

# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM

### CITY OF BELLEVUE, KING COUNTY, WA

**CONSTRUCTION NOISE NOTES:**

CONSTRUCTION NOISE OUTSIDE THE ALLOWABLE HOURS IS PROHIBITED PER RCW 91.040. TO BE CONSIDERED A VIOLATION, THE CONSTRUCTION-RELATED NOISE MUST BE AUDIBLE ACROSS A PROPERTY LINE OR AT LEAST 75 FEET FROM THE SOURCE. ANY VIOLATION IS A CIVIL INFRACTION AND THE CITY MAY ASSESS A MONETARY PENALTY TO THE INDIVIDUAL CREATING THE NOISE. THE PENALTIES ARE:

- A WARNING WILL BE ISSUED IF NO CONSTRUCTION NOISE VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
- A CITATION WILL BE ISSUED AND A \$125 FINE IMPOSED IF ONE PREVIOUS VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
- A CITATION WILL BE ISSUED AND A \$250 FINE IMPOSED IF TWO OR MORE PREVIOUS VIOLATIONS HAVE BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.

FOR ALL COMMERCIAL, MULTI-FAMILY, AND NEW SINGLE-FAMILY HOMES:

CONSTRUCTION-RELATED NOISE IS ALLOWED:

- 7 AM TO 6 PM ON WEEKDAYS
- 9 AM TO 6 PM ON SATURDAYS

CONSTRUCTION-RELATED NOISE IS NOT ALLOWED:

- OUTSIDE OF ALLOWABLE HOURS
- LEGAL HOLIDAYS
- SUNDAYS

MOBILIZATION/STOCKPILE AREA NOTES:

ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE PCD INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY DUMPING.

STREET SWEEPING NOTE:

CONTRACTOR SHALL IMMEDIATELY SWEEP THE PAVED CITY RIGHT-OF-WAY WHEN DIRT OR OTHER CONSTRUCTION RELATED DEBRIS IS DEPOSITED.

DUST SUPPRESSION

DUST FROM CLEARING, GRADING, AND OTHER CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED AT ALL TIMES. ANY DUST SUPPRESSANTS USED SHALL BE APPROVED BY THE DIRECTOR. PETROLEUM-BASED DUST SUPPRESSANTS ARE PROHIBITED. WATERING THE SITE TO SUPPRESS DUST IS ALSO PROHIBITED UNLESS IT CAN BE DONE IN A WAY THAT KEEPS SEDIMENT OUT OF THE PUBLIC DRAINAGE SYSTEM.

DESIGN CHANGES AFTER PERMIT ISSUANCE

IF UTILITIES DESIGN CHANGES RESULT IN CHANGES TO THE CLEARING LIMITS SHOWN ON THESE PLANS, THE APPLICANT MUST SUBMIT A REVISION TO THE CLEARING AND GRADING PERMIT THAT INDICATES THE LOCATION OF THE NEW CLEARING LIMITS.

GEOTECHNICAL NOTES:

THE PROJECT GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE MUST BE ON-SITE DURING CRITICAL EARTHWORK OPERATIONS. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL EXCAVATIONS AND FILL AREAS. IN ADDITION, THE ENGINEER SHALL INSPECT THE SOIL CUTS PRIOR TO CONSTRUCTION OF THE ROCKERIES AND INSPECT THE COMPACTION IN FILL AREAS. THE ENGINEER MUST SUBMIT FIELD REPORTS IN WRITING TO THE PCD INSPECTOR FOR SOILS VERIFICATION AND FOUNDATION CONSTRUCTION. ALL EARTHWORK SHOULD BE IN CONFORMANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

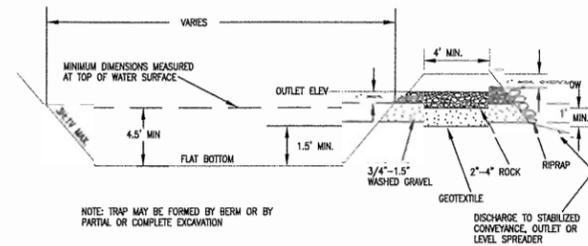
THE GEOTECHNICAL ENGINEER MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING. IN ADDITION, THE FOLLOWING CONSTRUCTION STAGES MUST BE INSPECTED, MONITORED, AND TESTED AS NECESSARY BY THE GEOTECHNICAL ENGINEER OF RECORD:

1. SITE CLEARING AND STRIPPING OF ORGANIC TOPSOIL FOR ALL AREAS TO RECEIVE STRUCTURAL FILL, PAVEMENTS, OR FOUNDATIONS.
2. CUT SLOPES OVER FOUR FEET HIGH.
3. BENCHING FOR FILL TO BE PLACED ON SLOPES.
4. INSPECTION OF PROPOSED IMPORT FILL MATERIAL, PRIOR TO PLACEMENT.
5. PLACEMENT OF STRUCTURAL FILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
6. SUBGRADES FOR RETAINING WALLS, FOUNDATIONS, AND FOR THE BASE OF ROCKERIES.
7. INSTALLATION OF SUBSURFACE DRAINAGE FACILITIES.
8. UTILITY TRENCH BEDDING AND BACKFILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
9. UTILITIES ON STEEP SLOPES; SLOPE ANCHORS AND/OR BACKFILL SLOPE STABILIZATION.
10. ANY UNUSUAL SEEPAGE, SLOPE, OR SUBGRADE CONDITION AS DELINEATED IN THE GEOTECHNICAL REPORT OR DISCOVERED IN THE FIELD.

AT THE END OF THE CONSTRUCTION, THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SUMMARY LETTER VERIFYING THAT CRITICAL STAGES OF THE CONSTRUCTION HAVE BEEN INSPECTED AND ARE IN CONFORMANCE WITH GEOTECHNICAL REPORT.

**MULCHING NOTES:**

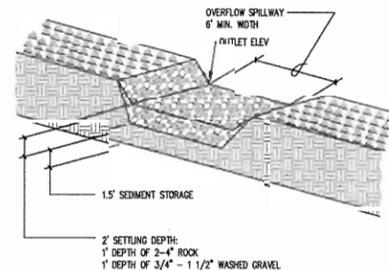
1. MULCH MATERIALS USED SHALL BE HAY OR STRAW, AND SHALL BE APPLIED 2 INCHES THICK WITH NO EXPOSED SOIL.
2. MULCHES SHALL BE APPLIED IN ALL AREAS WITH EXPOSED SLOPES GREATER THAN 2H:1V OR OTHERWISE SHOWN.
3. MULCHING SHALL BE USED IMMEDIATELY AFTER SEEDING OR IN AREAS WHICH CANNOT BE SEEDING BECAUSE OF THE SEASON.
4. COMPLY WITH MULCH REQUIREMENTS FOR PERMANENT SEEDING SHOWN ON C1.05 AND IN LANDSCAPE PLANS AND SPECIFICATIONS.



NOTE: TRAP MAY BE FORMED BY BERM OR BY PARTIAL OR COMPLETE EXCAVATION

DISCHARGE TO STABILIZED CONVEYANCE, OUTLET OR LEVEL SPREADER

**1 SEDIMENT TRAP**  
NOT TO SCALE



**2 SEDIMENT TRAP OUTLET**  
NOT TO SCALE

**PLASTIC COVERING NOTES:**

1. PLASTIC SHEETING SHALL HAVE A MINIMUM THICKNESS OF 6 MILS AND SHALL MEET THE REQUIREMENTS OF THE STATE STANDARD SPECIFICATIONS SECTION 9-14.5.
2. COVERING SHALL BE INSTALLED AND MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10-FOOT GRID SPACING IN ALL DIRECTIONS. ALL SEAMS SHALL BE TAPED OR WEDGED DOWN FULL LENGTH AND THERE SHALL BE AT LEAST A 12 INCH OVERLAP OF ALL SEAMS.
3. CLEAR PLASTIC COVERING SHALL BE INSTALLED IMMEDIATELY ON AREAS SEEDING BETWEEN NOVEMBER 1 AND MARCH 31 AND REMAIN UNTIL VEGETATION IS FIRMLY ESTABLISHED.
4. WHEN THE COVERING IS USED ON UN-SEEDING SLOPES, IT SHALL BE KEPT IN PLACE UNTIL THE NEXT SEEDING PERIOD.
5. PLASTIC COVERING SHEET SHALL BE BURIED TWO FEET AT THE TOP OF SLOPES IN ORDER TO PREVENT SURFACE WATER FLOW BENEATH SHEETS.
6. PROPER MAINTENANCE INCLUDES REGULAR CHECKS FOR RIPS AND DISLOOSED ENDS.



Project Title:

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

Client:

BLRB Architects

1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 627.5599

Job No.

206172.10

Issue, Set & Date:

**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**

12/14/08



Revisions:	

Sheet Title:

**TESC NOTES AND DETAILS**

Designed by: TCS    Drawn by: SPD    Checked by: DSG

Sheet No.

**C1.06**

7 of 37 Sheets

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**KEY PLAN**



**ADMINISTRATIVE**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL DISTRICT

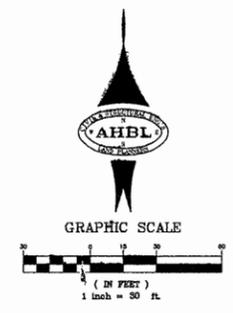
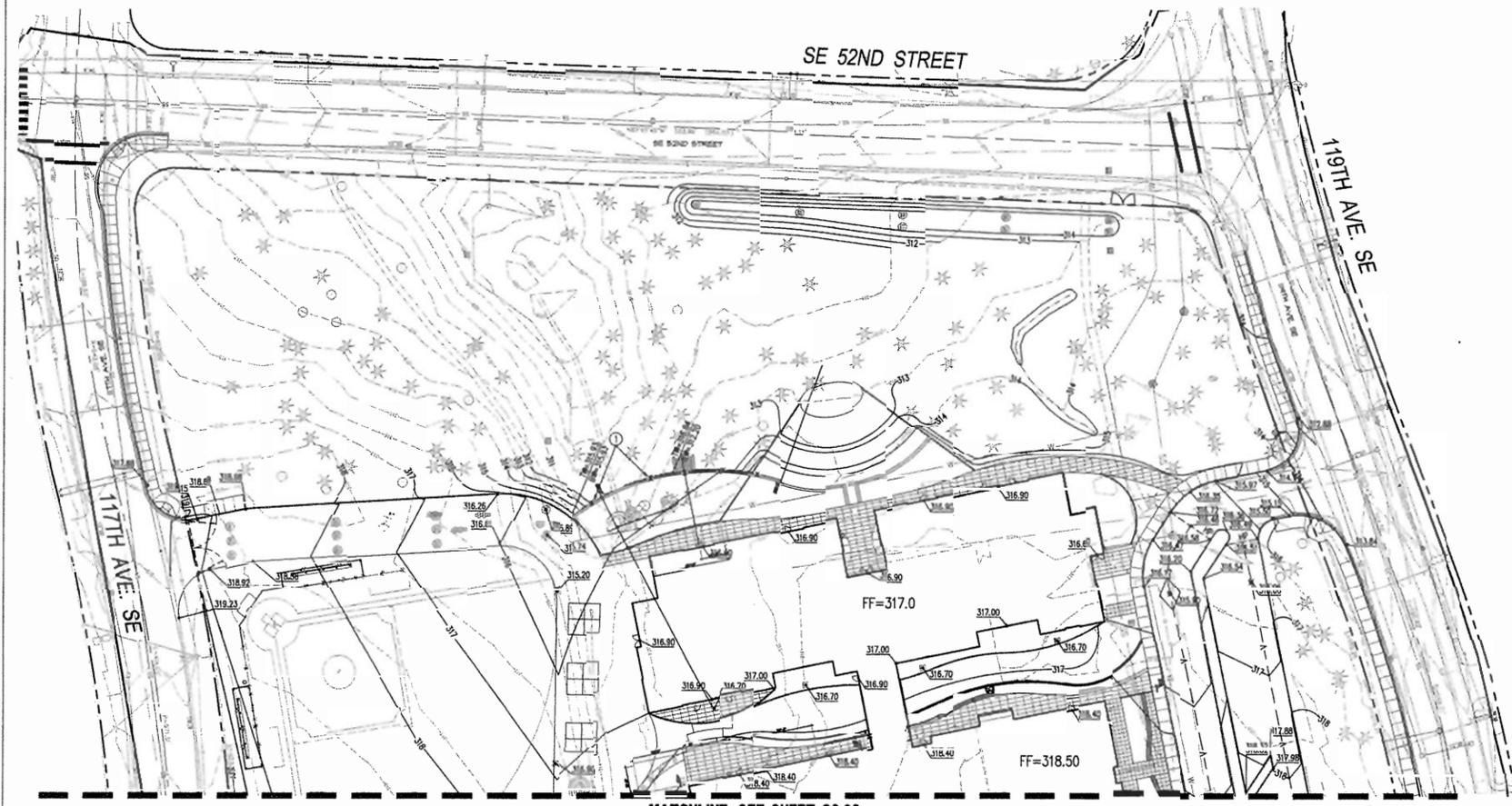


**TESC NOTES AND DETAILS**

Date: 03/02/07	Drawn: AHBL
Revised: 03/02/07	Comm. No: 06-08
Stamp:	Sheet No:

**C1.06**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
**PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM**  
**CITY OF BELLEVUE, KING COUNTY, WA**



**KEY NOTES**

- ① PROMOTE CAST IN PLACE RETAINING WALL PER LANDSCAPE DETAIL.

**CLEARING AND GRADING STANDARD NOTES**

1. ALL CLEARING AND GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING EROSION CONTROL STANDARD DETAILS (EC-1 THROUGH EC-23), DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION.  
  
IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, STOCKPILES OVER 4 FEET IN HEIGHT, GEOTEXT REINFORCED ROCKERIES AND GEOTEXT REINFORCED MODULAR BLOCK WALLS, MUST BE STAMPED BY A PROFESSIONAL ENGINEER.
2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
4. THE AREA TO BE CLEARED AND GRADED MUST BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING AND GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.
5. A REINFORCED SILT FENCE MUST BE INSTALLED IN ACCORDANCE WITH COB EC-5 AND SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING AND GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.
6. A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED PER CLEARING AND GRADING STANDARD DETAIL EC-1 OR EC-2. THIS PAD MUST REMAIN IN PLACE UNTIL PAVING IS INSTALLED.
7. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
8. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING AND GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.

**CLEARING AND GRADING STANDARD NOTES (CONTINUED)**

9. TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP) ARE REQUIRED.
  - PRESERVE NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR.
  - PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH MATERIALS, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR.
  - INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL.
  - INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ON-SITE.
10. FINAL SITE GRADING MUST DRAIN AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE UNIFORM BUILDING CODE.
11. THE CONTRACTOR MUST MAINTAIN A SHEEPER ON-SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
12. TURBIDITY MONITORING MAY BE REQUIRED AS A CONDITION OF CLEARING AND GRADING PERMIT APPROVAL. IF REQUIRED, TURBIDITY MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR. MONITORING MUST CONTINUE DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN-OFF BY THE CLEARING AND GRADING INSPECTOR.
13. ANY PROJECT THAT IS SUBJECT TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING AND GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE PCD DIRECTOR. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30TH, AS DEFINED IN SECTION 23.76.035A OF THE CLEARING AND GRADING CODE.

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Project Title:  
**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

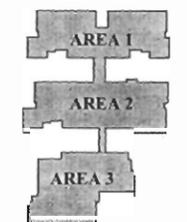
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Job No.  
208172.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**  
12/14/08



**KEY PLAN**



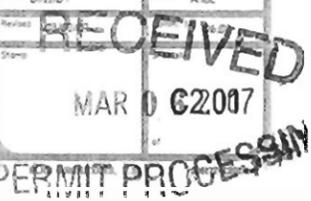
**ADMINISTRATIVE CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
DISTRICT NO. 409



Drawing Title:  
**GRADING PLAN NORTH**

Date: 01/27/07 Drawn: ABL



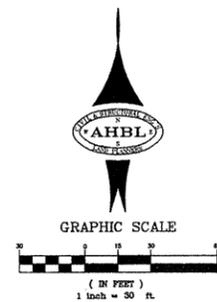
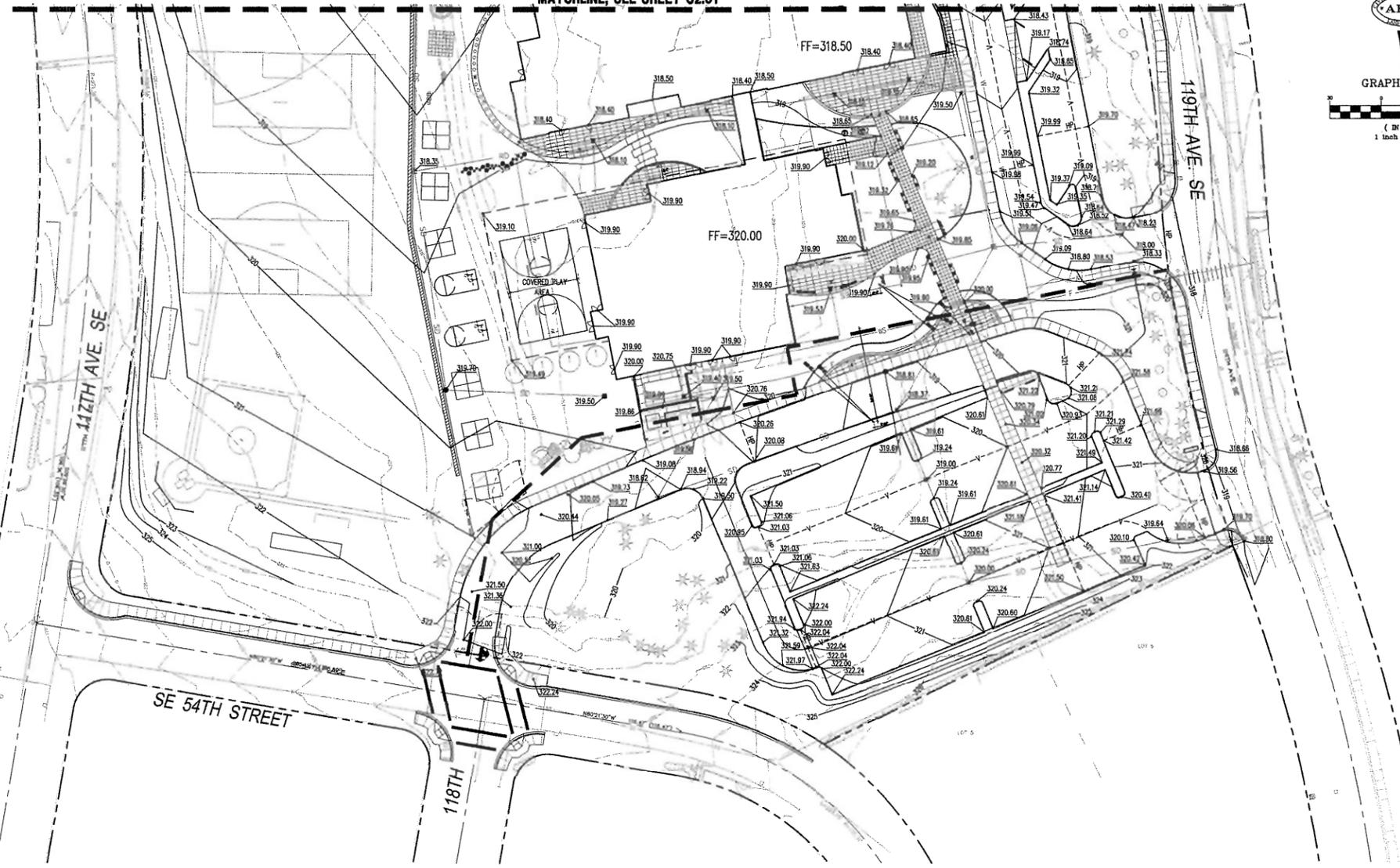
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Sheet Title:  
**GRADING PLAN NORTH**

Designed by: TCS Drawn by: SFD Checked by: DSG

Sheet No.  
**C2.01**  
8 of 37 Sheets

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
 PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM  
 CITY OF BELLEVUE, KING COUNTY, WA

MATCHLINE, SEE SHEET C2.01



Project Title:  
**NEWPORT HEIGHTS  
 ELEMENTARY SCHOOL**

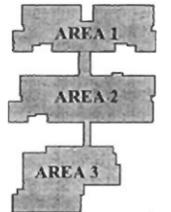
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Job No.  
 208172.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING  
 & GRADING PERMIT SET**  
 12/14/05



KEY PLAN



ADMINISTRATIVE  
 CONDITIONAL USE PERMIT

**NEWPORT HEIGHTS  
 ELEMENTARY SCHOOL**  
 BELLEVUE SCHOOL  
 DISTRICT NO. 485



Drawing Title:  
 GRADING PLAN  
 SOUTH

Date: 01/23/07  
 Project: 03/00/07  
 Comm. No. 06/05

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Sheet Title:  
**GRADING PLAN  
 SOUTH**

Designed by: TCS  
 Drawn by: SFD  
 Checked by: DSG

Sheet No.  
**C2.02**  
 9 of 37 Sheets

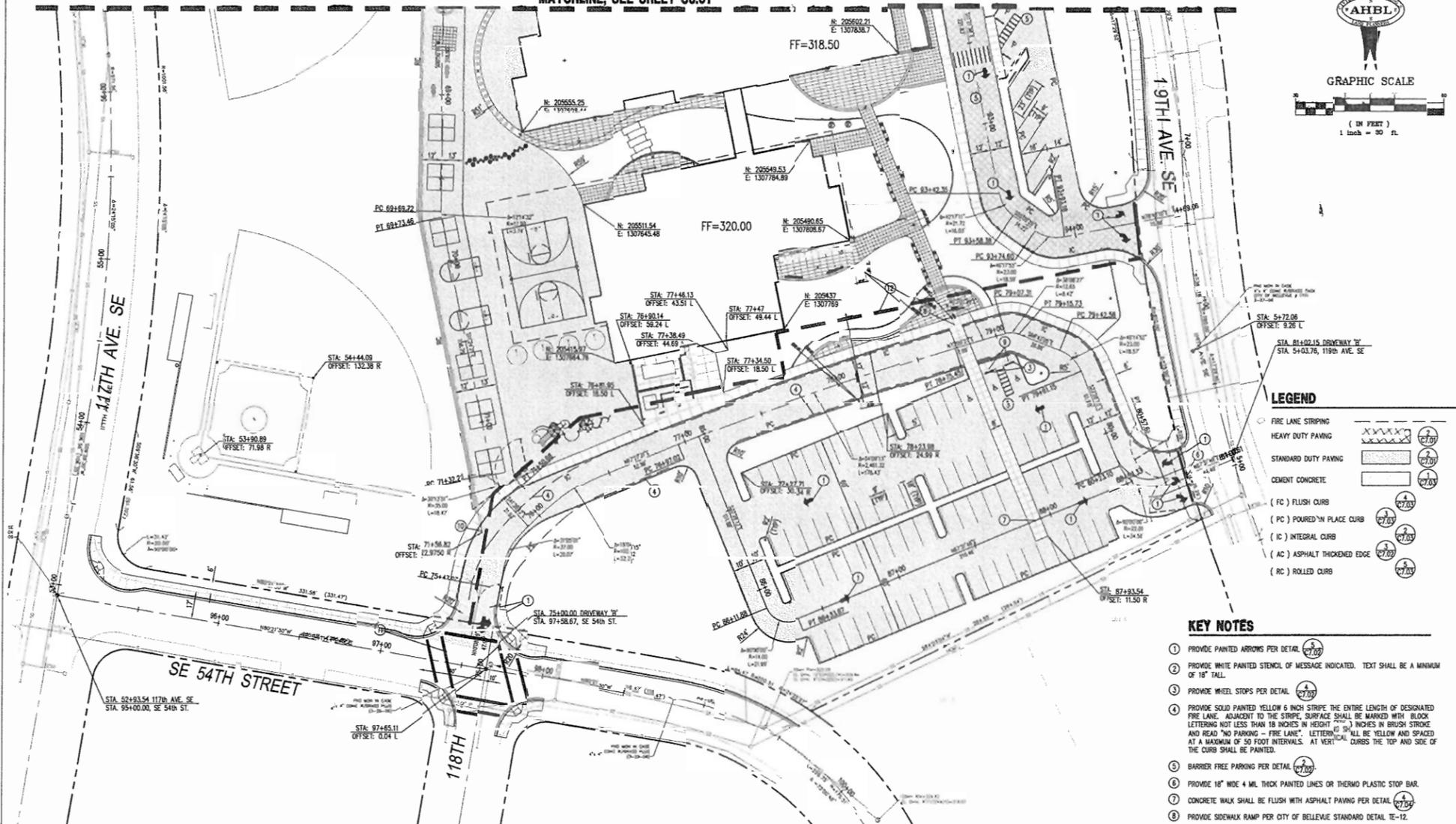


# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM

### CITY OF BELLEVUE, KING COUNTY, WA

MATCHLINE, SEE SHEET C3.01



**LEGEND**

○	FIRE LANE STRIPING	
⊗	HEAVY DUTY PAVING	
□	STANDARD DUTY PAVING	
□	CEMENT CONCRETE	
( FC )	FLUSH CURB	
( PC )	POURED IN PLACE CURB	
( IC )	INTEGRAL CURB	
( AC )	ASPHALT THICKENED EDGE	
( RC )	ROLLED CURB	

- KEY NOTES**
1. PROVIDE PAINTED ARROWS PER DETAIL (7707)
  2. PROVIDE WHITE PAINTED STENCIL OF MESSAGE INDICATED. TEXT SHALL BE A MINIMUM OF 18" TALL.
  3. PROVIDE WHEEL STOPS PER DETAIL (7707)
  4. PROVIDE SOLID PAINTED YELLOW 6 INCH STRIPE THE ENTIRE LENGTH OF DESIGNATED FIRE LANE. ADJACENT TO THE STRIPE, SURFACE SHALL BE MARKED WITH BLOCK LETTERING NOT LESS THAN 18 INCHES IN HEIGHT (12) INCHES IN BRUSH STROKE AND READ "NO PARKING - FIRE LANE". LETTERING SHALL BE YELLOW AND SPACED AT A MAXIMUM OF 50 FOOT INTERVALS. AT VERTICAL CURBS THE TOP AND SIDE OF THE CURB SHALL BE PAINTED.
  5. BARRIER FREE PARKING PER DETAIL (7707)
  6. PROVIDE 18" WIDE 4 MIL THICK PAINTED LINES OR THERMO PLASTIC STOP BAR.
  7. CONCRETE WALK SHALL BE FLUSH WITH ASPHALT PAVING PER DETAIL (7707)
  8. PROVIDE SIDEWALK RAMP PER CITY OF BELLEVUE STANDARD DETAIL TE-12.
  9. PROVIDE BARRIER FREE PARKING SPACE SIGNAGE.
  10. TAPER ROLLED CURB TO BE FLUSH WITH CONCRETE WALK.
  11. GRIND & OVERLAY EXISTING STREET. PROVIDE 2" MINIMUM OVERLAY THICKNESS.
  12. PROJECT PHASING LIMITS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

**GENERAL NOTES**

1. SEE C3.01 AND C3.02 FOR OFFSITE ROADWAY IMPROVEMENTS AND PAVEMENT RESTORATION.

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Civil Engineers  
 Structural Engineers  
 Landscape Architects  
 Community Planners  
 Land Surveyors  
 Neighbors

AHBL

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Project Title:

NEWPORT HEIGHTS ELEMENTARY SCHOOL

---

Client:

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Job No. 206172.10

Issue Set & Date:

UTILITY EXTENSION CLEARING & GRADING PERMIT SET

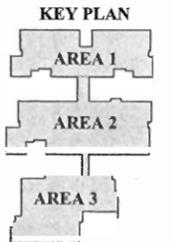
12/14/06



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PAVING AND HORIZONTAL CONTROL - SOUTH

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 Drawn by: SFD  
 Checked by: DSG

C3.02

11 of 37 Sheets

ADMINISTRATIVE  
CONDITIONAL USE PERMIT

NEWPORT HEIGHTS  
ELEMENTARY SCHOOL  
BELLEVUE SCHOOL DISTRICT

BLRB architects

Drawing Title:  
 PAVING AND HORIZONTAL CONTROL - SOUTH

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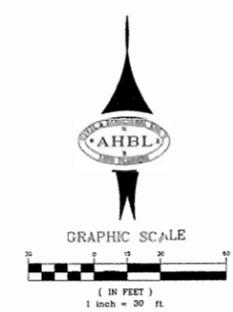
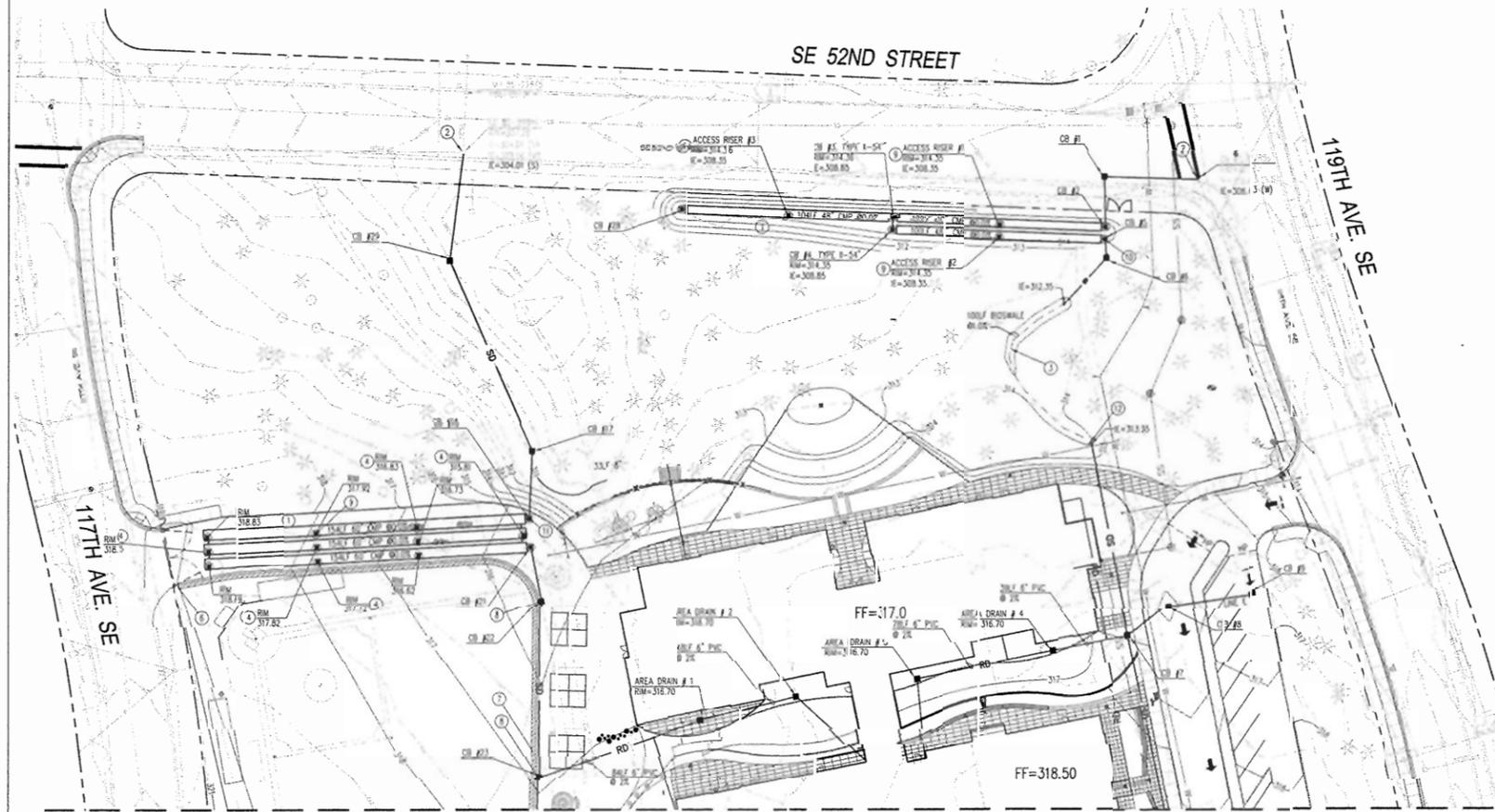
MAR 06 2007

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PERMIT PROCESSING

# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM CITY OF BELLEVUE, KING COUNTY, WA



### STORM KEYNOTES

1. PROVIDE SPOKING PIPE PER CITY OF BELLEVUE DETAIL D-31.
2. CONNECT TO EXISTING CATCH BASIN.
3. PROVIDE BODWALE PER DETAIL (7/10).
4. PROVIDE ACCESS RISER TO BE AT FINISHED GRADE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION DURING THE FABRICATION SUBMITTAL.
5. PROVIDE AREA DRAIN PER DETAIL (7/10).
6. PROVIDE STORM CLEANOUT PER CITY OF BELLEVUE STANDARD DETAIL D-52.
7. PROVIDE UNDER DRAIN PER DETAIL (7/10).
8. CONNECT UNDER DRAIN TO CB.
9. ACCESS RISER PER CITY OF BELLEVUE DETAIL D-34.
10. PRIMARY CONTROL STRUCTURE PER DETAIL (7/10).
11. PROVIDE CONTROL STRUCTURE PER DETAIL (7/10).
12. PIPE OUTLET RIRRAP PER DETAIL (7/10).

### GENERAL NOTES

1. ALL CATCH BASINS SHALL BE TYPE 1 UNLESS OTHERWISE NOTED ON PLANS.
2. ALL CATCH BASINS SHALL HAVE LOCKING FRAMES AND GRATES.
3. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION AND QUANTITY OF DOWNPOITS. SEE DOWNPOUT CONNECTION DETAIL (7/10).
4. SEE STORM DRAIN PROFILES ON SHEETS C4.03-4.05.

### STORM DRAINAGE GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
3. THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS AT LEAST 1 FOOT BELOW THE FOOTING DRAINAGE SYSTEM AND DOWN SLOPE OF THE BUILDING FOUNDATION.
4. PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNSIDE BASINS AND BUILTS MUST BE PROTECTED WITH CATCH BASIN BARRIERS. SIMPLY PLACE RG FILTER FABRIC UNDER THE GRADE IS NOT ACCEPTABLE.
5. PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAIN SYSTEM, SUCH AS RUBBLE, WOODSIR AND REDWOOD TIMBERS, SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
6. ENDS OF EACH STORM DRAIN STUB AT THE PROPERTY LINE SHALL BE CAPPED AND LOCATED WITH AN 8" LONG 2" x 4" BOARD, EMBEDDED TO THE STUB CAP AND EXTENDING AT LEAST 3 FEET ABOVE GRADE, AND MARKED PERMANENTLY "STORM". A COPPER 12 GA. LOCATE WIRE FINELY ATTACHED. THE STUB DEPTH SHALL BE INDICATED ON THE MARKER.
7. ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOOKING, VAINED GRATES PER THE STANDARD DETAIL S. STRUCTURES IN TRAFFIC LANES OUTSIDE OF THE CURBLINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOOKING SOLID CONERS. OFF-STREET STRUCTURES WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH BOLT-LOOKING SOLID CONERS.
8. VEGETATION/LANDSCAPING IN THE DETENTION POND AND/OR DRAINAGE SWALE(S) ARE AN INTEGRAL PART OF THE RUNOFF TREATMENT SYSTEM FOR THE PROJECT. SUCH DRAINAGE FACILITIES WILL NOT BE ACCEPTED UNTIL PLANTING IS COMPLETE.
9. ALL CDP PIPE SHALL BE ADE: N-12.

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Project Title:  
**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**

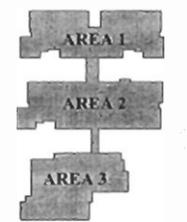
Client:  
BLRB Architects  
1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
253.933.2422

Job No.:  
206472.107

Issue, Set & Date:  
**UTILITY EXTENSION CLEARING  
& GRADING PERMIT SET**  
12/14/06



### KEY PLAN



### ADMINISTRATIVE CONDITIONAL USE PERMIT

**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL  
JUSTIFICATION: 207-009

**BLRB  
architects**

Drawn Title:  
**DRAINAGE PLAN  
NORTH**

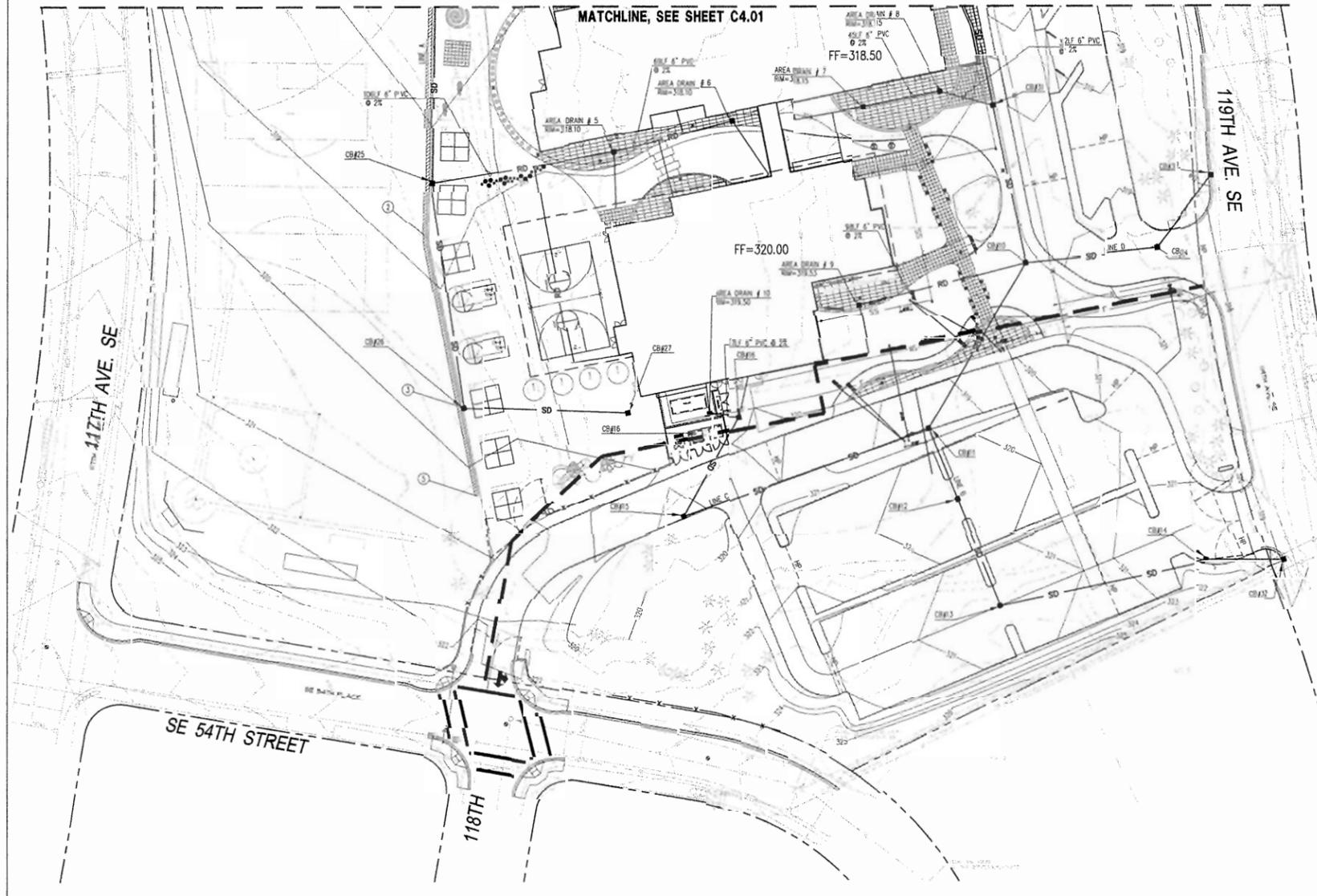
Date: 01/22/07 Drawn: AHBL  
Revised: 03-06-07 Comm. No: 06-06

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**C4.01**  
12 of 37 Sheets

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
 PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM  
 CITY OF BELLEVUE, KING COUNTY, WA



- STORM KEYNOTES**
1. PROVIDE DOWNPOUT CONNECTION. VERIFY LOCATION WITH ARCHITECTURAL PLAN.
  2. PROVIDE UNDER DRAIN PER DETAIL.
  3. CONNECT UNDER DRAIN TO CB.
  4. PROVIDE AREA DRAIN PER DETAIL.
  5. PROVIDE CLEANOUT PER CITY OF BELLEVUE STANDARD DETAIL D-31.

**CB TABLE (SOUTH)**

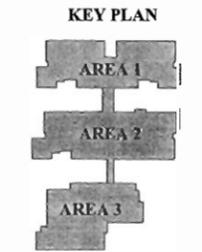
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**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

Client: **BLRB Architects**  
 45 Broadway Plaza, Suite 1200  
 Tacoma, WA 98402  
 DAVID POOL  
 (253) 827-6999

Project Title:  
**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**

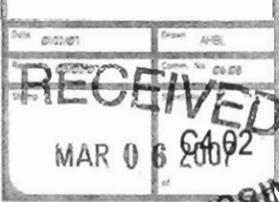


**ADMINISTRATIVE CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
 BELLEVUE SCHOOL DISTRICT NO. 405

**BLRB architects**

**DRAINAGE PLAN SOUTH**



**PERMIT PROCESSING**

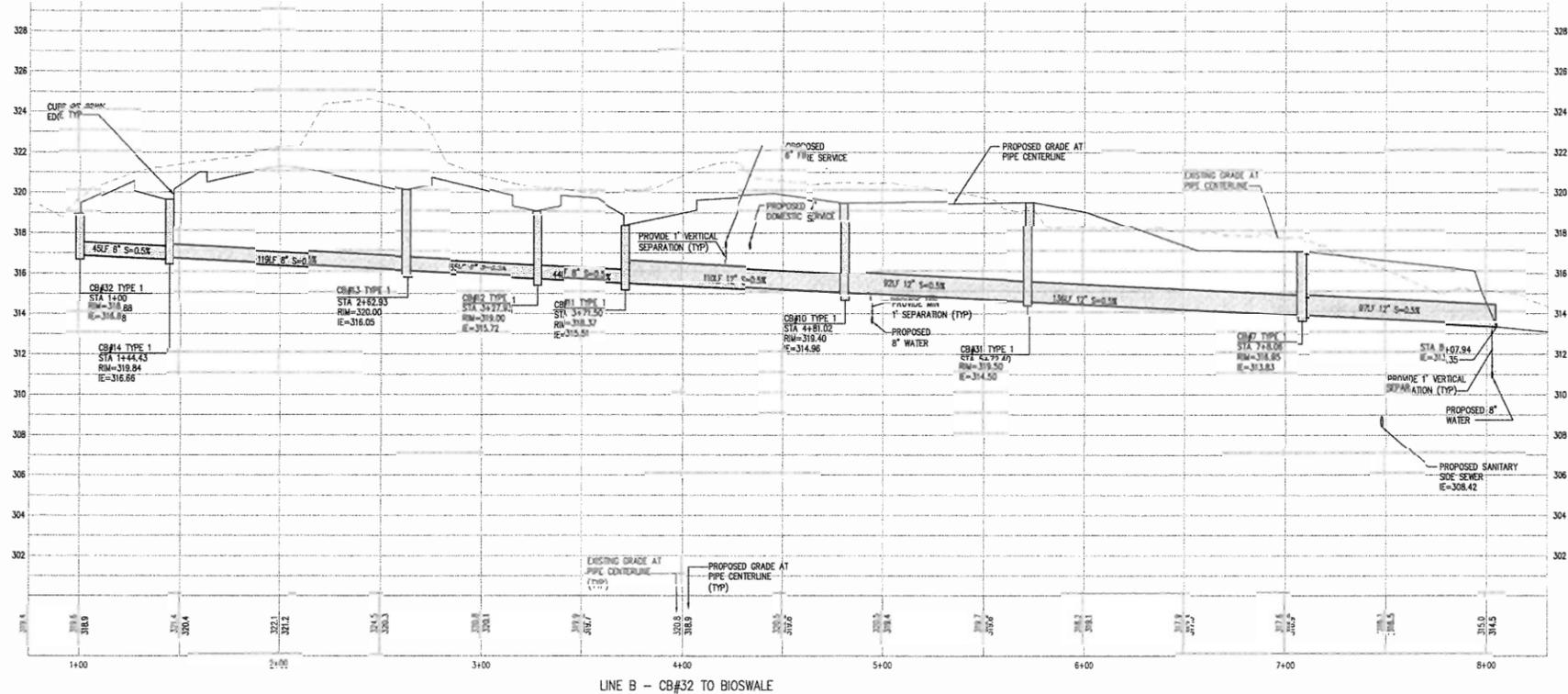
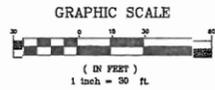
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# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM CITY OF BELLEVUE, KING COUNTY, WA



PROFILE SCALE:  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'

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Project Title:  
**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

Client:  
**BLRB Architects**  
1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
12501 627-6969

Job No.:  
208172.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**  
12/14/06



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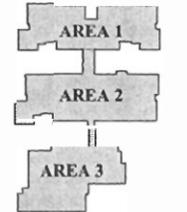
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**DRAINAGE PROFILES**

Designed by: TCS Drawn by: SFD Checked by: DSG  
**C4.04**

Sheet No.:  
15 of 37 Sheets



KEY PLAN



ADMINISTRATIVE  
CONDITIONAL USE PERMIT

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL DISTRICT

**BLRB architects**

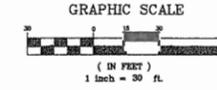
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# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM CITY OF BELLEVUE, KING COUNTY, WA



Civil Engineers  
Structural Engineers  
Landscape Architects  
Community Planners  
Land Surveyors  
Geographers

**AHBL**  
TACOMA · SEATTLE  
2215 North 30th Street, Suite 300, Tacoma, WA 98403  
12200 5th Avenue, Suite 1620, Seattle, WA 98101  
206.387.2425 TEL

Project Title:  
**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**

Client:  
BLRB Architects  
1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 627.5999

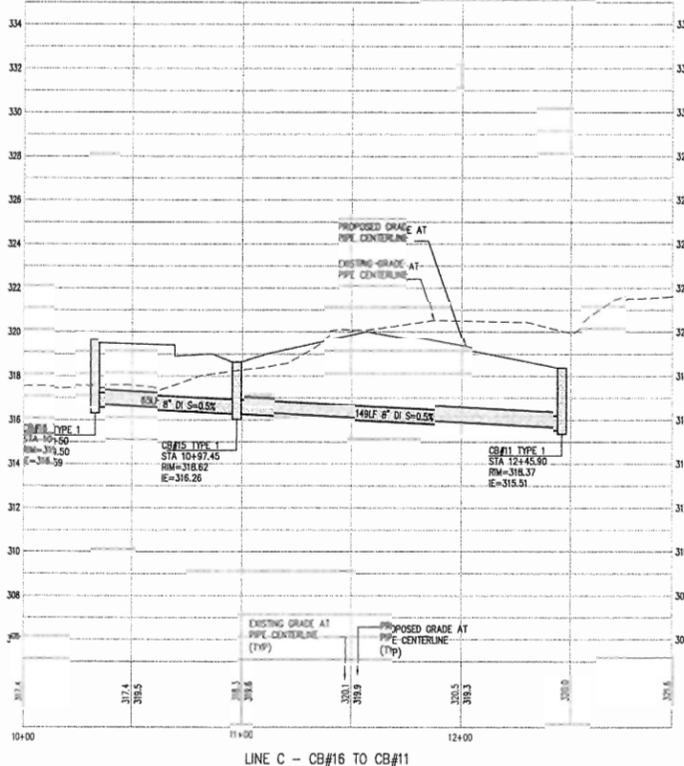
Job No.  
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Issue Set & Date:  
**UTILITY EXTENSION CLEARING  
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12/14/08

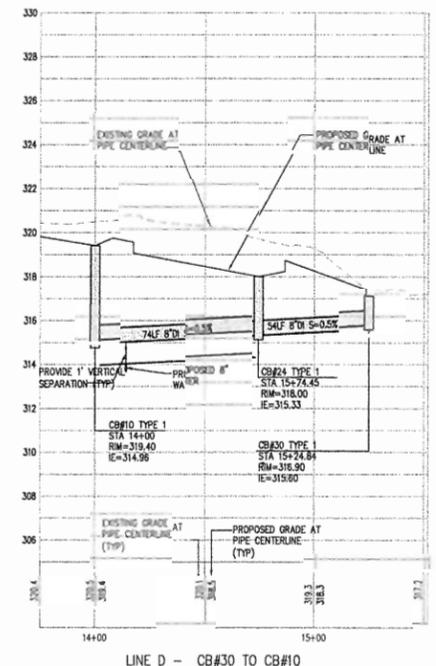


Civil Engineers  
Structural Engineers  
Landscape Architects  
Community Planners  
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Geographers

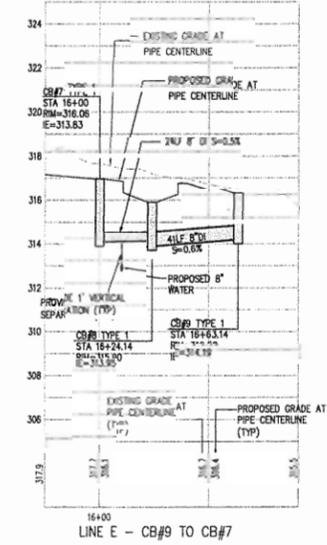
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2215 North 30th Street, Suite 300, Tacoma, WA 98403  
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206.387.2425 TEL



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HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'



PROFILE SCALE:  
HORIZONTAL SCALE: 1" = 30'  
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VERTICAL SCALE: 1" = 3'

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Sheet Title:  
**DRAINAGE  
PROFILES**

Drawn by: SFD  
Checked by: DSG

Sheet No.  
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ADMINISTRATIVE  
CONDITIONAL USE PERMIT

**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**  
DISTRICT NO. 485

**BLRB  
architects**

DRAINAGE  
PROFILES

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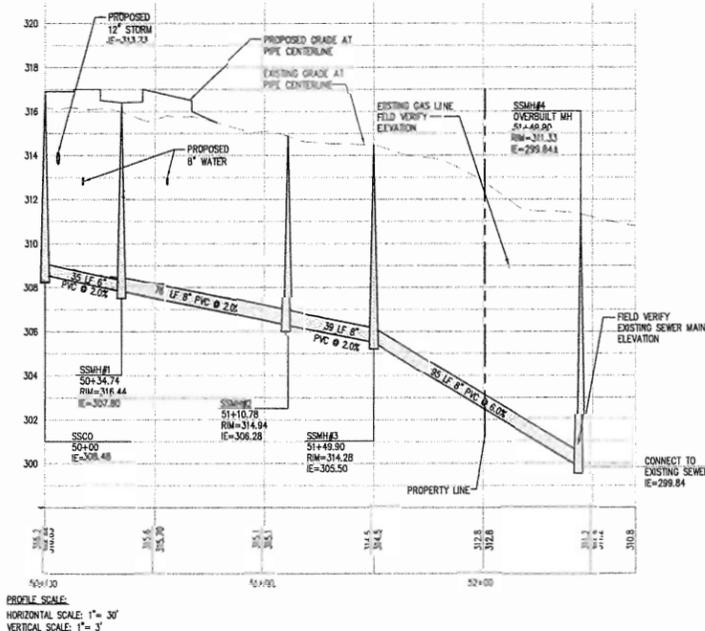
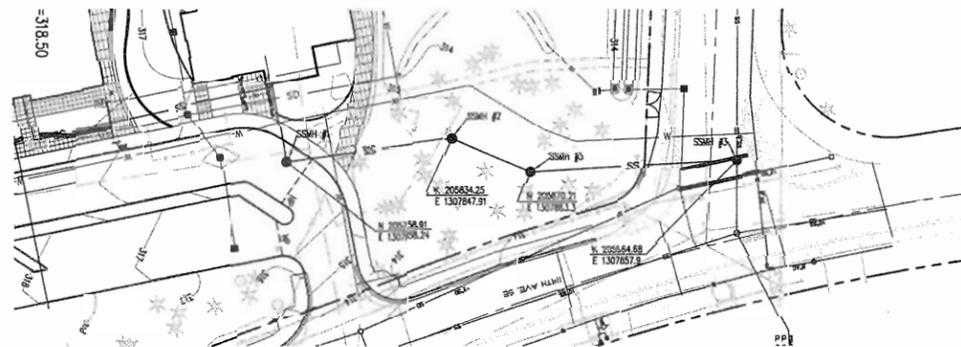
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# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM

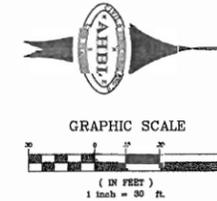
### CITY OF BELLEVUE, KING COUNTY, WA



PROFILE SCALE:  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'

#### SANITARY SEWER GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS.
3. SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM-D3034 SDR 35. BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
4. WHERE SHOWN AS CORR-PVC, THE SEWER PIPE SHALL BE PRESSURE CLASS 150 (OR 18) CONFORMING TO ASTM C900.
5. ALL SIDE SEWERS SHALL BE 6" DIAMETER PIPE AT A MINIMUM 2% SLOPE.
6. SIDE SEWER STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE.
7. LOT CORNERS MUST BE SET AND SIDE SEWER LOCATIONS VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
8. ALL SIDE SEWER STUBS SHALL BE CAPPED WITH A WATERPROOF PLUG. PLUG LOCATION SHALL BE MARKED WITH A 2" X 4" STAKE, 12 FEET LONG, WITH ONE END BURIED AT DEPTH OF THE PLUG INVERT AND EXTENDING AT LEAST 3 FEET VERTICALLY OUT OF THE GROUND. THE PORTION OF STAKE ABOVE GROUND SHALL BE PAINTED WHITE AND MARKED WITH THE WORD "SEWER" AND THE DEPTH FROM PIPE INVERT TO GROUND SURFACE. CONNECT PIPE TO STAKE WITH AN 8 GAUGE WIRE AT OR ABOVE FINISHED GROUND LEVEL.
9. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
10. ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
11. ALL TRENCHES SHALL BE COMPACTED AND ATB IN PLACED IN PAVED AREAS PRIOR TO TESTING SEWER LINES FOR ACCEPTANCE.
12. SIDE SEWER SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN SEWER IS TESTED.
13. TOPS OF MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL JUST PRIOR TO PAVING.
14. ALL MANHOLES IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTING RINGS PER STANDARD DETAIL.
15. CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
16. ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "STAKED" BY SURVEY FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION.
17. CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWN STREAM MANHOLES, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING SANITARY SEWER SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
18. SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
19. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER LINES. ANY CONFLICTS SHALL BE REPORTED TO THE UTILITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
20. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT NO CONFLICTS EXIST BETWEEN SANITARY SEWER LINES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
21. MINIMUM COVER OVER SEWER PIPE SHALL BE 5 FEET, UNLESS OTHERWISE SHOWN.
22. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
23. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNSIDE STORM DRAIN INLETS AND CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNSIDE BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRADE IS NOT ACCEPTABLE.
24. SIDE SEWER DEMOLITION SHALL BE PERFORMED PRIOR TO REMOVAL OF BUILDING FOUNDATION. THE SIDE SEWER FOR EACH BUILDING SHALL BE EXCAVATED AND REMOVED FROM THE HOUSE CONNECTION TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY OR PROPERTY LINE. THE CONTRACTOR SHALL CAP THE END OF THE SIDE SEWER TO REMAIN IN PLACE. SIDE SEWER DEMOLITION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY OF BELLEVUE SEWER MAINTENANCE ENGINEERING TECHNICIAN.
25. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
26. AT POINTS WHERE EXISTING THURST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
27. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH 10 PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-7. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF) AND FLOWABLE (FL) FROM BOTTOM OF TRENCH TO BOTTOM OF THE AC MAIN.
28. CALL 1-800-424-5555 48 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.

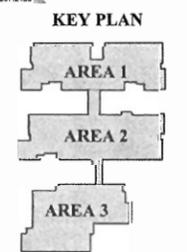


Project Title:  
**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**

Client:  
**BLRB Architects**  
1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 627-5599

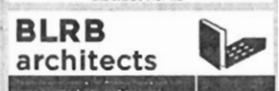
Job No.  
206172.10

Issue, Set & Date:  
**UTILITY EXTENSION CLEARING  
& GRADING PERMIT SET**  
12/14/08



ADMINISTRATIVE  
CONDITIONAL USE PERMIT

NEWPORT HEIGHTS  
ELEMENTARY SCHOOL  
BELLEVUE SCHOOL  
DISTRICT NO. 485



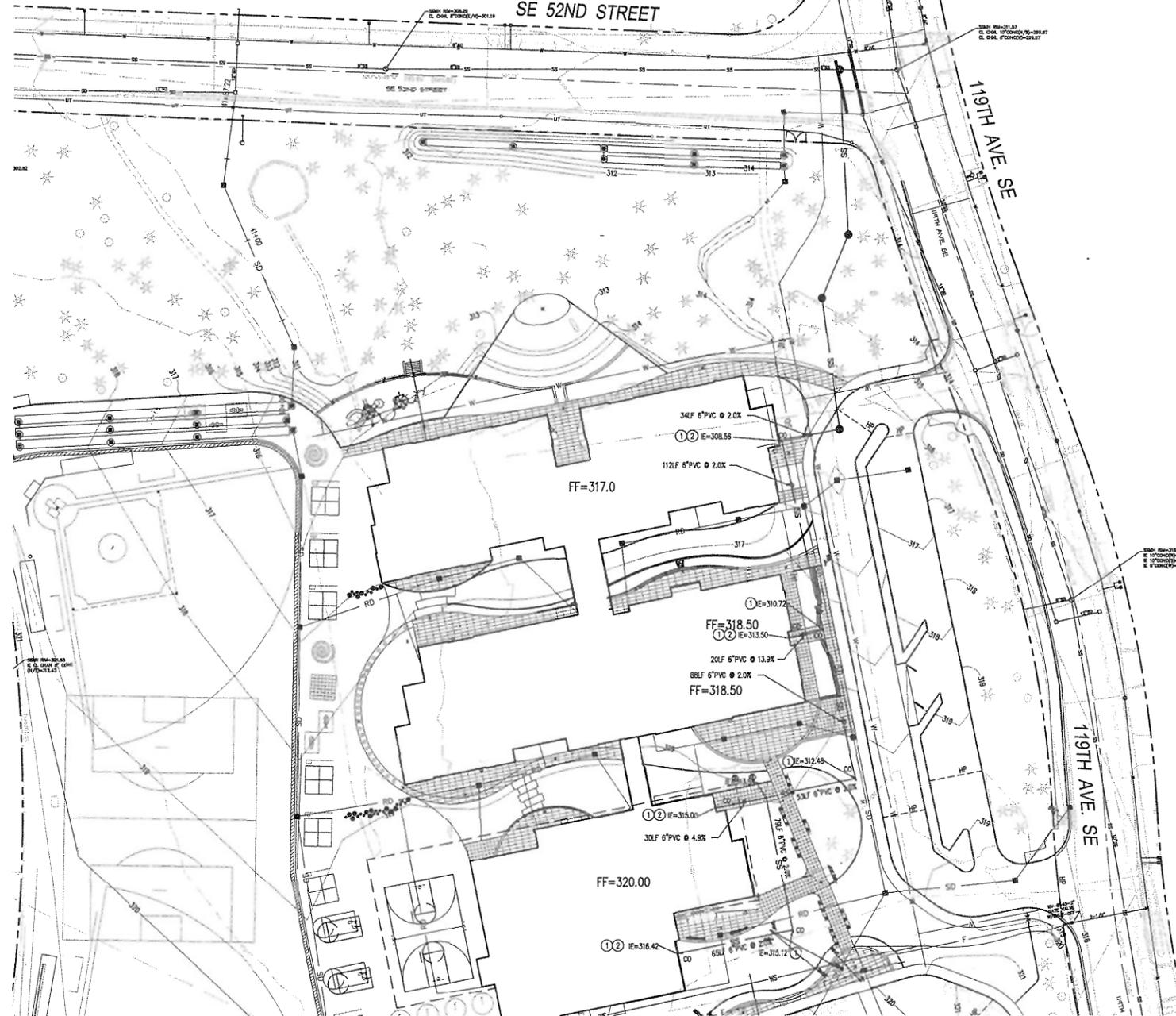
Project Title:  
**SANITARY SEWER  
PLAN AND PROFILE**

DATE: 03/05/09 FROM: AHBL  
  
 PERMIT PROCESSING

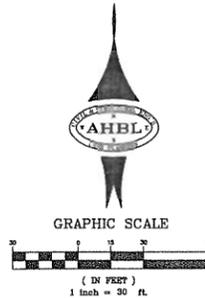
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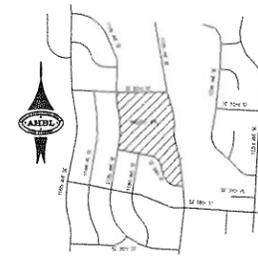
**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
**PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM**  
**CITY OF BELLEVUE, KING COUNTY, WA**



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- KEY NOTES :**
- 1 PROVIDE CLEAROUT PER CITY OF BELLEVUE STANDARD DETAIL
  - 2 SEE MECHANICAL PLANS FOR CONNECTION



Project Title:  
**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

Client:  
 BLRB Architects  
 1145 Broadway Plaza, Suite 1200  
 Tacoma, WA 98402  
 DAVID POOL  
 (253) 627.5599

Job No.  
 208172.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**  
 12/14/06



Revisions:  
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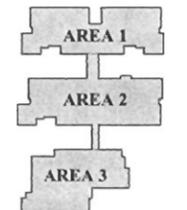
Sheet Title:  
**SANITARY SIDE SEWER PLAN**

Designed by: TCS    Drawn by: SFD    Checked by: DSG

Sheet No.  
**C5.02**  
 18 of 37 Sheets



**KEY PLAN**



**ADMINISTRATIVE CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
 BELLEVUE SCHOOL DISTRICT NO. 495



**SEWER PLAN**

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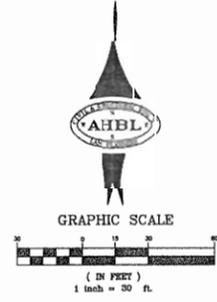
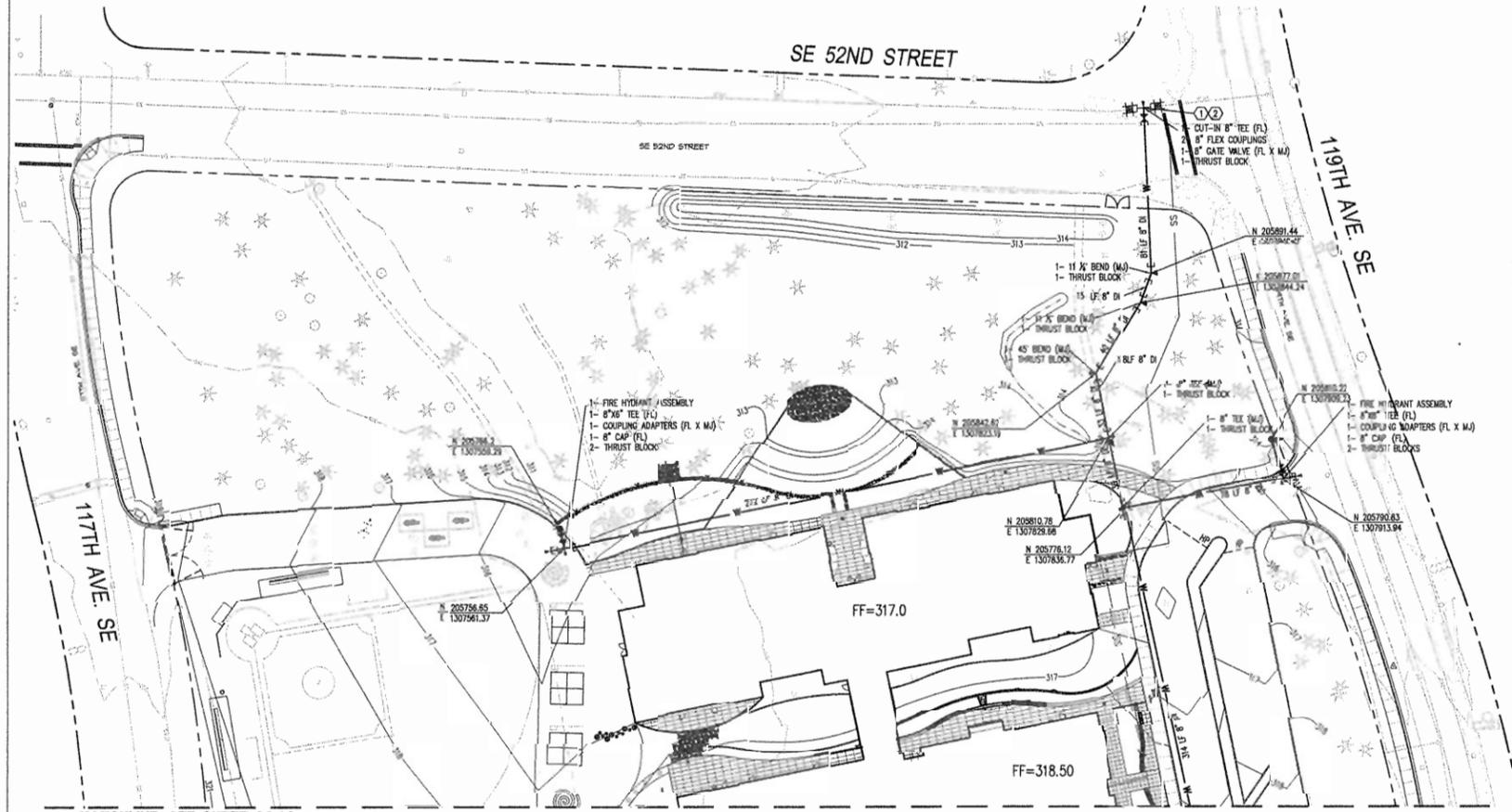
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# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM

### CITY OF BELLEVUE, KING COUNTY, WA



#### WATER KEY NOTES

- ① FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER MAIN.
- ② PROVIDE CUT IN CONNECTION.

#### FIRE PROTECTION NOTE

THE FIRE PROTECTION SYSTEM INCLUDING MATERIALS, SIZING, AND CONFIGURATION IS SUBJECT TO A CONTRACTOR PROVIDED DESIGN BY A FIRE PROTECTION ENGINEER, AND AS SUCH, THE FINAL DESIGN OF THE FIRE PROTECTION SYSTEM MAY DEVIATE FROM THE SYSTEM SHOWN. THE FIRE PROTECTION SYSTEM AS SHOWN FROM THE MAIN LINE TO THE OPERATION AT THE BUILDING SPRINGLER IS INTENDED FOR LOCATION OF THE FIRE HYDRANTS AND THE DEPARTMENT OF FIRE PROTECTION ONLY. CONTRACTOR'S BID SHALL REFLECT THE CONDITIONS OF THE FIRE PROTECTION ENGINEER'S DESIGN. CONTRACTOR SHALL COMPLY WITH ALL NATIONAL FIRE PROTECTION ASSOCIATION REQUIREMENTS AS SET FORTH BY "NFPA 13", ITS AMENDMENTS, AND LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO ACQUISITION OF ALL PERMITS.

#### WATER GENERAL NOTES

1. ALL WORK SHALL CONFORM TO CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL PIPE SHALL BE DUCTILE IRON CLASS 52 UNLESS OTHERWISE SHOWN.
3. ALL PIPE AND FITTINGS NOT TO BE DISINFECTED IN PLACE SHALL BE SWABBED WITH 1% AVAILABLE CHLORINE SOLUTION PRIOR TO INSTALLATION.
4. THE NEW WATERMAIN SHALL BE CONNECTED TO THE EXISTING SYSTEM ONLY AFTER NEW MAIN IS PRESSURE TESTED, FLUSHED, DISINFECTED AND SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS ARE OBTAINED. SEE STANDARD DETAIL W-8.
5. AFTER DISINFECTING THE WATERMAIN, DISPOSE OF CHLORINATED WATER BY DISCHARGING TO THE NEAREST OPERATING SANITARY SEWER.
6. WATERMAIN SHUT-OFF SHALL BE COORDINATED WITH THE WATER OPERATIONS DIVISION FOR PREFERRED TIMING DURING FLOW CONTROL CONDITIONS. WATERMAIN SHUT-OFFS SHALL NOT BE SCHEDULED TO TAKE PLACE ON FRIDAYS, OR ON THE DAY BEFORE A CITY HOLIDAY, UNLESS OTHERWISE APPROVED BY THE UTILITY.
7. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. DEFLECT THE WATERMAIN ABOVE OR BELOW EXISTING UTILITIES AS REQUIRED TO MAINTAIN 3 FT. MINIMUM COVER AND 12 INCH MINIMUM VERTICAL CLEARANCE BETWEEN UTILITIES UNLESS OTHERWISE SPECIFIED.
9. WRAP ALL DUCTILE IRON PIPE AND ADJACENT VALVES AND FITTINGS WITH 8-MIL. POLYETHYLENE CONFORMING TO AWWA C105.
10. THE WATERMAIN SHALL BE INSTALLED ONLY AFTER THE ROADWAY SUBGRADE IS BACKFILLED, GRADED AND COMPACTED IN CUT AND FILL AREAS.
11. TRENCH BACKFILL AND SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
12. ALL FITTINGS SHALL BE BLOCKED PER STANDARD DETAIL UNLESS OTHERWISE SPECIFIED.
13. ALL SERVICES SHALL BE 1" X 3/4" PER STANDARD DETAIL UNLESS OTHERWISE SPECIFIED.

#### WATER GENERAL NOTES - CONTINUED

14. WHEN WORKING WITH ASBESTOS CEMENT PIPE, THE CONTRACTOR IS REQUIRED TO MAINTAIN WORKERS' EXPOSURE TO ASBESTOS MATERIAL AT OR BELOW THE LIMIT PRESCRIBED IN WAC 296-62-07705.
15. CALL 1-800-424-5555 48 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
16. UNIFORM PLUMBING CODE REQUIRES THE INSTALLATION OF PRIVATELY OWNED AND OPERATED PRESSURE REDUCING VALVES WHERE THE OPERATING PRESSURE EXCEEDS 80 PSI.
17. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
18. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS, THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
19. ABANDONMENT OF EXISTING WATER SERVICES SHALL BE ACCOMPLISHED AS FOLLOWS:
  1. REMOVE EXISTING SERVICE SADDLE FROM WATERMAIN AND REPLACE WITH NEW STAINLESS STEEL REPAIR BAND, ROMAC SS2, ROMAC SERVICE SADDLE 1015, OR APPROVED EQUAL (WILL NOT BE REQUIRED WHEN WATERMAIN IS TO BE ABANDONED PRIOR TO SERVICE DEMOLITION).
  2. REMOVE AND DISPOSE OF EXISTING SETTER AND METER BOX.
  3. CAP OR CIMP (IF COPPER) EXISTING SERVICE LINE TO BE ABANDONED IN PLACE, EACH END.
  4. RETURN EXISTING METER TO CITY OF BELLEVUE UTILITIES INSPECTOR.
20. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-7. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO SPRING LINE OF THE AC MAIN.
21. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
22. WHERE WATERMAIN CROSSES ABOVE OR BELOW SANITARY SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED FOR MAXIMUM JOINT SEPARATION.
23. AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.

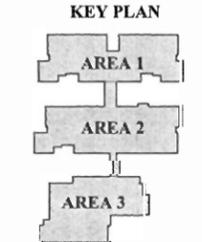


Project Title:  
**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

Client:  
BLRB Architects  
1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 627-5599

Job No.  
206172.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**  
12/14/08

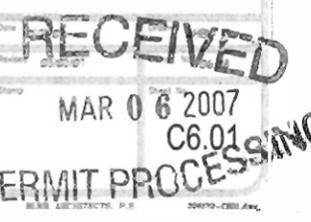


#### ADMINISTRATIVE CONDITIONAL USE PERMIT

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL DISTRICT NO. 485

**BLRB architects**

Drawing Title:  
**WATER PLAN NORTH**



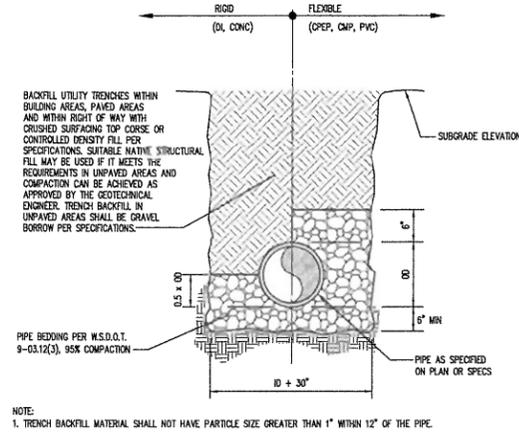
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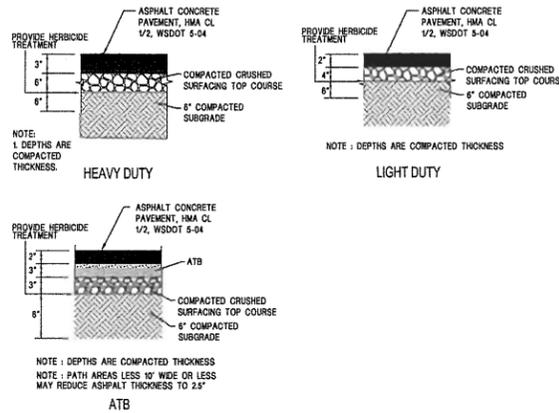
# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM

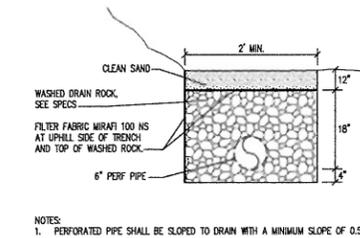
### CITY OF BELLEVUE, KING COUNTY, WA



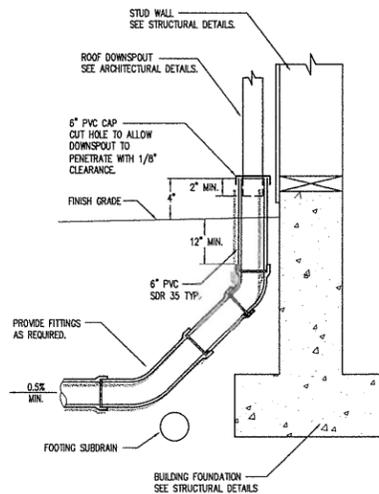
**1 PIPE BEDDING & TRENCH BACKFILL ONSITE**  
NOT TO SCALE



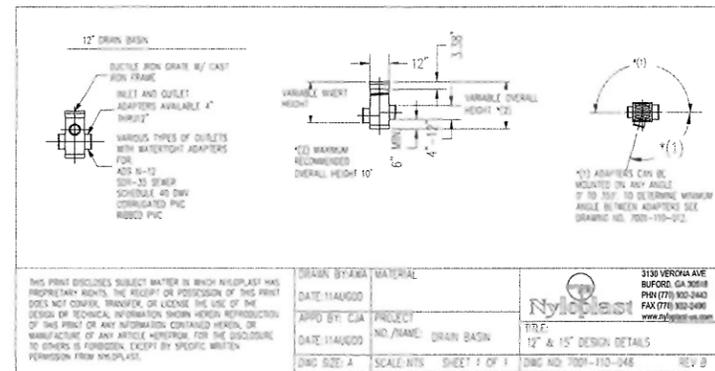
**2 ASPHALT CONCRETE PAVEMENT STRUCTURE**  
NOT TO SCALE



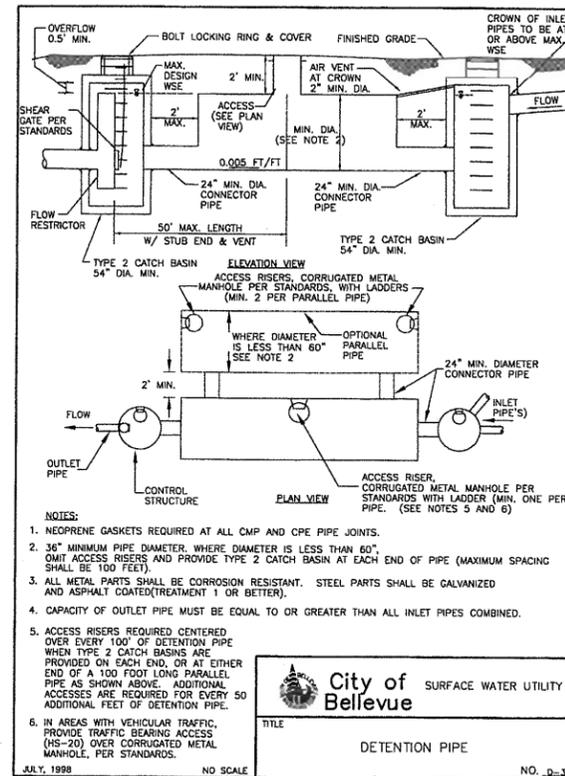
**3 UNDER DRAIN DETAIL**  
NOT TO SCALE



**4 ROOF DOWNSPOUT CONNECTION**  
NOT TO SCALE



**5 12\"/>**



**NOTES:**

- NEOPRENE GASKETS REQUIRED AT ALL CMP AND CPE PIPE JOINTS.
- 36\"/>
- ALL METAL PARTS SHALL BE CORROSION RESISTANT. STEEL PARTS SHALL BE GALVANIZED AND ASPHALT COATED (TREATMENT 1 OR BETTER).
- CAPACITY OF OUTLET PIPE MUST BE EQUAL TO OR GREATER THAN ALL INLET PIPES COMBINED.
- ACCESS RISERS REQUIRED CENTERED OVER EVERY 100' OF DETENTION PIPE WHEN TYPE 2 CATCH BASINS ARE PROVIDED ON EACH END, OR AT EITHER END OF A 100 FOOT LONG PARALLEL PIPE AS SHOWN ABOVE. ADDITIONAL ACCESSES ARE REQUIRED FOR EVERY 50 ADDITIONAL FEET OF DETENTION PIPE.
- IN AREAS WITH VEHICULAR TRAFFIC, PROVIDE TRAFFIC BEARING ACCESS (HS-20) OVER CORRUGATED METAL MANHOLE, PER STANDARDS.

NO. 0-31

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**Project Title:**  
NEWPORT HEIGHTS ELEMENTARY SCHOOL

**Client:**  
BLRB Architects

1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 627.6699

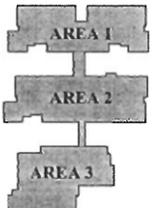
**Job No.:**  
208172.10

**Issue, Set, & Date:**  
UTILITY EXTENSION CLEARING & GRADING PERMIT SET

12/14/08



**KEY PLAN**



**ADMINISTRATIVE CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL DISTRICT NO. 405

**BLRB architects**

**NOTES AND DETAILS**



PERMIT PROCESSING



# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM CITY OF BELLEVUE, KING COUNTY, WA

Civil Engineers  
 Structural Engineers  
 Landscape Architects  
 Community Planners  
 Land Surveyors  
 Neighbors



**AHBL**  
 TACOMA · SEATTLE  
 2215 North 30th Street, Suite 300, Tacoma, WA 98403  
 253.383.2422 TEL.  
 1200 Sixth Avenue, Suite 1620, Seattle, WA 98101  
 206.267.2425 TEL.

Project Title:  
**NEWPORT HEIGHTS  
 ELEMENTARY SCHOOL**

Client:  
**BLRB Architects**  
 1145 Broadway Plaza, Suite 1200  
 Tacoma, WA 98402  
 DAVID POOL  
 (253) 627.6599

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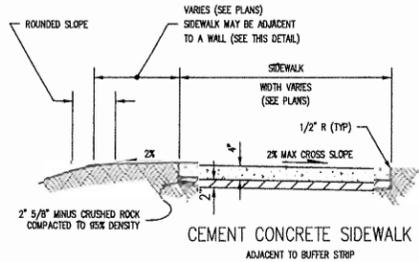
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 CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS  
 ELEMENTARY SCHOOL**  
 BELLEVUE SCHOOL  
 UTILITY EXT. SET

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**architects**

NOTES AND DETAILS

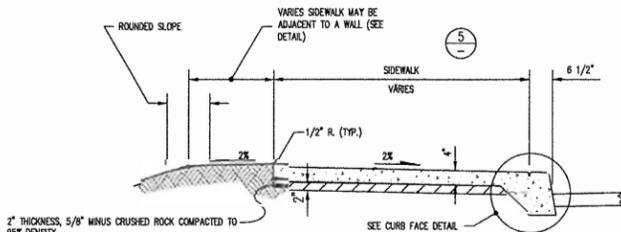
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- NOTES:**
1. COMPACTION FOR CONCRETE CURB AND WALKS TO BE 95% OF MAXIMUM DENSITY. SEE SPECIFICATIONS. COMPACTED SUBGRADE SHALL BE 6" MINIMUM.
  2. EXPANSION JOINTS SHALL BE AT 15'-0" INTERVALS OR AS SHOWN ON ARCHITECTURAL PLANS.
  3. CEMENT CONCRETE SHALL BE CLASS B-3000.
  4. PROVIDE 1/4" THICK FIBRE BOARD BETWEEN CURBS WHEN BUTTING AGAINST A DIFFERENT CURB TYPE.
  5. SEE ARCHITECTURAL PLANS FOR ANY SPECIAL FINISHES, COLOR, SCORING, AND JOINT PATTERNS.
  6. PROVIDE WRF IN ALL WALK AREAS THAT ARE SUBJECT TO VEHICLE CROSSING.

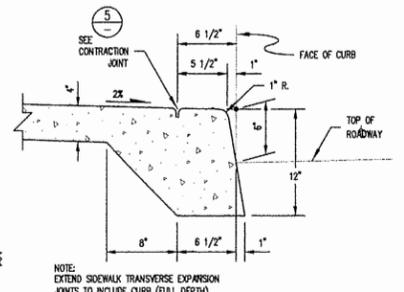
**ON-SITE CONCRETE SIDEWALK**

**1 CEMENT CONCRETE SIDEWALK**  
NOT TO SCALE



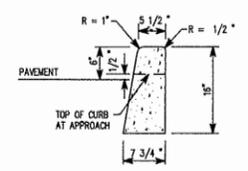
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  2. EXPANSION JOINTS SHALL BE AT 15'-0" INTERVALS OR AS SHOWN ON ARCHITECTURAL PLANS.
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  5. SEE ARCHITECTURAL PLANS FOR ANY SPECIAL FINISHES.

**2 INTEGRAL CURB AND WALK**  
NOT TO SCALE

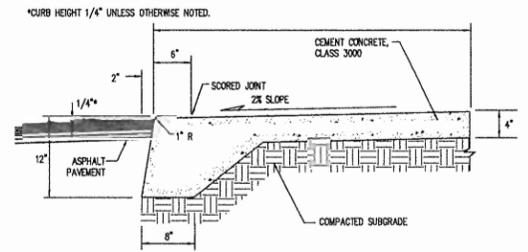


- NOTE:**  
 EXTEND SIDEWALK TRANSVERSE EXPANSION JOINTS TO INCLUDE CURB (FULL DEPTH)

**CURB FACE DETAIL**

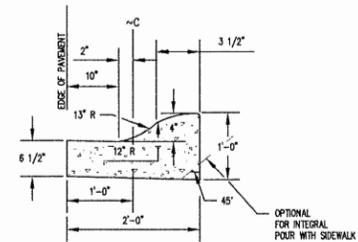


**3 POURED IN PLACE CURB**  
NOT TO SCALE



- NOTES:**
1. SUBGRADE COMPACTION FOR CONCRETE CURB AND WALKS TO BE 95% OF MAXIMUM DENSITY.
  2. EXPANSION JOINTS SHALL BE AT 15' INTERVALS WITH TOOLED CONTRACTION JOINTS AT 5' INTERVALS, UNLESS OTHERWISE INDICATED OR ARCHITECTURAL DRAWINGS.

**4 FLUSH CURB**  
NOT TO SCALE



**5 CEMENT CONCRETE ROLLED CURB**  
NOT TO SCALE

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 Checked by: DSG

Sheet No.:  
**C7.03**  
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**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
**PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM**  
**CITY OF BELLEVUE, KING COUNTY, WA**

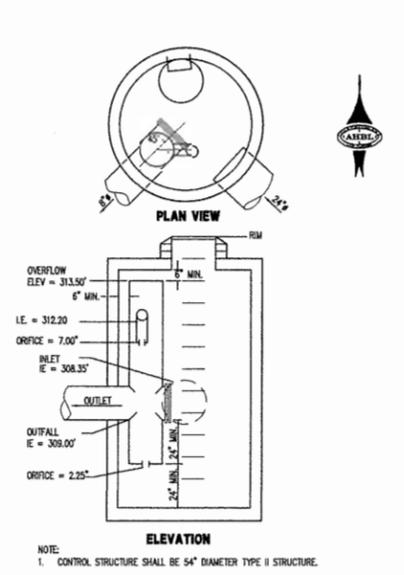


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**NEWPORT HEIGHTS  
 ELEMENTARY SCHOOL**

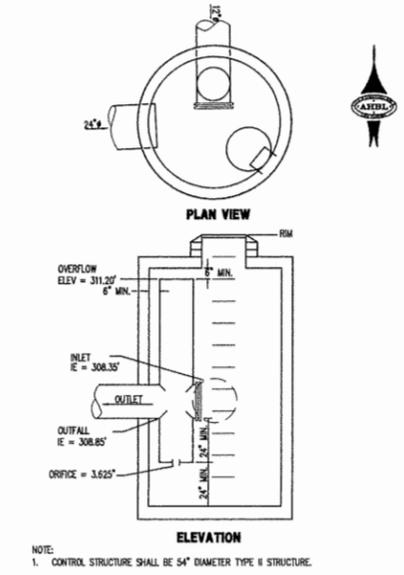
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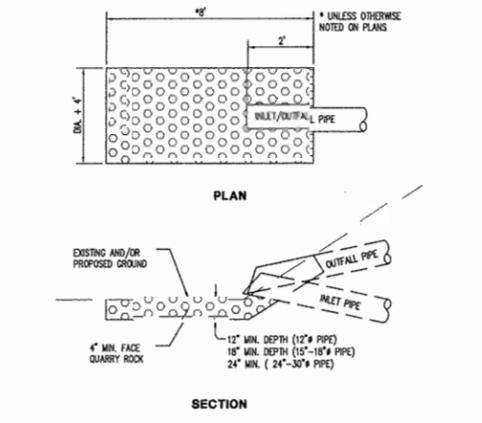
Issue Set & Date:  
**UTILITY EXTENSION CLEARING  
 & GRADING PERMIT SET**  
 12/14/08



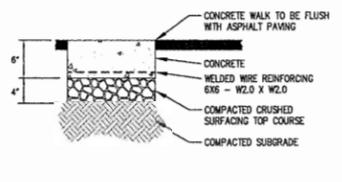
**1 CONTROL STRUCTURE - EAST**  
 NOT TO SCALE 027MD15



**2 CONTROL STRUCTURE - WEST**  
 NOT TO SCALE 027MD15



**3 TYPICAL INLET/OUTFALL RIP-RAP DETAIL**  
 NOT TO SCALE 022MD28



**4 FLUSH CONCRETE WALK**  
 NOT TO SCALE

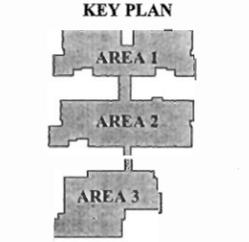
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Notes and details section with revision lines.

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ADMINISTRATIVE CONDITIONAL USE PERMIT

NEWPORT HEIGHTS ELEMENTARY SCHOOL  
 BELLEVUE SCHOOL DISTRICT NO. 404



NOTES AND DETAILS



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PERMIT PROCESSING

# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM CITY OF BELLEVUE, KING COUNTY, WA

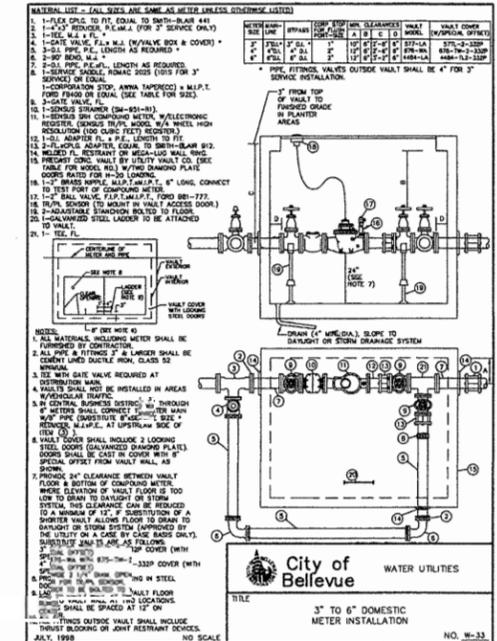
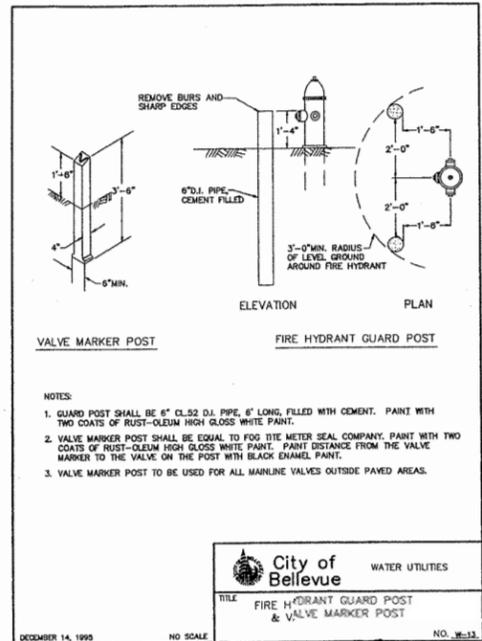
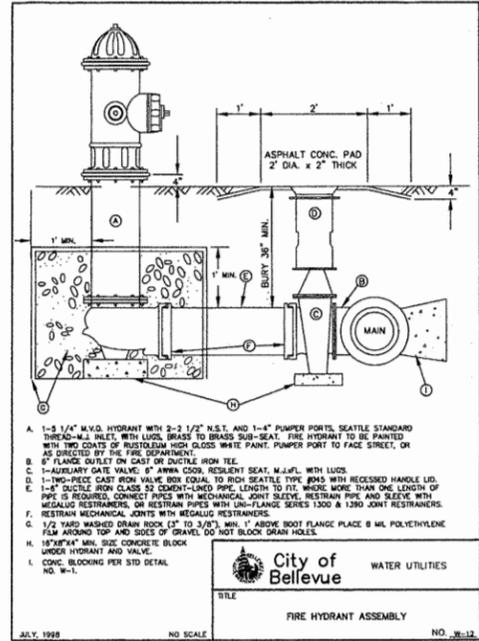


Project Title:  
**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**

Client:  
**BLRB Architects**  
1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 627.5599

Job No.  
206172.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING  
& GRADING PERMIT SET**  
12/14/08



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Revisions:  
Sheet Title:  
**NOTES AND DETAILS**

Designed by: TCS  
Drawn by: SFD  
Checked by: DSG  
Sheet No.: **C7.05**  
25 of 37 Sheets



ADMINISTRATIVE  
CONDITIONAL USE PERMIT  
**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL DISTRICT NO. 405



NOTES AND DETAILS

Date: 01/22/09  
Drawn: AHBL  
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PERMIT PROCESSING

# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM

### CITY OF BELLEVUE, KING COUNTY, WA

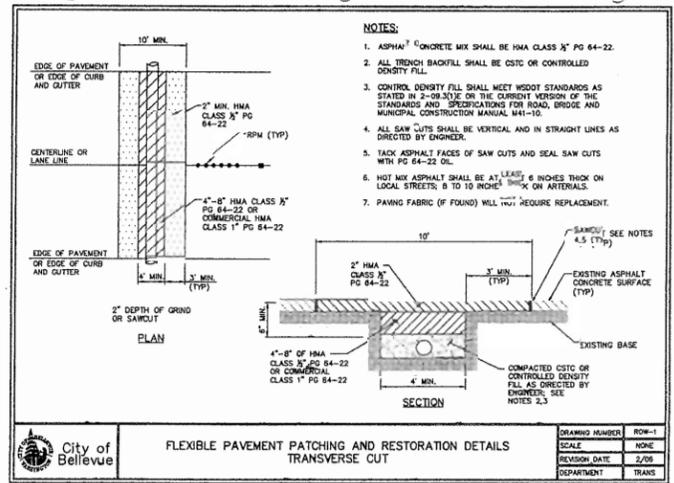


Project Title:  
**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**

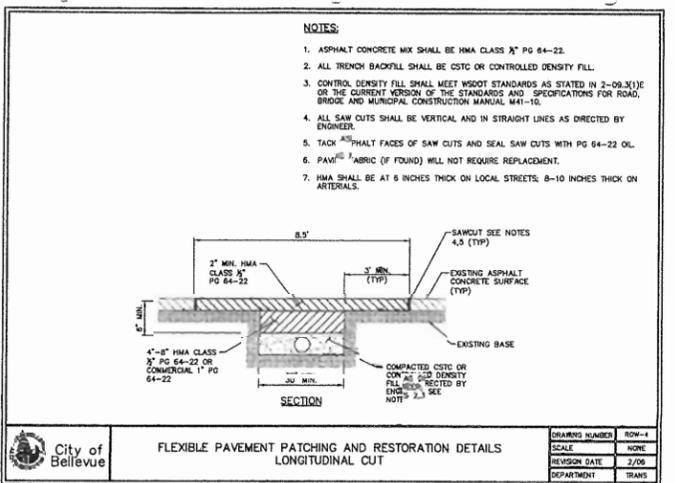
Client:  
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1145 Broadway Plaza, Suite 1200  
Tacoma, WA 98402  
DAVID POOL  
(253) 827.8559

Job No.  
208172.10

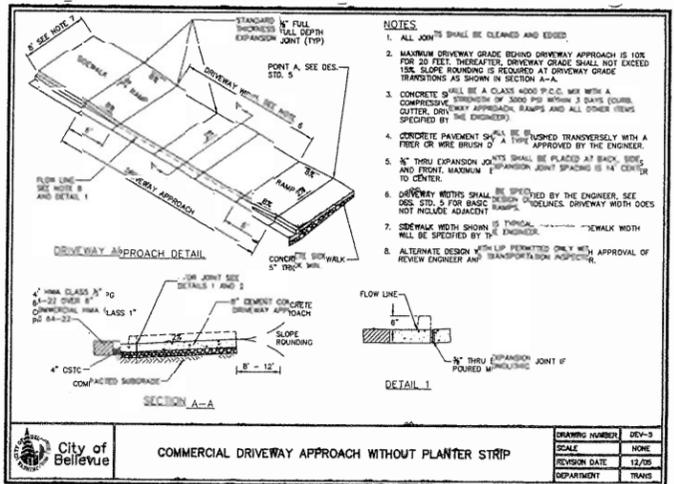
Issue Set & Date:  
**UTILITY EXTENSION CLEARING  
& GRADING PERMIT SET**  
12/14/06



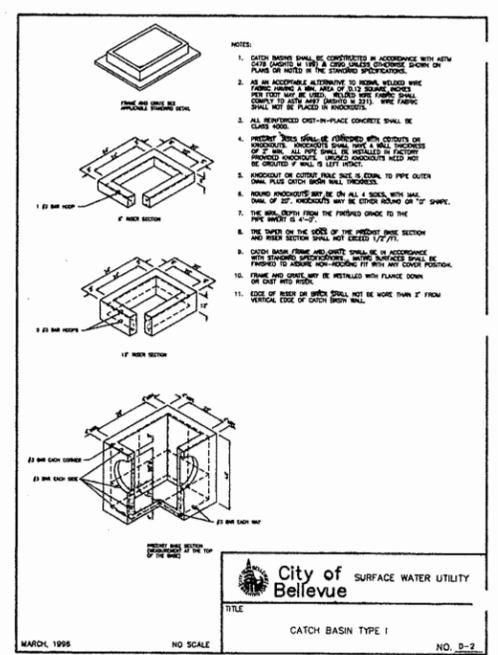
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FLEXIBLE PAVEMENT PATCHING AND RESTORATION DETAILS  
TRANSVERSE CUT  
DRAWING NUMBER: ROW-1  
SCALE: NONE  
REVISION DATE: 2/06  
DEPARTMENT: TRANS



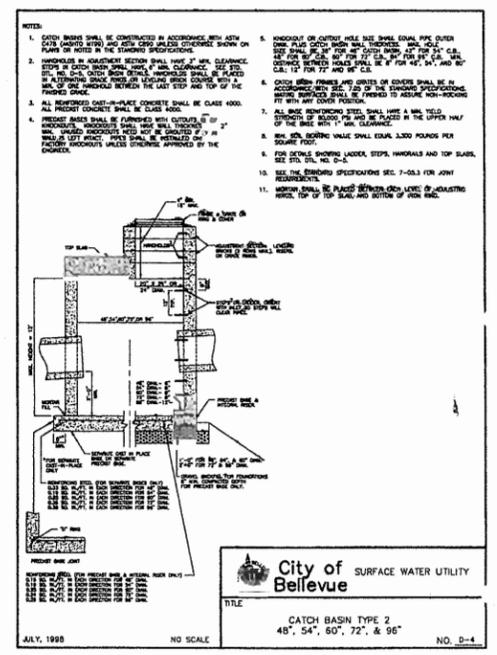
**City of Bellevue**  
FLEXIBLE PAVEMENT PATCHING AND RESTORATION DETAILS  
LONGITUDINAL CUT  
DRAWING NUMBER: ROW-1  
SCALE: NONE  
REVISION DATE: 2/06  
DEPARTMENT: TRANS



**City of Bellevue**  
COMMERCIAL DRIVEWAY APPROACH WITHOUT PLANTER STRIP  
DRAWING NUMBER: DEV-3  
SCALE: NONE  
REVISION DATE: 12/05  
DEPARTMENT: TRANS



**City of Bellevue**  
SURFACE WATER UTILITY  
TITLE: CATCH BASIN TYPE 1  
NO. D-2  
MARCH, 1998  
NO SCALE



**City of Bellevue**  
SURFACE WATER UTILITY  
TITLE: CATCH BASIN TYPE 2  
48", 54", 60", 72", & 96"  
NO. D-4  
JULY, 1998  
NO SCALE

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Revision:  
Sheet Title:  
**NOTES AND DETAILS**  
Designed By: TCS  
Checked By: SFD  
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Sheet No.  
**C7.06**  
28 of 37 Sheets



ADMINISTRATIVE  
CONDITIONAL USE PERMIT

NEWPORT HEIGHTS  
ELEMENTARY SCHOOL  
BELLEVUE SCHOOL  
DISTRICT NO. 485

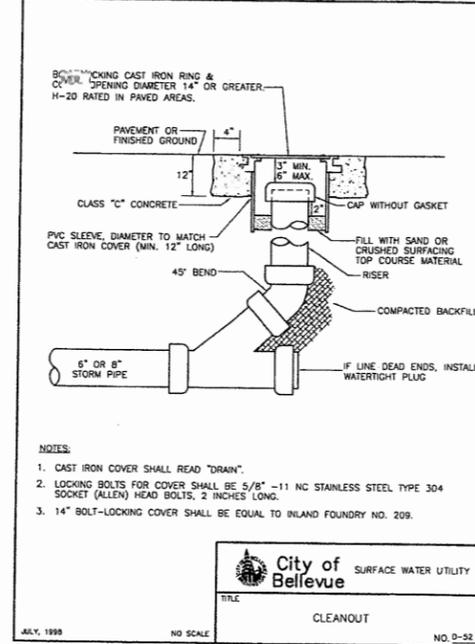
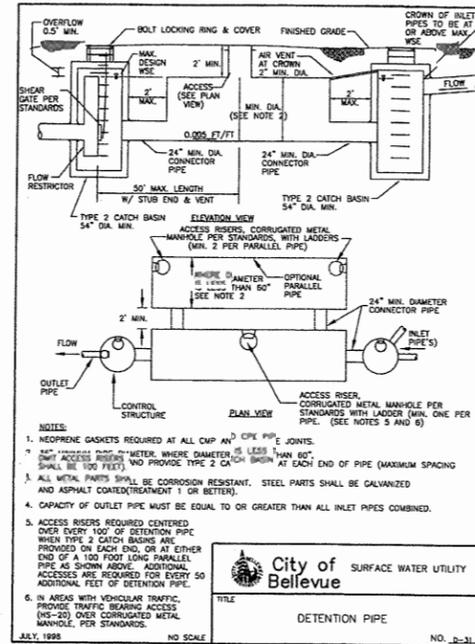
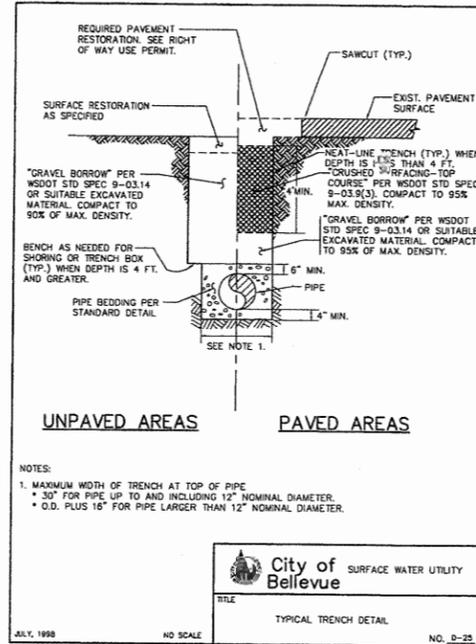
**BLRB**  
architects

NOTES AND DETAILS



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**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
**PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM**  
**CITY OF BELLEVUE, KING COUNTY, WA**



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**PROJECT TITLE:**  
**NEWPORT HEIGHTS ELEMENTARY SCHOOL**

**CLIENT:**  
 BLRB Architects  
 1145 Broadway Plaza, Suite 1200  
 Tacoma, WA 98402  
 DAVID POOL  
 (253) 627.6999

**JOB NO.:**  
 208172.10

**ISSUE SET & DATE:**  
**UTILITY EXTENSION CLEARING & GRADING PERMIT SET**  
 12/14/08



**KEY PLAN**

**CITY OF BELLEVUE**  
**STORM NOTES AND DETAILS**

Designed by: TCS    Drawn by: SFD    Checked by: DSG

Sheet No. **C8.01**  
 27 of 37 Sheets

**ADMINISTRATIVE CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS ELEMENTARY SCHOOL**  
 DISTRICT NO. 485

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# NEWPORT HEIGHTS ELEMENTARY SCHOOL

## PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 21, T 24N, R 05E, WM CITY OF BELLEVUE, KING COUNTY, WA



**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**

Client:  
**BLRB Architects**

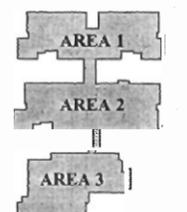
1145 Broadway Plaza, Suite 1200  
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DAVID POOL  
(253) 437-8598

Job No.  
20072.10

Issue Set & Date:  
**UTILITY EXTENSION CLEARING  
& GRADING PERMIT SET**  
12/14/06



**KEY PLAN**



**ADMINISTRATIVE  
CONDITIONAL USE PERMIT**

**NEWPORT HEIGHTS  
ELEMENTARY SCHOOL**  
BELLEVUE SCHOOL  
DISTRICT NO. 405

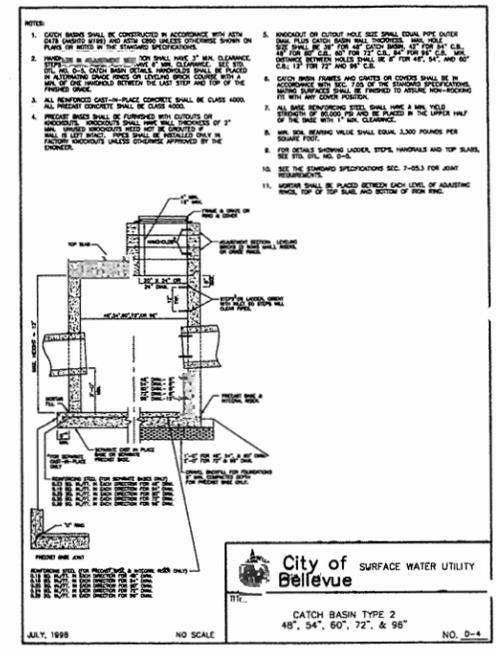
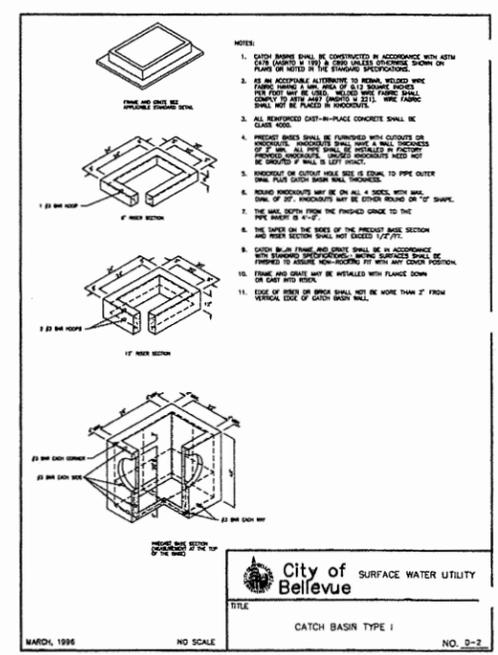
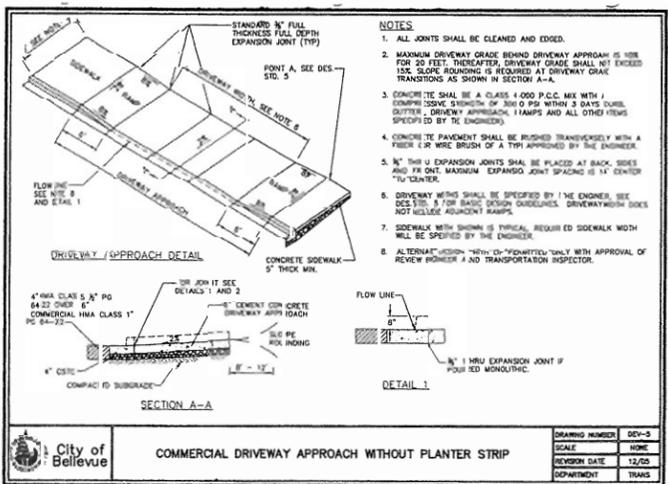
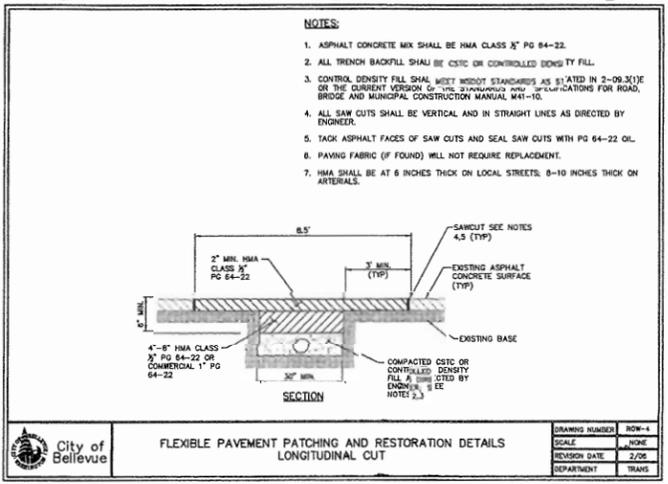
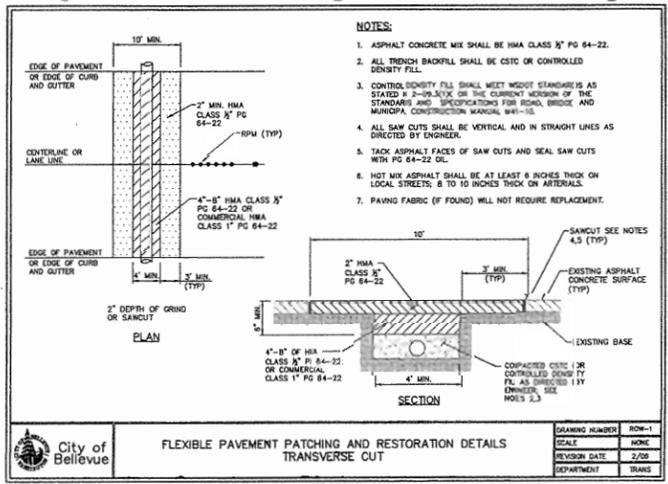
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CITY OF BELLEVUE  
STORM  
NOTES AND DETAILS

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