



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Higher Leaf

Proposal Address: 3079 156th Avenue SE

Proposal Description: Land Use review of an Administrative Conditional Use Permit to allow a marijuana retail store to establish on a property in the Eastgate Subarea.

File Number: 16-131375-LA

Applicant: Alex Scofield, Yen Design

Decisions Included: Administrative Conditional Use Permit
(Process II 20.30E)

Planner: Reilly Pittman, Planner

**State Environmental Policy Act
Threshold Determination:** **Exempt**

Director's Decision: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: 
Carol V. Helland, Land Use Director

Application Date: May 2, 2016
Notice of Application Publication Date: June 9, 2016
Decision Publication Date: September 8, 2016
Appeal Deadline: September 22, 2016

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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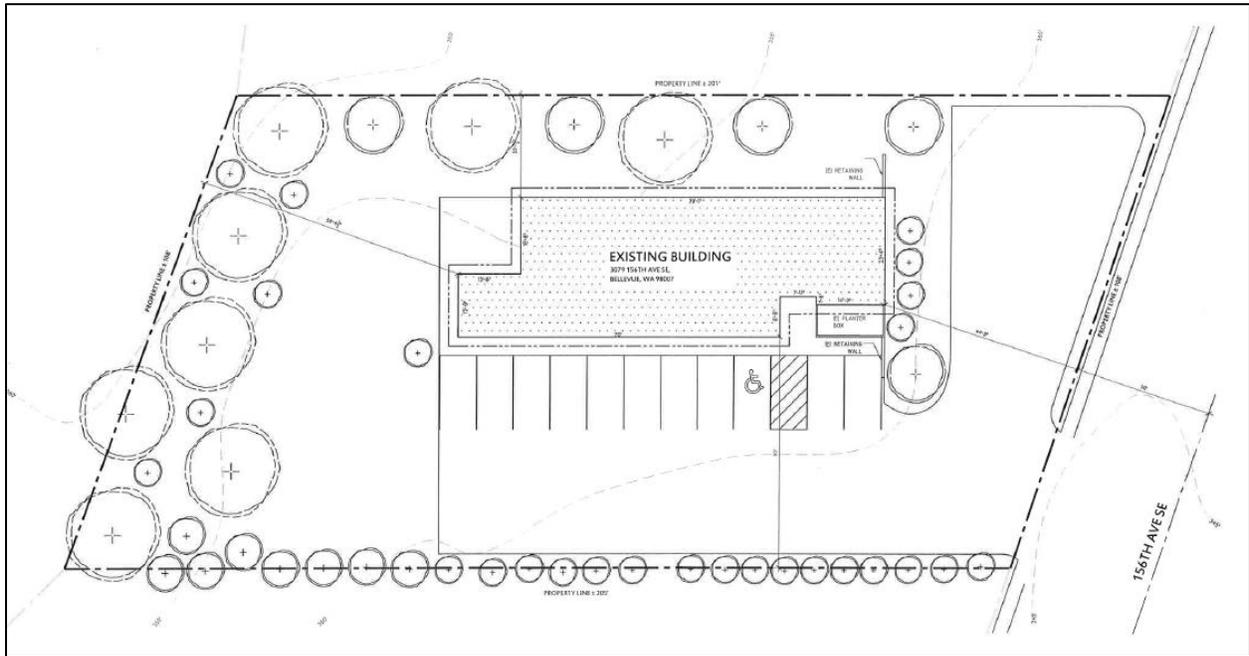
Attachments

1. Project Plans – Enclosed
2. Public Comments – In File
3. Application forms – In File

B. Site Description

The site has one building that previously housed a medical office use. See figure 2 below for general existing site conditions. The site is served by 11 parking stalls located adjacent to the building. Some landscaping exists along the north, west, and south property lines.

Figure 2



III. Consistency with Development Requirements:

A. Conformance with LUC 20.20.010 and LUC 20.20.590 – Zoning Dimensional Requirements and Parking

The proposal does not propose to alter the exterior footprint of the existing structure. Conformance with the zoning dimensional requirements for the CB, Community Business zone is not changed. The proposed retail store requires a minimum of 5 parking stalls per 1,000 net square feet and a maximum of 5.5 stalls per 1,000 net square feet. The building currently provides 11 parking stalls and has ample additional paved area to accommodate more parking up to the permitted maximum numbered of stalls. **See Conditions of Approval in Section X**

B. Conformance with LUC 20.20.535 – Marijuana Uses

LUC 20.20.535 requires that all marijuana uses be separated by 1,000 feet from

- Elementary or secondary school;
- Playgrounds;
- Recreation center or facility;
- Child care centers;
- Public parks;

- Public transit centers;
- Libraries; and
- Any game arcade
- Other marijuana retail stores

This lot complies with the 1,000 foot separation these uses. Conformance with requirements for odor, signage, and security will be verified as part of the required building permit for changes within the existing building. Marijuana uses are also required to complete a Hold Harmless Agreement. **See Conditions of Approval in Section X.**

C. Conformance with LUC 20.20.560 – Nonconforming Structures, Uses, and Sites

The site is legally nonconforming to required landscaping requirements of LUC 20.20.520. The proposed improvements will likely not exceed 30 percent of the value of the existing structure and will not trigger conformance. Verification of the cost improvements will occur as part of the building permit submittal.

D. Conformance with LUC 20.251 – Community Retail Design District

No changes are proposed to the structure that require conformance under this code section.

IV. Public Notice and Comment

Application Date:	May 2, 2016
Public Notice (500 feet):	June 9, 2016
Minimum Comment Period:	June 23, 2016

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin and Seattle Times on June 9, 2016. It was mailed to property owners within 500 feet of the project site and a public notice sign was posted. One comment letter was received from a Bellevue resident that raised issues concerning the store's location near schools and children and that this store is incompatible with the community due to the sale of marijuana. Comments received can be found as Attachment 2.

Response: Land Use Code 20.20.535 provides the code requirements that allow marijuana uses to locate in the City of Bellevue. Provided a marijuana use is not within 1,000 feet of a use specified in the code, the marijuana use can locate. The code requires separation from uses that children are expected to frequent. A child cannot legally buy marijuana from a marijuana store and it is in the interest of the store to not sell to minors, which can result in license revocation. The existing marijuana uses in the City are open and have operated in areas with high visibility and concentrations of children. The City's regulatory authority is prescribed by the Land Use Code, and the City must allow uses when an applicant demonstrates compliance with the established code requirements adopted by the City Council.

V. Summary of Technical Reviews

A. Clearing and Grading

The Clearing and Grading Division reviewed the proposal and approved the application

B. Utilities

The Utilities Department reviewed the proposal and approved the application.

C. Transportation

The proposed tenant improvement will convert an existing building from Office into Miscellaneous Retail. The parcel is located on the southwest corner of the intersection of SE 30th Place and 156th Ave NE. There is one existing access location on the east side of the property, taking access onto 156th Ave NE, which will not be altered. There is an existing 6-foot wide concrete sidewalk along the north and east sides of the property. The commercial driveway is approximately 28-feet wide, which is sufficient. The driveway approach is currently not ADA compliant but due to topography of the site, the existing driveway grades, and the existing elevation of the building it is not feasible at this time to lower the back edge of the sidewalk to bring the ramp into ADA compliance. There is sufficient aisle width for vehicles to turnaround within the site. There are also facilities that will accommodate small delivery trucks, providing them adequate area to turn around within the site. Vehicles shall not be allowed to back onto the public roadway. There shall be no additional mitigation required within the right of way or the site. **See Conditions of Approval in Section X.**

D. Fire Prevention

The Fire Department reviewed the proposal and approved the application.

VI. State Environmental Policy Act (SEPA)

The proposal is exempt from SEPA per WAC 197-11-800(1).

VII. Changes to Proposal Due to Staff Review

No changes have been required.

VIII. Decision Criteria

A. 20.30E.140 Administrative Conditional Use Permit - Decision Criteria

The Director may approve, or approve with modifications, an application for an Administrative Conditional Use Permit.

1. The administrative conditional use is consistent with the Comprehensive Plan.

Finding: The project is consistent with the Comprehensive Plan. The proposal is to locate a commercial retail use in a land use district that allows retail and other commercial uses. The proposal locates the retail store on a site near freeway access and does not impact

residential areas. (S-EG-3). The proposal provides a new retail business use in an area zoned for retail and in a location that allows for pedestrian access rather than driving (LU-18). The proposal to locate a marijuana retail store is allowed by Washington State's legalization of marijuana for medical and recreational purposes. This use as proposed under the City's marijuana regulations, increases individual access to alternative treatment options (HS-10).

2. The design is compatible with and responds to the existed or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.

Finding: The building footprint will remain unchanged as discussed in this report. Some minor external material changes are proposed and will require a Land Use Exemption from Design Review as part of the building permit.

3. The administrative conditional use will be served by adequate public facilities including streets, fire protection and utilities.

Finding: The proposed retail use does not change existing service levels of public facilities to this property or surrounding properties.

4. The administrative conditional use will not be materially detrimental to uses or property in the immediate vicinity of the subject property

Finding: The proposal locates a retail use in a zone that allows retail uses. The proposed product for sale is legal in the state, and not detrimental to the property or uses in the vicinity as all activity is required to occur in the secured building. The possibility for crime or illegal access by minors are not a determining factor to limit this use at this location as these are potential issues anywhere in the City. By meeting all of the locational criteria of the Land Use Code the proposal is not adjacent to other uses that have been determined to be inappropriate for a marijuana store to locate near.

5. The administrative conditional use complies with the applicable requirements of this code.

Finding: As conditioned, the proposal complies with applicable requirements of the Land Use Code. Refer to section III of this report for further information on Land Use Code consistency.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency and City Code & Standard compliance reviews, the Director does hereby APPROVE WITH CONDITIONS the subject proposal to establish a retail marijuana store.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Applicable Ordinances	Contact Person
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Utilities – BCC Title 24	Mark Dewey, 425-452-6179
Land Use Code- BCC Title 20	Reilly Pittman, 425-452-4350
Noise Control- BCC 9.18	Reilly Pittman, 425-452-4350
Transportation Code – BCC 14.60	Ryan Miller, 425-452-7915
Right of Way Use Permit – BCC 14.30	Tim Stever, 425-452-4294
Fire Code – BCC 23.11	Sean Nichols, 425-452-2926

The following conditions are imposed under the Bellevue City Code authority referenced:

- 1. Building Permit:** Building permit 16-129684-BY is required to be completed and the use will be subject to current city codes and standards. A Land Use Exemption from Design Review will need to be included as part of this permit.

Authority: Land Use Code 20.30E.140
Reviewer: Reilly Pittman, Development Services Department

- 2. Provisions for Loading:** On-street loading and unloading will not be permitted within the public right of way. Vehicles shall be able to turn around within the site and shall not need to back out into the public street.

Authority: LUC 20.20.590.K.4; BCC 14.60.150, BCC 14.60.180
Reviewer: Ryan Miller, Transportation Department

- 3. Odor, Signage, and Security:** Plans approved under the building permit shall be in conformance with requirements for odor, signage, and security applicable to retail marijuana uses.

Authority: Land Use Code 20.20.535
Reviewer: Reilly Pittman, Development Services Department

- 4. Parking Required:** The site is required to provide parking at a ratio of 5 stalls to 1,000 net square feet.

Authority: LUC 20.20.590
Reviewer: Reilly Pittman, Development Services Department

- 5. Hold Harmless Agreement:** Prior to building permit issuance, the applicant shall submit a hold harmless agreement in a form approved by the City Attorney which releases the City of Bellevue, for itself, its agents, officers, elected officials and employees, from any injuries, damages, or liabilities of any kind that result from any arrest or prosecution or seizure of property, or liabilities of any kind that result from any arrest or prosecution for violations of federal or state law relating to operation or siting of a marijuana use. Additionally, within the release document, the permittee of a marijuana use shall indemnify and hold harmless the City of Bellevue and its agents, officers, elected officials, and employees from any claims, damages, or injuries brought by adjacent property owners or other third parties due to operations at the marijuana use and for any claims brought by any of the marijuana use's members, employees, agents, guests, or invitees for problems, injuries, damages, or liability of any kind that may arise out of the operation of the marijuana use.

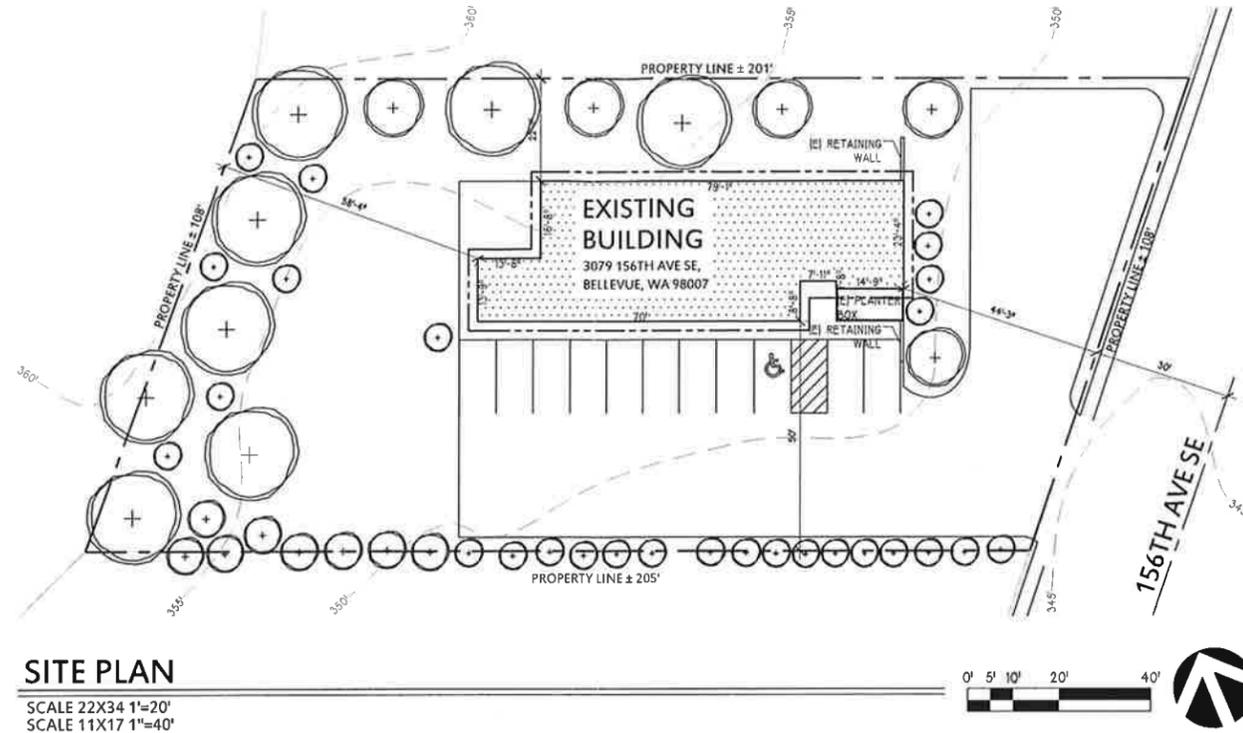
Authority: Land Use Code 20.20.535
Reviewer: Reilly Pittman, Development Services Department

- 6. Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

Authority: Bellevue City Code 9.18
Reviewer: Reilly Pittman, Development Services Department

GENERAL NOTES

- CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING BUT NOT LIMITED TO SAFETY, WEATHERTIGHTNESS OF EXISTING WORK AND PROTECTION OF PROJECT WORK AREA AND ADJACENT PROPERTY DURING THE PERFORMANCE OF THE WORK. DRAWINGS DO NOT INCLUDE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY. CONTRACTOR TO MAINTAIN ALL EXIT PATHS AND EXIT COMPONENTS AND COMPLY WITH LOCAL GOVERNING AUTHORITIES' REQUIREMENTS FOR THE SITE.
- ALL PERMITS OUTLINED IN AS "PROVIDED BY CONTRACTOR" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY. RESPONSIBILITIES INCLUDING COSTS, DRAWINGS TO OBTAIN PERMITS, SCHEDULING THE SUBMITTAL AND RELEASE DATES, AND ANY REVISIONS REQUIRED BY GOVERNING AUTHORITIES.
- THE CONTRACTOR IS REQUIRED TO COMPLY WITH ALL APPLICABLE REGULATIONS AND CODES OF THE GOVERNING AUTHORITIES HAVING JURISDICTION (FEDERAL, STATE AND LOCAL).
- DO NOT COMMENCE WORK UNTIL CONDITIONS ARE ACCEPTABLE TO ALL CONCERNED PARTIES, INCLUDING GOVERNING AUTHORITIES.
- CONTRACTOR SHALL PROVIDE METHODS, MEANS, AND FACILITIES REQUIRED TO PREVENT CONTAMINATION OF SOIL, WATER, OR ATMOSPHERE.
- CONTRACTOR SHALL ENSURE MINIMUM INTERFERENCE WITH EXISTING ROADS, STREETS, SIDEWALKS, PARKING FACILITIES AND ADJACENT FACILITIES.
- ALL SALVAGE WILL BECOME PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED. PROMPTLY REMOVE FROM SITE AT CONTRACTOR'S EXPENSE ON A DAILY BASIS AND LEGALLY DISPOSE OF IT. COORDINATE DUMPSTER LOCATIONS WITH OWNER.
- ALL TENANT IMPROVEMENTS MECHANICAL, ELECTRICAL TO BE UNDER SEPARATE PERMIT FROM CONTRACTORS LISTED IN THE PROJECT TEAM. VERIFY LOCATION OF EXISTING CIVIL, ELECTRICAL AND ALL OTHER UTILITIES WITHIN AND SERVING AREAS TO BE DEMOLISHED &/OR REVISED AND CAP OR RELOCATE AS NECESSARY. COORDINATE RELOCATION OF EQUIPMENT TO BE RELOCATED. MAINTAIN SERVICE ON TEMPORARY BASIS AS REQUIRED FOR EQUIPMENT TO BE USED THROUGHOUT ENTIRE SCHEDULE.
- ALL CONSTRUCTION TO COMPLY WITH CURRENT IBC CONSTRUCTION STANDARDS FOR TYPE OF CONSTRUCTION NOTED.
- VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE JOB BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES, IF ANY ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR SETTLEMENT.
- THE PLAN DIMENSIONS ARE SHOWN AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - FACE OF STUD PARTITIONS AND FURRED WALLS.
 - FACE OF MASONRY OR CONCRETE WALLS.
 - TO THE COLUMN GRID LINES.
 - TO THE FACE OF EXISTING WALLS.
- DO NOT SCALE THE DRAWINGS. IF A CONFLICT IN THE DIMENSIONS IS ENCOUNTERED NOTIFY THE ARCHITECT IN WRITING FOR A CLARIFICATION. FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 3 INCHES FROM FACE OF STUD IN ADJACENT RIGHT ANGLE WALL TO EDGE OF DOOR OPENING OR CENTERED BETWEEN ROOM PARTITIONS. THE CONTRACTOR AND EACH SUBCONTRACTOR, ARE RESPONSIBLE TO REVIEW THE MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS FOR CUTTING AND PATCHING WORK WITHIN THE PROJECT AREA.
- ALL MATERIALS PROVIDED FOR THE WORK ARE TO BE NEW, WARRANTED AND FREE FROM DEFECTS
- WOOD TREATMENTS: ALL WOOD IN CONTACT WITH WOOD OR MASONRY, AND ANY EXTERIOR WOODS SHALL HAVE A PRESERVATIVE TREATMENT. FOR ROOF APPLICATIONS, SUCH AS NAILERS AND CURBS, WOOD TO BE BOTH FIRE AND PRESERVATIVE TREATED.
- CONTRACTOR IS RESPONSIBLE TO VERIFY JOB-SITE ENVIRONMENT, SUBSTRATE CONDITIONS AND MATERIAL PREPARATIONS MEET MANUFACTURER REQUIREMENTS FOR THE SPECIFIED PRODUCTS AND FOR A WARRANTED INSTALLATION. COORDINATE TENANT IMPROVEMENT REQUIREMENTS FOR STRUCTURAL STEEL WITH INTERIOR ARCHITECT.
- REPETITIVE FEATURE NOT NOTED ON DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTIONS. WHERE DETAILS ARE NOT SPECIFICALLY INDICATED, THE CONTRACTOR IS TO PROVIDE SIMILAR WORK TO DETAILS NOTED. MANUFACTURER STANDARDS OR DETAILS REQUIRED FOR INSTALLATION ARE CONSIDERED REQUIRED WORK. THE USE OF "PER" IN DRAWINGS DOES NOT IMPLY A DIVISION OF THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND PROVIDE THE WORK INDICATED.
- THE CONTRACTOR IS RESPONSIBLE TO JOIN THE WORK OF SEPARATE TRADES AND PROVIDE ELEMENTS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT, CONDUIT RUNS, MECHANICAL AND OTHER TRADE WORK.



PARCEL NUMBER
KING COUNTY PARCEL NUMBER: 112405-9071

PROJECT ADDRESS
3079 156TH AVE SE
BELLEVUE, WA 98007

LEGAL DESCRIPTION
BEG AT CENTER OF SEC TH N 88-39-04 W 688.88 FT TO NWLY MGN 156TH AVE SE TH N 40-38-01 E ALG SD MGN 82.94 FT TO TPOB TH N 67-28-23 W 201 FT TH N 40-38-01 E 108 FT TH S 67-28-23 E TO NWLY MGN SD ST TH S 40-38-01 W TO TPOB

PROJECT DESCRIPTION:

- TENANT IMPROVEMENTS TO EXISTING SPACE
- OCCUPANCY CHANGE FROM OFFICE TO RETAIL
- INSTALL NEW STOREFRONT
- RE-STRIPE PARKING LOT
- DEMO WORK: REMOVE NON-LOAD BEARING WALLS THAT WILL NOT BE USED IN FINAL DESIGN

PROPERTY INFORMATION

CONTRACTOR	DARREN PATT
JURISDICTION	BELLEVUE
PARCEL NUMBER	112405-9071
LEVY CODE	0330
ZONING	CB
PROPERTY TYPE	C
LOT AREA	20,904 SQ FT
BUILDING AREA	2,390 SQ FT
YEAR BUILT	1965

ACCESSIBILITY COMPLIANCE

ALL PROPOSED ROUTES OF TRAVEL TO & FROM THE BUILDING ARE HANDICAP ACCESSIBLE TO ADA COMPLIANT PARKING & PUBLIC RIGHT OF WAY. NO SITE CHANGES ARE PROPOSED.

- ONE PARKING STALL IS REQUIRED TO BE ADA VAN ACCESSIBLE.
- ALL NEW DOOR HARDWARE TO BE ADA COMPLIANT PER ANSI A117.1 - 2009

APPLICABLE CODES

2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL FIRE CODE
2009 ICC A117.1

DEFERRED SUBMITTALS

ELECTRICAL
GLAZING

SHEET INDEX

C1.1	PROJECT DATA & SITE PLAN
A1.1	OCCUPANCY, PARKING & ENERGY
A1.2	LIGHTING
A2.1	EXISTING FLOOR PLAN
A2.2	PROPOSED FLOOR PLAN
A3.1	PROPOSED ELEVATIONS
A5.1	ADA RESTROOM PLANS & ELEVATIONS
A8.1	GLAZING & DOOR INFORMATION

LEGEND

	PROPERTY LINE OF PROPOSED PROJECT
	PROPERTY LINE OF ADJACENT PROPERTIES
	CONTOUR LINE - 5' ELEVATION CHANGE
	CONTOUR LINE - 10' ELEVATION CHANGE
	PROPOSED FENCE
	EXISTING FENCE TO BE REMOVED
	EXISTING FENCE
	EXISTING STRUCTURE W/ INTERIOR RENOVATION
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING STRUCTURE
	CENTER LINE OF STREET
	EDGE OF CONCRETE
	ROOF OUTLINE
	PROPERTY SETBACK
	EDGE OF GRAVEL
	EASEMENT
	EXISTING TREES/FOLIAGE

REV	DATE	DESCRIPTION
0	04.18.16	ISSUED FOR PERMIT

YEN DESIGN INC
WWW.YENDES.COM
18211 HOMEVIEW DR.
EDMONDS, WA 98026
PHONE (425) 387-9595

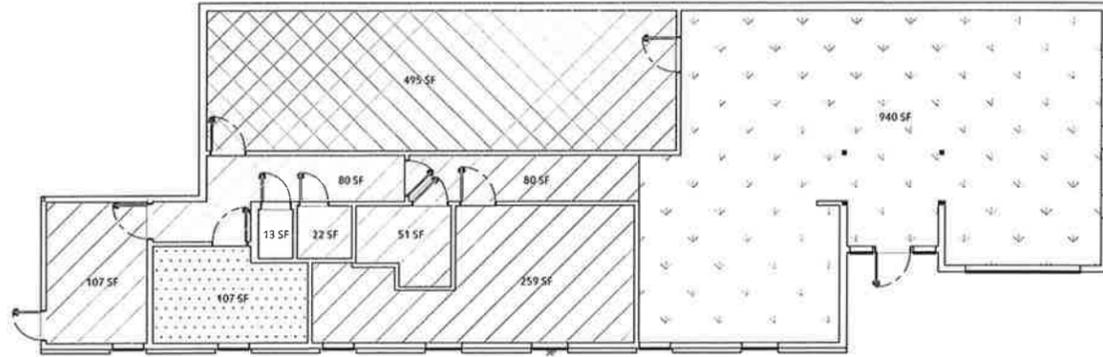
COMMERCIAL TENANT IMPROVEMENT
3079 156TH AVE SE
BELLEVUE, WA 98007

Received
MAY 2 2016
Permit Processing
SITE PLAN & PROJECT DATA

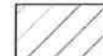
DRAWN BY	A.M.S.
ARCHITECT	A.M.S.
ENGINEER	SSF
JOB NO.	Y-16-025
SHEET SIZE	22"x34"
SHEET	OF 8

C1.1

OCCUPANCY



OCCUPANT LOADS

-  MERCANTILE - BASEMENT & GRADE FLOOR AREAS (30 GROSS)
940 SF / 30 = 31.3 OCCUPANTS
-  MERCANTILE - STORAGE, STOCK & SHIPPING AREAS (300 GROSS)
495 SF / 300 = 1.65 OCCUPANTS
-  BUSINESS AREAS (100 GROSS)
(107 SF + 80 SF + 80 SF + 13 SF + 22 SF + 51 SF + 259 SF) = 612.
612 / 100 = 6.1 OCCUPANTS
-  ASSEMBLY w/o FIXED SEATS (15 GROSS)
107 SF / 15 = 7.1 OCCUPANTS

OCCUPANT LOAD FOR EXITING
EXIT CALCULATION - IBC 1005.3.2:
47 OCCUPANTS x 0.2 INCHES/OCCUPANT
= 9.4 INCHES REQUIRED
(1) SINGLE = 36 INCHES PROVIDED

36 INCHES PROVIDED > 9.4 INCHES REQUIRED
(OKAY)

31.3 + 1.65 + 6.1 + 7.1 = 47 OCCUPANTS
TOTAL OCCUPANT LOAD FOR EXITING = 47

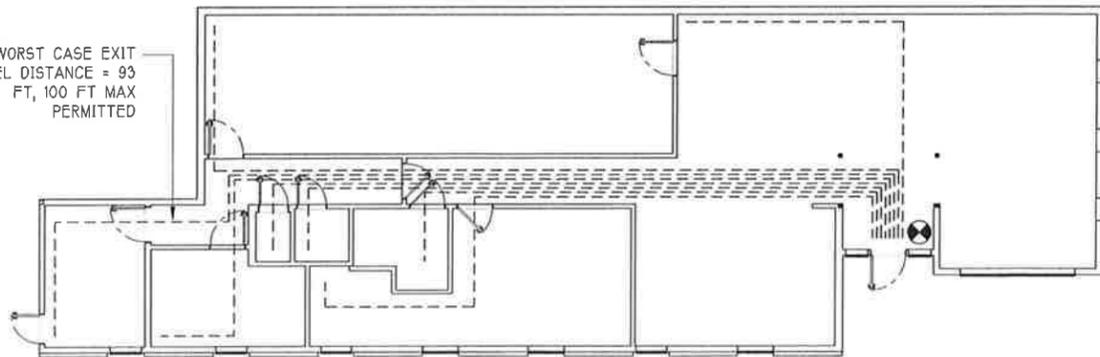
NUMBER OF EXITS REQUIRED
PER IBC 1015.1 ONE EXIT IS REQUIRED. SEE TABLE BELOW.

OCCUPANCY	MAXIMUM OCCUPANT LOAD	APPLIED OCCUPANT LOAD
A, B, E, F, M, U	49	47

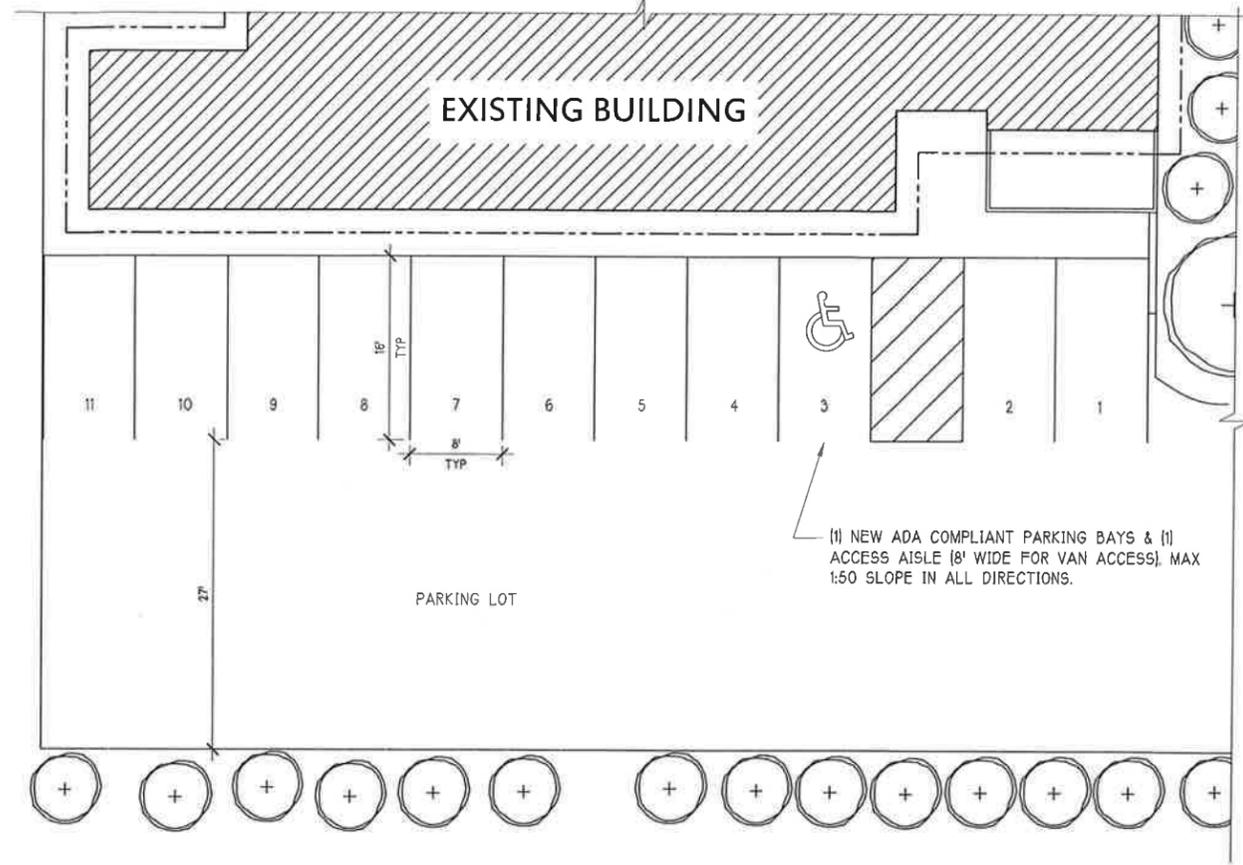
LEGEND

-  ILLUMINATED EXIT SIGN PER IBC 1006

WORST CASE EXIT
TRAVEL DISTANCE = 93
FT, 100 FT MAX
PERMITTED



B
A1.1 EXIT PLAN
SCALE: 3/32"=1'-0"



(1) NEW ADA COMPLIANT PARKING BAYS & (1)
ACCESS AISLE (8' WIDE FOR VAN ACCESS), MAX
1:50 SLOPE IN ALL DIRECTIONS.

B
A1.1 ADA PARKING PLAN
SCALE: 3/32"=1'-0"

PARKING

PER BELLEVUE LAND USE CODE: 20.20.590:
MINIMUM PARKING SPACES REQUIRED: 5:1000 NSF
MAXIMUM PARKING SPACES ALLOWED: 5.5:1000 NSF.

2031 NSF
2031 * (5/1000) = 10.155 ~ 11 PARKING SPACES REQUIRED.

ENERGY CODE

ENERGY CODE: CHAPTER 51-11C WAC - CLIMATE ZONE 4C

PRESCRIPTIVE PATH: TABLE C402.2

ALL REQUIREMENTS FROM WASHINGTON ENERGY CODE, COMMERCIAL
PROVISIONS PRESCRIPTIVE BUILDING ENVELOPE OPTION REQUIREMENTS FOR
CLIMATE ZONE 4C

BUILDING COMPONENTS:

ROOFS: R-49
WALLS, ABOVE GRADE WOOD FRAMED: R-21int
WALLS, BELOW GRADE WOOD FRAMED: R-21int
OPAQUE DOORS, SWINGING: U-0.37

NOTE: ci = CONTINUOUS INSULATION - INSULATION THAT IS CONTINUOUS
ACROSS ALL STRUCTURAL MEMBERS WITHOUT THERMAL BRIDGES OTHER THAN
SERVICE OPENINGS AND PENETRATIONS BY METAL FASTENERS WITH A
CROSS-SECTIONAL AREA, AS MEASURED IN THE PLANE OF THE SURFACE, OF
LESS THAN .04% OF THE OPAQUE SURFACE AREA OF THE ASSEMBLY.
int. = CAVITY FILLED INSULATION ON INTERIOR FACE OF BUILDING

TABLE C402.3: BUILDING ENVELOPE REQUIREMENTS - FENESTRATION
GLAZING "U" FACTORS (>30% TO 45%)

VERTICAL FENESTRATION:
METAL FRAMING (FIXED): u=0.38
METAL FRAMING (ENTRANCE DOORS): u=0.60
MAX SHGC: 0.40

REV	DATE	DESCRIPTION
0	04.18.16	ISSUED FOR PERMIT



WWW.YENDES.COM
18211 HOMEVIEW DR.
EDMONDS, WA 98026
PHONE (425) 387-9595

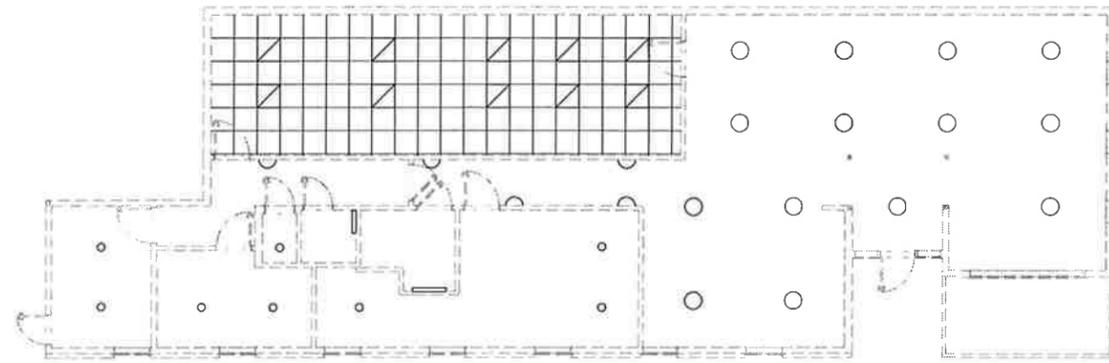
A COMMERCIAL TENANT IMPROVEMENT
3079 156TH AVE SE
BELLEVUE, WA 98007

OCCUPANCY, PARKING
ENERGY CODE

DRAWN BY A.M.S.
ARCHITECT A.M.S.
ENGINEER SSF
JOB NO. Y-16-025
SHEET SIZE 22"x34"
SHEET OF 8

A1.1

LIGHTING



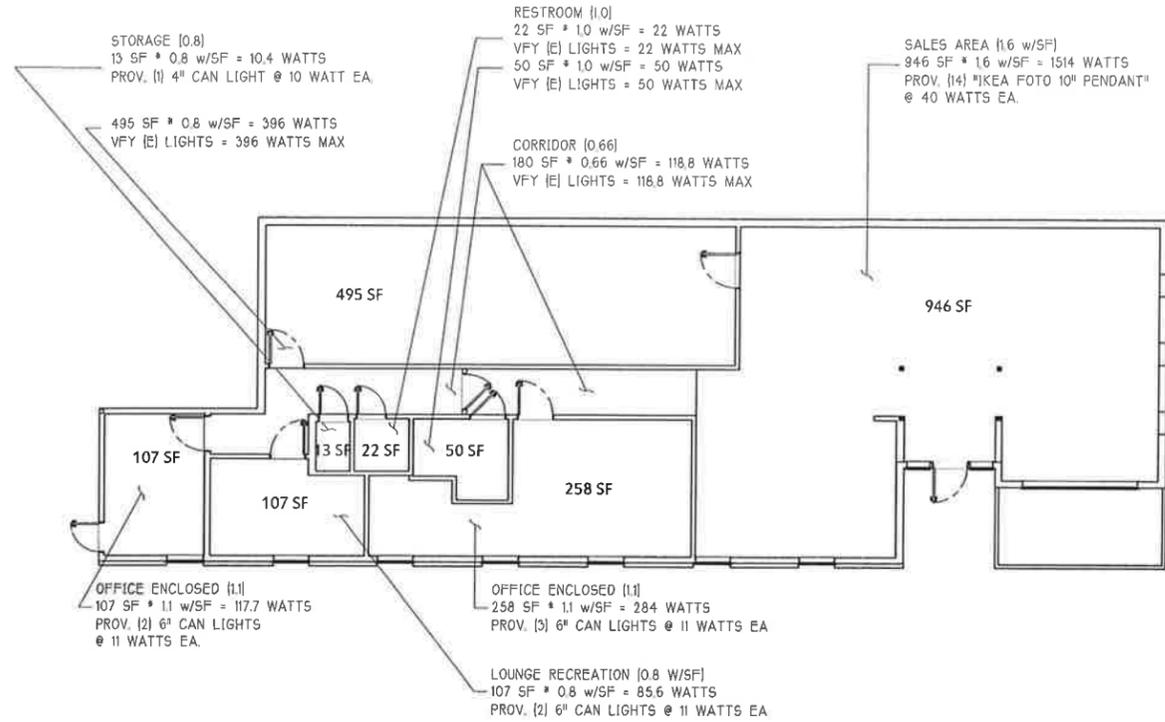
LEGEND

- | | | | |
|--|-----------------------------------|--|---------------------------------------|
| | (E) LIGHTING IN SUSPENDED CEILING | | "IKEA FOTO" 10" PENDANT LIGHT OR SIM. |
| | (E) VANITY LIGHT | | LED CAN LIGHT OR SIM. |
| | (E) WALL SCONSE | | |

A REFLECTED CEILING PLAN
A1.1 SCALE: 1/8"=1'-0"



LIGHTING IS REQUIRED TO MEET THE LIGHTING POWER ALLOWANCE AS REQUIRED BY THE 2012 WSEC INTERIOR LIGHTING POWER ALLOWANCES BASED ON TABLE C405.5.2(2) (SPACE-BY-SPACE METHOD)



B POWER ALLOWANCES (SPACE-BY-SPACE METHOD)
A1.1 SCALE: 1/8"=1'-0"



C405.2.2.3.2 AUTOMATIC DAYLIGHTING CONTROLS.

SETPOINT AND OTHER CONTROLS FOR CALIBRATING THE LIGHTING CONTROL DEVICE SHALL BE READILY ACCESSIBLE. DAYLIGHTING CONTROLS DEVICE SHALL BE CAPABLE OF AUTOMATICALLY REDUCING THE LIGHTING POWER IN RESPONSE TO AVAILABLE DAYLIGHT BY EITHER ONE OF THE FOLLOWING METHODS:

- CONTINUOUS DIMMING** USING DIMMING BALLASTS AND DAYLIGHT-SENSING AUTOMATIC CONTROLS THAT ARE CAPABLE OF REDUCING THE POWER OF GENERAL LIGHTING IN THE DAYLIT ZONE CONTINUOUSLY TO LESS THAN 20 PERCENT OF RATED POWER AT MAXIMUM LIGHT OUTPUT.
- STEPPED DIMMING** USING MULTI-LEVEL SWITCHING AND DAYLIGHT-SENSING CONTROLS THAT ARE CAPABLE OF REDUCING LIGHTING POWER AUTOMATICALLY. THE SYSTEM SHALL PROVIDE A MINIMUM OF TWO CONTROL CHANNELS PER ZONE AND BE INSTALLED IN A MANNER SUCH THAT AT LEAST ONE CONTROL STEP IS BETWEEN 50 PERCENT AND 70 PERCENT OF DESIGN LIGHTING POWER AND ANOTHER CONTROL STEP IS NO GREATER THAN 35 PERCENT OF DESIGN POWER, AND THE SYSTEM IS CAPABLE OF AUTOMATICALLY TURNING THE SYSTEM OFF.

C405.2.1.2 LIGHT REDUCTION CONTROLS. EACH AREA THAT IS REQUIRED TO HAVE A MANUAL CONTROL SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50 PERCENT. LIGHTING REDUCTION SHALL BE ACHIEVED BY ONE OF THE FOLLOWING OR OTHER APPROVED METHOD:

- | | |
|---|--|
| 1. CONTROLLING ALL LAMPS OR LUMINAIRES; | EXCEPTION: LIGHT REDUCTION CONTROLS NEED NOT BE PROVIDED IN THE FOLLOWING AREAS AND SPACES: |
| 2. DUAL SWITCHING OF ALTERNATE ROWS OF LUMINAIRES, ALTERNATE LUMINAIRES OR ALTERNATE LAMPS; | • AREAS THAT ARE CONTROLLED BY AN OCCUPANT-SENSING DEVICE. |
| 3. SWITCHING THE MIDDLE LAMP LUMINAIRES INDEPENDENTLY OF THE OUTER LAMPS; OR | • CORRIDORS, EQUIPMENT ROOMS, STOREROOMS, RESTROOMS, PUBLIC LOBBIES, ELECTRICAL OR MECHANICAL ROOMS. |
| 4. SWITCHING EACH LUMINAIRE OR EACH LAMP. | • SPACES THAT USE LESS THAN 0.6 WATTS PER SQUARE FOOT (0.5 W/M2). |

C405.2.2.3 DAYLIGHT ZONE CONTROL. DAYLIGHT ZONES SHALL BE DESIGNED SUCH THAT LIGHTS IN THE DAYLIGHT ZONE ARE CONTROLLED INDEPENDENTLY OF GENERAL AREA LIGHTING AND ARE CONTROLLED IN ACCORDANCE WITH SECTION C405.2.2.3.2. EACH DAYLIGHT CONTROL ZONE SHALL NOT EXCEED 2,500 SQUARE FEET (232 M²). CONTIGUOUS DAYLIGHT ZONES ADJACENT TO VERTICAL FENESTRATION ARE ALLOWED TO BE CONTROLLED BY A SINGLE CONTROLLING DEVICE PROVIDED THAT THEY DO NOT INCLUDE ZONES FACING MORE THAN TWO ADJACENT CARDINAL ORIENTATIONS (I.E., NORTH, EAST, SOUTH, WEST). THE PRIMARY DAYLIGHT ZONE SHALL BE CONTROLLED SEPARATELY FROM THE SECONDARY DAYLIGHT ZONE. DAYLIGHT ZONES UNDER SKYLIGHTS MORE THAN 15 FEET (4572 MM) FROM THE PERIMETER SHALL BE CONTROLLED SEPARATELY FROM DAYLIGHT ZONES ADJACENT TO VERTICAL FENESTRATION. CONTROLS SHALL:

- CONTROL ONLY LUMINAIRES WITHIN THE DAYLIT AREA.
- INCORPORATE TIME-DELAY CIRCUITS TO PREVENT CYCLING OF LIGHT LEVEL CHANGES OF LESS THAN THREE MINUTES.

EXCEPTION: DAYLIGHT ZONES ENCLOSED BY WALLS OR CEILING HEIGHT PARTITIONS AND CONTAINING TWO OR FEWER LIGHT FIXTURES ARE NOT REQUIRED TO HAVE A SEPARATE SWITCH FOR GENERAL AREA LIGHTING.

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0	04.18.16	ISSUED FOR PERMIT

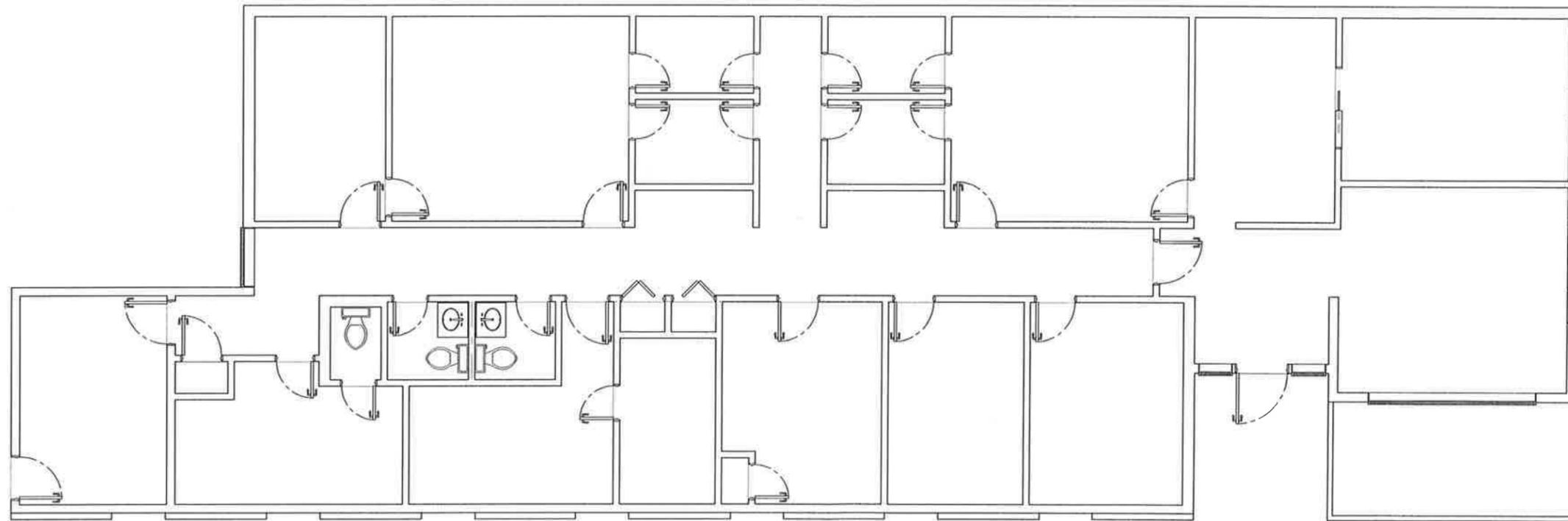
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PHONE (425) 387-9595

A COMMERCIAL TENANT IMPROVEMENT
3079 156TH AVE SE
BELLEVUE, WA 98007

LIGHTING

DRAWN BY A.M.S.
ARCHITECT A.M.S.
ENGINEER SSF
JOB NO. Y-16-025
SHEET SIZE 22"x34"
SHEET OF 8

A1.2



EXISTING MAIN FLOOR PLAN

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



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EXISTING FLOOR PLAN

DRAWN BY A.M.S.
 ARCHITECT A.M.S.
 ENGINEER SSF
 JOB NO. Y-16-025
 SHEET SIZE 22"x34"
 SHEET OF 8

A2.1

PLAN KEYNOTES

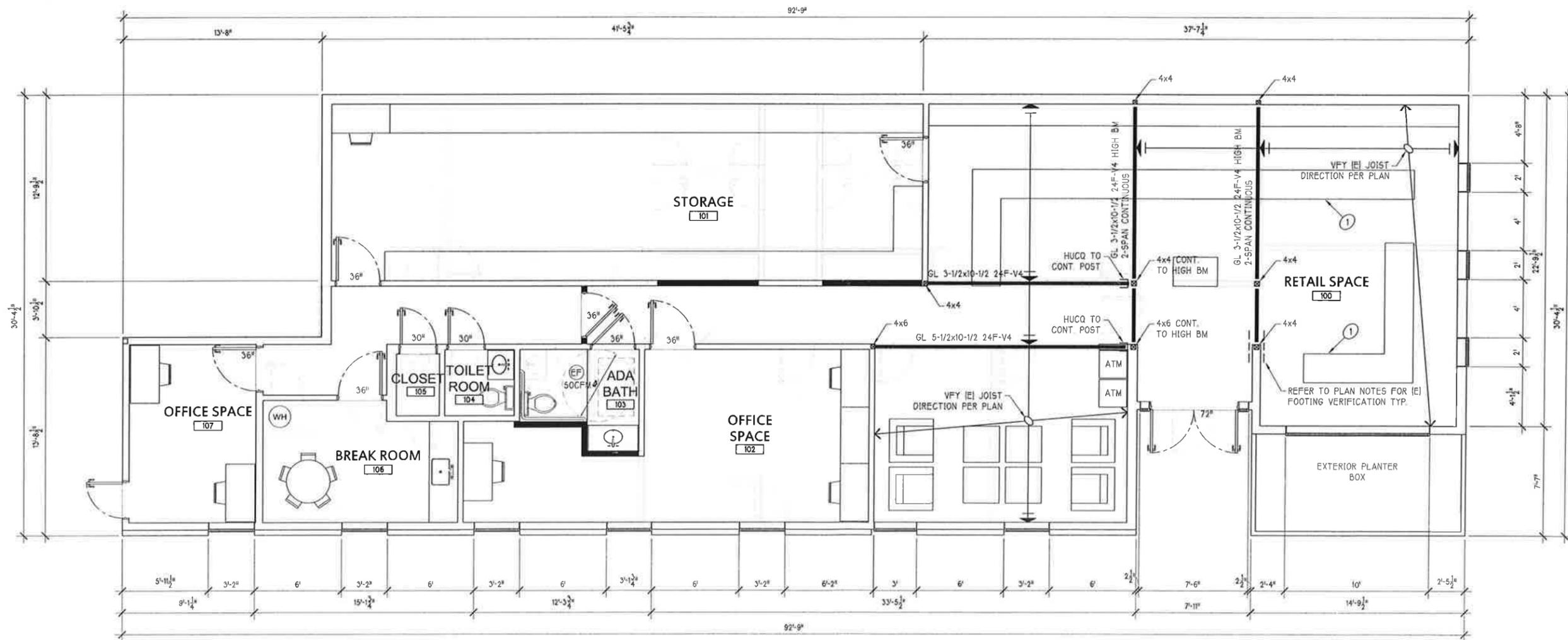
1. PROPOSED DISPLAY CASES, EXACT LOCATION AND DESIGN MAY VARY PER DISPLAY CASE MFR.

GENERAL NOTES

- A. SEE SHEET G1 FOR COMMON CODE REQUIREMENTS.
- B. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS.
- C. SMOKE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA DIRECT WIRING REQUIRED.
- D. VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.
- E. ALL DIMENSIONS TO FINISHED WALL
- F. CONTRACTOR TO VFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- G. CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY BE REQUIRED TO REQUEST LEED REPORTS FROM RECEIVING FACILITIES.
- H. PROVIDE HI HANGER EA. END OF ALL ROOF JOISTS TO NEW BEAMS.
- I. PROVIDE AC OR ACE POST CAP AT ALL BEAM TO COLUMN CONNECTIONS.
- J. PROVIDE ABU POST BASE W/ 5/8" DIA TITEN HD CONC SCREW W/ 4" EMBEDMENT INTO (E) CONC.
- K. VERIFY MINIMUM 12" WIDE CONTINUOUS FOOTING BELOW ALL NEW POST LOCATIONS.
- L. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING OF THE EXISTING STRUCTURE UNTIL FINAL CONNECTIONS HAVE BEEN COMPLETED.

LEGEND

- NEW STUD WALL
- EXISTING WALL TO REMAIN
- DEMOLISHED WALLS
- BEAM
- INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION
- EXHAUST FAN (INTERMITTENT) [MIN, 50 OR 100 CFM]



PROPOSED MAIN FLOOR PLAN

22x34: SCALE 1/4" = 1'-0"
 11x17: SCALE 1/8" = 1'-0"



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PROPOSED FLOOR PLAN

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 ENGINEER SSF
 JOB NO. Y-16-025
 SHEET SIZE 22"x34"
 SHEET OF B

LEGEND

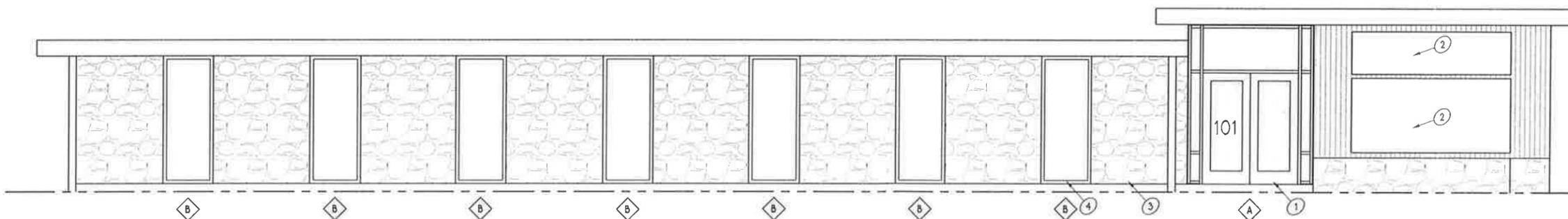
- ← (i) INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION
- ◇ (i) SEE STOREFRONT ELEVATIONS ON SHEET **A&1** FOR BALANCE OF INFORMATION

GENERAL NOTES

- A. CONTRACTOR TO VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.
- B. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- C. CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION.

PLAN KEYNOTES

- 1. EXISTING DOOR TO BE REMOVED AND REPLACED WITH PROPOSED ALUMINUM AND GLASS STOREFRONT, SEE 1/A&1 FOR BALANCE OF INFORMATION
- 2. (E) WINDOWS TO REMAIN
- 3. (E) ROCK EXTERIOR CLADDING TO REMAIN, TYP.
- 4. WOOD SIDING BTWN ROCK CLADDING TO BE REPLACED WITH NEW FLOOR TO CEILING WINDOWS, TYP. SEE 1/A&1 FOR BALANCE OF INFORMATION.



EXISTING SOUTH ELEVATION

22x34: SCALE 1/8" = 1'-0"
 11x17: SCALE 1/16" = 1'-0"

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ARCHITECTURAL GROUP

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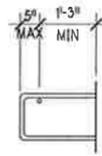
**PROPOSED
 SOUTH ELEVATION**

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 ARCHITECT A.M.S.
 ENGINEER SSF
 JOB NO. Y-16-025
 SHEET SIZE 22"x34"
 SHEET OF 8

A3.1

CODE REQUIREMENT

- 2 DRINKING FOUNTAINS SHALL BE PROVIDED, ONE FOR STANDING PERSONS AND ONE THAT IS ADA ACCESSIBLE.
- PER 2010 ADA STANDARDS 211: (2) DRINKING FOUNTAINS WILL BE PROVIDED IN OCCRDANCE WITH SECTION 602.
- PER 2010 ADA STANDARDS 602: DRINKING FOUNTAIN PROTRUSIONS MUST COMPLY WITH 307.2
- DRINKING FOUNTAINS SHALL HAVE A CLEAR GROUND SPACE IN COMPLIANCE WITH 2010 ADA STANDARDS 305
- SPOUT OUTLETS SHALL BE 36 INCHES MAX ABOVE FINISH FLOOR
- DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38 INCHES TO 43 INCHES



SPOUT LOCATION

4 DRINKING FOUNTAINS

A5.1 SCALE: 1/2"=1'-0"

WALL ASSEMBLIES

WALL TYPE	LOCATION	DESCRIPTION	FIRE RATING	RATING SOURCE	SOUND RATING	RATING SOURCE
W1	2X6 WALL	5/8" TYPE "X" G.W.B. 2X6 WOOD STUDS @ 16"o/c 3-1/2" SOUND BATT INSULATION 5/8" TYPE "X" G.W.B.	N/A	N/A	N/A	N/A
W2	2X4 WALL	5/8" TYPE "X" G.W.B. 2X4 WOOD STUDS @ 16"o/c 3-1/2" SOUND BATT INSULATION 5/8" TYPE "X" G.W.B.	N/A	N/A	N/A	N/A

PLUMBING FIXTURES

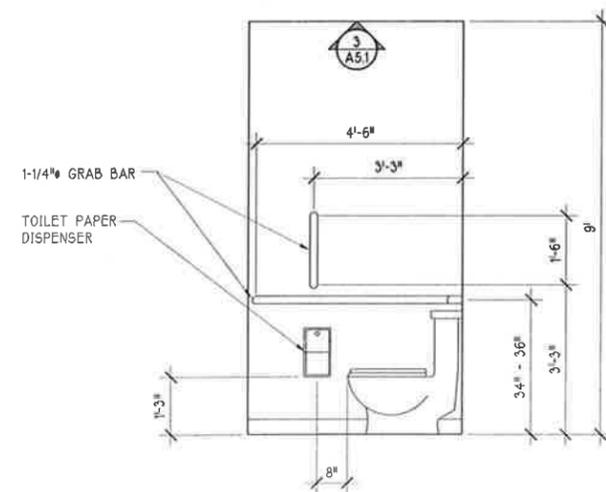
FIXTURE	MFR. / MODEL # (SUGGESTION)
TOILET	EXISTING
SINK	AMERICAN STANDARD AQUALYN COUNTER TOP SINK #475.047
FAUCET	AMERICAN STANDARD, SERIN PETITE MONOBLOCK, CHROME #2064.131

RESTROOM ACCESSORIES

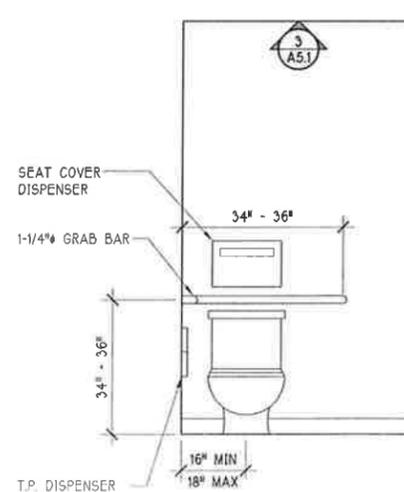
FIXTURE	MFR. / MODEL #
PAPER TOWEL / WASTE RECEPTACLE	BOBRICK / B-3942
HAND SOAP DISPENSER	BOBRICK / B-4112
TOILET PAPER DISPENSER	BOBRICK / B-4288
SEAT COVER DISPENSER	BOBRICK / B-4221
HORZ. GRAB BAR	BOBRICK / B-5897
VERT. GRAB BAR (18")	BOBRICK / B-5806

TOILET ROOM FINISH SCHEDULE

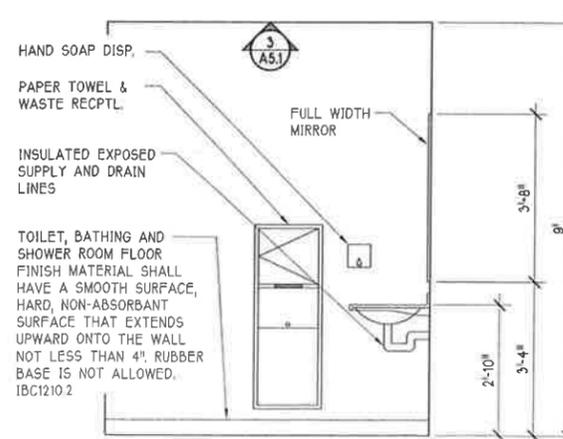
LOCATION	SUGGESTIONS
FLOOR w/ 4" BASE	FINISH MATERIAL SHALL HAVE A SMOOTH SURFACE, HARD, NON-ABSORBANT SURFACE THAT EXTENDS UPWARD ONTO THE WALL NOT LESS THAN 4"
WALLS	SEMI-GLOSS PAINT [COLOR PER TENANT'S SELECTION]
CEILING	SEMI-GLOSS PAINT [COLOR PER TENANT'S SELECTION]
COUNTER TOP	WILSON ART. P-LAM [COLOR PER TENANT'S SELECTION]
PARTITIONS	WILSON ART. P-LAM [COLOR PER TENANT'S SELECTION]



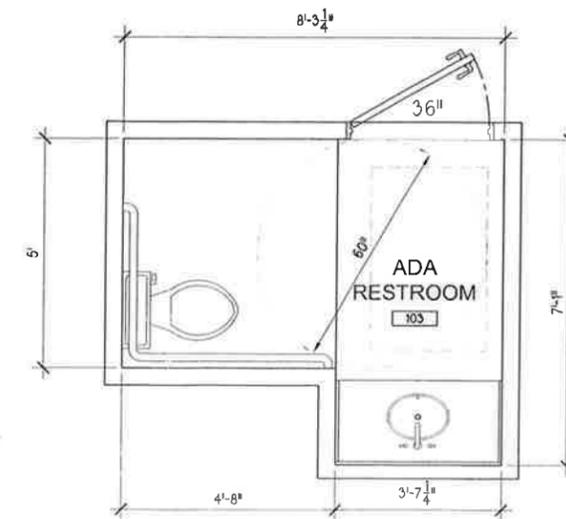
ELEVATION "A"



ELEVATION "B"



ELEVATION "C"



2 TOILET ROOM ELEVATIONS

A5.1 SCALE: 1/2"=1'-0"

2 ADA BATHROOM PLAN

A5.1 SCALE: 1/2"=1'-0"

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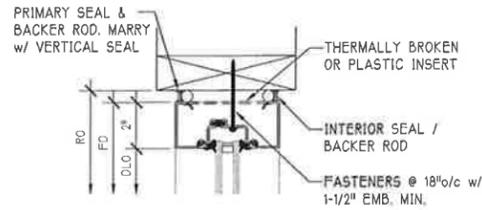
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ADA RESTROOM PLAN
& ELEVATIONS

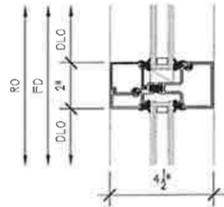
DRAWN BY A.M.S.
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ENGINEER SSF
JOB NO. Y-16-025
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SHEET OF 8

A5.1



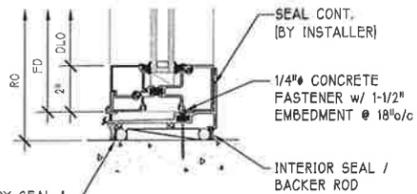
2 HEAD SECTION

SCALE: 3"=1'-0"



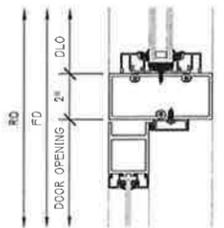
3 HORZ. MULLION

SCALE: 3"=1'-0"



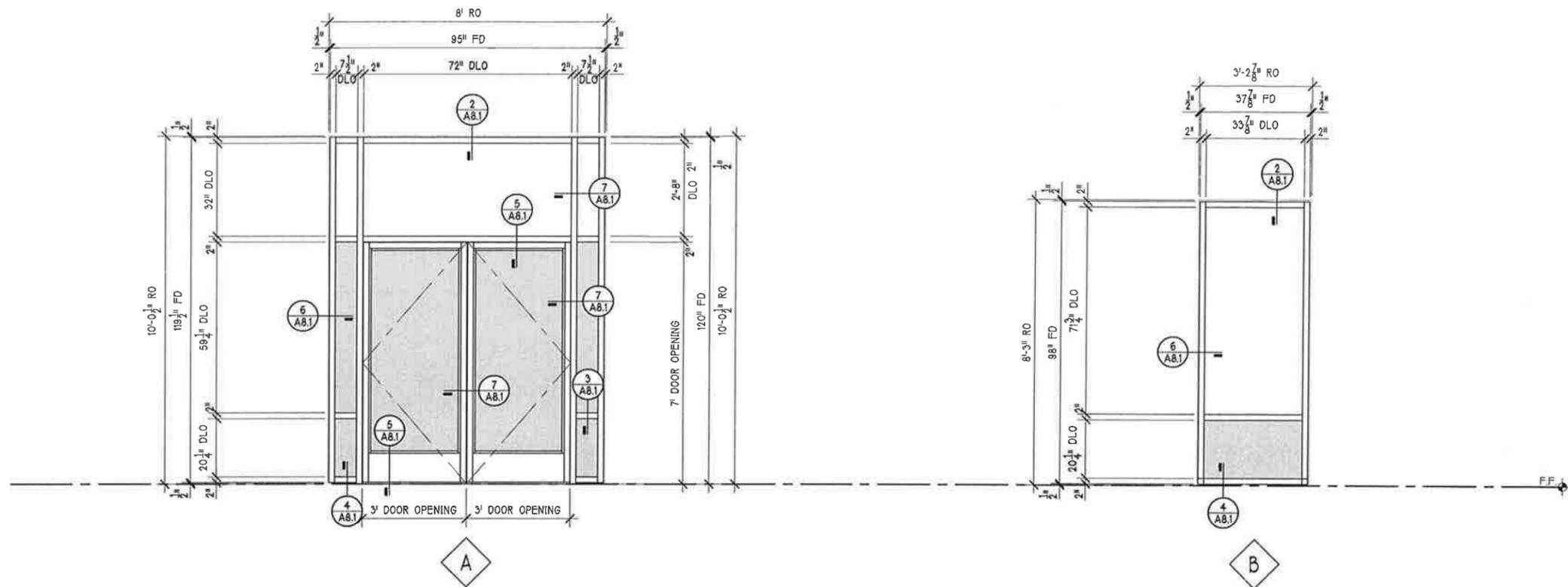
4 SILL SECTION

SCALE: 3"=1'-0"



5 ADA THRESHOLD

SCALE: 3"=1'-0"



GENERAL NOTES & REMARKS

- ALL EXTERIOR DOORS SHALL BE PROVIDED W/ THRESHOLD AND WEATHER-STRIPPING.
- MAXIMUM THRESHOLD TO BE 1/2" AT ALL PUBLIC SPACES.
- SIZE OF ALL EXIT & ACCESSIBILITY DOORS SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF EXIT DOORWAYS WITH SWING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN AT 90 DEGREES.

1 STOREFRONT ELEVATIONS

SCALE: 1/2"=1'-0"

DOOR AND FRAME SCHEDULE

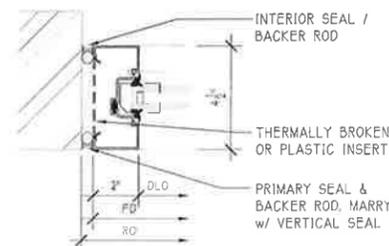
DOOR NUMBER	OPENING SIZE	DOOR		FRAME		FIRE RATING	HARDWARE	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH			
101	6'-0"x7'-0"	AL / GLASS	FF	AL	FF	NONE	A	DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS
102	6'-0"x7'-0"	AL / GLASS	FF	AL	FF	NONE	A	DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS

DOOR HARDWARE SCHEDULE

GROUP	DESCRIPTION	HARDWARE	SELF CLOSER	LOCK	REMARKS
A	RETAIL ENTRY	PULL	YES	DOUBLE-SIDED DEAD-BOLT (ANTI-TAMPER)	DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS

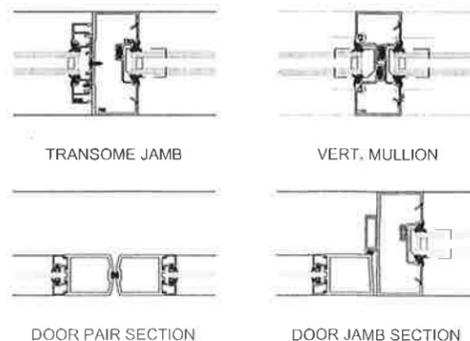
GLASS SCHEDULE & LEGEND

COLOR & HATCH	DESCRIPTION	INSIDE GAP OR LITE	GLASS / TREATMENT / COATING / COATING SURFACE INFILL / SPACER MAT. / MAT. FINISH / 1ST / 2ND SEALANT
[Hatch]	1" IGU - TEMPERED	1/4" OUTSIDE LITE 1/2" INSIDE GAP 1/4" INSIDE LITE	CLEAR / TEMPERED / -- / -- AIR / ALUMINUM / MILL / SILICONE / -- CLEAR / TEMPERED / -- / --
[Hatch]	1" IGU - ANNEALED	1/4" OUTSIDE LITE 1/2" INSIDE GAP 1/4" INSIDE LITE	CLEAR / ANNEALED / -- / -- AIR / ALUMINUM / MILL / SILICONE / -- CLEAR / ANNEALED / -- / --
[Hatch]	0.25" - TEMPERED	1/4" LITE	CLEAR / TEMPERED / -- / --



6 JAMB SECTION

SCALE: 3"=1'-0"



7 VERTICAL SECTIONS

SCALE: 3"=1'-0"

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GLAZING & DOOR
INFORMATION

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ENGINEER SSF
JOB NO. Y-16-025
SHEET SIZE 22"x34"
SHEET OF 8

A8.1