

January 25, 2016

LAND USE BUFFER MITIGATION & STRUCTURE SETBACK MODIFICATION

CITY OF BELLEVUE

PROJECT **New Residence**
101 Cascade Key, Newport Shores

LAND USE PROJECT NARRATIVE

The focus of this project narrative is to provide a description of existing conditions and proposed improvements associated with the critical areas report for a land use application for proposed site improvements and landscaping in conjunction with an impending building permit for a new single family residence replacing an existing single family residence.

The plan proposes to update landscaping, site features, site access, entry courtyard and main terrace in coordination with the redevelopment of the single family residence. Additionally, the plan proposes new plantings, tree retention, and relocation of a significant tree that already exists on the site. Along with an existing survey plan, a site plan and Critical Areas Report showing the project proposal is attached together with the Land Use Application forms for your review.

Existing Project Site

The project site is located at 101 Cascade Key and is zoned R-2.5. The site has shoreline frontage along Lake Washington's canals. The site has been previously developed and contains a primary residence, a paved driveway, a system of terraces and site walls, boat house and dock, canal bulkhead, and access to the shoreline via a series of concrete walkways. Driveway access to the site is from Cascade Key and waterfront access to the site is via a canal system along Lake Washington. Current Land Use in the vicinity of the site is uniformly single family residential.

Topographically, the site is terraced with retaining walls to create an upper and lower portion of the site. Generally the contours are sloped towards Lake Washington, starting at an elevation of 26.0' at the street and ending at an elevation of 19.5'-0" at the canal bulkhead. None of the slopes are characterized as steep slope. Most of the current vegetation was planted during the original construction of the residence, during the 60's and is in various states of maturity and

health. There is a mix of mostly ornamental plant species on the edges of the site with lawn being the dominant species in the interior of the site. (6) Trees classify as significant based on the definition provided by the City of Bellevue. Trees and shrubs cover less than 10% of the buffer and setback area with the remaining surfaces mostly lawn.

The applicant proposes to demolish the existing residence and other existing improvements outside of the Critical Areas Buffer and construct new site improvements in coordination with the construction of a new home. Most of the existing concrete walk along the bulkhead will be retained, with a portion being removed and replaced with mitigation plantings. All new improvements will be located outside of the Critical Area Buffer and the Structure Setback, unless it is a designated allowable use.

Proposed Development

The existing home is a tri-level with the garage under a portion of the residence. In an effort to minimize excavation and site impacts, the new home will be a tri-level utilizing the same stepping of foundations concept and general area in order to maintain the parking below a portion of the home.

The home has approximately 4000 square feet of livable area, with 3 stalls for parking located under the living level. The new structure itself is designed to adhere to all zoning and building requirements. At a height just under 28'-0" it is under the 35' height limit. The home is also well under the FAR requirement, is under coverage and impervious limits, and adheres to all building setback requirements, with the exception of a small corner of the roof which extends into the Structure setback.

The driveway will be reconstructed within the same general location, directing storm water into an appropriate stormwater collection system. New site paving will be a combination of pervious and impervious materials; however, the project will increase the hardscape (impervious and pervious) areas on the site but remain under the maximum allowable 50% impervious area per Chart 20.20.010. for impervious and under 50% combined hard surfaces.

Proposed site features include a new hardscape terrace and front entry courtyard as well as new paths and connections throughout the site. The proposal also includes a therapy spa/hot tub and mechanical equipment as required.

To help minimize impacts to the site, the new terrace is proposed to be situated in the very same location as the terrace of the existing residence being demolished. A portion of the existing concrete terrace and stairs currently encroaches into the 25 foot Structure Setback. The new terrace provides for a more gracious transition to grade but does have a small portion of the steps projecting into the 25 foot Structure Setback. The proposed square footage area of the new stairs that encroaches into the setback is less than the area of the existing terrace and stair encroachment. The applicant proposes to incorporate an open air (no structural cover) therapy hot tub. The deck surface of the hot tub will be no more than 30 inches above adjacent grade, and designed to nestle into the landscaping. In order to achieve this outdoor living area and therapy hot tub, the applicant proposes to reduce the 25 foot shoreline structure setback. All of the area encroaching into the Structure Setback replaces area currently consisting of concrete and lawn/yard and no native vegetation will be removed.

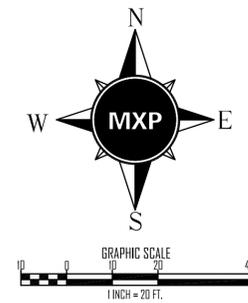
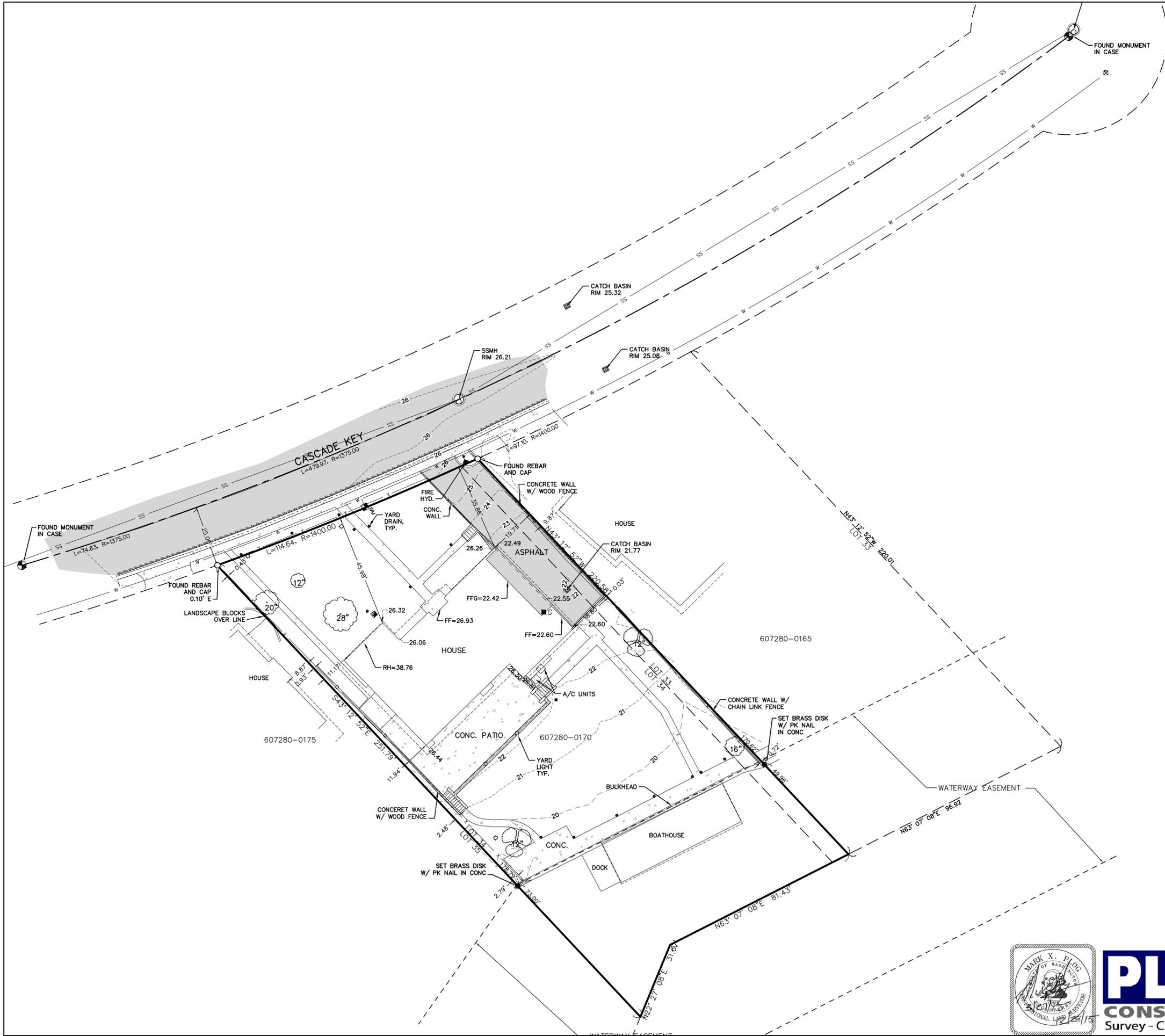
The home is governed by Newport Shores CCRs which have more restrictive setback requirements than the LUC. The CCRs increase the front yard to 25' and side yards to 10' each (as opposed to the LUC front yard setback of 20' and sides of 15' combined). The proposed home is designed tight to all front and side yard setbacks and adheres to the Structure Setback. A very small portion of the roof extends into the Structure Setback, but does

meet LUC 20.20.025.C.5, which allows minor building elements such as roof overhangs to extend into the Structure Setback.

The proposal includes minor modifications within the 25 foot Critical Area Buffer. The only work that would be conducted within the Buffer includes: removal of a large portion of the existing concrete walkway, removal of an existing concrete walkway to be replaced with landscaping and banding, and replacement of an impervious concrete walkway with a pervious walkway. The resulting impact is a net reduction in hardscape of minus 209 square feet as demonstrated in the CAR. An existing large tree located at the edge of the bulkhead walkway will remain and continue to provide shade and nutrients to the water's edge.

The proposed development includes revegetation of the site, tree retention that exceeds the code requirements and incorporates best practices to minimize the impacts of the proposed land use and increase the overall health of the Critical Area Buffer by increasing the use of natives in an area adjacent to the water. Proposed landscaping outside of the critical areas buffer will be a combination of native and ornamental species.

The applicant proposes to provide mitigation as outlined in the Critical Area Report per LUC 20.25H for granting the reduced Structure Setback and for modifying the existing impervious concrete paths within the Critical Area Buffer.



VICINITY MAP
NTS

LEGAL DESCRIPTION
 LOT 34 AND THE SOUTHWESTERLY 7 FEET OF LOT 33, OF NEWPORT REVISED DIVISION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 61 OF PLATS, PAGE 25-27, RECORDS OF KING COUNTY WASHINGTON, SITUATE IN THE CITY OF BELLEVUE, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS
 PER THE PLAT OF NEWPORT REVISED DIVISION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 61 OF PLATS, PAGE 25-27, RECORDS OF KING COUNTY WASHINGTON.
 ACCEPTED THE BEARING OF CASCADE KEY BASED ON FOUND MONUMENTS IN CASE.

VERTICAL DATUM & CONTOUR INTERVAL
 ELEVATIONS SHOWN ON THIS DRAWING ARE BASED ON CITY OF BELLEVUE BENCH MARK 836, A 3/8" BRASS PLUG IN CONCRETE, SET 1.26' BELOW GRADE, LOCATED AT THE ROAD CENTERLINE SOUTH OF THE HOUSE AT 100 CASCADE KEY.
 ELEV.: 25.863 (NAVD 88)
 1.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR ± 1.0' FOR THIS PROJECT.

- GENERAL NOTES**
1. THIS SURVEY WAS COMPLETED WITH OUT THE BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS MAY EXIST ON THE PROPERTY THAT ARE NOT SHOWN HEREON.
 2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND LEICA VIVA TS15 SMART POLE TOTAL STATION/RTK GPS.
 3. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090. SURVEY WAS COMPLETED BY A FIELD TRAVERSER.
 4. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MARCH 2015 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
 5. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS, UTILITY LOCATES BY THIRD PARTIES, AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
 6. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.
 7. CONTOURS SHOWN ARE BASED ON A FIELD SURVEY.
 8. TREE IDENTIFICATION WAS PERFORMED BY SURVEY FIELD PERSONNEL AND SHOULD BE CONSIDERED A BEST GUESS. AN ARBORIST SHOULD BE RELIED UPON FOR MORE ACCURATE AND DETAILED IDENTIFICATION OF TREE SPECIES AND HEALTH.



PLOG
 CONSULTING
 Survey - Civil - Structural

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 Suite 144
 Seattle, WA 98108
 P (206) 420-7130
 F (206) 457-4469
 plogconsulting.com

SW 1/4, NE 1/4, SEC 17, TWP 24N, RNG 05E, W.M.
BOUNDARY & TOPOGRAPHIC SURVEY
TERRY AND RUTH LIPSCOMB
 101 CASCADE KEY, BELLEVUE, WA
 PLOG CONSULTING, INC 2015 ALL RIGHTS RESERVED

PROJECT NO.:	REVISION DATE	REVISION NO.:	SHEET
007-15	03/27/15	0	1 OF 1

P:\2015\07-15_LIPSCOMB\SURVEY\DWG\PLOT02_ROS_007-15.DWG
 March 27, 2015 MARK X. PLOG



January 25, 2016

AOA-5050

Bryan Krannitz, AIA
Krannitz Gehl Architects
765 NE Northlake Way
Seattle, WA 98105

**SUBJECT: Critical Areas Report - Lipscomb Residence– 101 Cascade Key
Shoreline Buffer & Structure Setback Modification,
City of Bellevue, WA (Parcel 607280-0170)**

Dear Bryan:

On January 6, 2016 I conducted a reconnaissance on the subject property that is located on a canal of Lake Washington. This canal is regulated as a shoreline by the City of Bellevue. The property currently contains a concrete bulkhead along the entire length of this shoreline. Maintained yard and mowed lawn extend from an existing residence to the concrete bulkhead. A large boathouse exists adjacent much of the bulkhead. This bulkhead and maintained yard is similar to the adjacent properties and is consistent with the primarily constructed shoreline of the neighborhood.

The purpose of the site visit was to assess proposed modifications to the required 25-foot shoreline buffer and 25-foot structure setback of Lake Washington as part of a proposed new residence to replace the existing residence.

1.0 CRITICAL AREA IMPACTS

The property currently has 860 s.f. of existing impervious surface within the shoreline buffer and 237 s.f. of existing impervious surface within the structure setback. As part of the re-development, the new residence would be constructed outside of the structure setback. Proposed landscape modifications will result in a decrease of the impervious surface within the buffer of 323 feet and an increase of the impervious surface within the structure setback of 114 s.f. The overall impervious surface within the combined buffer and structure setback would therefore be reduced by 209 s.f., increasing the infiltration capacity of the shoreline immediately adjacent the canal.

All of the buffer and structure setback modification areas currently consist of maintained yard and no native vegetation will be removed as part of the project. The proposed impact areas currently have a very low functional value and do not provide any of the significant functions such as shade, temperature control, water purification, woody debris recruitment, erosion control, or habitat typically associated with functioning shoreline buffers.

2.0 CRITICAL AREA MITIGATION

Although there should be no significant impact to the shoreline buffer from the proposed project, mitigation to increase the value of a portion of the shoreline buffer is proposed. This mitigation includes the removal of a concrete pad along the western portion of the shoreline and the planting of 409 s.f. of buffer area with a variety of native plants.

Buffer Functions Provided By Enhancement Area

The enhancement plan has been designed to increase the habitat value of the buffer by increasing the plant species and structural diversity over existing conditions. Native vegetation would be planted directly adjacent the bulkhead to provide some natural shade to the canal. The plantings would extend over the bulkhead and create some overhead cover while contributing detritus and other desirable allochthonous inputs into the aquatic environment.

In addition, the native plantings and decrease in impervious surface within the buffer should also increase stormwater functions through infiltration and pollutant removal. Since the current buffer does not contain any native vegetation along the shoreline, implementation of the enhancement plan would replace and exceed the very minor habitat functions currently provided by the existing shoreline buffer.

2.1 Goal, Objectives, and Performance Standards for Mitigation Areas

The primary goal of the mitigation plan is to increase the habitat and biological input functions of the selected existing shoreline buffer. To meet this goal, the following objectives and performance standards have been incorporated into the design of the plan:

Objective A: Increase the structural and plant species diversity within the mitigation area.

Performance Standard: Following every monitoring event for a period of five years (or three years if the site is meeting all performance standards and the City grants early sign-off), the mitigation area will contain a total of at least 6 native plant species. In addition, there will be 100% survival of all woody planted species throughout the mitigation area at the end of the first year of planting. Following Year 1, success will be based on an 80% survival rate or similar number of recolonized native woody plants.

Objective B: Limit the amount of invasive and exotic species within the mitigation area.

Performance Standard: After construction and following every monitoring event for a period of five years (or three years if the site is meeting all performance standards and the City grants early sign-off), exotic and invasive plant species will be maintained at levels below 10% total cover in the designated mitigation area. Invasive species include, but are not limited to, Himalayan and evergreen blackberry, Japanese knotweed, and English ivy.

2.2 Construction Management

Prior to commencement of any work in the mitigation area, the clearing limits will be staked and a pre-construction meeting will be held at the site to review and discuss all aspects of the project with the landscape contractor and the owner.

A consultant will supervise plan implementation during construction to ensure that objectives and specifications of the mitigation plan are met. Any necessary significant modifications to the design that occur as a result of unforeseen site conditions will be jointly approved by the City of Bellevue and the consultant prior to their implementation.

2.3 Monitoring Methodology

The monitoring program will be conducted for a period of five years (unless the site is meeting all performance standards and the City grants early sign-off at three years), with annual reports submitted to the City. Vegetation monitoring will include general appearance, health, mortality, colonization rates, percent cover, percent survival, volunteer plant species, and invasive weeds.

Photo-points will be established from which photographs will be taken throughout the monitoring period. These photographs will document general appearance and progress in plant community establishment in the mitigation area. Review of the photos over time will provide a visual representation of success of the mitigation plan.

2.4 Maintenance Plan

Maintenance will be conducted on a routine, year round basis. Additional maintenance needs will be identified and addressed following periodic maintenance reviews. Contingency measures and remedial action on the site shall be implemented on an as-needed basis at the direction of the consultant or the owner.

2.5 Weed Control

Routine removal and control of non-native and other invasive plants within the designated mitigation area shall be performed by manual means. Undesirable and weedy exotic plant species shall be maintained at levels below 10% total cover within the mitigation area during the monitoring period.

2.6 General Maintenance Items

Routine maintenance of plantings shall be performed. Measures include resetting plants to proper grades and upright positions. Tall grasses and other competitive weeds shall be weeded at the base of plants to prevent engulfment. Weed control should be performed by hand removal.

2.7 Contingency Plan

All dead plants will be replaced with the same species or an approved substitute species that meets the goal of the mitigation plan. Plant material shall meet the same specifications as originally-installed material. Replanting will not occur until after reason for failure has been identified (e.g., moisture regime, poor plant stock, disease, shade/sun conditions, wildlife damage, etc.). Replanting shall be completed under the direction of the consultant, City of Bellevue, or the owner.

2.8 As-Built Plan

Following completion of construction activities, an as-built plan for the mitigation area will be provided to the City of Bellevue. The plan will identify and describe any changes in relation to the original approved plan.

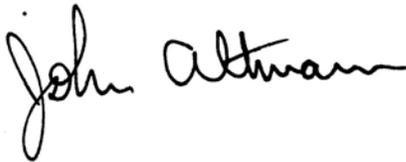
Conclusion

Implementation of the proposed mitigation plan will result in an overall improvement in the habitat and functional value of the shoreline buffer and structure setback over current conditions.

If you have any questions regarding the mitigation plan, please give me a call.

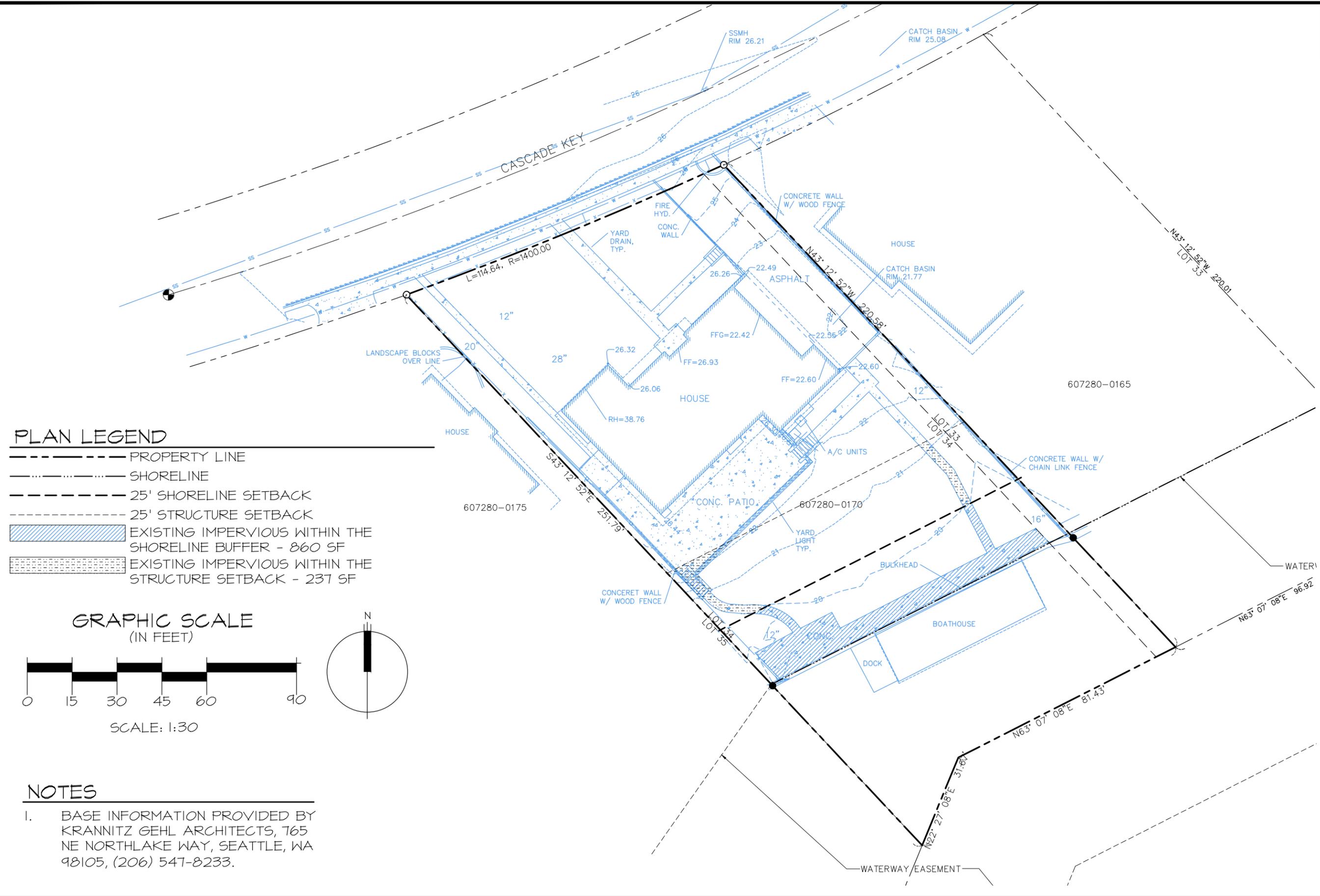
Sincerely,

ALTMANN OLIVER ASSOCIATES, LLC

A handwritten signature in black ink that reads "John Altmann". The signature is written in a cursive, flowing style.

John Altmann
Ecologist

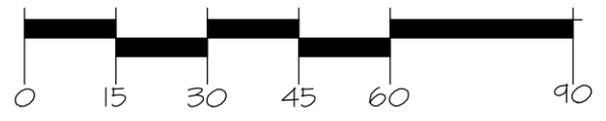
FIGURE 1: EXISTING IMPERVIOUS BUFFER MITIGATION PLAN
 LIPSCOMB RESIDENCE
 101 CASCADE KEY
 NEWPORT SHORES
 BELLEVUE, WASHINGTON



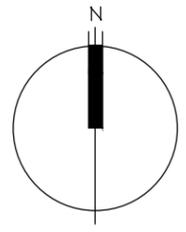
PLAN LEGEND

- PROPERTY LINE
- SHORELINE
- 25' SHORELINE SETBACK
- 25' STRUCTURE SETBACK
- EXISTING IMPERVIOUS WITHIN THE SHORELINE BUFFER - 860 SF
- EXISTING IMPERVIOUS WITHIN THE STRUCTURE SETBACK - 237 SF

GRAPHIC SCALE
(IN FEET)

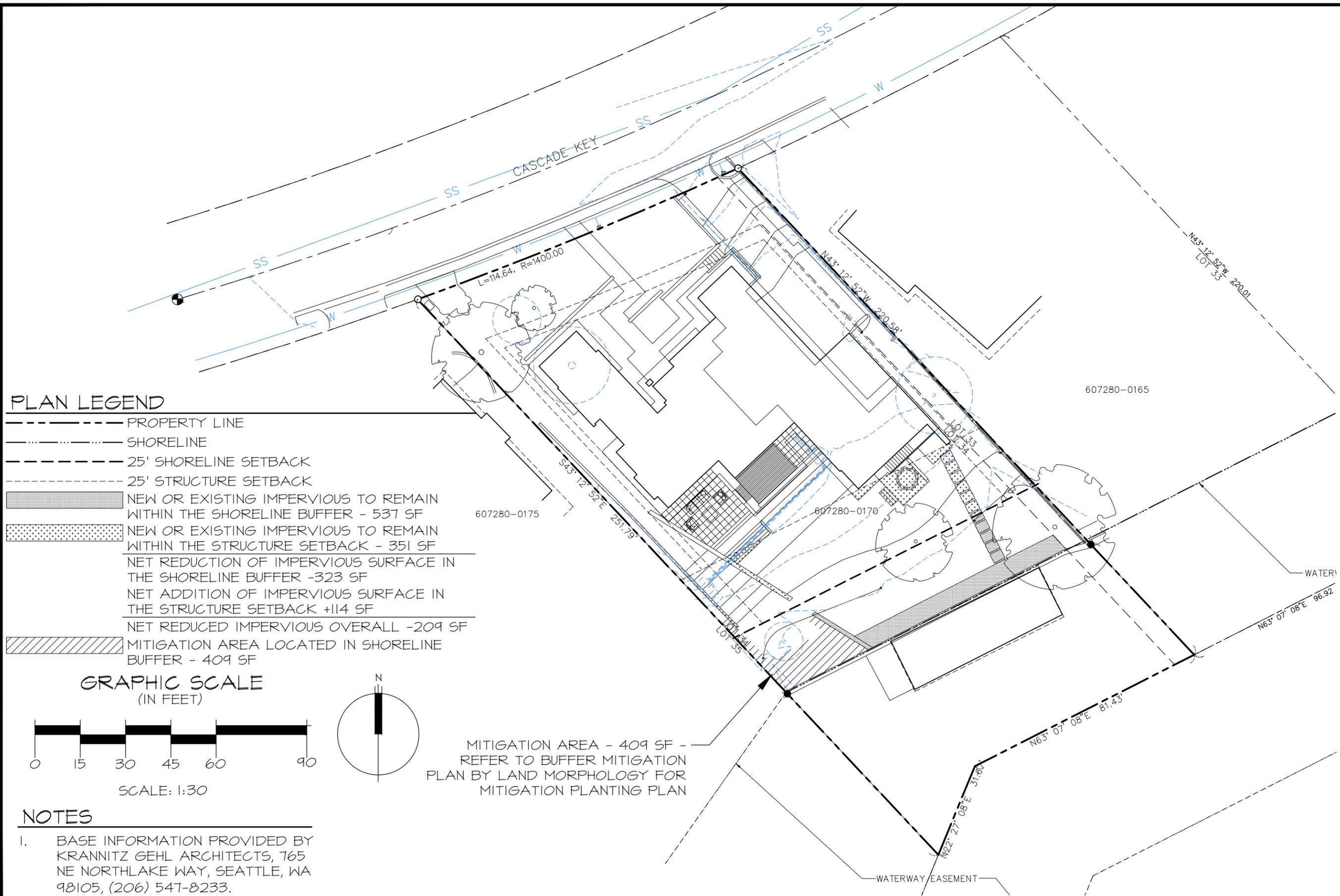


SCALE: 1:30



NOTES

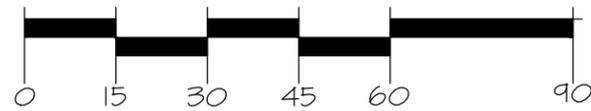
1. BASE INFORMATION PROVIDED BY KRANNITZ GEHL ARCHITECTS, 765 NE NORTHLAKE WAY, SEATTLE, WA 98105, (206) 547-8233.



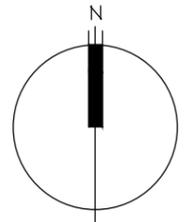
PLAN LEGEND

- PROPERTY LINE
- SHORELINE
- 25' SHORELINE SETBACK
- 25' STRUCTURE SETBACK
- [Solid Grey Hatching] NEW OR EXISTING IMPERVIOUS TO REMAIN WITHIN THE SHORELINE BUFFER - 537 SF
- [Dotted Hatching] NEW OR EXISTING IMPERVIOUS TO REMAIN WITHIN THE STRUCTURE SETBACK - 351 SF
- [Diagonal Hatching] NET REDUCTION OF IMPERVIOUS SURFACE IN THE SHORELINE BUFFER -323 SF
- [Diagonal Hatching] NET ADDITION OF IMPERVIOUS SURFACE IN THE STRUCTURE SETBACK +114 SF
- [Diagonal Hatching] NET REDUCED IMPERVIOUS OVERALL -209 SF
- [Diagonal Hatching] MITIGATION AREA LOCATED IN SHORELINE BUFFER - 409 SF

GRAPHIC SCALE
(IN FEET)



SCALE: 1:30



MITIGATION AREA - 409 SF -
REFER TO BUFFER MITIGATION PLAN BY LAND MORPHOLOGY FOR
MITIGATION PLANTING PLAN

NOTES

- I. BASE INFORMATION PROVIDED BY KRANNITZ GEHL ARCHITECTS, 765 NE NORTHLAKE WAY, SEATTLE, WA 98105, (206) 547-8233.

PROJECT	5050
DRAWN	SO
SCALE	AS NOTED
DATE	01-25-16
REVISED	2/2

FIGURE 2: NEW IMPERVIOUS
BUFFER MITIGATION PLAN
LIPSCOMB RESIDENCE
101 CASCADE KEY
NEWPORT SHORES
BELLEVUE, WASHINGTON

Altmann Oliver Associates, LLC
 Environmental
 Planning &
 Landscape
 Architecture

PO Box 578 Camanville, WA 98014 Office (425) 333-4533 Fax (425) 333-4509

5050-MIT-01-25-16.dwg

PLANTING SCHEDULE

TREES

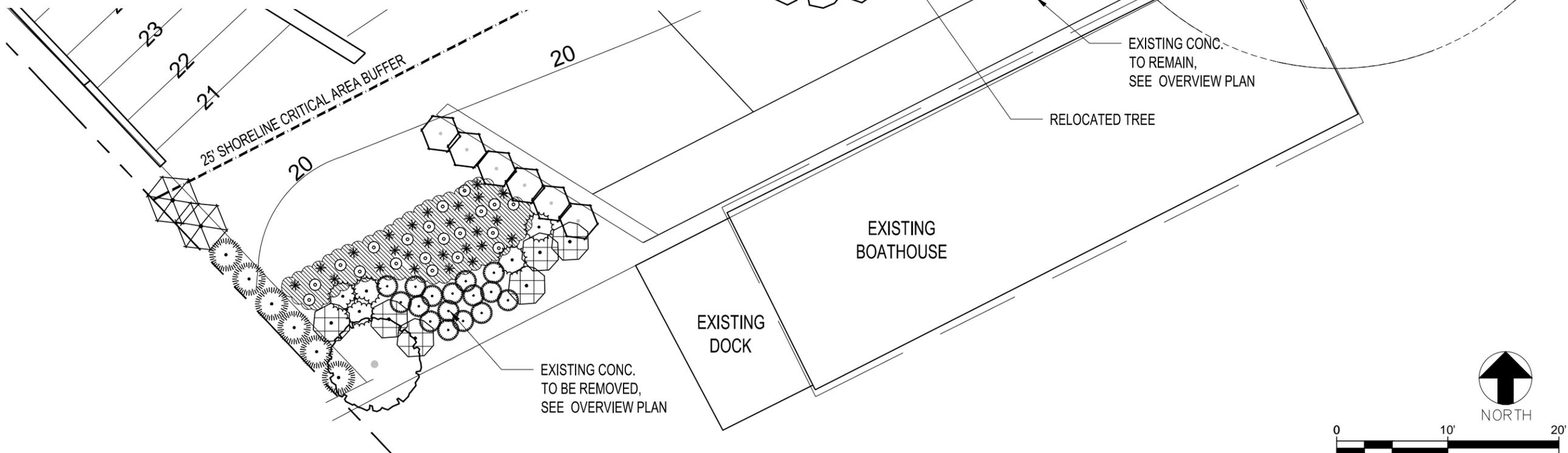
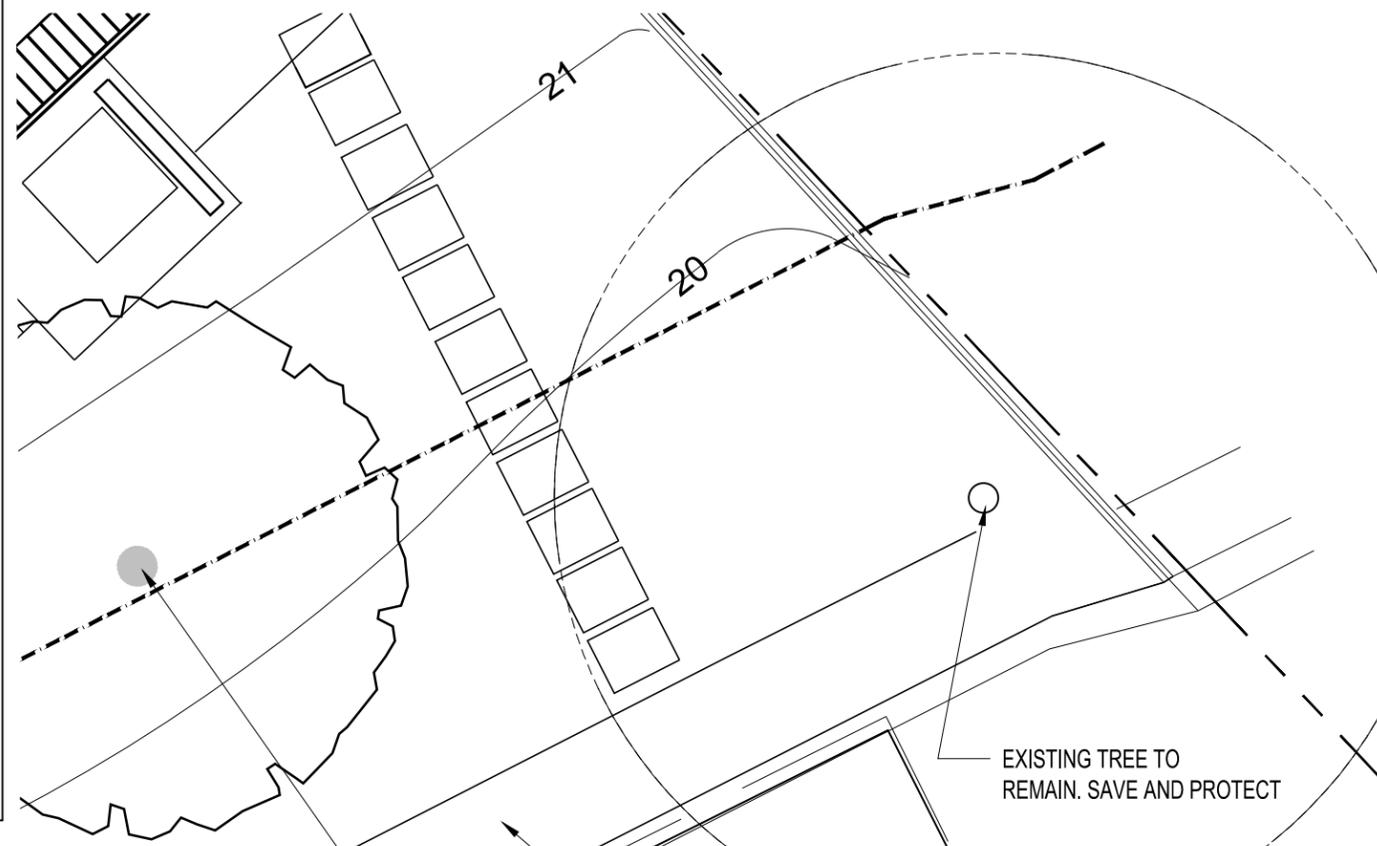
SYM	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	NOTES
	CN	1	CORNUS NUTTALLII	PACIFIC DOGWOOD	AS SHOWN	1 1/2' CAL.	

SHRUBS

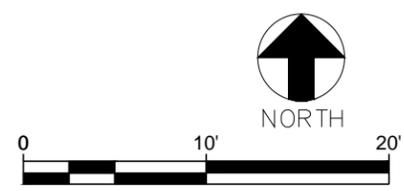
SYM	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	NOTES
	AJ	6	ARCTOSTAPHYLOS COLUMBIANA	HAIRY MANZANITA	4' O.C.	1 GAL.	
	CS	16	CORNUS SERICEA	RED-OSIER DOGWOOD	2' O.C.	1 GAL.	
	PF	5	POTENTILLA SPP.	CINQUEFOIL	3' O.C.	1 GAL.	
	RS	1	RIBIES SANGUINEUM	RED CURRANT	4' O.C.	5 GAL.	
	VO	6	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3' O.C.	5 GAL.	
	VP	6	VACCINIUM PARVIFOLIUM	RED HUCKLEBERRY	3' O.C.	1 GAL.	

PERRENIALS

SYM	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	NOTES
	AD	6	ARUNCUS DIOICUS	GOAT'S BEARD	AS SHOWN	1 GAL.	
	IT	26	IRIS TENAX	OREGON IRIS	AS SHOWN	1 GAL.	
	TC	20	TIARELLA TRIFOLIATA	FOAM FLOWER	AS SHOWN	1 GAL.	
	CQ	20	CAMASSIA QUAMASH	CAMAS	12" O.C.	BULBS	



1 BUFFER MITIGATION PLANTING PLAN



Scale: 1"=10'



**Richard Heritage
Land Morphology**
253 Taylor Ave N, Suite 100B
Seattle, WA 98109
206 448 2180
www.landmorphology.com

LIPSCOMB RESIDENCE
101 CASCADE KEY, BELLVUE, WASHINGTON 98006
Project #: 20150150

Scale: 1"=10'
Date: 01/25/2016
Drawn By:
Checked By: LH
Revisions: RH

Sheet:
L-100

SPECIFICATIONS

1. SUBMIT TO THE CITY OF BELLVUE CONTRACTOR INFORMATION. SUBMIT ONE MONTH PRIOR TO CONSTRUCTION CONTACT INFORMATION INCLUDING NAMES, ADDRESSES AND PHONE NUMBERS OF PERSONS / FIRMS THAT WILL BE RESPONSIBLE FOR INSTALLING REQUIRED PLANTS AND PERFORMING REQUIRED MAINTENANCE.
2. CONTRACTOR QUALIFICATIONS. ALL WORK SHALL BE PERFORMED BY A LISCENSCED LANDSCAPE CONTRACTOR IN THE STATE OF WASHINGTON. CONTRACTOR MUST BE EXPERIENCED IN MITIGATION PLANTINGS. CONTRACTOR MUST PROVIDE ONE PERSON AT ALL TIMES WHO IS EXPERIENCED WITH THE MATERIALS BEING INSTALLED AND THE BEST PRACTICES FOR INSTALLATION TO DIRECT WORK ON THE SITE AT ALL TIMES. THIS PERSON SHALL HAVE A MINIMUM OF (5) YEARS EXPERIENCE INSTALLING NATIVE PLANT MATERIAL.
3. ALL PLANTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE HEALTHY WELL-BALANCED PLANT MATERIALS AS SPECIFIED. CONTACT L.A. IN WRITING 3 WEEKS IN ADVANCE OF PLANT MATERIAL DELIVERY TO ESTABLISH ON-SITE INSPECTION. PLANT MATERIAL SHALL NOT BE INSTALLED UNTIL IT HAS BEEN APPROVED BY THE L.A. ALL PLANT MATERIAL SHALL BE PLACED IN ONE ISOLATED LOCATION ON THE PROJECT SITE AND PROVIDE UNRESTRICTED ACCESS FOR VISUAL INSPECTION OF INDIVIDUAL PLANTS. PLANTS SHALL BE ORGANIZED IN BLOCKS BY SPECIES AND SUFFICIENTLY SPACED TO OBSERVE OVERALL GROWTH HABIT. TREES SHALL BE UNTIED AND BRANCHES SEPARATED. UNACCEPTABLE PLANT MATERIAL SHALL BE REMOVED FROM THE JOB SITE.
4. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY.
5. PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF BULK MATERIALS, DISCHARGE OF SOIL-BEARING WATER RUNOFF, AND AIRBORNE DUST REACHING ADJACENT PROPERTIES, WATER CONVEYANCE SYSTEMS, OR WALKWAYS.
6. SUBGRADE. CONTRACTOR SHALL PROVIDE A SUBGRADE OF 12" BELOW FINISH GRADE IN ALL PLANTED AREAS.
7. TILL SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1-1/2 INCHES IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
8. PLANTER BEDS: PROVIDE 12" DEPTH 3-WAY MIX TOPSOIL (1/3 FINE COMPOST, 1/3 SANDY LOAM, 1/3 SAND) AND 3" DEPTH LANDSCAPE MULCH FROM CEDAR GROVE (OR APPROVED SELLER) FOR ALL NEW LANDSCAPE AREAS.
9. SOIL PREPARATION IN PLANTED AREA: APPLY 3" LAYER SPECIFIED TOPSOIL. ROTOTILL TO A DEPTH OF 6" INTO EXISTING SOIL. APPLY SECOND LIFT OF TOPSOIL TO MEET FINISH GRADE.
10. APPLY TOPSOIL AND MULCH AS NEEDED TO ACHIEVE FINISH GRADES. DO NOT APPLY MATERIALS OR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
11. OBTAIN WRITTEN APPROVAL OF FINISHED GRADES FROM LANDSCAPE ARCHITECT PRIOR TO PLANTING.
12. ALL NEW SHRUB AND GROUND COVER AREAS TO RECEIVE A MINIMUM 3" DEPTH OF SPECIFIED MULCH. ALL NEW TREES WITHIN PLANTING AREAS TO RECEIVE A 4'-0" DIAMETER MULCH RING, 3" DEPTH.

13. PLANT MATERIAL: FURNISH NURSERY GROWN PLANTS (GROWN IN WESTERN WA OR OR) TRUE TO GENUS, SPECIES, VARIETY, CULTIVARS, STEM FORM, SHEARING, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULL-BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS AND DISFIGUREMENT.
14. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE EXCAVATING OR PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
15. PLANTING:
 - SET OUT AND SPACE GROUND COVER AND PLANTS OTHER THAN TREES, SHRUBS AND VINES AS INDICATED ON DRAWINGS IN EVEN ROWS WITH TRIANGULAR SPACING UNLESS OTHERWISE SHOWN ON PLANS.
 - USE PLANTING SOIL FOR BACKFILL
 - DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. 2X DIAMETER OF PLANT.
 - WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL.
 - PROTECT PLANTS FROM HOT SUN AND WIND; REMOVE PROTECTION IF PLANTS SHOW EVIDENCE OF RECOVERY FROM TRANSPLANTING SHOCK.
16. MULCH: ORGANIC MULCH TO BE FREE OF DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF 3 INCH DEPTH TYP. COMPOST MULCH TO BE WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER WITH ORGANIC MATTER COMPRISING 50 TO 60 PERCENT OF DRY WEIGHT. APPLY 3 INCHES AVERAGE THICKNESS OF LANDSCAPE MULCH OVER WHOLE SURFACE OF PLANTING AREA, AND FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN 3 INCHES OF TRUNKS OR STEMS.
17. UPON COMPLETION OF PLANTING, ALL PLANTED AREAS SHALL BE THOROUGHLY WATERED BY HAND WATERING OR BY TYING INTO THE PERMANENT IRRIGATION SYSTEM. ENSURE ROOT BALL IS THOROUGHLY SATURATED.
18. UPON APPROVAL OF PLANTING INSTALLATION BY LANDSCAPE ARCHITECT, THE CITY OF BELLVUE SHALL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL ACCEPTANCE OF CONSTRUCTION.
19. MAINTENANCE SHALL BE REQUIRED IN ACCORDANCE WITH THE CITY OF BELLVUE SENSITIVE AREAS MITIGATION GUIDELINES AND APPROVED PLANS.
20. MAINTENANCE SERVICE: PROVIDE MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTS ARE INSTALLED AND CONTINUE ON A REGULAR BASIS ACCORDING TO THE SCHEDULE BELOW.

ANNUAL MAINTENANCE SCHEDULE												
MAINTENANCE TYPE	J	F	M	A	M	J	J	A	S	O	N	D
WEED CONTROL			1 TIME									
GENERAL MAINTENANCE	1 TIME											



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LIPSCOMB RESIDENCE
 101 CASCADE KEY, BELLVUE, WASHINGTON 98006
 Project #: 20150150

Scale: AS SHOWN

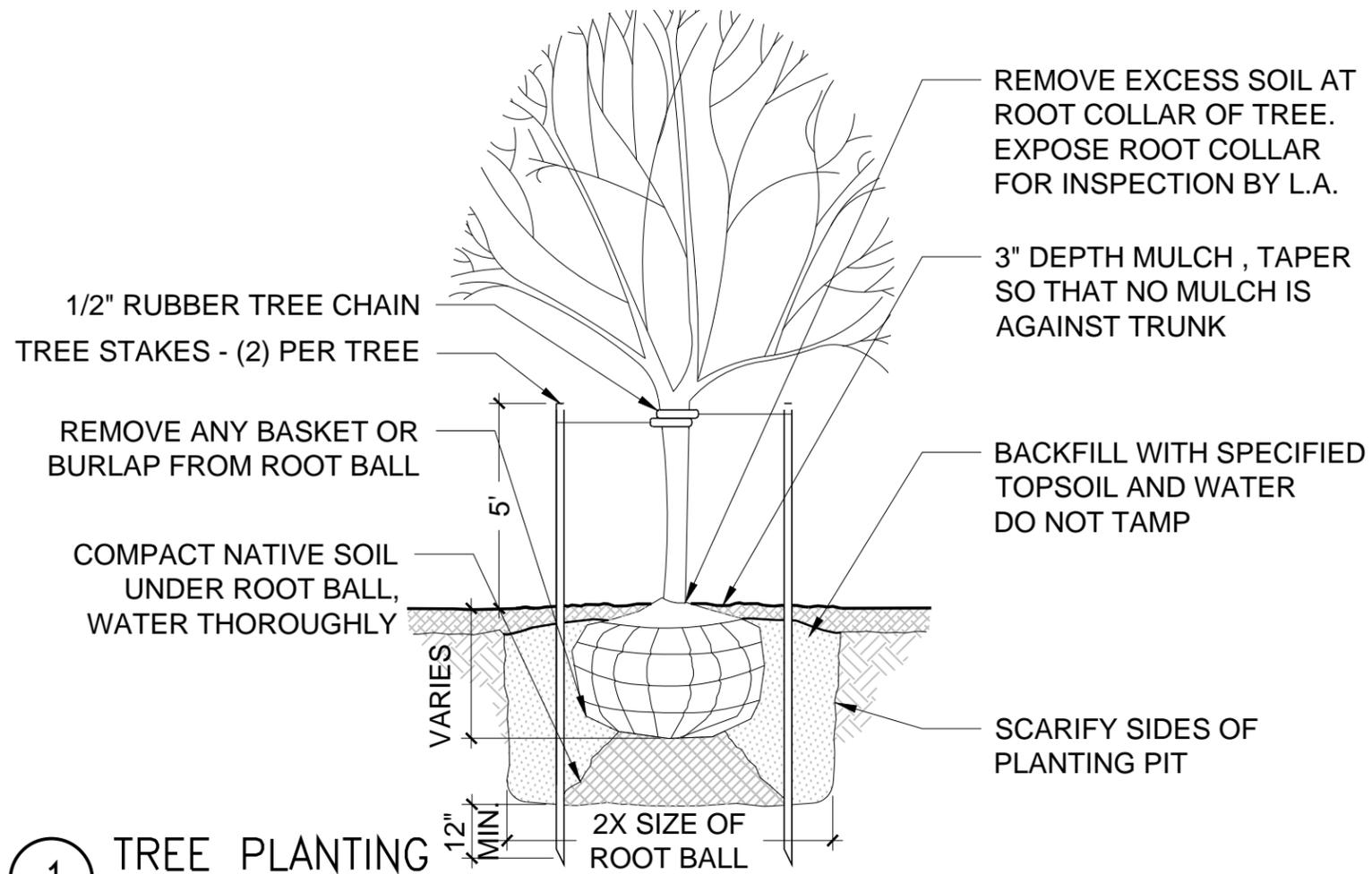
Date: 01/ 25/ 2016

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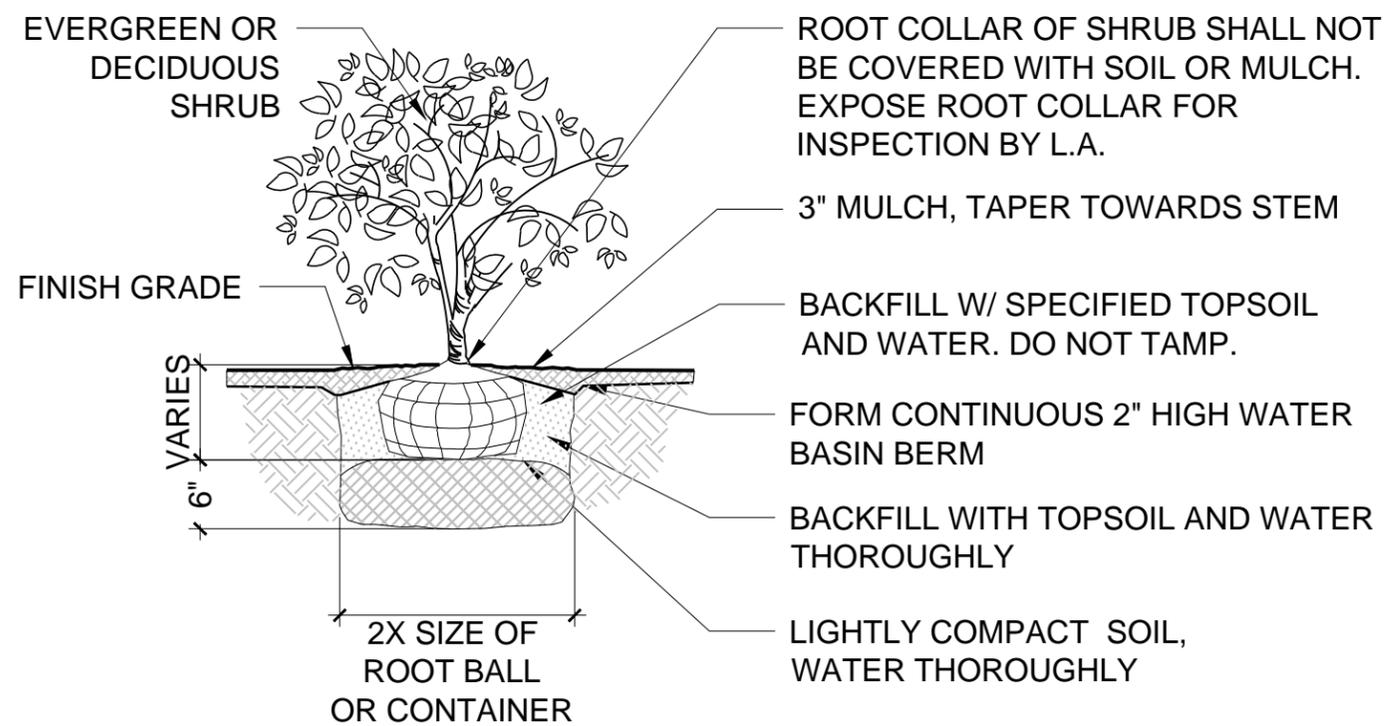
Checked By: RH

Revisions:

Sheet:



1 TREE PLANTING
SCALE: 1/4"=1'-0"



2 SHRUB PLANTING
SCALE: 3/4"=1'-0"



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