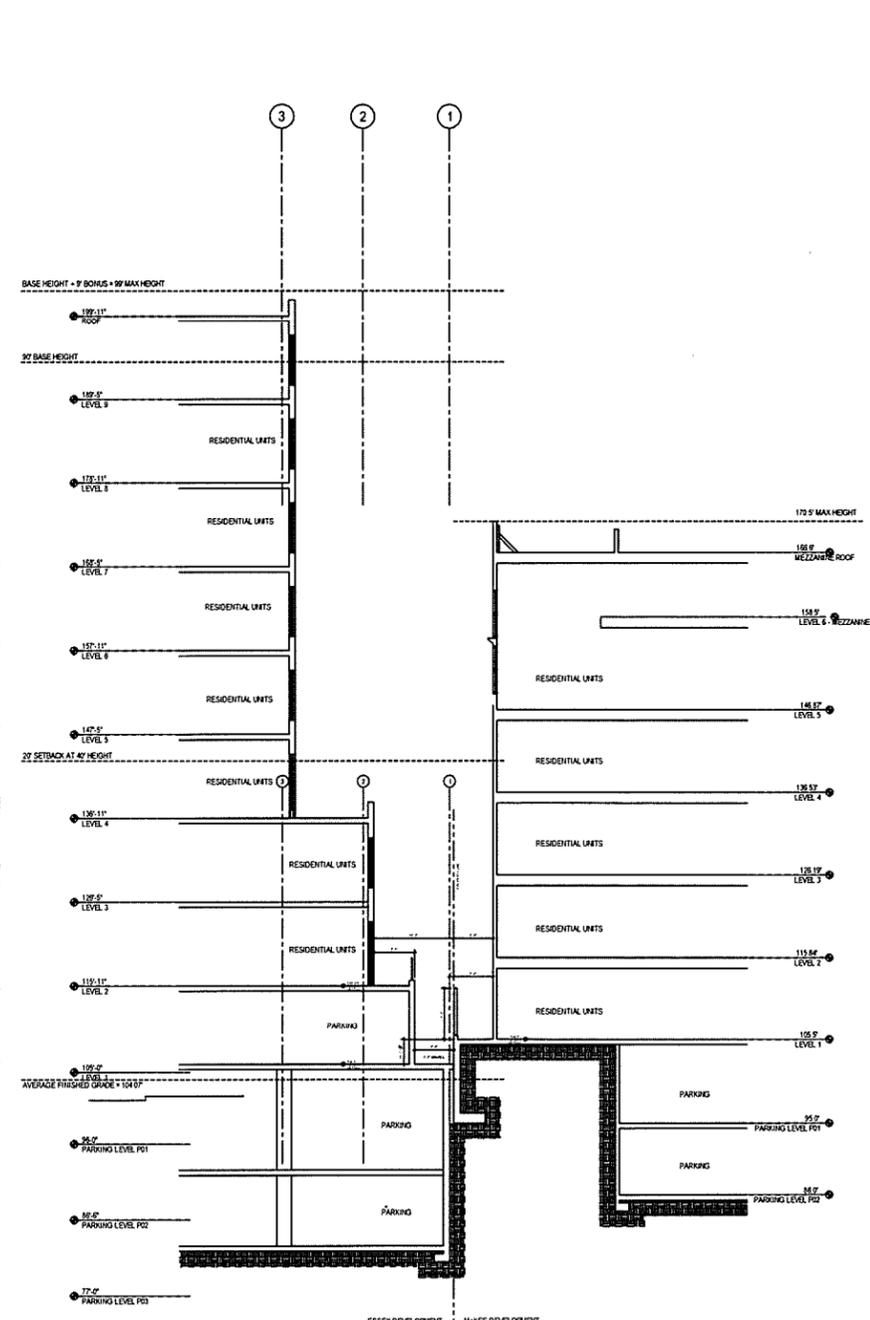
NO.	DESCRIPTION	DATE

DR Resubmittal
 DATE: September 25, 2020
 JOB NUMBER: 2017
 COR LAND USE NUMBER: 07-143894-D
 COR PHASE 1 PERMIT: 07-144154-SUB
 DRAWING: 10
 APPROVAL: [Signature]

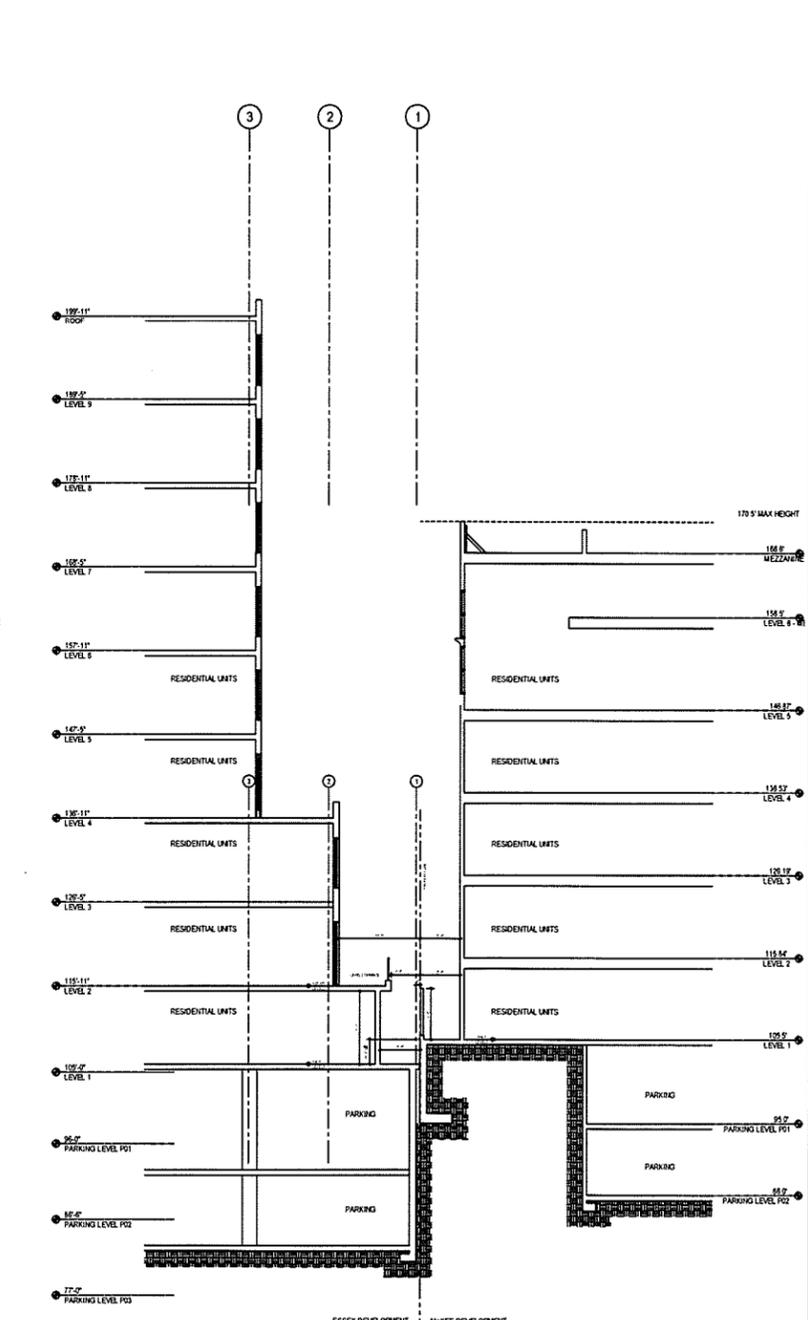
Context Diagram



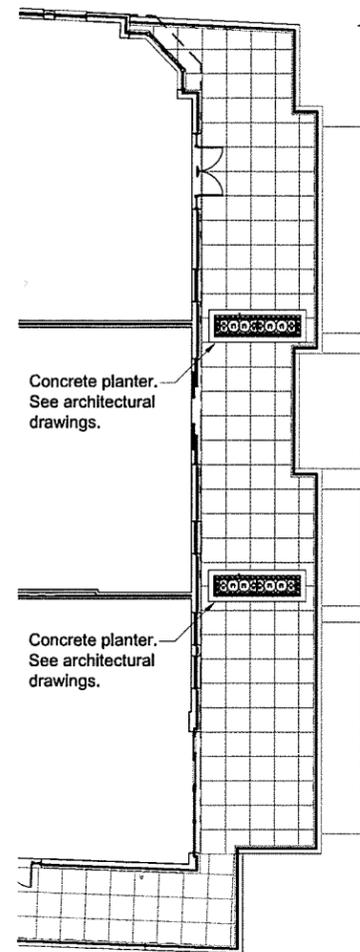
03 LEVEL 2 FLOOR PLAN (W/ CONTEXT)
 1/8" = 1'-0"



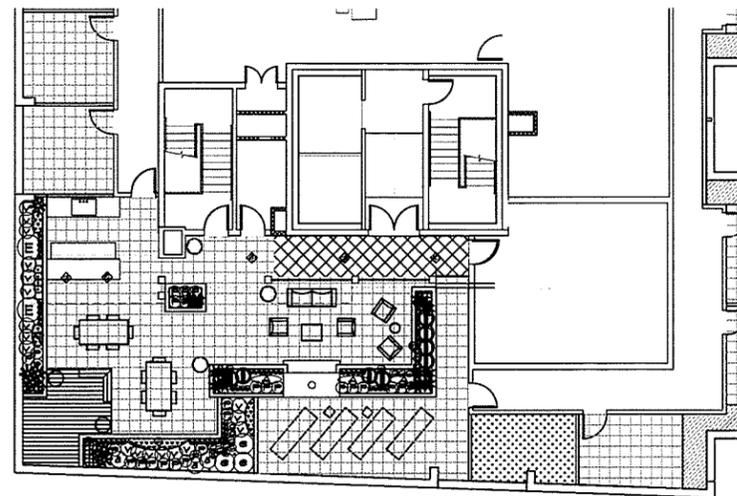
02 SECTION 2
 1/8" = 1'-0"



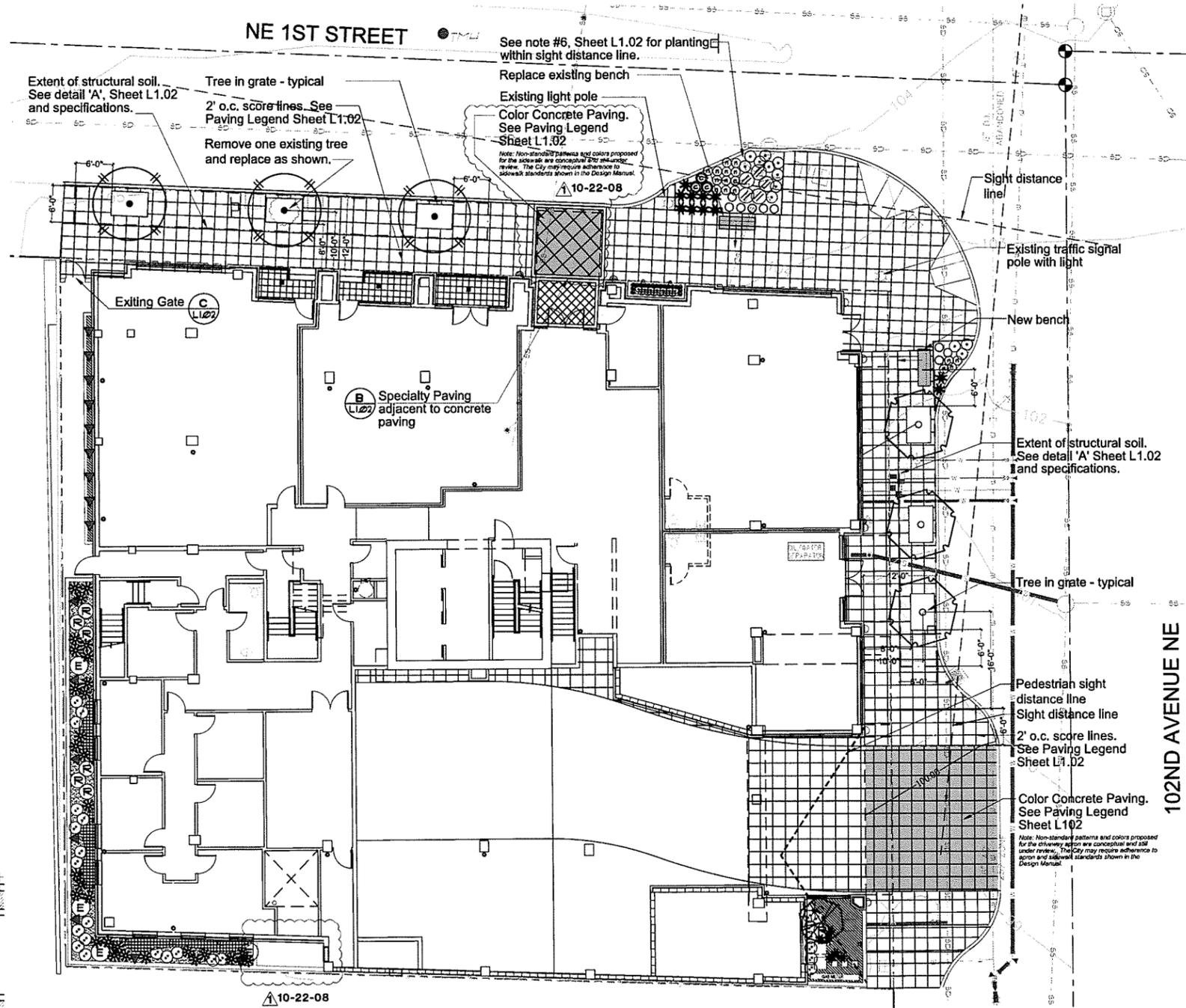
01 SECTION 1
 1/8" = 1'-0"



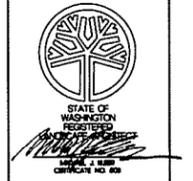
B LEVEL 2



C ROOF TERRACE



A GROUND LEVEL



REVISIONS:

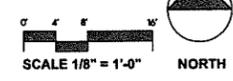
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3	07/11/2008	DR RESUBMITTAL
4	08/05/2008	DR RESUBMITTAL
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6	10/09/2008	DR RESUBMITTAL
7	10/22/2008	DR RESUBMITTAL

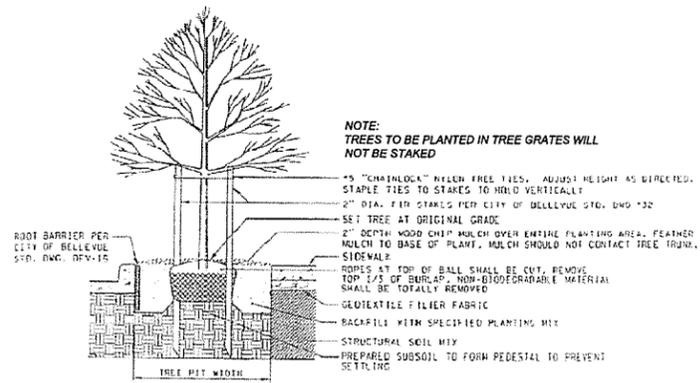
DR Resubmittal

DATE: October 22, 2008
 JOB NUMBER: 07017
 COB LAND USE NUMBER: 07-1438694-D
 COB PHASE 1 PERMIT: 07-1441654-B
 DRAWING: 66
 APPROVAL: JB

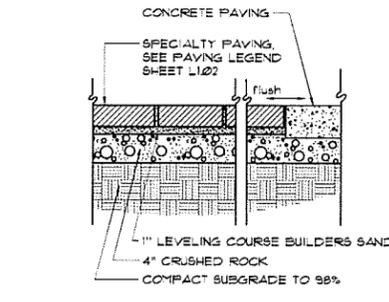
Landscape Plan

L1.01

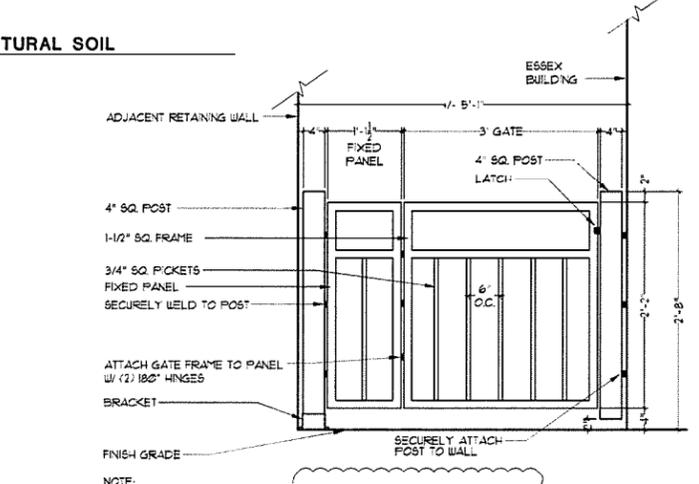




A DECIDUOUS TREE PLANTING AND STRUCTURAL SOIL
NTS

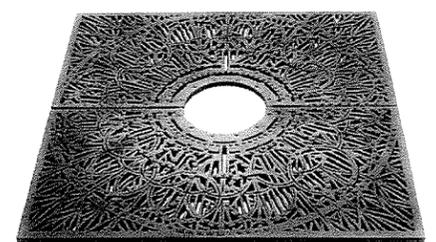


B SPECIALTY PAVING ADJACENT TO CONCRETE PAVING
1-1/2"x1'-0"



C METAL GATE
1"x1'-0"

NOTE:
1. POST, GATE FRAME, AND PANEL TO BE STEEL WITH MATTE BLACK FINISH.



SITE FURNITURE



PRELIMINARY LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	MIN. SIZE / CONDITION / REMARKS
DECIDUOUS STREET TREES:		
○	<i>Quercus coccinea</i> Scarlet Oak	4" cal., full, well-branched, matched, B&B. Select trees to have similar form as existing trees. Prune to match shape if necessary.
○	<i>Gleditsia triacanthos</i> 'Shademaster' Shademaster Honey Locust	3" cal., full, well-branched, matched, B&B. Select trees to have similar form as existing trees. Prune to match shape if necessary.
○	<i>Magnolia</i> s. 'Little Gem' Little Gem Magnolia	2" cal., full, well-branched, B&B or box
DECIDUOUS ACCENT TREES:		
○	<i>Acer palmatum</i> 'Sango Kaku' Coral Bark Maple	3" cal., SPECIMEN, full, well-branched, B&B
SHRUBS:		
○	<i>Acanthus mollis</i> 'Latifolius' Bear's Breech	21-24" ht. & spr., full foliage, spacing as shown on plan.
○	<i>Buxus m. japonica</i> 'Winter Gem' Dwarf Japanese Boxwood	Min. 15" ht., full foliage, spacing as shown on plan.
○	<i>Caryopteris x clandonensis</i> 'Blue Mist' Blue Mist Bluebeard	15'-18" ht., full foliage, spacing as shown on plan.
○	<i>Cistus x hybridus</i> White Rockrose	21"-24" spr., full foliage, spacing as shown on plan.
○	<i>Cornus atonifera</i> 'Kelsey' Kelsey Red-Twig Dogwood	Min. 15" spr., full foliage, spacing as shown on plan.
○	<i>Enkianthus campanulatus</i> Enkianthus	SPECIMEN, 3-4' ht., 18-24" spr., select for upright habit, B&B or container
○	<i>Euonymus japonicus</i> 'Green Spire' Green Spire Euonymus	48" ht., full foliage, spacing as shown on plan.
○	<i>Leucothoe fontanesiana</i> Drooping Leucothoe	18-21" ht., full foliage, spacing as shown on plan.
○	<i>Malus</i> sp. Apple Espaller	3'-4" ht. & spr., min. 2 horizontal tiers branching, full foliage, spacing as shown on plan.
○	<i>Nandina d.</i> 'Wood's Dwarf' Wood's Dwarf Nandina	12-15" ht. and spr., full foliage, spacing as shown on plan.
○	<i>Picea abies</i> 'Pendula' Dwarf Norway Spruce	24"-30" ht., full & bushy, stake trunk, b&b or cont.
○	<i>Pittosporum tobira</i> 'Cream de Mint' Dwarf Variegated Pittosporum	18-21" ht., full foliage, spacing as shown on plan.
○	<i>Polystichum polyblepharum</i> Japanese Tassel Fern	1 gal. pots, full foliage, min. 6 healthy fronds, spacing as shown on plan.
○	<i>Rhododendron</i> 'Dora Amateis' Dwarf White Rhododendron	15'-18" spr., full foliage, spacing as shown on plan.
○	<i>Rhododendron</i> x 'Scarlet Wonder' Scarlet Wonder Dwarf Rhododendron	18-21" spr., full foliage, hybrid as approved, spacing as shown on plan.
○	<i>Rhododendron</i> sp. Medium Rhododendron	24-30" spr., full foliage, spacing as shown on plan. Cream or white flowering hybrid as approved
○	<i>Rosmarinus officinalis</i> 'Blue Spires' Blue Spires Rosemary	24-30" ht., full foliage, spacing as shown on plan.
○	<i>Sarcococca ruscifolia</i> Sweet Box	18"-21" ht., full foliage, spacing as shown on plan.
○	<i>Viburnum davidii</i> David's Viburnum	18"-21" spr., full foliage, spacing as shown on plan.
GROUNDCOVERS PERENNIALS AND VINES:		
○	<i>Agapanthus</i> x 'Monmid' Midnight Blue Agapanthus	1 gal. pots @ 15" o.c., full foliage
○	<i>Bergenia</i> 'Ruby Elf' Dwarf Bergenia	1 gal. cont., full, spacing as shown on plan.
○	<i>Carex conica</i> 'Snowline' Sedge	1 gal. pot, full foliage, spacing as shown on plan.
○	<i>Carex flagellifera</i> Orange Sedge	1 gal. cont., full, spacing as shown on plan.
○	<i>Carex morrowii</i> <i>expallida</i> Variegated Sedge	1 gal. cont., full, spacing as shown on plan.
○	<i>Helleborus</i> sp. Hellebore	1 gal. cont., full, spacing as shown on plan.
○	<i>Hydrangea integrifolia</i> Climbing Evergreen Hydrangea	1 gal. cont., full, spacing as shown on plan.
○	<i>Hemeria glabra</i> Green Carpet	4" pots at 12" o.c. triangular spacing, plant throughout planting area where shown except where Mondo Grass is shown.
○	<i>Liriope muscari</i> 'Majestic' Lily Turf	1 gal. pots @ 24" o.c., full foliage
○	<i>Lysimachia nummularia</i> Creeping Jenny	4" pots @ 24" o.c., full foliage
○	<i>Phormium tenax</i> 'Chocolate' New Zealand Flax or <i>Miscanthus sinensis</i> 'Purpurascens' Purple Silver Grass	2 gal. pot., full foliage, spacing as shown on plan.
○	<i>Ophiopogon</i> p. 'Nigrescens' Black Mondo Grass	4" pots at 12" o.c. triangular spacing
○	<i>Vinca</i> m. 'Alba' White flowering Periwinkle	4" pots at 12" o.c. triangular spacing, plant throughout planting area where shown
○	Mulch Only	See Specifications

PAVING LEGEND

- SPECIALTY PAVING**
1'x1' Granite Pavers. See Detail 'B' on this sheet and specifications for additional information.
- CONCRETE PAVING**
Broom finish, score lines 2" o.c. as shown on plans. See civil drawings and Specifications for additional information.
- COLOR CONCRETE PAVING**
Broom finish, score lines 2" o.c. as shown on plans. Color to be determined. See civil drawings and specifications for additional information.
- STRUCTURAL SOIL**
See detail 'A' on this sheet and specifications for additional information.
- CONCRETE PAVERS**
24" x 24" Concrete Pavers

SITE LIGHTING LEGEND

- Wall Mounted Fixture #1
- Wall mounted Fixture #2
- Wall uplight
- Landscape Uplight
- Garden Path Light
- Downlight

PLANTING NOTES

- ALL NEW LANDSCAPE AREAS ARE TO BE WATERED WITH AN AUTOMATIC WATER CONSERVING IRRIGATION SYSTEM IN ACCORDANCE WITH CITY WATER CONSERVATION REQUIREMENTS.
- IRRIGATION HOOK-UP FOR STREET TREES IS BEING COORDINATED WITH DON MCQUILLIAMS. HOOK-UP LOCATION TO BE CONFIRMED AFTER SPRING START-UP OF SYSTEM.
- TREES, SHRUBS, AND GROUNDCOVERS SHALL BE GROUPED INTO AREAS OF DISTINCT HYDROZONES (SIMILAR WATER USE NEEDS AND EXPOSURE.)
- ALL NEW SHRUB AND GROUNDCOVER AREAS ARE TO BE MULCHED AS SPECIFIED.
- WHERE GROUNDCOVER IS PROVIDED, IT SHALL BE PLANTED AT THE SPECIFIED SPACING THROUGHOUT THE BED, INCLUDING AREAS UNDERNEATH TREES AND SHRUBS, START FIRST ROW 12" FROM EDGE OF BED.
- PLANTINGS LOCATED WITHIN SIGHT DISTANCE LINE SHALL HAVE A MATURE HEIGHT OF 30". SITE FURNITURE AND OTHER NEW OBSTRUCTIONS SHALL BE LOCATED OUTSIDE SIGHT DISTANCE LINE.
- STREET TREES ALONG NE 1ST STREET SHALL BE LIMBED UP TO 7 1/2'. STREET TREES ALONG 102ND AVENUE NE SHALL BE LIMBED UP TO 6'.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SHUGART BATES
ARCHITECTURAL LANDSCAPE ARCHITECTS
311 Madison Ave., 2nd Floor
Seattle, WA 98102-3914
206.264.7744
206.583.8373

THE Essea
ON THE PARK
25 102ND AVE NE
BELLEVUE, WA 98004

HYDRA
Design Systems

WEISMAN
DESIGN GROUP
LANDSCAPE ARCHITECTURE
2229 EAST MANISHAN ST.
SEATTLE, WA 98112-5416
206.467.9750



REVISIONS:

1	10/14/2008	DR SUBMITTAL
2	10/20/2008	DR RESUBMITTAL
3	07/11/2008	DR RESUBMITTAL
4	04/03/2008	DR RESUBMITTAL
5	03/25/2008	DR RESUBMITTAL
6	10/22/2008	DR RESUBMITTAL

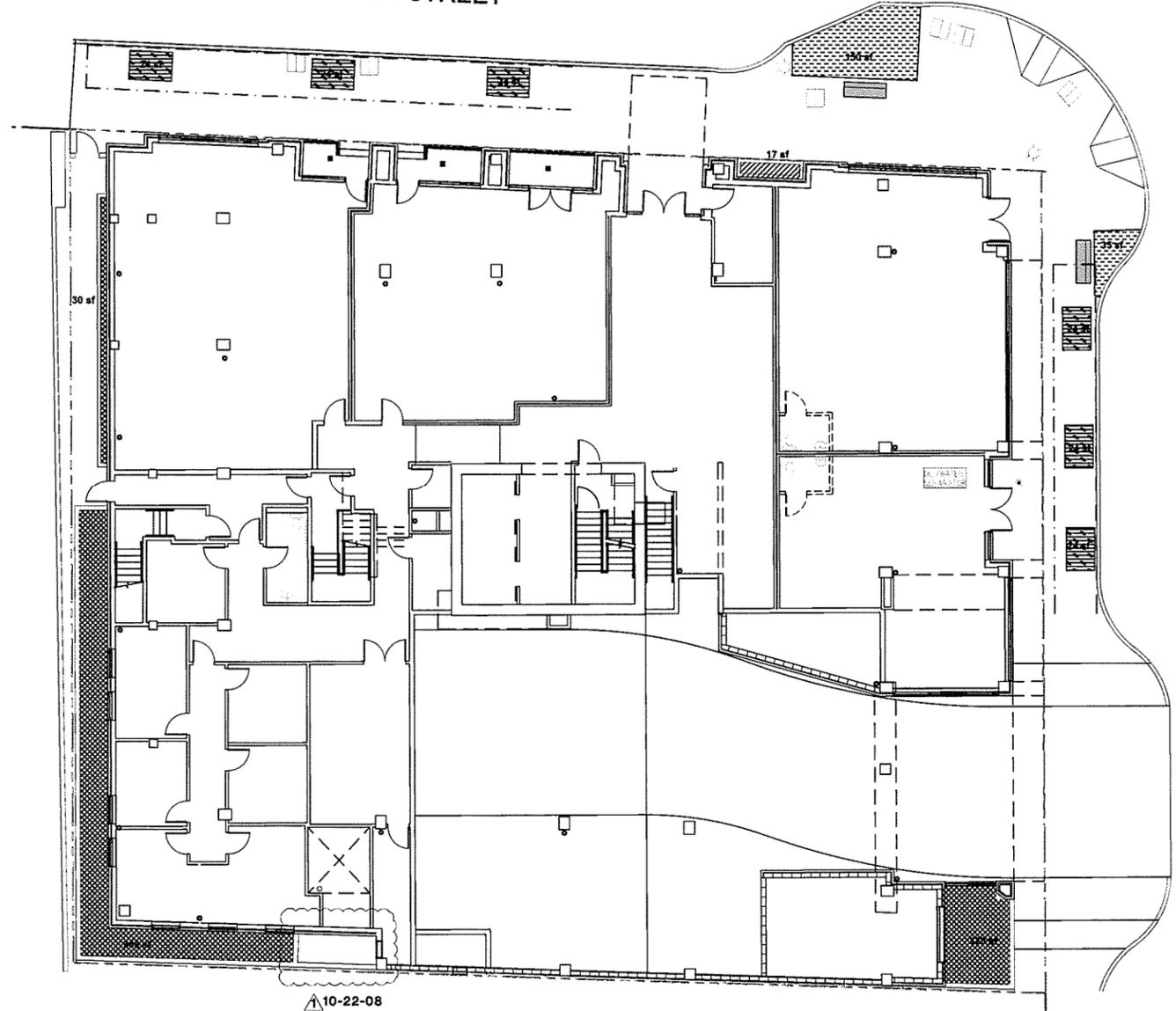
DR Resubmittal

DATE: October 23, 2008
JOB NUMBER: 07017
CORR/LAND USE NUMBER: 07-141029-D-0
CORR PHASE 1 PERMIT: 07-144163-05
DRAWING: 46
APPROVAL: JB

Landscape Sched.,
Notes, Details, and
Site Furniture

L1.02

NE 1ST STREET



102ND AVENUE NE

PRELIMINARY IRRIGATION LEGEND

SYMBOL	HYDROZONE	IRRIGATION TYPE
	TREE GRATES IN R.O.W.	BUBBLERS
	SHRUB AREAS IN R.O.W.	POP UP SPRAY HEADS
	SHRUB AREAS OVER STRUCTURE, GROUND LEVEL, SOUTH & WEST	DRIP SYSTEM
	SHRUB AREAS OVER STRUCTURE, GROUND LEVEL, NORTH	DRIP SYSTEM
	SHRUB AREAS OVER STRUCTURE, ROOF TERRACE	DRIP SYSTEM

Water Efficient Irrigation System Design Certification

Project Name: Essex on the Park
 Project Address: 25 - 102nd Avenue NE
 Project Owner or Manager: Hydra, LLC
 Michael Piman
 800 5th Ave, Suite 4100
 Seattle, WA 98104
 Phone: 206-447-1401

Irrigation System Design Contact: Weisman Design Group INC PS
 Michael J. Kleer
 2329 E. Madison St.
 Seattle, WA 98112
 (206) 322-1722

The landscape irrigation system design plans for the above stated project have been completed by Washington State registered Landscape Architect, Washington State registered professional engineer, or Irrigation Association Certified Irrigation Designer stated above to be in compliance with Bellevue City Code 24.02.210 Irrigation System Design and Performance Requirements ("Water Code"). All area, calculations, and information required is attached, or shown on the face of the irrigation plans.

Michael J. Kleer (Landscape Designer's Signature) 9/25/2008 (Date)
 Bellevue Utilities Department (Approval Signature) (Date)

Irrigation Water Budget Form

Project Name: Essex on the Park
 Project Address: 25 - 102nd Avenue NE

IWB Formula: IWB = ET x AF x LA x CF

ET: Evapotranspiration Rate (14.49")
 AF: Adjustment Factor (0.8)
 LA: Landscape Area (Square Feet)
 CF: Conversion Factor (0.62)

IWB Formula in Simplest Terms: IWB = 7.18704 x LA

Landscape Area: 1,091 Sq. Ft. x 7.18704 = 7,644.5 Gallons

IRRIGATION WATER BUDGET: 7,841 GALLONS

TOTAL ESTIMATED WATER USE: 6,890 GALLONS

Enter Total Estimated Water Use from Estimate'd Water Use Form. Total Estimated Water Use Form must accompany Irrigation Water Budget Form. Total Estimated Water Use may not exceed Irrigation Water Budget.

Total Estimated Water Use Form

Project Name: Essex on the Park
 Project Address: 25 - 102nd Avenue NE

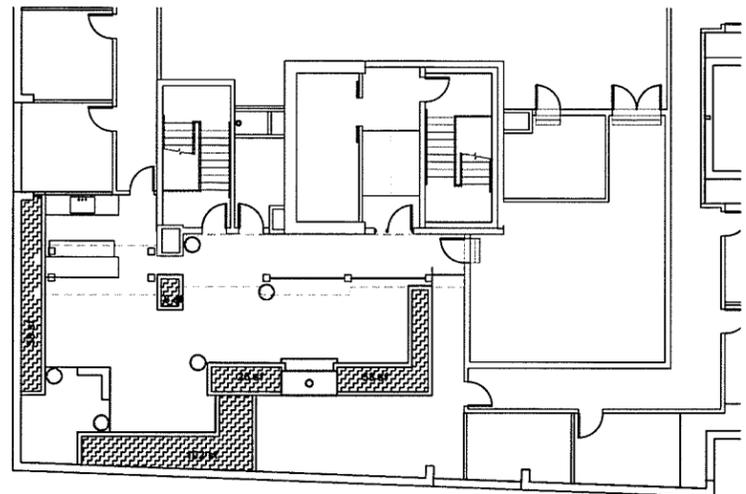
EWU Formula: EWU = 14.374 X PF X HA

EWU: Estimated Water Use (per Hydrozone)
 ET: Evapotranspiration Rate (14.49")
 PF: Plant Factor (As determined for Hydrozone)
 HA: Hydrozone Area (in square feet)
 CF: Conversion Factor (0.62)
 IE: Irrigation Efficiency (either 0.625 or 0.925)

EWU Formula in Simplest Terms: EWU = 9.712 x PF x HA

HYDROZONE	HA (SQ. FT.)	AVERAGE PF	IEK EFF	EWU	
1	144	0.5	0.925	699	Bubblers
2	185	0.5	0.925	1330	Spray
3	478	0.5	0.925	3539	Drip
4	17	0.5	0.925	83	Drip
5	247	0.5	0.925	1199	Drip
TOTAL HA	1,091	Sq. FT.	TOTAL EWU	6,890	

GROUND LEVEL



ROOF TERRACE

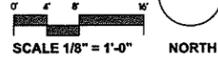
Bi-Monthly Water Schedule

Project Name: Essex on the Park
 Project Address: Bellevue, Washington
 Prepared By: Weisman Design Group Inc. PS

Zone	May 1-15	May 16-31	June 1-15	June 16-30	July 1-15	July 16-31	August 1-15	August 16-31	September 1-15	September 16-30	Zone's Total Gallons	
Zone 1	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 35.45 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 35.45 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 76.89 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 76.89 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 168.35 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 168.35 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 83.88 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 83.88 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 41.94 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 41.94 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 41.94 Total 2 wk. Water use	697 Gallons
Zone 2	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 73.15 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 73.15 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 148.30 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 148.30 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 208.15 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 208.15 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 150.80 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 150.80 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 75.40 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 75.40 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 75.40 Total 2 wk. Water use	1330 Gallons
Zone 3	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 109.89 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 109.89 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 393.69 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 393.69 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 554.75 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 554.75 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 429.48 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 429.48 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 214.74 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 214.74 Total 2 wk. Water use	10 Preop. Rate Gals/min 2 Length-Cycle Minutes 10 Number cycles 214.74 Total 2 wk. Water use	3570 Gallons
Zone 4	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 4.57 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 4.57 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 9.13 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 9.13 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 12.87 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 12.87 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 9.95 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 9.95 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 4.98 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 4.98 Total 2 wk. Water use	0 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 4.98 Total 2 wk. Water use	83 Gallons
Zone 5	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 65.95 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 65.95 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 131.90 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 131.90 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 185.85 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 185.85 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 143.88 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 143.88 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 71.94 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 71.94 Total 2 wk. Water use	10 Preop. Rate Gals/min 1 Length-Cycle Minutes 10 Number cycles 71.94 Total 2 wk. Water use	1160 Gallons
												6860 Gallons

Zone's Total Gallons: 697 Gallons, 1330 Gallons, 3570 Gallons, 83 Gallons, 1160 Gallons, 6860 Gallons

SEE SHEET L2.02 FOR IRRIGATION SCHEDULE, NOTES, AND DETAILS



SHUGART BATES ARCHITECTURAL INTERIOR DESIGNERS
 911 Western Ave. Ste 405
 Seattle, Washington 98104
 206.364.7744
 206.902.8873

THE Essex ON THE PARK
 25 102ND AVE NE
 BELLEVUE, WA 98004

HYDRA Design Group

WEISMAN DESIGN GROUP
 LANDSCAPE ARCHITECTURE
 2329 EAST MADISON ST.
 SEATTLE, WA 98112-5409
 (206) 322-1722

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
 MICHAEL J. KLEER
 LICENSE NO. 69

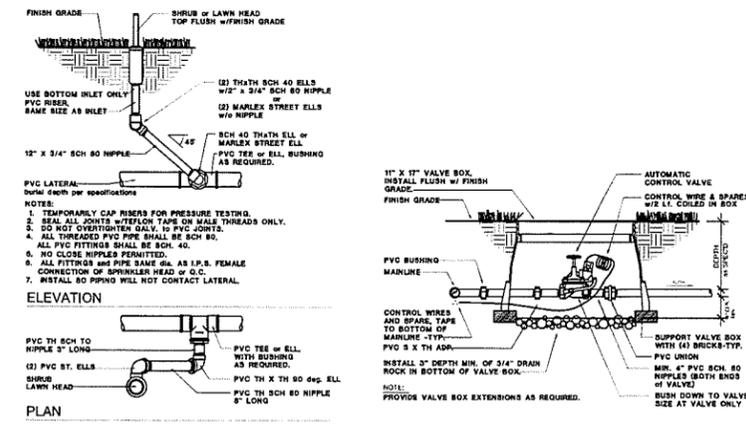
REVISIONS:

1	1/21/2007	DR SUBMITTAL
2	05/27/2008	DR RESUBMITTAL
3	07/11/2008	DR RESUBMITTAL
4	08/03/2008	DR RESUBMITTAL
5	08/25/2008	DR RESUBMITTAL
6	10/09/2008	DR RESUBMITTAL
7	10/22/2008	DR RESUBMITTAL

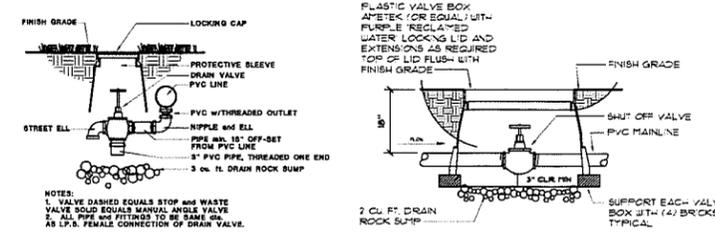
DATE: October 22, 2008
 JOB NUMBER: 0707
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 CORE PHASE 1 PERMIT: 07-1414304-10
 DRAWING: 08
 APPROVAL: 08

Preliminary Irrigation Plan

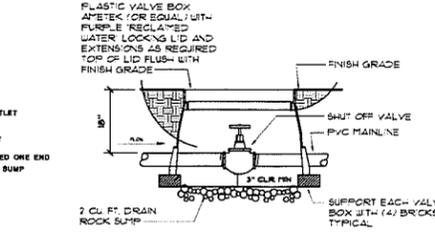
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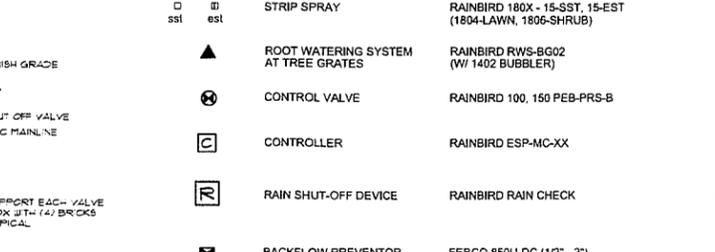
A IRRIGATION HEAD
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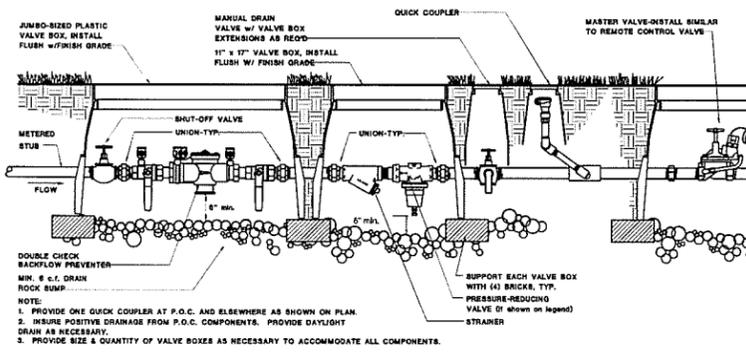
B CONTROL VALVE
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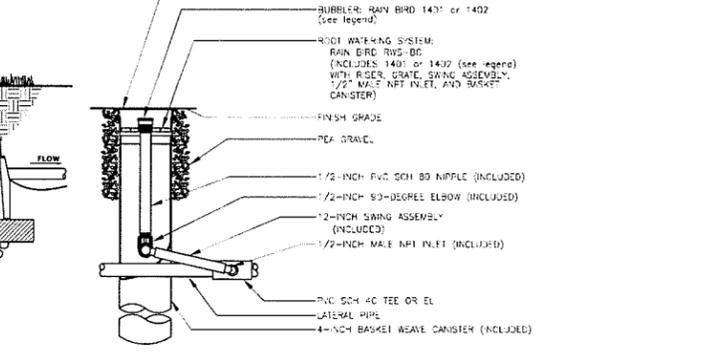
C MANUAL DRAIN VALVE
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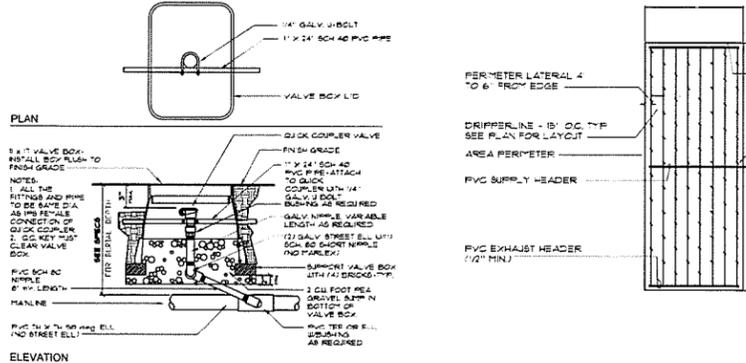
D SHUT OFF VALVE
NTS



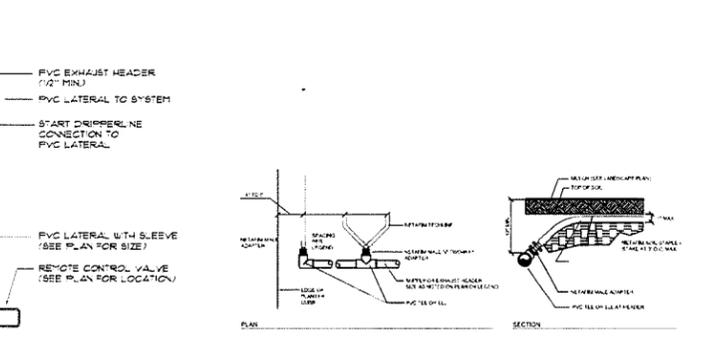
E POINT OF CONNECTION
NTS



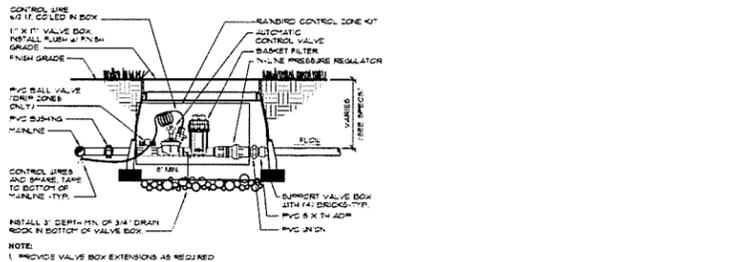
F ROOT WATERING SYSTEM
NTS



G QUICK COUPLER
NTS



H TYPICAL DRINKER LINE LAYOUT
NTS



I REMOTE CONTROL VALVE ASSEMBLY
FOR DRIP ZONE
S

IRRIGATION LEGEND

Symbol	Item	Manuf. / Cat NO.	Description-Remarks
○	SHRUB / LAWN HEAD	RAINBIRD 180X - 10 SAM SERIES (1804-LAWN, 1806-SHRUB)	30 PSI ADJUST RADIUS AS REQUIRED. INSTALL PER DETAIL A, THIS SHEET.
⊗	SHRUB / LAWN HEAD	RAINBIRD 180X - 06 SAM SERIES (1804-LAWN, 1806-SHRUB)	30 PSI ADJUST RADIUS AS REQUIRED. INSTALL PER DETAIL A, THIS SHEET.
⊙	SHRUB / LAWN HEAD	RAINBIRD 180X - 05 SAM SERIES (1804-LAWN, 1806-SHRUB)	30 PSI ADJUST RADIUS AS REQUIRED. INSTALL PER DETAIL A, THIS SHEET.
□	STRIP SPRAY	RAINBIRD 180X - 15-SST, 15-EST (1804-LAWN, 1806-SHRUB)	30 PSI ADJUST RADIUS AS REQUIRED. INSTALL PER DETAIL A, THIS SHEET.
▲	ROOT WATERING SYSTEM AT TREE GRATES	RAINBIRD RWS-BG02 (W/ 1402 BUBBLER)	INSTALL ADJACENT TO TREE ROOTBALL PER DETAIL F, THIS SHEET.
⊗	CONTROL VALVE	RAINBIRD 100, 150 PEB-PRS-B	PLASTIC CONTROL VALVE. INSTALL PER DETAIL B, THIS SHEET.
□	CONTROLLER	RAINBIRD ESP-MC-XX	XX STATION CONTROLLER. WALL MOUNT CONTROLLER IN LOCATION TO BE DETERMINED.
R	RAIN SHUT-OFF DEVICE	RAINBIRD RAIN CHECK	AUTOMATIC RAIN SHUT-OFF DEVICE. MOUNT ON TOP OF ROOF IN APPROX. LOCATION SHOWN. VERIFY W/ ARCH.
⊗	BACKFLOW PREVENTOR	FEBCO 850U-DC (1/2" - 2")	DOUBLE CHECK VALVE. INSTALL PER DETAIL E, THIS SHEET.
⊗	SHUT-OFF VALVE	AQUA (X*)	200 PSI THREADED ENDS. INSTALL PER DETAIL D, THIS SHEET.
⊗	STRAINER	WILKINS (X*)	BRASS STRAINER W/ 100 MESH SCREEN. INSTALL PER DETAIL E, THIS SHEET.
⊗	QUICK COUPLER	RAINBIRD #SRC 55K-1 KEY SH-2 SWIVEL HOSE ELL	INSTALL AT P.O.C AS PER DETAIL G, THIS SHEET. PROVIDE (2) KEYS AND (2) ELLS.
⊗	MANUAL DRAIN	CHAMPION	INSTALL AT POINT OF CONNECTION AS PER DETAIL C, THIS SHEET.
⊗	PRESSURE REDUCING VALVE	WILKINS PRV 600 SERIES	INSTALL PRESSURE REDUCING VALVE PER DETAIL E IF PRESSURE EXCEEDS 75 PSI. SEE THIS SHEET.
⊗	MASTER VALVE	RAINBIRD XX-GB	INSTALL AT POINT OF CONNECTION AS PER DETAIL E, THIS SHEET.
---	MAINLINE	PVC-SCHEDULE 40	2" MIN. SIZE. SIZES AS NOTED ON PLAN. SEE SPECS. FOR MIN. BURIAL DEPTH.
---	LATERALS	PVC-CLASS 200	SIZE AS PER PLAN. 3/4" MIN. UNLABELED PIPE SECTIONS TO MATCH THE LARGEST OF THE ADJACENT PIPES. UNLABELED PIPE AT THE END OF LATERAL RUNS TO BE 3/4". SEE SPECS. FOR MIN. BURIAL DEPTH.
---	SLEEVES	PVC-SCHEDULE 40	INSTALL WHERE INDICATED ON PLAN. SIZE SLEEVES PER PLAN. MINIMUM 2" SLVS. DEPTH AS REQUIRED BY PIPE WITHIN.
⊗	VALVE NUMBER		SEE ZONE SUMMARY FOR G.P.M.
⊗	VALVE SIZE		

IRRIGATION ARCH./PLUMBING COORDINATION LEGEND

Symbol	Item	Description-Remarks
---	COPPER MAINLINE	APPROXIMATE ROUTE. FINAL LOCATION TO BE DETERMINED/APPROVED BY ARCH., MECH. ENGINEER, AND PLUMBER. COPPER LINES TO EXTEND INTO PLANTERS 4" ABOVE BOTTOM OF PLANTER AND MIN. 12" FROM SIDEWALL. INSTALL THREADED COPPER FITTING TO MATCH LINE SIZE. ALL INSTALLATION OF COPPER LINES AND FITTINGS BY PLUMBER.
---	COPPER LATERAL	
PTP	PENETRATION THROUGH P.T. SLAB	APPROXIMATE LOCATIONS. FINAL LOCATIONS TO BE DETERMINED/APPROVED, BY ARCHITECT, MECH. ENGINEER, AND PLUMBER. SEE ARCH. FOR WATERPROOFING DETAILS/ REQUIREMENTS.
---	DRIPPERLINE	NETAFIM TECHLINE CV TLCV-04-12-10
---	W/ CHECK VALVE	SUBSURFACE PRESSURE COMPENSATING DRIPPERLINE 12" O.C. EMITTER SPACING WITH EMITTER DISCHARGE 4 GPH. APPROXIMATELY 12" SPACING BETWEEN PARALLEL DRIPPER-LINE. SEE DETAIL H, THIS SHEET. FOR ADDITIONAL LAYOUT INFORMATION. STAKE AT 3' O.C. WITH SPECIFIED STAPLES.
NO SYMBOL	SOIL STAPLE	NETAFIM TLS6
NO SYMBOL	FILTER	NETAFIM DF075-140
---	EXHAUST HEADER PIPE	PVC -CLASS 200
---	SUPPLY HEADER PIPE	

PRELIMINARY IRRIGATION LEGEND

SYMBOL	HYDROZONE	IRRIGATION TYPE
▨	TREE GRATES IN R.O.W.	BUBBLERS
▨	SHRUB AREAS IN R.O.W.	POP UP SPRAY HEADS
▨	SHRUB AREAS OVER STRUCTURE, GROUND LEVEL, SOUTH & WEST	DRIP SYSTEM
▨	SHRUB AREAS OVER STRUCTURE, GROUND LEVEL, NORTH	DRIP SYSTEM
▨	SHRUB AREAS OVER STRUCTURE, ROOF TERRACE	DRIP SYSTEM

IRRIGATION NOTES

- ADJUST ALL IRRIGATION HEADS TO PROVIDE MAXIMUM COVERAGE, MINIMUM OVERSPRAY, AND NO FOGGING. SET ALL HEADS BACK FROM CURBS, PAVING, AND WALLS AS SPECIFIED.
- LOCATION OF IRRIGATION MAINLINE, LATERALS, AND SLEEVING ARE SCHEMATIC ONLY. MAKE MINOR CHANGES TO COORDINATE WITH ACTUAL AS-BUILT DIMENSIONS AND CONDITIONS.
- THE IRRIGATION SYSTEM HAS BEEN DESIGNED WITH SEPARATE HYDROZONES ACCORDING TO THE NEEDS OF THE PLANT MATERIAL. THE IRRIGATION SYSTEM HAS BEEN DESIGNED TO PROVIDE A MINIMUM AVERAGE DISTRIBUTION UNIFORMITY OF 0.625. THE IRRIGATION SYSTEM HAS BEEN DESIGNED TO AVOID RUNOFF, LOW HEAD DRAINAGE, AND OVERSPRAY. AVOID IRRIGATION DURING TIMES OF HIGH WINDS, WHEN RAINING, OR DURING THE MIDDLE OF THE DAY.
- FREESTANDING PLANTERS ON LEVEL 2 WILL BE HAND WATERED AND WILL NOT RECEIVE IRRIGATION FROM THE AUTOMATED SYSTEM.
- IRRIGATION IN RIGHT-OF-WAY TO CONNECT TO EXISTING CITY SYSTEM. TIE-IN LOCATION AND OPERATION TO BE DETERMINED AND COORDINATED WITH CITY.
- REFER TO IRRIGATION SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

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MECH. DESIGN
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THE **Cesca**
ON THE PARK

STATE OF WASHINGTON
REGISTERED
MECHANICAL ENGINEER
NO. 10000

REVISIONS:

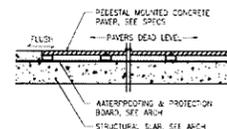
NO.	DATE	DESCRIPTION
1	12/17/07	CLEAR AND GRADE
2	12/17/07	CITY COMMENT REVISIONS
3	4/24/08	CITY COMMENT REVISIONS
4	7/11/08	DR RESUBMITTAL
5	8/20/08	FWA DD SET
6	8/27/08	DR RESUBMITTAL

DR Resubmittal

DATE: August 17, 2008
JOB NUMBER: 27107
COS PROJECT NUMBER:
DRAWING: mhc
APPROVAL: mhc

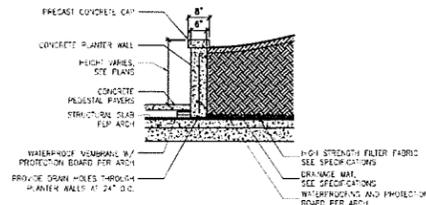
Irrigation Schedule, Notes, and Details

L2.02

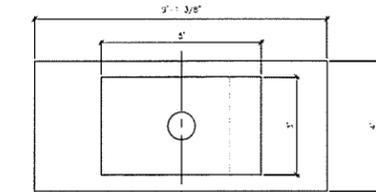


NOTES:
1. INSTALL PER MANUFACTURER'S RECOMMENDATION
2. SEE SPECIFICATIONS FOR PAVERS AND PEDESTAL SYSTEM

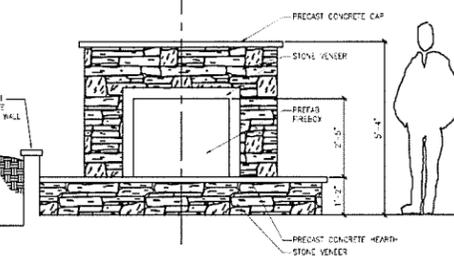
A PEDESTAL PAVERS
1/2"=1'-0"



B CONCRETE PLANTER WALL
1/2"=1'-0"

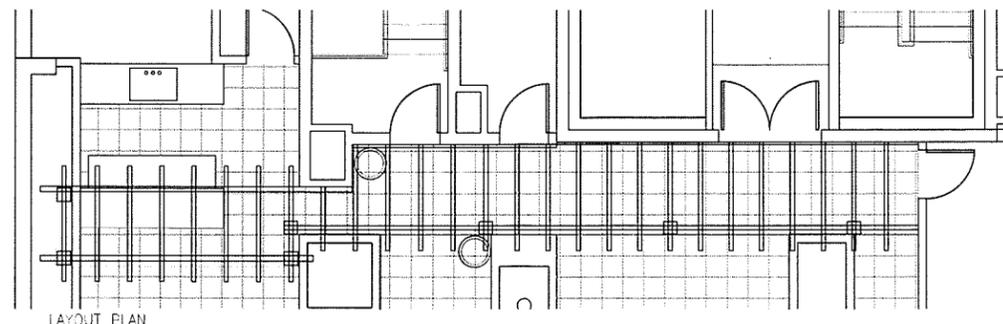


PLAN

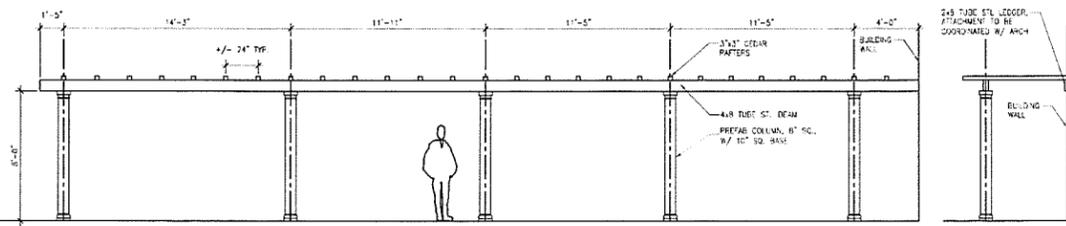


FRONT ELEVATION

C FIREPLACE
1/2"=1'-0"



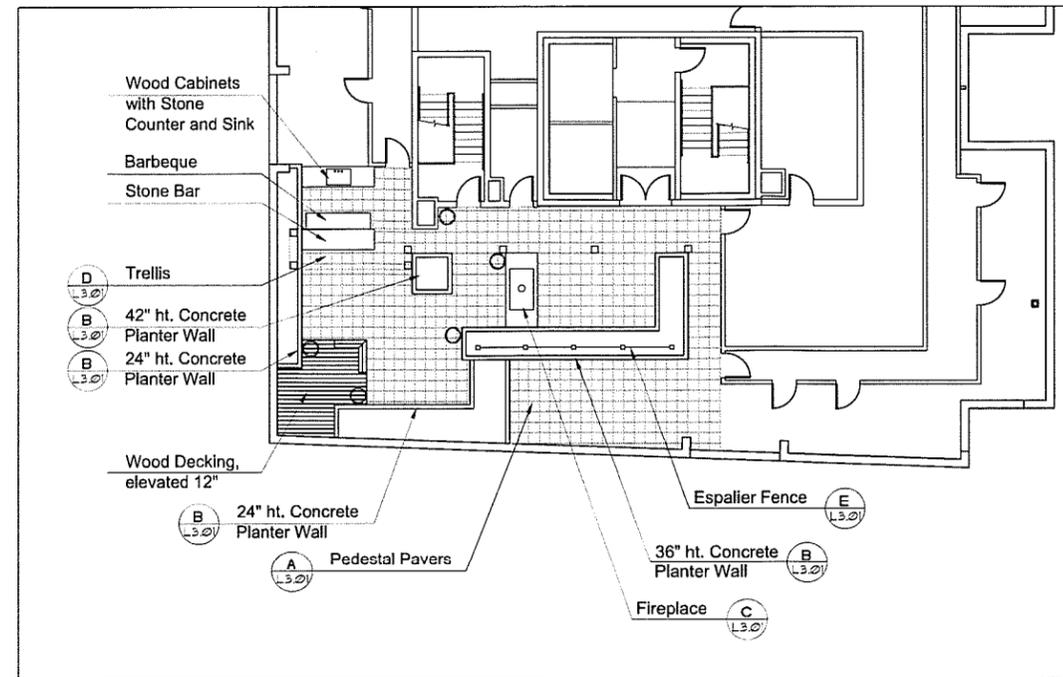
LAYOUT PLAN



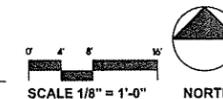
FRONT ELEVATION

SIDE ELEVATION

D TRELLIS
1/4"=1'-0"

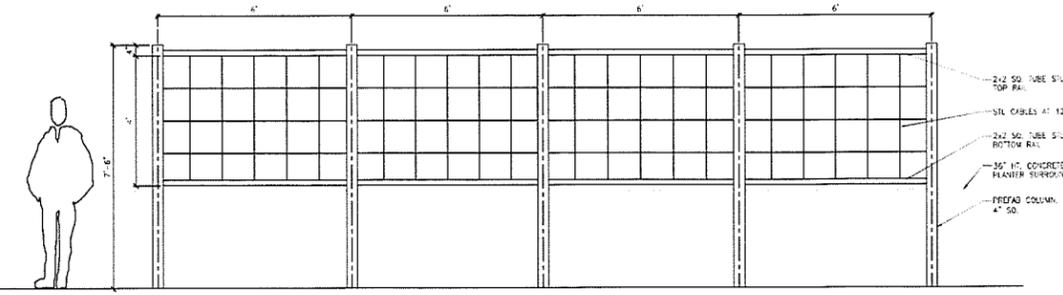


ROOF TERRACE LAYOUT PLAN
1/8"=1'-0"



ROOFTOP TERRACE HARDSCAPE LEGEND

- WOOD DECKING**
2x4 lpe decking
- PEDESTAL PAVERS**
Abbotsford Concrete Products, Yorkstone, 18"x18" size, Tan color. See detail A, this sheet.
- FREESTANDING PLANTER POTS**
Nichols Bros., Dorset Bowl, 24" diameter, 18" height, Pewter color.



FRONT ELEVATION

E ESPALIER FENCE
1/2"=1'-0"

REVISIONS:

1	1/21/07	CLEAR AND GRADE
2	3/15/07	CITY COMMENT REVISIONS
3	4/24/08	CITY COMMENT REVISIONS
4	7/11/08	DR RESUBMITTAL
5	8/24/08	TRF/DO SET
6	8/27/08	DR RESUBMITTAL

DR Resubmittal
DATE: August 21, 2008
JOB NUMBER: 27017
JOB PROJECT NUMBER:
DRAWING: mp-047
APPROVAL: mp

Rooftop Terrace
Layout Plan &
Details

L3.01