



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 450 110th AVENUE NE
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Bellevue Vuecrest, LP

LOCATION OF PROPOSAL: 1000 100th Avenue NE

DESCRIPTION OF PROPOSAL: To demolish an existing two-story apartment complex known as the Sumiyoshi along with 35 surface parking stalls and associated carports to construct a five-story residential apartment building with 137 residential units and 187 parking stalls. Frontage improvements along 100th Avenue NE and NE 10th Street will be provided. Total site size is 1.03 acres. Landscape modifications will occur with this application.

FILE NUMBER: 15-120258 LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of Development Services. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **8/4/2016**
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Carol V. Hellard
 Environmental Coordinator

7/21/16
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

State Department of Fish and Wildlife
 State Department of Ecology,
 Army Corps of Engineers
 Attorney General
 Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: **Bellevue Vuecrest, LP**

Proposal Address: 1000 100th Avenue NE

Proposal Description: To demolish an existing two-story apartment complex known as the Sumiyoshi along with 35 surface parking stalls and associated carports to construct a five-story residential apartment building with 137 residential units and 187 parking stalls. Frontage improvements along 100th Avenue NE and NE 10th Street will be provided. Total site size is 1.03 acres. Landscape modifications will occur with this application.

File Number: **15-120258 LD**

Applicant: Bellevue Vuecrest, LP

Decisions Included: Design Review with SEPA, Process II

Planner: Antoinette Pratt, Senior Planner

State Environmental Policy Act Threshold Determination: **Determination of Non-significance**
Carol V. Helland
Carol V. Helland
Environmental Coordinator

Director's Decision: Michael Brennan, Director
Development Services Department
By: Carol V. Helland
Carol V. Helland, Land Use Director

Application Date: August 3, 2015
Notice of Application Date: September 24, 2015
Minimum Comment Period: October 8, 2015
Public Meeting Date: October 22, 2015
Bulletin Publication Date: July 21, 2016
Appeal Deadline: August 4, 2016

For information on how to appeal a proposal, visit the Development Services Permit Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

CONTENTS

I.	Request/Review Process.....	2
II.	Site Zoning, Context & Character.....	3
III.	Consistency with Land Use Code/Zoning Requirements.....	7
IV.	Public Notice & Comment.....	12
V.	Technical Review.....	14
VI.	State Environmental Policy Act (SEPA).....	18
VII.	Changes to Proposal Due to Staff Review.....	21
VIII.	Decision Criteria.....	21
IX.	Decision.....	27
X.	Conditions of Approval.....	27

I. REQUEST/PROPOSAL DESCRIPTION

A. Request

Bellevue Vuecrest, LP requests Design Review approval and a Threshold Determination under the State Environmental Policy Act (SEPA) to demolish an existing two-story apartment complex known as Sumiyoshi to construct a five-story residential apartment building with 137 residential units. Two levels of underground parking will be provided for a total of 187 parking stalls. Street frontage improvements along 100th Avenue NE and NE 10th Street will be provided. Total site size is 1.03 acres. Landscape modifications will occur with this application.



View of West and South Elevations

See Attachment A for Project Plans & Drawings.

B. Review Process

Design Review is required by Land Use Code (LUC) 20.30F LUC 20.25A.010.C. The Design Review and SEPA Determination are both Process II decisions LUC 20.35.010.C. Process II is an administrative process. The Environmental Coordinator issues the SEPA Threshold Determination and the Director of the Development Services Department issues the Design Review decision. An appeal of any Process II decision is heard and decided upon by the City of Bellevue Hearing Examiner.

II. SITE, ZONING & LAND USE CONTEXT

A. Site

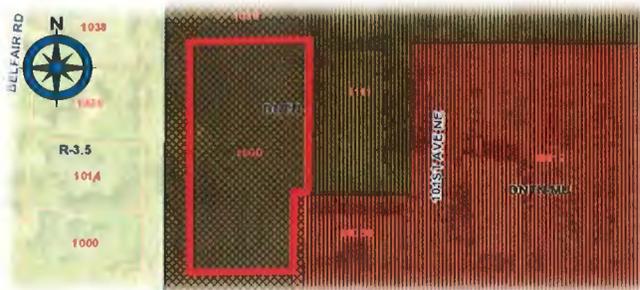


The site is located north of NE 10th Street and east of 100th Avenue NE. 100th Avenue NE is the dividing line between the downtown and single-family uses to the west known as the Vuecrest neighborhood. A single-family residence is located north of this site. Multifamily and commercial uses are located to the east and south

across NE 10th Street. Total site size is 1.03 acres.

The site is designated by the City's Comprehensive Plan as the Northwest Village of the downtown subarea. The designation was applied because it primarily provides neighborhood-oriented retail and service uses. This district is somewhat isolated from the rest of downtown; but with infill development will evolve into a vibrant urban neighborhood.

B. Zoning



The property is located within the Downtown-Residential (DNTN-R) land use district, Subdistrict A. No concomitant agreement applies to the property.

III. Site Design and Building Design

Site Design

The proposed residential mid-rise building and below-grade parking occupy the southwest corner of a block at the intersection of 100th Avenue NE and NE 10th Street. The block is currently composed of mid- to low-rise detached apartment buildings, an optometrist building, and a two-story light industrial strip mall. The entire southeast corner of the block is a surface parking lot. There are multiple internal private drives, including one that makes a complete loop from 101st Avenue NE to primarily serve the Le Chateau Apartments. The primary frontage of the proposed project is along 100th Avenue NE. One private vehicular entrance for the residents is proposed at the northwest corner of the project at the north property line along 100th Avenue NE. A trash enclosure is provided at the northwest corner of the site. The required loading zone is located south of this driveway. All residential parking is contained below grade on two levels.

Building Design

The proposed apartment residential building at 1000 100th Ave NE is an approximately 231,889 square foot, five-story apartment development with two stories of below grade parking. The overall massing is broken down by changes in material, and multi-story bays around the building. The east façade has two courtyards lushly detailed with fountains and vegetation with private patios for the ground level units.



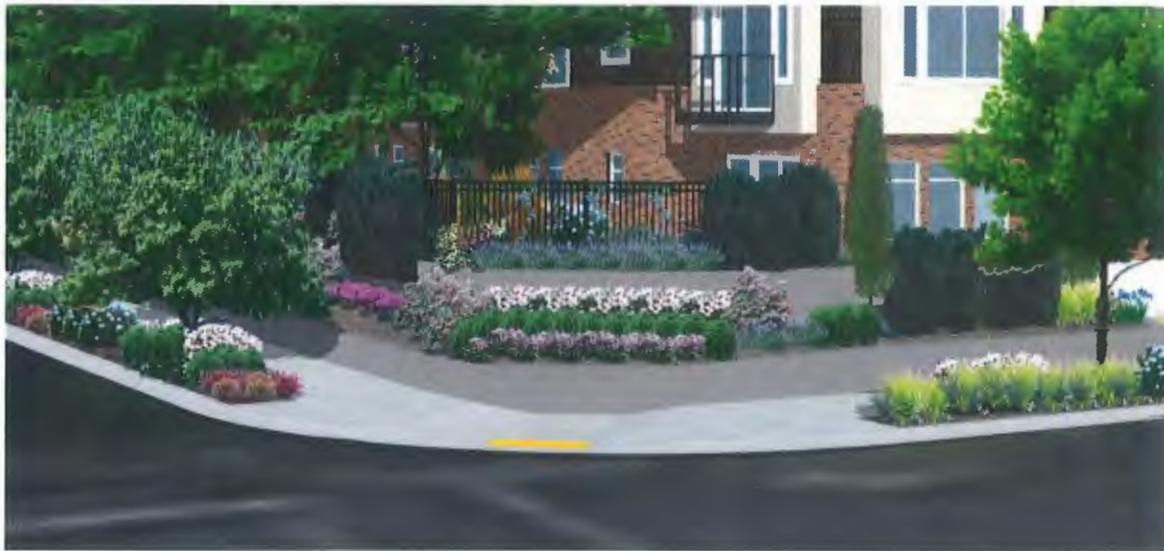
View West of Patio Courtyards

Architectural Compatibility / Design

At ground level along 100th Avenue NE, the main entry is expressed with a water feature and covered entry. Along the street there is a curb cut for pick-up and drop off to minimize interference with traffic. Around the entire public street frontages along 100th Avenue NE and NE 10th Street, the building meets grade with brick and is separated from the sidewalk with medium-sized trees, bushes and private patios.



The project is located in the DNTN-R zone, in perimeter design Sub-District A adjacent to a single-family residential neighborhood. The building is primarily composed of brick at the base, horizontal lap siding, and “shingle style” lap siding. The façades are modulated with changes in material, breaking down the long 100th Avenue NE façade into smaller volumes that relate more to the walking pace of a pedestrian.



Landscaping

The landscape concept for the project is designed to respect the character of the adjacent single-family neighborhood with large trees and deep setbacks. The west and south façades are public and face the street. The east façade is broken down into two courtyards with private patios and rich vegetation designed to be experienced from ground level but also enjoyed from above. The building stepback of 15 feet above 40 feet on 100th Avenue NE provides an opportunity for small planters between unit balconies at level five of the structure. The rooftop

amenity space includes an extensive green roof as well as some large planters. The landscaping in general is designed to be aesthetically pleasing and engaging for the majority of the year.



View East of Private Patios



View of Roof Top Deck

IV. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

Uses are regulated by Section 20.10.400 (Use Charts) and 20.25A (Downtown Residential, Subdistrict A land use district). In addition, the uses proposed for this project are permitted with Design Review approval subject to meeting the Design Review criteria of Land Use Code (LUC) 20.25A.110 and the Design Guidelines – Building/Sidewalk Relationships of LUC section 20.25A.115, summarized as follows:

Item	Permitted/Required	Proposed	Comments/Conditions
Project Limit/Lot Coverage	75%	29,592 SF (66%)	LUC 20.25A.090.D.2
Building Height	30' Basic/55' Max	55'	Participating in FAR Amenity Incentive System (LUC 20.25A.030) and seeking height increase per exception under LUC 20.25A.020.B.4.a
Floor Area Ratio (FAR)	2.0 base/3.5 max.	3.0	Participating in FAR Amenity Incentive System (LUC 20.25A.030)
Total Gross Floor Area (GFA)	No minimum	205,515 GFA	Excludes vertical penetrations, vent shafts, stairwells, and balconies per LUC 20.50.020
Exempt Parking and Mechanical Areas	No minimum	69,002 GFA	LUC 20.50.020
GFA for FAR	156,930 GSF	136,513 GFA	Excludes parking and mechanical areas from GSF per LUC 20.50.020.
Floor Area per Floor Above 40 Feet	Residential: 20,000 gsf/ff	Residential: 21,961 gsf/ff ⁽¹⁾	Proposed areas are per gross floor area as defined in chapter 20.50, Bellevue LUC.
Setbacks			
Front	0 FT at 10 th St 20' FT at 100 th Ave	10' FT at 10 th St 20' FT at 100 th Ave	LUC 20.25A.090.D.2, LUC 20.25A.020.A.2
Side(s)	0 FT	2'-0" to retaining wall 7'-2" to L1-L5	LUC 20.25A.020.A.2
Rear	0 FT	6'-1" to 6'-4"	LUC 20.25A.020.A.2
Sidewalk Width	12 feet+6" curb including planters	12' + 6" curb including planters	LUC 20.25A.060.A
Landscape	Min. 5' planter strips.	5' planter strips.	LUC 20.25A.060.A2 (See Landscape plans)

¹ Due to the site's location in the perimeter design district, the project is required to provide a 20 foot setback along 100th Avenue NE. The required setback affects the size of the floor plate in the lower levels. The Director is granting a 10% increase in floor size utilizing LUC 20.25A.020.B.1.a to gain 10 percent of additional floor area above 40 feet. 20,000+10%=22,000 SF. The applicant proposes 21,961 SF.

Stepback	15' on 100 th Avenue NE	15' on 100 th Avenue NE	LUC 20.25A.090.2
-----------------	---------------------------------------	------------------------------------	------------------

Parking and Loading

Item	Required		Proposed	Comments/ Conditions
Parking	Minimum and Maximum Permitted Ratios	Required and Permitted Parking Stalls	Proposed Parking Stalls	LUC 20.25A.050
Residential (361,867 net sq. ft.)	Min. 1 stall / unit Max. 2 stalls / unit	137 274	187	
Compact Stalls	Max. 65% of total stalls = 121 stalls	107 [57%]		LUC 20.25A.050.F.2
Loading Area	Min. equal to the number of vehicles simultaneously loading with a space size of 10'x55'. A reduction is acceptable if it is demonstrated loading vehicles can maneuver within the proposed constraints without impeding the public right-of-way, access easement, or private road.	Provided (1) 11'x30' loading space on site at the NW corner. Accessed off 100th Avenue NE.		LUC 20.20.590.K.4.a- c
Recycling & Solid Waste	The recycling storage area must be accessible to residents and/or workers of the proposed development, and there must be 1.5 SF/dwelling unit = 206 SF.	Recycling = 52SF / floor = 265 SF total provided. P1 trash room = 385 SF Collection area by driveway = 98SF		Meeting standard; Republic Services has reviewed the plans and not identified any service issues/impacts. See letter dated May 1, 2016, in project file.

B. Special District Requirements

1. FAR Amenity System Requirements

See Attachment B for FAR and Amenity Calculations (Basic and Non-Basic) for this project.

Subject to LUC 20.25A.030.D, the total amount of bonus floor area earned through the Amenity Incentive System for a project, and the total amount of bonus floor area to be utilized on-site for that project, must be recorded with the King County Recorder's Office and with the Bellevue City Clerk. Therefore, a condition is included in Section X of this report requiring that the applicant record a copy of the approved bonus point calculations, project drawings and conditions of this Design Review approval. See Section X.D for related condition.

2. Design Review Criteria and Design Guidelines

The proposal meets the Design Review criteria (LUC 20.25A.110) as conditioned. Conditions apply for the life of the project. If modifications are made to this design review application, the applicant will be required to provide documentation of said change by either amending this Design Review application or via the Land Use Exemption (LUX) process. Compliance will be required to the LUC in effect at the time of approval. See Section X.C for related condition.

Vehicular Circulation and Parking (LUC 20.25A.110.A.1)

One vehicular access is proposed at the northwest corner of the site which leads into the underground parking garage. The parking garage will contain 187 parking stalls divided between two floors (P1 and P2). Residential storage has been proposed at various areas within the underground garage. The elevator lobby is located in the center with parking and storage surrounding this use. A gym is proposed on P1 for residential use. Trash will be collected on level P1 within the garage. On trash collection days, management will move the containers to a temporary storage area for collection by Republic Services who has approved this location for pick up. See letter dated May 1, 2016, from Republic Services in project file.

Temporary Construction Worker Parking

Staff has been contacted by the assigned contractor for this project who has obtained a temporary lease agreement two parcels north of this site which is vacant. A contractor trailer will be located there along with off-street parking for construction workers which is also a component of the required Right-of-Way Use Permit. The contractor will need to obtain a Temporary Use Permit for this parking until this proposal is completed. See Section XI.B for related conditions.

Pedestrian Circulation and Amenities (LUC 20.25A.110.A.2)

Because this proposal is located within Subdistrict A, a 20-foot building setback is required from 100th Avenue NE. The applicant has complied with this setback requirement. A majority of this 20 foot setback contains lush landscaping along with sidewalk, a low-rise retaining wall and planter strip. The applicant requested that a limited amount of encroachment occur into this setback by private patios. Staff reviewed and accepted the patio areas as noted within the submitted application. NE 10th Street will have a standard streetscape with planter strips that will frame both sides of the proposed sidewalk.

Courtyards are proposed along the east and central portions of the building for private patios. Water features are also proposed within these areas. A roof deck is proposed for resident congregation. Access occurs via two stair cases located north and south on the roof deck. Landscaping along with amenities such as barbeques, gas fire pit, seating and outdoor kitchens are planned for this area.

Wind and Sun (LUC 20.25A.110.A.3)

The residential building is located on a north/south axis. Because the building is located within the perimeter district, building height is limited to five stories which will reduce opportunities for sun blockage west of 100th Avenue NE. The at-grade courtyards proposed at the central and east

portions of the building will be protected from the wind from all elevations except to the east. The roof deck will be exposed to the elements but there are small parapets that surround the edges of the roof. Additional landscape materials will be used to screen proposed mechanical equipment and will further reduce wind on the roof deck as shown on Sheet L1.02.

Open Space (LUC 20.25A.110.A.4)



The project has at-grade courtyards along the central and eastern portion of the site. The adjacent image shows a roof top amenity deck in the central portion of the roof that will be activated with seating, landscaping, outdoor kitchens, etc. for resident enjoyment during the summer. No cover is proposed for this amenity area.

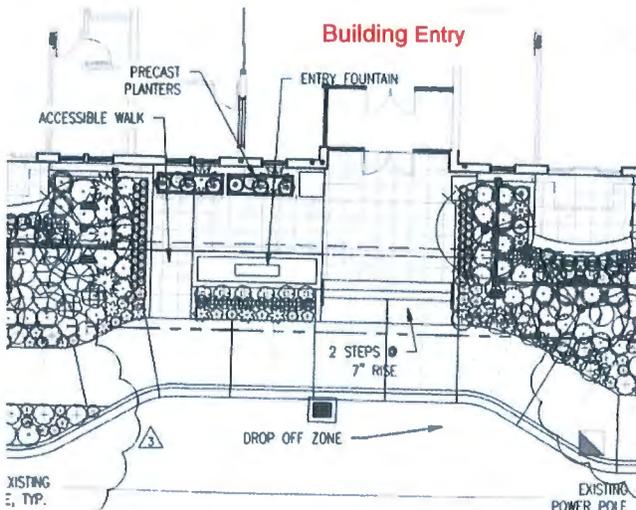
Light and Glare (LUC 20.25A.110.A.5)

The exterior skin of this structure is a combination of brick with a variety of siding styles (lap, panel and shaker style) as noted on Sheet A3.02. The applicant submitted a color and materials board to substantiate the low reflectivity of their chosen materials.

Natural Setting and Topography (LUC 20.25A.110.B.1)

The topography across this site is relatively flat due to the existing multifamily complex. Topographic relief across the site ranges between 200 and 205 feet. The massing of the proposed residential building conforms to the perimeter design district. The height will allow views west to the Olympic Mountains, Lake Washington and the Seattle skyline. Development west of 100th Avenue NE lies within the R-3.5 land use district which has a restricted height of 35 feet.

Landscape Design (LUC 20.25A.110.B.2)



Significant landscaping is proposed at the street level to create an inviting residential entry. A water feature with a lush landscaping treatment is planned adjacent to the building entry. Street trees and landscaping will frame both sides of the sidewalk along NE 10th Avenue and 100th Avenue NE. The applicant increased the street landscaping from four to five feet to conform to the recently adopted Ordinance 6277 (Early Wins) which modified the landscaping elements for the downtown. A drop-off zone is planned along 100th Avenue NE just north of an existing Metro bus stop. This area is for short term drop off/pick-ups. The applicant will be required to sign this as such limiting this load zone to 15 minutes. See Section XI.D for related condition. The required

loading area for this proposal will be located outside at the northwest corner of the building. This area will be sight obscured from public view by the proposed landscaping. The planned utility vaults are located below grade, and all new utility equipment will be contained inside the building envelope or below grade.



Level 5 landscaping

Landscaping, as noted earlier, is planned for the roof deck. Additional landscaping will also be placed on Level 5 residential decks on the west side of the building to provide visual screening for deck users and to accentuate the required step back.

Views (LUC 20.25A.110.B.3)

The height for this residential structure conforms to the maximum building height of 55 feet for Subdistrict A within the perimeter district. Heights within the City's urban core have been designed as a "wedding cake" with heights being reduced at the downtown edge at 100th Avenue NE. The building will have westerly views of the Olympic Mountains, Lake Washington and Seattle at its upper building levels.

Building Height and Bulk (LUC 20.25A.110.B.4)

The building is oriented north/south on 1.03 acres to fit within the confines of the existing lot. This orientation allows the structure to have a strong presence on 100th Avenue NE and NE 10th Street. Attention has been paid to the residential neighborhood to the west located across 100th Avenue NE. Additional landscaping (20-feet) has been devoted to the west side of the structure as required by the LUC. The colors of the structure are earth tone and will be complimentary to the neighborhood. Parking will be incorporated underground within the building so it will not be visible to the existing neighborhood as it is currently. The roofline, building breaks and off-sets will create an interesting roof and building form.

Transitions (LUC 20.25A.110.B.5)

The building is setback 20 feet on its west elevation to provide the required perimeter setback from 100th Avenue NE. This landscape area allows public access while creating areas that lead to residential patios. Variations of low level retaining walls, and use of low rise stairs distinguish the residential spaces from public spaces. The landscaping defines these spaces for the pedestrian.

Patterns of Activity (LUC 20.25A.110.B.6)

The building provides opportunities for pedestrian-level activity at the ground plane along the central and eastern portions of the site. Pedestrians will be able to walk to the existing Metro bus stop just south of the drop off zone on the west side of the building or walk east to the downtown

core. Additional activity may take place on the outdoor rooftop amenity deck which contains seatwalls, planter areas, tables and chairs, and scored pavement materials.

Signage (LUC 20.25A.110.B.7)

Signage information has not been provided at this time. General signage information for the building will be required prior to building permit issuance with a formal sign package following such submittal. See Section X.E for related condition.

Design Guidelines – Building/Sidewalk Relationships (LUC 20.25A.115)

100th Avenue NE is designated as an “E” Right-of-Way while NE 10th Street is designated as both a “D/R” Right-of-Way (at the corner) and “D” Right-of-Way further east. An “E” Right-of-Way is characterized by its low orientation to pedestrians while providing a visual buffer between downtown and surrounding residential neighborhoods. A “D/R” Right-of-Way is characterized as low to moderate orientation to the pedestrian with at least 50 percent of the street edge incorporating landscape features, terraced planters, etc. Windows at the ground level, street walls and differentiated ground level are necessary as well. Similarly, the “D” right-of-way is characterized as having a low to moderate pedestrian orientation with windows providing visual access into the building base, street walls and a differentiated ground level. The applicant has complied with these standards with this proposal.

IV. PUBLIC NOTICE AND COMMENT

To date, staff has received six e-mails on this project. Many of the commenters live within Vuecrest which is a single-family neighborhood located west of this site across 100th Avenue NE. Transportation is the topic of primary concern with other minor concerns as noted by the emails uploaded to this project file. The comments are noted as follows:

1. *Why is the driveway located at the northwest corner of the site? Why can't it be located on NE 10th Street?*

Response: The Sumiyoshi residential complex has driveways on both 100th Avenue NE and NE 10th Street. As an older development, it was built according to the code in effect at the time of its construction. The City has received a new development proposal for this site which means it must be developed to the existing codes that are in effect now. The Transportation Standards Code prohibits driveways from being constructed within 150 feet from the nearest parallel public street for sight distance reasons to limit interference with the existing intersection. This means that the existing driveway on NE 10th Street will be closed with this application because it lies within the 150 foot distance separation for driveways.

2. *Many commenters discussed existing traffic conditions at the intersection of NE 10th Street and 100th Avenue NE. Some commenters seemed to desire a stop light at this location.*

Response: The applicant's Transportation consultant from the Transpo Group, talked at length about existing traffic conditions and what the legal requirements are for the

proposed project. The applicant conducted a comprehensive traffic evaluation under the direction of the City of Bellevue compliant with all prescribed guidelines and methodologies. The traffic study found that there would be little noticeable impact resulting from this project to traffic operations at the intersection of NE 10th Street/100th Avenue NE during the PM peak hour, which is typically the single busiest hour of the day at most locations in the City of Bellevue. The overall intersection is forecast to operate at a PM peak hour Level of Service (LOS) C, which is considered a very acceptable operation by the City of Bellevue. The traffic study indicated that overall traffic impacts due to the project would be minimal, affecting peak hour traffic by about 2.5 percent. This falls within the range of day-to-day fluctuation of traffic volume and is not generally considered a noticeable impact. Overall project impacts are forecast to meet the City of Bellevue Traffic Standards Code for Mobility Management Area 3 (MMA 3), which encompasses the downtown core of Bellevue. Thus, traffic impacts during the worst case condition are not expected to be significant in general, or at the intersection of NE 10th Street/100th Avenue NE, nor will the cumulative impacts identified by the City of Bellevue transportation model suggest that overall intersection operations would fall below adopted standards.

While it is recognized that short term traffic activity, whether due to school buses, or other causes may routinely and randomly occur during different time-periods during the day, the City of Bellevue measures impacts on an hourly basis, and these other factors would not result in an hourly volume exceeding that of the PM peak hour used in the analysis of impacts.

The Traffic Impact Analysis (Transpo Group, December 2015), examined accident occurrence at the intersection and found no unusually high level of accidents occurring at this location. A total of two accidents were reported between 2012 and 2014 at this location, one of which was a collision with a fixed object. There is no basis to conclude that the intersection is unusually hazardous or warrants remedial action.

Thus, based on review of traffic volumes, operations, and safety considerations, there is no basis on which to conclude that a traffic signal, or any other project-specific mitigation, is an appropriate response at this location.

3. *There were a few questions about the trash area being located outside at the northwest corner of the site.*

Response: The primary trash collection for this building is proposed within the underground parking garage on level P1. On trash collection days, management will haul the trash receptacles outside to a temporary storage area at the northwest corner of the site. This area will be screened by fencing from public view. Republic Services will then empty said receptacles and place them back within the fenced area. Once done, management will remove them and place them back within the underground parking garage. Management will be required to remove said receptacles and return them to the underground garage on the same day as pick-up. See Section XI.D for related condition of approval.

4. *There were a few questions about the timing of development from the Sumiyoshi residents who live within the existing complex.*

Response: The applicant responded to these questions and stated that timing is dependent upon obtaining Design Review approval along with the necessary ancillary permits.

City Held Public Meetings

The City held one public meeting on October 22, 2015. The applicant and his consultant team were present along with 11 individuals from the adjacent neighborhood and current residents of the Sumiyoshi apartment complex attended this meeting. Many of the attendees spoke on this proposal. Their comments reflected the emails noted above.

V. TECHNICAL REVIEW

A. Utility Department

The development proposed for this application has been reviewed on a conceptual basis and can be feasibly constructed under current Utility codes and standards without requesting modifications or deviations from them. Major changes to the design or information submitted under this permit may cause delay in approval of future construction permits. It is the applicant's responsibility to verify the accuracy all field information and data gathered for the utility design and feasibility of this project. See Section X.A for related condition.

B. Fire Department

The Fire Department has reviewed this application. The proposal generally conforms to the Fire Code requirements for site circulation and access. Final review and approval will occur through the associated building permits for this proposal.

C. Transportation Department

Site Access

Access to the proposed project will be provided via a driveway at the north end of the site on NE 10th Street. This driveway meets the minimum separation distance of 150 feet from the nearest intersection, the minimum width requirement of 26 feet, and the landing requirements for commercial driveways. In order to meet the minimum driveway separation requirement of 20 feet, the driveway shall be a minimum of 10 feet from the property line.

The required on-site loading area will be located in front of the building just south of the driveway. In addition, an on-street short-term parking area will be located near the center of the 100th Avenue NE frontage. This area will be available for public use, and will be signed as a 15-minute parking zone. See Section X. A for related Condition.

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of

street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual. See Section X.D for related Condition.

1. A combined street tree and street light plan is required for review and approval prior to completion of engineering and landscape plans. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from driveways (ten feet from Point A in standard drawing DEV-7D or equivalent).
2. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a safe travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Any planter boxes installed in the sidewalk to improve pedestrian sight distance at driveways must be designed to reduce the tripping potential and must not extend more than two feet into the public sidewalk. Traffic signal controller boxes and streetlight contactor cabinets must be located so as not to interfere with the main pedestrian path. Buildings shall be designed so that doors do not swing out into the pedestrian path. Installation of colored or textured bands to guide pedestrians in the direction of travel is advisable, subject to the requirements for non-standard sidewalk features. ADA-compliant curb ramps shall be installed where needed, consistent with standard drawings.

ADA-compliant curb ramps shall be installed where needed, consistent with City and WSDOT standard drawings. If such standards cannot be met, then deviation from standards must be justified on a Design Justification Form to be filed with the Transportation Department.

3. The existing curb, gutter, and sidewalk on NE 10th Street shall be completely removed and reconstructed with a sidewalk width of at least seven feet, not including the curb, and a planter strip with a width of at least five feet.

4. The existing curb, gutter, and sidewalk on 100th Avenue NE shall be completely removed and reconstructed with a sidewalk width of at least seven feet and a planter strip width of at least five feet, not including the curb. The sidewalk may be located adjacent to the curb next to the on-street parking and the driveway, and must be at least eight feet wide in these areas. In addition, this street will be widened to add a five-foot bicycle lane adjacent to the project on the east side of the street, per the City's Pedestrian and Bicycle Transportation Plan. The existing bus stop shall be reconstructed as needed to meet Metro Transit requirements for access.
5. The design and appearance of the sidewalk and landscaping on all frontages shall comply with the standards and drawings in the Transportation Department Design Manual. The sidewalk shall be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern, unless both the Transportation Department and the Development Services Department agree to accept any non-standard pattern, color, or other features.

Any non-standard features or vegetation shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements. See section on Alternative Paving Materials for further details.

If the developer requests alternative paving materials, samples must be submitted for review. If approved, any non-standard patterns, colors, or other features may be installed only if an agreement is recorded against the property to hold the landowners responsible for maintenance and replacement of all such non-standard sidewalk features.

6. Planter strips and other landscaping adjacent to the sidewalk along all frontages shall be irrigated with a private metered water source. Electrical connections for lighting in planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
7. The driveway on 100th Avenue NE shall have an approach width, as defined in standard drawing DEV-A, of at least 26 feet. The driveway apron design shall be consistent with standard drawing DEV-7A.
8. No new building structure or garage shall be constructed under a street right of way or existing public sidewalk/utility easement. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
9. To the extent feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk. To the extent feasible, no utility vaults may be located within the primary walking path in any sidewalk.

10. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in the standard drawings. Fixed objects are defined as anything with breakaway characteristics greater than a four-inch by four-inch wooden post.
11. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.

Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. See Section X.C for related Condition.

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit. See Section X.A for related Condition.

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. See Section X.B for related Condition.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted", "Overlay Required", and "Standard Trench Restoration". Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching. Near this project, NE 10th Street and 100th Avenue NE have been classified as "Overlay Required". See Section X.D for related Condition.

Transportation Management Program

In order to reduce single occupant vehicle trips and provide enhanced options to residents and infrastructure users, the City has adopted code provisions for a transportation management program. The owner of this development shall, prior to any initial occupancy of the building structure, sign and record an agreement approved by

the City of Bellevue to establish a transportation management program to the extent required by BCC14.60.070. and 14.60.080. See Section X.D for related Condition.

VI. STATE ENVIRONMENTAL POLICY ACT

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements, with incorporation by reference of the *2016-2027 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS)*, dated December 2015. This document is available in the Records Office at City Hall, 450 110th Avenue NE. Transportation-related impacts associated with this project are consistent with the potential projected impacts analyzed within this document.

Adverse impacts which are less than significant are subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Sec. 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

TRANSPORTATION

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2027 have been addressed in the City's 2016 – 2027 Transportation Facilities Plan FEIS Addendum. The impacts of growth that are projected to occur within the City by 2027 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's 2016 - 2027 Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. Vuecrest Apartments lies within MMA #3, which has a 2027 total growth projection of 12,178 multi-family dwelling units. This development proposes 137 multi-family dwelling units. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan FEIS Addendum.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. See Section XI.C for related condition.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

With 110 multi-family dwelling units, this development will generate approximately 34 new p.m. peak hour trips. To be conservative, the concurrency analysis used a preliminary figure of 41 trips. That number was used to check for concurrency. City staff distributed and then assigned project-generated trips to the street network using the City's EMME-2 travel forecasting model with the current Capital Investment Program network. By adding the expected project-generated trips to the traffic volumes in the model, the area average levels of service were determined. To create a baseline condition for comparison, the levels of service were also determined using traffic volumes without the project-generated trips. In this project analysis, one system intersection, NE 10th Street and 100th Avenue NE, received 20 or more p.m. peak hour trips.

Neither the maximum area-average levels of service nor the congestion allowances would be exceeded as a result of traffic generated from this proposal. Therefore, the proposed development passes the concurrency test. The concurrency test results are included in the Transportation Department file for this development. A concurrency determination is issued on the date of issuance of the land use decision. This project complies with the Traffic Standards Code and is receiving a Certificate of Concurrency (see Attachment C).

The rules of concurrency reservation are outlined in the Traffic Standards Code Director's Rules. The concurrency determination was reserved to this project on February 5, 2016, when a complete building permit application 16-123990 BB was submitted for the project. At the time of a complete building permit application, the concurrency reservation will remain in effect for the life of the building permit application, pursuant to BCC 23.05.090.H. Upon issuance of the building permit, concurrency is reserved for the life of the building permit as provided for in BCC 23.05.100.E.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the p.m. peak hour and the adequacy of facilities. Issues that were analyzed included operation of the intersection of NE 10th Street/100th Avenue NE and the project driveway, and vehicle and pedestrian sight distance at the proposed driveway location. The results of the short-term traffic analysis are published in the 1000 100th Avenue NE Revised Traffic Impact Study, December 2015, by Transpo Group. The study is included in the Transportation Department file for this development.

NE 10th Street/100th Avenue NE is an all-way stop controlled intersection. The addition of 34 pm net new peak hour project trips associated with the project will result in an additional 2.5% volume to the 1330 existing pm peak hour trips. The intersection analysis shows that the intersection will operate at LOS C with the project and the all-way stop control. No improvements will be required at this intersection as a result of this project. The driveway on 100th Avenue NE was also analyzed. It will operate at LOS C as well.

Because the frontage on NE 10th Street is relatively narrow at 135 feet, any driveway located on NE 10th Street would not meet the minimum separation distance of 150 feet from the intersection with 100th Avenue NE, and the driveway accessing this site was required to be located on 100th Avenue NE.

The vehicle sight distance and pedestrian sight distance were analyzed at the driveway location. Some modification to the sidewalk alignment was necessary to meet the pedestrian sight distance requirement, but the resulting design meets the Transportation Design Manual requirement.

UTILITIES

Surface Water

The site is located within the Meydenbauer Drainage Basin. Storm water from the site currently drains to the storm system on 100th Avenue NE and is conveyed in catch basins and pipes that eventually connects into the trunk line in 106th Avenue NE and ultimately discharges to Lake Washington. The Meydenbauer Drainage Basin has a No Detention Zone and no detention will be required for this project. Water quality for the site will be provided onsite through storm water canister filter vaults.

Water and Sewer

- Domestic water for the site proposes to connect to an 8" cast iron water main in NE 10th Street.
- Domestic sewer for the site is available from an 8" concrete sewer main in 100th Avenue NE.

NOISE

Exterior Noise: As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Normal hours for allowed generation of noise related to construction are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to the construction noise hour limitation contained in the Noise Control Code MAY NOT be granted pursuant to 9.18.020C.1 & 2. However, prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding commercial and residential properties during the proposed timeline for construction. If expanded hours are necessary to accommodate a specific component of construction, a noise permit shall be required and must be submitted in advance of the scheduled onset of extended hour construction activity. In accordance with the Bellevue City Code – BCC 9.10 – Noise Control, the City will only be providing construction noise exemptions for the following work:

- Work in the ROW and essential public facilities (i.e., Water connections that require a main shut off and are required to be done at night by the Utility Department)
- Work to accommodate transportation mitigation
- Required evening haul routes

Work that has been previously determined by sound level monitoring is not to exceed the maximum permissible noise levels. Utility/site work on private projects/property is not essential public facilities. See Section X.A for related condition.

Interior Noise Levels: The Bellevue City Code, BCC 9.18, limits interior noise levels within residential structures to 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. Special construction is generally necessary to meet these thresholds. Prior to the issuance of any occupancy permits, the applicant shall verify that this threshold has been met. See Section X.D for related condition.

Garage Exhaust: The garage exhaust fans can create noise levels at the public sidewalk which exceed that allowed by the Bellevue City Code. This decision is conditioned to require certification by the project noise consultant that the garage exhaust fan noise will not exceed 60 dBA at the public sidewalk prior to the issuance of any mechanical permits. See Section X.C for related condition.

VII. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Building Design

1. There were a number of blank walls at the street level along NE 10th Street and the east side of the building. The applicant was requested to enhance these walls so they would both compliment the proposed building and surrounding properties.
2. The applicant was asked to re-design the building entry on the west elevation of the building. The entry contains both a ramp for ADA access and low rise stairs to the front door. The applicant re-designed the entry from columns with rounded columns to squared columns to complement the squared geometry used at the upper levels of the building by bringing it down to the pedestrian level. The canopy was modified as well from its rounded to squared proportions. The water feature was modified to fit these new configurations.
3. The amenity deck on the roof is regulated by the Building Department as an occupied roof. Originally, weather protection was proposed for this area but it was since removed because Building considers this an additional floor according to the International Building Code (IBC).
4. The northwest corner of the building overhangs the driveway that leads into the underground garage. No architectural detailing was proposed for this area giving it an unfinished appearance while horizontal banding existed at each floor above this area. The applicant modified this area by adding banding beneath floor area to anchor this area of the building.

Site Design

1. LUC 20.25A was recently amended by Ordinance 6277. The applicant was required to increase the planter strip from four to five feet; thus modifying the sidewalk width from eight to seven feet. Required street trees were modified as well.

VIII. APPLICABLE DESIGN REVIEW DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

1. The proposal is consistent with the Comprehensive Plan.

Following are land use policies from the Urban Design Element of the City's Comprehensive Plan that are pertinent to, and supportive of, the project proposal:

Policy UD-1: Enhance the appearance, image and design character to make Bellevue an inspiring place to be. This project will create an architecturally attractive building in its massing, materials, and detail. Although this will be a low-rise structure, it will add definition to the downtown edge by the proposed building massing.

Policy UD-23: Encourage excellence in architecture, site design and workmanship, and durability in building materials to enrich the appearance of a development's surroundings. This project proposes high quality durable materials as depicted below:



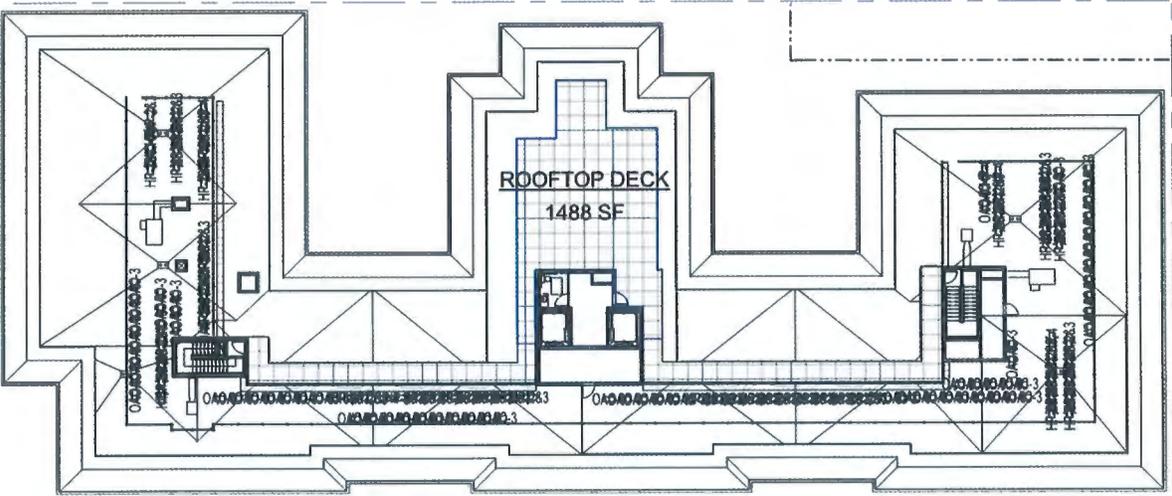
View of West Elevation

Policy UD-25: Ensure that site and building design relates and connects from site to site. This project will be compatible with the surrounding residential community. The site is adjacent to existing multifamily and single-family uses located within the Downtown-Residential land use district. At the site's southeast corner, the zoning changes to Downtown-Multiple Use land use

district. The single-family sites to the north will eventually be redeveloped to reflect adjacent multifamily uses.

Policy UD-6: Design buildings located on the edge of public spaces using materials, forms, details and other architectural elements that will enrich the appearance of the places and encourage people to use them. The west elevation of the building faces 100th Avenue NE which incorporates façade articulation, overhead weather protection for residents, and pedestrian-scaled lighting to create a pedestrian oriented environment. The sidewalk on 100th Avenue NE and NE 10th Avenue NE will contain a 7-foot sidewalk with 5-foot planter strips to separate vehicular traffic from pedestrians for comfortable mobility.

Policy UD-29: Integrate rooftop mechanical equipment screening with building architecture. All roof-top mechanical equipment will be screened by a parapet and landscape materials. The stairwells and elevator overrun have been designed to match the integrity and materials of the building as noted below:



Policy-22: Encourage public and private development to incorporate access to sunlight.
Policy-34: Provide both weather protection and access to sunlight in pedestrian areas using architectural elements. There is one primary entrance into this residential building at the west elevation. Weather protection is provided at this location as noted below. The garage entrance is the only other building entrance to this facility. The applicant has provided landscape plazas along the east and central portions of the site for residential access for ground floor units. Additionally, the fifth floor residents will have a landscaped deck to access to access sunlight while providing a modicum of privacy.



West elevation—Building Entrance with Weather Protection

UD-54: Use landscape designs that are appropriate for urban and suburban settings.

UD-55: Exemplify the Pacific Northwest character through the use of appropriate plants in new landscaping.

UD-56: Promote water conservation in landscape and irrigation system designs

The landscape design incorporates both hardscape and landscape to respond to the urban setting, and includes street trees along 100th Avenue NE and NE 10th Street. It also reflects the revised landscaping and sidewalk standards per Ordinance 6277. The landscape materials chosen are northwest in character and promote low water usage for water conservation.

UD-58: Provide a system of public places of various sizes and types throughout the community with a variety of experiences and accommodations.

UD-59: Ensure public places give access to sunlight, a sense of security, seating, landscaping, accessibility and connections to surrounding uses and activities.

Private patios are proposed along the eastern portion of the site between ground floor units. Greenscape is provided along 100th Avenue NE which meanders between twenty feet to as low as five feet due to provision of a stairwell and loading at the northwest corner of the site. This landscaping will provide a buffer from the adjacent single-family uses across 100th Avenue NE while diminishing the building presence. A mix of overstory and understory materials will be planted in this area along with terraced planter walls. Landscaping will frame both sides of the sidewalk proposed on 100th Avenue NE and NE 10th Avenue. Some of the terraced planter walls may be used as seating adjacent to the bus stop and near the drop off area along the west portion of the site.

This proposal is also consistent with the following policies from the Downtown Sub-area of the Comprehensive Plan:

POLICY S-DT-3 promotes development of Downtown as an aesthetically attractive area. This proposal will complement the aesthetic environment of the existing Downtown. This proposal will create visual interest with its interesting roof form and stepback at level five along with high quality materials, landscaping and modulated building massing to complete adjacent single-family uses to the west and downtown development to the east.

POLICY S-DT-4 states that the highest intensity development shall be located in the core of Downtown, with diminishing intensities towards the edges of Downtown. LUC 20.10.370 Downtown requires the following for the DNTN-R District:

Downtown-Residential District (Downtown-R). The purpose of the Downtown-R Land Use District is to provide an area for the City's most intensive urban residential uses. Limited office and retail uses are permitted secondary to residential use, in order to provide the amenity of shopping and services within easy walking distance of residential structures.

As noted earlier, the site lies within the Downtown-R land use district, within the perimeter district (Subdistrict A) across 100th Avenue NE from single-family uses to the west. The applicant's proposal complies with the intensity standards noted above in this district and Subdistrict A.

POLICY S-DT-5 sets out to organize Downtown to provide complementary functional relationships between various land uses. This proposal will complement adjacent downtown uses to the east of this site. Because the proposal is located within Subdistrict A, building height is limited to 55 feet which this proposal complies.

POLICY S-DT-7 encourages the Downtown to continue to serve surrounding residential areas as a neighborhood retail district. Residents living within this development will be served by the higher intensity retail/service uses within the Downtown core.

POLICY S-DT-10 Require design review to ensure high quality, aesthetically pleasing Downtown development. Submittal of this application fulfills the design review requirement for this project.

POLICY S-DT-25. Provide for a range of Downtown urban residential types and densities. Development of this proposal will provide additional urban housing in the downtown but at a lower intensity due to the perimeter district requirements. The proposal, as submitted, fulfills the standards of Subdistrict A.

POLICY S-DT-36 seeks to utilize development standards for building bulk, heights, setbacks, landscaping requirements, stepbacks, floor area ratios, open space requirements, and development incentives. See Section IV.A to review dimensional standards.

POLICY S-DT-37 supports linking building intensity to design guidelines relating to building appearance, amenities, pedestrian orientation and connections, impact on adjacent properties,

and maintenance of view corridors. These guidelines will seek to enhance the appearance, image, and design character of the Downtown. See Section IV.B above for project attributes.

POLICY S-DT-38. *Minimize the adverse impact of Downtown development on residential neighborhoods with consideration of through-traffic, views, scale, and land use relationships. The perimeter district, Subdistrict A, provides limitations on development regarding building height and bulk. The proposal, as demonstrated in Section IV.B complies with this standard.*

POLICY S-DT-40 *seeks to enhance the appearance of all types of streets and adjoining sidewalks with street trees, landscaping, water features, pedestrian-scaled lighting, street furniture, paving treatments, medians, or other softening treatments as appropriate. The project complies with this standard. The applicant has proposed a high quality landscape treatment throughout the site which will be enjoyable to residents, i.e., rooftop deck while pedestrians will enjoy the landscaped streetscape on 100th Avenue NE and NE 10th Streets. Landscaping, in addition to high quality materials used for the proposal, will complement the existing single-family uses located across 100th Avenue NE. See Landscape sheets L1.01- L1.08 for details.*

POLICY S-DT-60. *Enhance the connection and interface for the pedestrian from the Northwest Village District to Bellevue Square. The applicant will be providing an enhanced landscape frontage. Five foot landscape buffer will be located adjacent to 100th Avenue NE and NE 10th Street while the seven foot sidewalk will be framed with a combination of landscaping with terraced planters. The presence of this landscaping will enhance the pedestrian experience for passersby walking to the downtown.*

2. The proposal complies with the applicable requirements of this Code.

As conditioned, the proposal complies with applicable requirements of the Land Use Code and Bellevue City Code. Additionally, see Section IV.A above for further Code discussion.

3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

See Section IV.B.2 of this report for discussion relating to how the applicable design guidelines are met.

4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.



The project is designed to respond to existing site conditions and adjacent single-family uses located across 100th Avenue NE. Unlike many of the building designs within the downtown, this proposal does not have a podium and will sit flush to the ground above the below-grade garage. The building has been designed with modulation and

stepbacks at the fifth floor to provide visual interest to the neighborhood. Weather protection is provided at the building entry to create a focal point along the west elevation. The stepback at fifth floor further enhances the roof lines of the proposal. Finally, the proposed streetscape fulfills the recently adopted Ordinance 6277 so the proposal will be consistent with the type, pattern and size required by the Land Use Code. However, a condition of approval is necessary to ensure that required landscaping is installed correctly along with a maintenance assurance device. See Section X.D for related condition.

5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

All required public services and facilities are available to the site. The applicant has received a letter from Republic Services dated May 1, 2016, stating that they see no service issues for this project. All waste materials will be collected in the basement of the garage and then placed at the northwest corner of the building for collection day.

IX. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Director of Development Services Department does hereby **APPROVE WITH CONDITIONS** the subject proposal.

X. CONDITIONS OF APPROVAL

The following conditions are imposed under the authority referenced:

A. GENERAL CONDITIONS

1. COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES: The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Clearing and Grading Code - BCC 23.76	Savina Uzunow	425/452-7860
Bellevue Development Standards		"
Transportation Code - BCC 14.60	Molly Johnson	425/452-6175
Trans. Improvement Program - BCC.22.16		"
Right-of-Way Use Permit - BCC 14.30	Tim Stever	425/425-4294
Bellevue Utilities Code - BCC Title 24	Arturo Chi	425/452-4119
Construction Codes - BCC Title 23	Behrooz Khorrami	425/452-6143
Land Use Code - BCC Title 20	Antoinette Pratt	425/452-5374
Sign Code - BCC Title 22B		"
Noise Control - BCC 9.18		"
Uniform Fire Code - BCC 23.11	Sean Nichols	425/452-2926

2. Holiday Construction and Traffic Restrictions: Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this restriction accordingly.

Authority: BCC 14.30.060
Reviewer: Tim Stever (425) 452-4294

- 3. Provisions for Loading:** The property owner shall provide an off-street loading space which can access a public street. This must include an off-street location for garbage pick-up, which must be acceptable to the garbage hauler. On-street loading and unloading will not be permitted.

Authority: LUC 20.20.590.K.4; BCC 14.60.180
Reviewer: Molly Johnson

- 4. Conceptual Approval:** Utility Department approval of the design review application is based on the final conceptual design submitted with this application. Small changes to the site layout may be required to accommodate the utilities after utility engineering is approved. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under the Utility Developer Extension Agreement (DEA) and Utilities Permit Processes. A water, sewer and storm Developer Extension Agreement will be required for the project. All connection charges will be due with the Developer Extension Agreement prior to issuance of the permit. Public and private Easements for water, sewer and storm water facilities will be required where applicable.

Authority: BCC 24.02, 24.04, 24.06
Reviewer: Arturo Chi

- 5. Construction Hours:** Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Construction noise is prohibited on all Sundays and WA state holidays. Posting of construction hours is required. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020.C.1&2 when necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction. In order to minimize detriment on residential uses in the immediate vicinity of the project, the Contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. To vary construction noise hours, the applicant shall apply for a noise permit that must be submitted two weeks prior to the scheduled onset of extended hour construction activity. Such requests may be required to include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

Authority: BCC 9.18.040
Reviewer: Antoinette Pratt

B. PRIOR TO ISSUANCE OF ANY CLEAR AND GRADE PERMIT

1. Right-of-Way-Use Permit: Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.
- i) Sufficient off-street parking for construction workers.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access. The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

Authority: BCC 11.70 & 14.30
Reviewer: Tim Stever

2. Temporary Use Permit for Construction Trailer and Parking: The applicant shall obtain a Temporary Use Permit to locate a construction trailer two parcels north of this site. The contractor will need to obtain a Temporary Use Permit for this parking until this proposal is completed.

Authority: LUC 20.20.590.K.10
Reviewer: Antoinette Pratt

3. Civil Engineering Plans – Transportation: Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Curb, gutter, sidewalk, and driveway approach design. The engineering plans shall

- be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.
- c) Curb ramps, crosswalk revisions, and crosswalk equipment such as pushbuttons. Installation or relocation of streetlights and related equipment.
 - d) Undergrounding of existing overhead utility lines, which should be coordinated with adjacent sites. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.
 - e) Sight distance. Show the required sight triangles and include any sight obstructions, including those off-site. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.
 - f) Landings on sloping approaches are not to exceed a 7% slope for a distance of 30 feet approaching the back edge of sidewalk. Driveway grade must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
 - g) City standards for driveway widths range from 26 to 36 feet on arterial streets, and 26 to 30 feet for local streets. Driveway aprons must be constructed in accordance with Design Manual Standard Drawing DEV-7A.
 - h) Location of fixed objects in the sidewalk or near the driveway approach.
 - i) Trench restoration within any right of way or access easement.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Design Justification Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

AUTHORITY: BCC 14.60; Transportation Department Design Manual; Americans with Disabilities Act

Reviewer: Molly Johnson

C. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT

1. **Transportation Impact Fee:** Payment of the traffic impact fee will be required at the time of building permit issuance. If multiple building permits will be issued, the impact fee will be tied to the primary above-ground permit. Removal of existing buildings will be eligible for impact fee credit. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply.

Authority: BCC 22.16

Reviewer: Molly Johnson (425) 452-6175

2. **Existing Easements:** Any utility easements contained on this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

Authority: BCC 14.60.100
Reviewer: Tim Stever (425) 452-4294

3. **Sidewalk/Utility Easements:** The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

Authority: BCC 14.60.100
Reviewer: Molly Johnson

4. **Transportation Management Program:** The owner of the property being developed shall sign and record at the King County Office of Records and Elections an agreement to establish a Transportation Management Program to the extent required by Sections 14.60.070 and 14.60.080.

Authority: BCC 14.60.070; 080
Reviewer: Molly Johnson

5. **Garage Exhaust Noise:** The garage exhaust fans can create noise levels at the public sidewalk which exceed that allowed by the Bellevue City Code. This decision is conditioned to require certification by the project noise consultant that the garage exhaust fan noise will not exceed 60 dBA at the public sidewalk prior to the issuance of any mechanical permits.

Authority: BCC 9.18.045
Reviewer: Antoinette Pratt

6. **Design Review Modifications:** Any modification to this approval shall be documented as an Amendment to this Design Review OR as an addition or revision to this issued land use approval, processed as a Land Use Exemption. The applicant shall demonstrate compliance with the Land Use Code in effect at the time of issuance of this report. Any modification of the project design must be reviewed for consistency with the design intent as stated in Sections III and IV of this report. Conditions of Approval run for the life of the project.

Authority: LUC 20.30F.175, 20.25A.060
Reviewer: Antoinette Pratt

D. CONDITIONS PRIOR TO CERTIFICATE OF OCCUPANCY

1. **Bonus System Recording:** The applicant shall record a copy of the approved bonus point calculations, a statement that 100% of the project frontage shall remain pedestrian-oriented retail, and the project drawings & conditions of this Design Review with the King County Records office.

Authority: LUC 20.25A.020.D.3
Reviewer: Antoinette Pratt

- 2. Landscape Installation Assurance Device:** If a Temporary Certificate of Occupancy is requested prior to completion of the landscaping installation, the applicant shall file with DSD a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed.

Authority: LUC 20.40.490
Reviewer: Antoinette Pratt

- 3. Landscape Maintenance Device:** The applicant shall file with DSD a landscape maintenance assurance device for a one-year period from the date of final inspection in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

Authority: LUC 20.40.490
Reviewer: Antoinette Pratt

- 4. Maintenance Agreement with the City of Bellevue:** After one-year, the landscape shall be inspected by Land Use and the Parks Department. Prior to the release of the Landscape Maintenance Assurance Device, the applicant and the City of Bellevue shall enter into an agreement to determine future maintenance responsibilities for the streetscape and streetscape plantings.

Authority: LUC 20.25A.060
Reviewer: Antoinette Pratt

- 5. Interior Noise:** The Bellevue City Code, BCC 9.18, limits interior noise levels within residential structures to 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. Special construction is generally necessary to meet these thresholds. Prior to the issuance of any occupancy permits, the applicant shall verify that this threshold has been met.

Authority: BCC 9.18
Reviewer: Antoinette Pratt

- 6. Street Frontage Improvements:** All street frontage improvements and other required transportation elements, including street light and traffic signal revisions, must be constructed by the applicant and accepted by the Transportation Department inspector. All existing street light and traffic signal apparatus affected by this development, including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. Existing overhead lines must be relocated underground. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

Authority: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings.
Reviewer: Molly Johnson

- 7. Pavement Restoration:** Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as required in the City's Trench Restoration Program. NE 10th Street and 100th Avenue NE are currently classified as "No Cut". The Right-of-Way Use permit obtained for this project will delineate specific restoration requirements.

Authority: BCC 14.60. 250; Design Manual Design Standard #23
Reviewer: Tim Stever

- 8. Short Term Drop Off/Pick-Up Zone (100th Avenue NE):** A drop-off zone is planned along 100th Avenue NE just north of an existing Metro bus stop. This area is for short term drop off/pick-ups. The applicant will be required to sign this as such limiting this load zone to 15 minutes.

Authority: LUC 20.20.590.K.4.a
Reviewer: Antoinette Pratt

- 9. Trash Collection:** The primary trash collection for this building is proposed within the underground parking garage on level P1. On trash collection days, management shall haul the trash receptacles outside to a temporary storage area at the northwest corner of the site. This area shall be screened by fencing from public view. Republic Services will then empty said receptacles and place them back within the fenced area. Once done, management shall remove them and place them back within the underground parking garage on the same day as pick-up.

Authority: LUC 20.20.725
Reviewer: Antoinette Pratt

- 10. Implement the Transportation Management Program:** The Transportation Management Program required by Bellevue City Code Sections 14.60.070 and 14.60.080 per a condition of approval above must be functional prior to issuance of the initial certificate of occupancy.

Authority: BCC 14.60.070, 14.60.080
Reviewer: Molly Johnson

E. PRIOR TO ISSUANCE OF SIGN PERMITS

- 1. Signs:** All signage shall be pedestrian oriented. A comprehensive sign package shall be submitted to DSD for review and approval prior to issuance of any sign permits. The sign package plans, elevations, and other sketches shall include but are not limited to:

- A. Location
- B. Lighting

- C. Color Palette
- D. Material
- E. Design (No cabinet or can signs are permitted)

Signage shall be the minimum size necessary to convey information and shall be architecturally compatible and integrated with the building. See Sign Code limitations or other design criteria. Design review of individual signs and compliance with the approved sign package will occur through review of each sign permit application.

Authority: LUC 20.25A.110, LUC 20.30F, BCC 22B
Reviewer: Antoinette Pratt

ATTACHMENTS

- A. Project Plans and Drawings
- B. FAR and Amenity Calculations
- C. Certificate of Concurrency

ATTACHMENT A
(Plans and Drawings)

CONTINENTAL PROPERTIES

1000 100TH AVENUE NE
BELLEVUE, WA 98004

PROJECT TEAM

OWNER
Continental Properties LLC
600 108th Ave NE #1010
Bellevue, WA 98004

TRAFFIC ENGINEER
Transpo Group
11730 116th Avenue NE
Suite 600
Kirkland, WA 98034
425-896-5215
Kurt Gehrborg

ARCHITECT
Encore Architects PLLC
1402 3rd Ave Suite 1000
Seattle, WA 98101
206-873-1893
Thomas Hembra

GEOTECH
Terracon Consultants Inc.
3317 3rd Avenue South
Suite D
Seattle, WA 98134
425-449-4704
Richard Luark

CIVIL ENGINEER
PACE Engineers
11255 Kirkland Way, Suite 300
Kirkland, WA 98033
425-827-2014
John Weed

STRUCTURAL ENGINEER
CT Engineering Inc.
180 Nickerson St.
Suite 302
Seattle WA 98109
206-285-4512
Craig Roberts

LANDSCAPE ARCHITECT
TRA
911 Western Ave. Ste 202
Seattle WA 98104
206-882-7560
Tom Rengator

DRAWING INDEX

GENERAL	CIVIL	LANDSCAPE	ARCHITECTURE
G0.00 - COVER SHEET	C0.00 - COVER SHEET	L1.00 - PLANTING PLAN - STREET LEVEL	A1.00 - SITE PLAN
G0.01 - ADR SUBMITTAL TITLE SHEET	C0.01 - SITE PLAN B	L1.01 - PLANTING PLAN - LS AND ROOF	A1.01 - AVERAGE GRADE CALCUS
G0.02 - F.A.R. AND ZONING	C1.00 - EXISTING CONDITIONS	L1.02 - PLANT SCHEDULES - ALL LEVELS	A2.00 - LEVEL P2 FLOOR PLAN
G1.01 - BUILDING CODE SUMMARY	C2.00 - TESC & DEMOLITIONS PLAN	L1.03 - PLANT SCHEDULES - ALL LEVELS	A2.01 - LEVEL P1 FLOOR PLAN
G1.02 - BUILDING CODE DIAGRAMS	C2.01 - TESC & DEMOLITIONS DETAILS	L1.04 - SECTIONS & ELEVATIONS	A2.02 - LEVEL 1 FLOOR PLAN
G3.01 - EXTERIOR RENDERINGS	C3.00 - GRADING & DRAINAGE PLAN	L1.05 - IRRIGATION PLAN - STREET LEVEL	A2.03 - LEVEL 2 FLOOR PLAN
G3.02 - EXTERIOR RENDERINGS	C3.02 - ROAD PLAN	L1.06 - IRRIGATION PLAN - LS AND ROOF	A2.04 - LEVEL 3 FLOOR PLAN
G3.04 - EXTERIOR RENDERINGS	C3.03 - FOOTING DRAIN PLAN	L1.07 - IRRIGATION SCHEDULE - ALL LEVELS	A2.05 - LEVEL 4 FLOOR PLAN
G3.05 - EXTERIOR COLOR BOARD	C3.04 - ROAD SECTIONS	L1.08 - IRRIGATION SCHEDULE - ALL LEVELS	A2.06 - LEVEL 5 FLOOR PLAN
	C3.05 - GRADING & DRAINAGE DETAILS	L1.09 - WATER BUDGET FORMS	A2.07 - ROOF PLAN
	C3.06 - VEHICLE TURNING TEMPLATE	L1.10 - LANDSCAPE LIGHTING PLAN	A3.01 - EXTERIOR ELEVATIONS
	C4.00 - PEDESTRIAN PROTECTION PLAN		A3.11 - BUILDING SECTIONS

PROJECT DESCRIPTION

DEMOLITION OF (3) EXISTING TWO-LEVEL APARTMENT BUILDINGS AND 35 SURFACE PARKING STALLS AND ASSOCIATED CANOPY. NEW CONSTRUCTION OF A 5-STORY RESIDENTIAL APARTMENT BUILDING WITH 137 RESIDENTIAL UNITS AND 187 PARKING SPACES BELOW GRADE.

LEGAL DESCRIPTION
MOUNTAIN VIEW TRS UNRECAL OF UNDEEDED STS & ALLEYS INCL IN ADJ LOT VAL 2.5 W 10 FT OF 4.5 TGV POR OF UNPLATED 187 PARKING SPACES AND 187 PARKING SPACES BELOW GRADE.

SECTION
187 PARKING SPACES AND 187 PARKING SPACES BELOW GRADE.

ZONING

ZONING CODE	SECTION	BELLEVUE LAND USE CODE	SHEET
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.01
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.02
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.03
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.04
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.05
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.06
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.07
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.08
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.09
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.10
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.11
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.12
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.13
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.14
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.15
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.16
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.17
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.18
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.19
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.20
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.21
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.22
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.23
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.24
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.25
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.26
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.27
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.28
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.29
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.30
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.31
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.32
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.33
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.34
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.35
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.36
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.37
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.38
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.39
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.40
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.41
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.42
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.43
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.44
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.45
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.46
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.47
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.48
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.49
LD1 ANEXA	20.25A.090.1.2	LD1 ANEXA	00.50

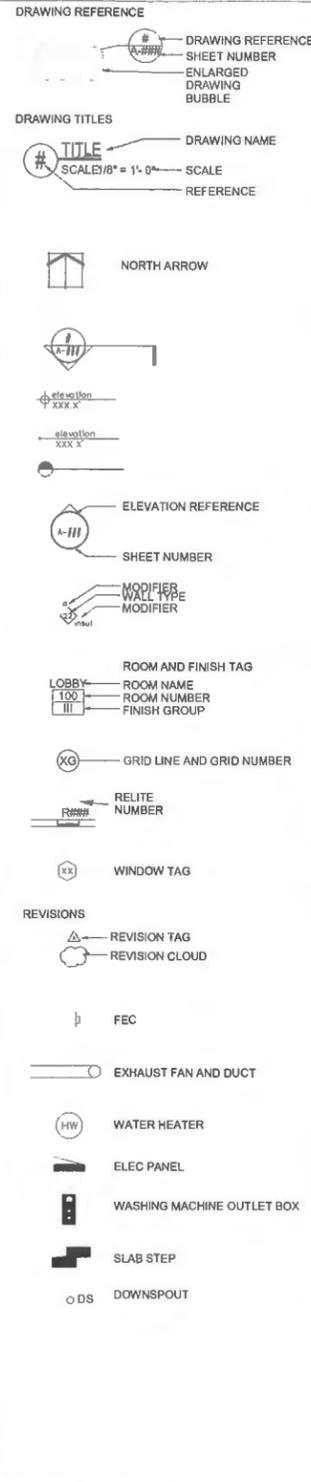
1000 100TH AVENUE NE
BELLEVUE, WA
CONTINENTAL PROPERTIES
L.L.C.

ADMINISTRATIVE DESIGN REVIEW SUBMITTAL

ABBREVIATIONS

AB - ANCHOR BOLT	G - GROUND	PLM - PLASTIC LAMINATE
ACC - ACCESSIBLE	GA - GAUGE / GAGE	PLBG - PLUMBING
AD - AREA DRAIN	GALV - GALVANIZED	PLF - POUNDS PER LINEAR FOOT
ADJ - ADJUSTABLE	GB - GRASS GRASS	PLYMD - PLYWOOD
AFF - ABOVE FINISH FLOOR	GC - GENERAL CONTRACTOR	PNL - PANEL
ALT - ALTERNATE	GL - GLASS	PR - PAIR
ALUM - ALUMINUM	GR - GRADE	PROJ - PROJECT
ANOD - ANODIZED	GRD - GROUND	PSF - POUNDS PER SQUARE FOOT
APC - ACOUSTICAL PANEL	GWB - GYPSUM WALLBOARD	PT - POINT
APPROX - APPROXIMATE	H - HIGH / HEIGHT	PTD - PAINTED
ARCH - ARCHITECTURAL	HB - HOSE BIB	PTH - PARTITION
ATC - ACOUSTICAL TILE	HC - HOLLOW CORE	Q - QUARRY TILE
AUTO - AUTOMATIC	HCP - HANDICAPPED	QTY - QUANTITY
AV - AUDIO VISUAL	HW - HARDWOOD	(R) - RELOCATED
BD - BOARD	HM - HOLLOW METAL	R - RADIUS OR RISER (PIPING)
BLDG - BUILDING	HNDRL - HANDRAIL	RA - RETURN AIR
BLK - BLOCK	HO - HOLD-OPEN	RAD - RADIUS
BM - BEAM	HORIZ - HORIZONTAL	RB - RESILIENT BASE
BOT - BOTTOM	HR - HOUR	RC - REFLECTED CEILING PLAN
BRK - BRICK	HTVAC - HEATING, VENTILATION, AIR CONDITIONING	RO - ROOF DRAIN
BSMT - BASEMENT	HW - HOT WATER	RCPT - RECEPTACLE
		RET - RETURN AIR
		REF - REFERENCE
		REFR - REFRIGERATOR
		REIN - REINFORCED / REINFORCING
		REL - RELOCATE
		REM - REMOVABLE
		REQ - REQUIRE / REQUIRED
		REV - REVISION / REVISED
		RM - ROOM
		RO - ROUGH OPENING
		RTD - RATED
		RTG - RATING
		S - SOUTH
		SA - SUPPLY AIR
		SAF - SELF ADHERED FLASHING
		SAM - SELF ADHERED MEMBRANE
		SC - SOLID CORE
		SD - STORM DRAIN / SOAP DISPENSER
		SECT - SECTION
		SF - SQUARE FEET/FOOT
		SH - SPRINKLER HEAD
		SHR - SHOWER
		SIM - SIMILAR
		SM - SHEET METAL
		SP - STANDPIPE
		SPEC - SPECIFICATION
		SPR - SPRINKLER
		SPK - SPEAKER
		SQ - SQUARE
		SST - STAINLESS STEEL
		STA - STATION
		STD - STANDARD
		STL - STEEL
		STLJST - STEEL JOIST
		STOR - STORAGE
		STRG - STRINGER
		STRUC - STRUCTURAL
		SUSP - SUSPENDED
		SWM - SWYMETRICAL
		SYS - SYSTEM
		TAG - TONGUE AND GROOVE
		T - TREAD / THERMOSTAT
		TC - TOP OF CURB
		TCOBC - TOP OF CONCRETE
		TEL - TELEPHONE OR TELECOM
		TEMP - TEMPERATURE
		THK - THICKNESS
		THRES - THRESHOLD
		TKBD - TACKBOARD
		TMFD - TEMPERED
		TO - TOP OF (SEE OTHER WORD)
		TOS - TOP OF SLAB / TOP OF STRUCTURE
		TOSTL - TOP OF STEEL
		TP - TOP OF PAVEMENT / TOILET PAPER
		TS - TUBE STEEL
		TW - TOP OF WALL
		TY - TYPICAL
		UNFIN - UNFINISHED
		UON - UNLESS OTHERWISE NOTED
		VAC - VENTILATION AND AIR CONDITIONING
		VCT - VINYL COMPOSITION TILE
		VERT - VERTICAL
		VEST - VESTIBULE
		VF - VERIFY IN FIELD
		VT - VAPOR RETARDER
		VR - VINYL TILE
		W - WITH
		W - WIDE, WIDTH/WEST
		WC - WATER CLOSET
		WD - WOOD
		WDW - WINDOW
		W/O - WITHOUT
		WP - WATERPROOFING
		WPM - WATERPROOF MEMBRANE
		WR - WATER RESISTANT / WATER REPELLANT
		WS - WEATHERSTRIPPING
		WST - WEIGHT
		WT - WEIGHT

SYMBOLS



GENERAL NOTES

- It is the responsibility of the contractor to ensure compliance and conformance with the various provisions within applicable ordinances and codes for all of the work.
- ZONING/MUNICIPAL BUILDING AND STRUCTURAL MECHANICAL ELECTRICAL ENERGY MECHANICAL PLUMBING FRESHA SAFETY ACCESSIBILITY STORM WATER SPRINKLER SYSTEMS AIR CONDITIONING & VENTING ENVIRONMENT ACCESSIBILITY
- The above list of codes and ordinances is for reference only and is not intended to be exhaustive or complete.
- Changes: contractor initiated changes shall be submitted in writing to the architect and structural engineer for approval prior to fabrication or construction. Changes shown on shop drawings only will NOT satisfy this requirement.
- Project drawings indicate general configuration of construction. Where conditions require specific detail information not included with these drawings, it is the Contractor's responsibility to confirm intent with the Architect before proceeding with construction.
- All structural systems (such as inlets) which are to be composed of components to be field erected shall be supervised by the supplier during manufacturing, delivery, handling, storage, and erection in accordance with instructions provided by the supplier.
- Encore Architects assumes no responsibility as to the physical characteristics of the soils.
- Encore Architects assumes no responsibility for, nor verifies the accuracy of, any engineering data supplied by others.
- Contractor to verify and coordinate all dimensions among all drawings prior to construction. Written dimensions take precedence over scaled lengths and heights in all cases.
- In the event of discrepancies or contradictory information in the drawings, notes, or specifications, it is the obligation of the contractor to notify the architect of same and to obtain clarification from the architect before proceeding with the work. Any work done by the contractor after discovery of such discrepancy shall be done at the contractor's risk.
- All contract documents pertaining to this project are to be considered and interpreted by bidding and construction purposes as a complete whole. No part of the contract documents shall be distributed, considered, or used in any way independent of the complete set of documents.
- The architect shall have final authority with regard to interpretation of the intent and spirit of the contract documents.
- Bidder Design System, fire protection & alarm system to be as designed. Sub-contractors responsible to accomplish bidder design will be responsible for the preparation of drawings and applications for appropriate required permits (see applicable codes list).
- In rooms not provided with an operable window of 1.5 sq. ft. in area or greater, a mechanical ventilator system, capable of providing 5 air changes per hour, shall be provided.
- Exhaust Fans: Exhaust fans vented to the exterior are required in all the following locations: bedrooms, powder rooms, laundry rooms, and kitchens. Venting to be installed in accordance to IMC.
- N/A
- Tie for showers to be 6" min. above drain inlet with water resistant backing. (IBC sec. 1210.3)
- N/A
- Provide semi-recessed fire extinguisher cabinets to be located per code & fire marshal approval.
- HVAC Units: When HVAC units or water heaters are placed in an area susceptible to moisture, all pilot lights, burners, switches, or heating elements shall be located at least 18" above the floor. Provide seismic anchor straps for all water heaters.
- All insulation materials, including facings, shall have a flame spread rating not to exceed 25 and a smoke density not to exceed 450 when tested in accordance with ASTM E 84. (IBC sec. 710)
- Provide flashing as stated in specifications at all roof/wall intersections, roof/wall intersections, and roof curbs. Provide seal flashing at all horizontal intersections of siding finishes. Flashing and waterproofing/damp-proofing as shown in the waterproofing drawings (when provided) supersede that shown in the architectural drawings.
- All exterior wall glazing shall be minimum double-glazed and comply with the Washington State Energy Code requirements.
- Application and installation of insulation and vapor barriers shall comply with current Washington State thermal insulation standards.
- Non-recrystallizing hot and cold water pipes located in unconditioned spaces shall be insulated to R-3 minimum. (WSEC sec. 503.11)
- N/A
- Safety glazing shall be installed in areas subject to human impact according to IBC section 2408:
 - Glazing in swinging doors, except jalousies
 - Glazing in fixed or sliding panels of sliding door assemblies and panels in sliding and bifold closet door assemblies.
 - Glazing in storm doors.
 - Glazing in all unframed swinging doors.
 - Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bath tubs, and showers. Glazing in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
 - Glazing in an individual fixed or operable panel adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.
 - Glazing in an individual fixed or operable panel, other than those locations described in Items 5 and 6 above that meets all of the following conditions:
 - Exposed area of an individual pane greater than 9 square feet.
 - Bottom edge less than 18 inches above the floor.
 - Top edge greater than 36 inches above the floor.
 - One or more walking surfaces within 36 inches horizontally of the plane of glazing.
 - Glazing in guards and railings, including structural baluster panels and nonstructural in-fill panels, regardless of size or height above a walking surface.
 - Glazing in walls and fences enclosing indoor and outdoor swimming pools, hot tubs and spas where the bottom is less than 60 inches above a walking surface and within 60 inches horizontally of the water's edge. This shall apply to single glazing and all paned in multiple glazing.
 - Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface, when the exposed surface of the glass is less than 60 inches above the plane of the adjacent walking surface.
 - Glazing adjacent to stairways within 80 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glass is less than 60 inches above the nose of the tread.
 - Fire department glass access panels shall be tempered glass. For insulating glass units, all panes shall be tempered glass.
- EXCEPTIONS:
The following products, materials and uses are exempt from the above hazardous locations:
 - Openings in doors through which a 3 inch sphere is unable to pass.
 - Decorative glass in Item 1, 6 or 7.
 - Glazing materials used as curved glazing panels in revolving doors.
 - Commercial refrigerated cabinet glazed doors.
 - Class panels complying with Section 2101.25.
 - Covered windows and jalousies complying with the requirements of Section 2403.5.
 - Mirrors and other glass panels mounted or hung on a surface that provides a continuous backing support.
- See Geotechnical Report for drainage requirements. Provide clean-outs such that all portions of drainage system can be adequately cleaned. Site drainage to conform to all local regulations and ordinances. Tight-line all roof drains to storm sewer system or approved discharge when storm sewers are not available. Do not connect foundation and retaining wall perimeter/drainage drains tight-line to roof drain. Tight-line or other site drainage. Finish grade at the building face to have a positive slope away from the building. All site hard surfaces to have a minimum slope of 1/4" in 12" to drains unless noted otherwise.
- All irrigation materials, including facings, shall have a flame spread rating not to exceed 25 and a smoke density not to exceed 450 when tested in accordance with ASTM E 84. (IBC sec. 710)
- Provide flashing as stated in specifications at all roof/wall intersections, roof/wall intersections, and roof curbs. Provide seal flashing at all horizontal intersections of siding finishes. Flashing and waterproofing/damp-proofing as shown in the waterproofing drawings (when provided) supersede that shown in the architectural drawings.
- All exterior wall glazing shall be minimum double-glazed and comply with the Washington State Energy Code requirements.

ENERGY CODE COMPLIANCE INTENT

INITIAL BUILDING ENVELOPE ENERGY ASSUMPTIONS
BELOW-GRADE PARKING AND UTILITY: STAIRWELLS TO BE INSULATED TO OUTSIDE OF STRUCTURE (TREATED AS EXTERIOR WALLS) WITH: • AT TYPE IA CONSTRUCTION - R-10 C.I. + R-19 BATT • AT TYPE VA CONSTRUCTION - R-21 BATT • WALLS BETWEEN CONDITIONED AND UNCONDITIONED SPACES: • R-10 C.I. + R-19 BATT
INTERMEDIATE SLAB EDGE (ASSUME 12" THICK): • R-12 C.I.
RESIDENTIAL LEVELS (COMMERCIAL STANDARDS): • WALLS: R-21 BATT • WINDOWS: U 0.23 • ROOF: R-19 BATT VENTED CAVITY / R-36 ABOVE DECK

EMERGENCY POWER DETERMINATION

TAP AHEAD OF THE MAIN WILL BE REQUIRED FOR EMERGENCY POWER
EMERGENCY POWER: 2ND LINE OF SERVICE "TAP AHEAD OF MAIN"
PRESSURIZATION: STAIRS: YES ELEVATOR: NO
SMOKE CONTROL: YES

CODE REQUIREMENTS

THYSSENKRUPP SYNERGY 3500
1 STANDARD HEIGHT CAB 1 TALL HEIGHT CAB
HOISTWAY WIDTH: 8'-4" HOISTWAY DEPTH: 6'-11"

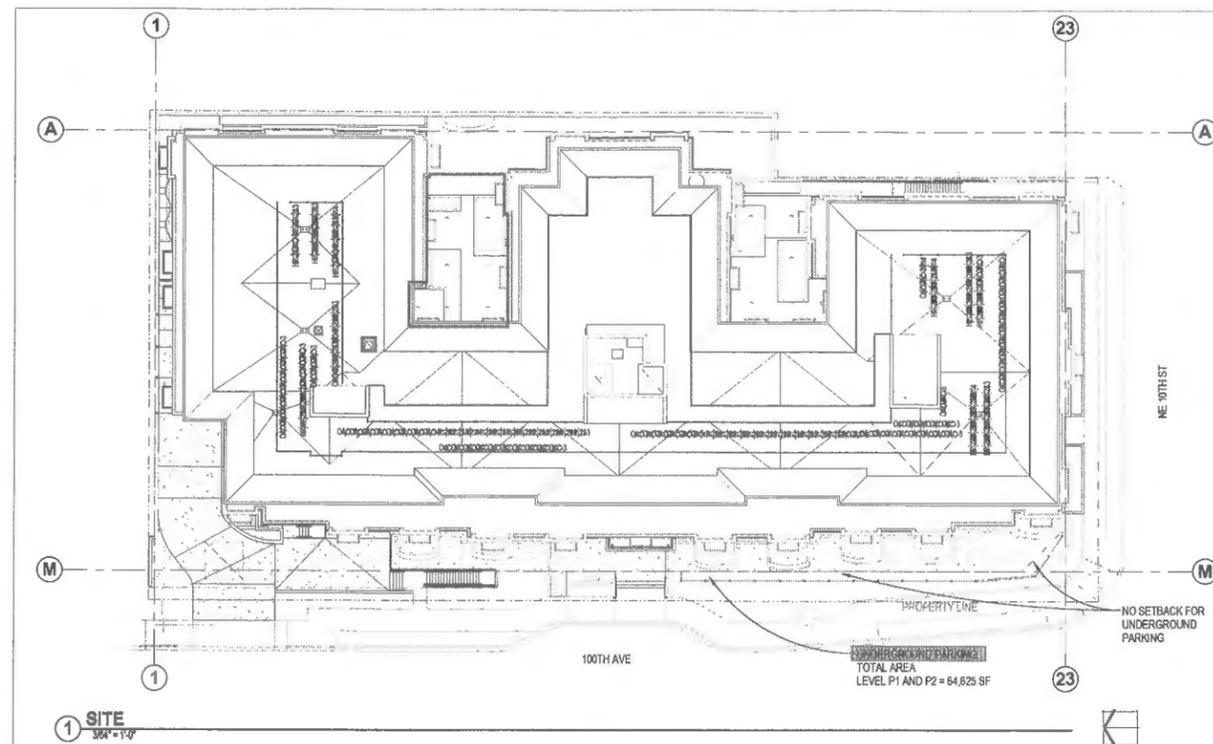
ELEVATOR

RECYCLING COLLECTION
MINIMUM AREA FOR RECYCLING COLLECTION
REQUIRED: 137 UNITS X 1.5 SF/UNIT = 206 SF
PROPOSED: 265 SF 53 SF PER FLOOR (NORTH PORTION OF TRASH ROOM)

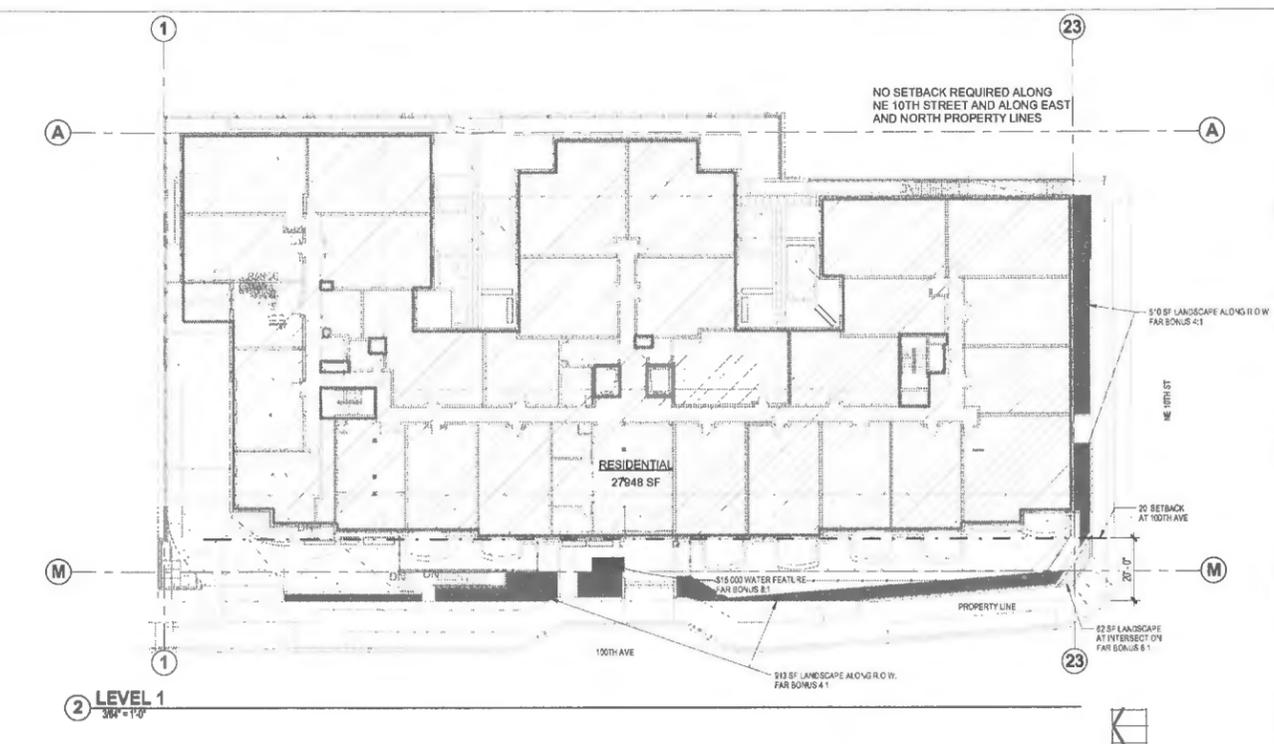
RECYCLING COLLECTION

PARKING & ACCESS
PARKING LEVEL P2 89 STALLS PARKING LEVEL P1 88 STALLS
TOTAL 187 STALLS (INCLUDING 4 ACCESSIBLE STALLS AND ONE VANPOOL/CARPOOL)
187 STALLS / 137 DWELLING UNITS = PARKING FACTOR OF 1.38 ACCESSIBLE STALLS PROVIDED ON LEVEL P1.
ACCESSIBLE STALLS REQUIRED = 8 (1 OF WHICH SHALL BE VAN ACCESSIBLE; VAN ACCESSIBLE STALL SHALL HAVE 7'-0" CLEAR PER IBC 1106.8 EXCEPTION)
65% OF STALLS CAN BE COMPACT: P2 = 57 + P1 = 48 COMPACT STALLS = 105 TOTAL COMPACT STALLS / 187 = 56%
SEE SHEETS A1.00 - A1.01 FOR PARKING STALL LOCATIONS AND SIZES

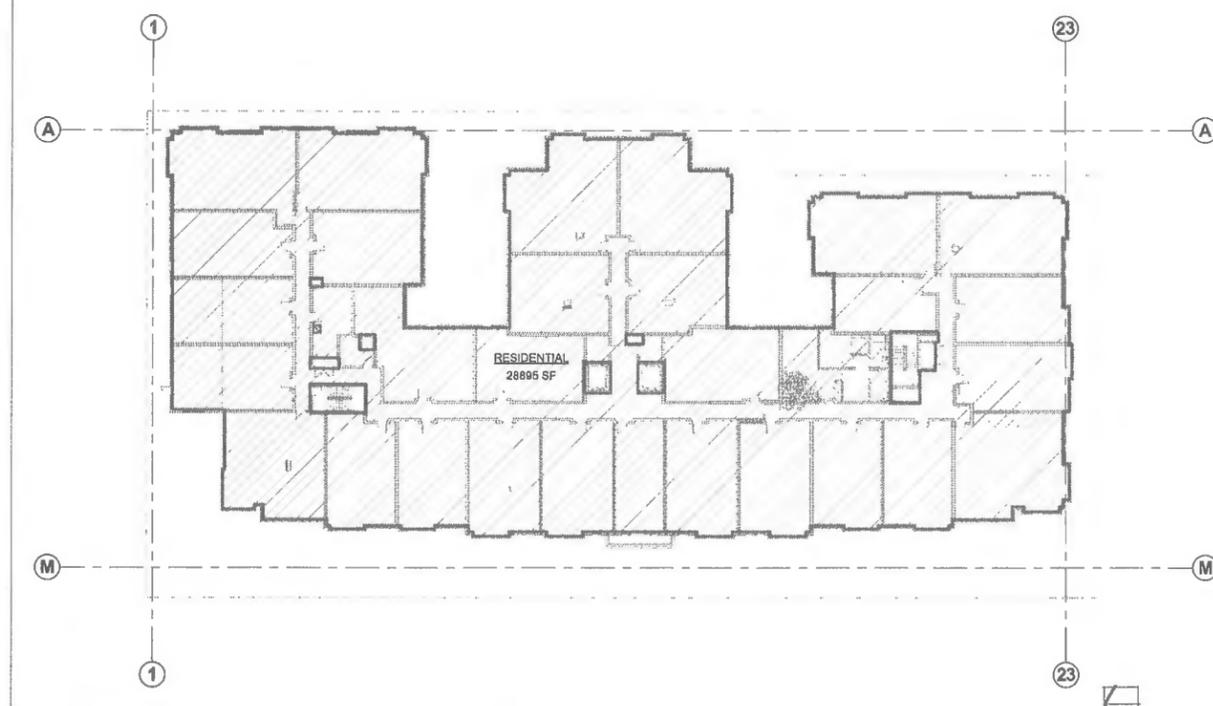
PARKING & ACCESS



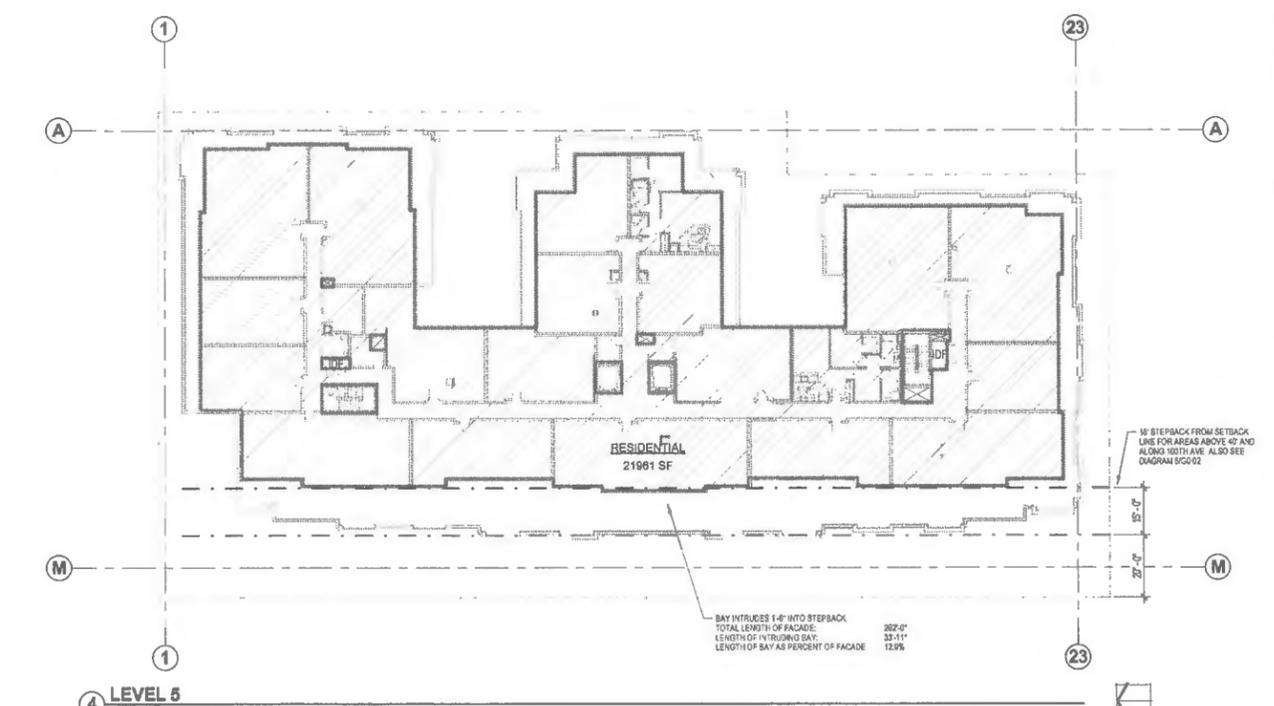
1 SITE
3/8" = 1'-0"



2 LEVEL 1
3/8" = 1'-0"



3 LEVEL 2-4
3/8" = 1'-0"



4 LEVEL 5
3/8" = 1'-0"

ZONING INFORMATION

ZONING CODE: BELLEVUE LAND USE CODE
ZONE: DNTN-R
PERIMETER DESIGN DISTRICT: SUB-DISTRICT A
LOT AREA: 44,837 SF
LOT COVERAGE: 29,592 SF
LOT COVERAGE PERCENT: 66 %
BUILDING TYPE: RESIDENTIAL

FAR CALCULATIONS

ALLOWABLE BASE FAR = 2.0
 ALLOWABLE BONUS FAR = 1.5
 MAX ALLOWABLE FAR = 3.5

LOT AREA = 44,837 SF
 ALLOWABLE BASE FAR AREA = 89,674 SF
 ALLOWABLE BONUS FAR AREA = 67,256 SF
 TOTAL ALLOWABLE FAR AREA = 156,930 SF
 FAR AREA PROPOSED = 130,613 SF

BONUS FAR

LANDSCAPE FEATURE AT INTERSECTION	8:1 X 62 SF	= 496 SF (BONUS AREA)
LANDSCAPE FEATURE ALONG R.O.W.	4:1 X 1423 SF	= 5,892 SF (BONUS AREA)
UNDERGROUND PARKING	3:1 X 64,625 SF	= 193,975 SF (BONUS AREA)
WATER FEATURE	8:1 X 150 (\$15,000/100)	= 1,200 SF (BONUS AREA)
TOTAL FAR BONUS AREA FOR THIS PROJECT		= 201,263 SF
ALLOWABLE BONUS FAR per 20.25A.090 D		= 1.5
ALLOWABLE BONUS FAR AREA	1.5 X 44,837 SF	= 67,256 SF
PROPOSED BONUS FAR AREA FOR THIS PROJECT		= 67,256 SF

FIFTH FLOOR CALCULATIONS

MAX GROSS FLOOR AREA ABOVE 40': 20,000 SF + INCREASED 10% THROUGH DESIGN REVIEW = 22,000 SF (BELLEVUE LUC Chart 20.25A.020.A.2)
 PROPOSED AREA = 21,917 SF. SEE DETAIL 4/G0.02 (THIS SHEET).

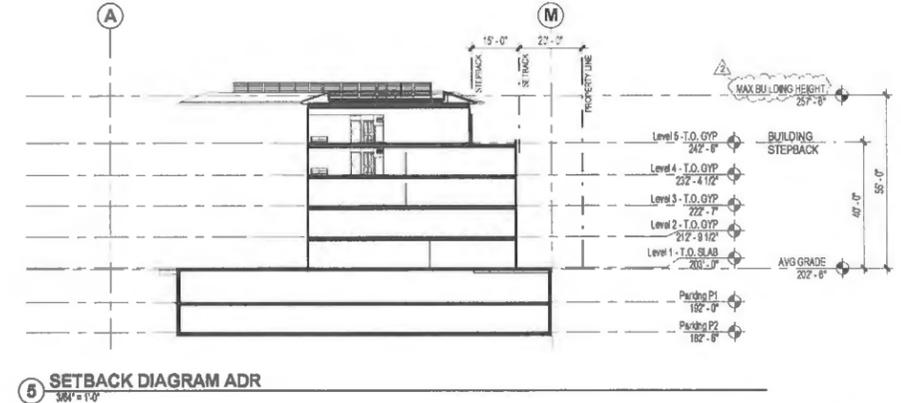
FAR AREAS

Level	Area
Level 1 - T.O. SLAB	27948 SF
Level 2 - T.O. GYP	28895 SF
Level 3 - T.O. GYP	28854 SF
Level 4 - T.O. GYP	28854 SF
Level 5 - T.O. GYP	21961 SF
TOTAL AREA FOR FAR CALCS	138513 SF

NOTE: PROPOSED AREAS ARE PER GROSS FLOOR AREA AS DEFINED IN CHAPTER 20.50. BELLEVUE LAND USE CODE: "Floor Area, Gross. The area included within the inside finished wall surface of the surrounding exterior walls of a building, excluding interior openings in floor-plates (e.g., vent shafts, stair-wells, and interior atriums), outdoor courts and exterior balconies.

NOTE: PROPOSED FAR AREAS ARE ALSO PER GROSS FLOOR AREA AS DEFINED IN CHAPTER 20.50, BELLEVUE LAND USE CODE:

NARRATIVE DESCRIBING JUSTIFICATION FOR PROPOSED 10% FAR INCREASE: DUE TO THE SITE'S LOCATION IN THE PERIMETER DESIGN DISTRICT THE PROJECT IS REQUIRED TO PROVIDE A 20'-0" SETBACK ALONG 100TH AVE. WHILE THIS IS A WONDERFUL AMENITY FOR THE NEIGHBORHOOD IT LIMITS THE OWNER'S ABILITY TO REACH THE ALLOWABLE FAR. WE ARE PROPOSING THAT THE OWNER REGAIN A FRACTION OF THAT AREA THROUGH THE PROVISION FOR AN ADDITIONAL 10% OF FLOOR AREA FOR THE FLOOR LEVEL ABOVE 40' (LEVEL 5). THIS WILL NOT HAVE A SIGNIFICANT IMPACT ON THE NEIGHBORS DUE TO THE WAY THE LEVEL 5 STEPS BACK AROUND THE PERIMETER OF THE BUILDING COMBINED WITH THE BUILDING BEING SET BACK THE 20 FEET ALONG 100TH AVE. FURTHERMORE THE MASSING OF THE BUILDING AS PROPOSED WAS WELL RECEIVED BY THE NEIGHBORS IN THE PUBLIC DESIGN REVIEW PRESENTATION.



5 SETBACK DIAGRAM ADR
3/8" = 1'-0"

Any individual or entity that is not a registered professional architect, professional engineer, or professional geologist, shall not be held responsible for the accuracy or completeness of the information contained herein. The user of this document is advised that the user shall be responsible for obtaining all necessary permits and approvals. The user of this document is advised that the user shall be responsible for obtaining all necessary permits and approvals. The user of this document is advised that the user shall be responsible for obtaining all necessary permits and approvals.

2837
 REGISTERED ARCHITECT
 VINCENT J. FERRESE
 STATE OF WASHINGTON
FOR PERMIT ONLY
 THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

1000 100TH AVENUE
 BELLEVUE, WA
 CONTINENTAL PROPERTIES
 L.L.C.

NO.	DATE	REVISION
1	12/15/15	ADR 1ST RESUBMITTAL
2	01/21/16	ADR 2ND RESUBMITTAL
4	06/01/16	ADR - EARLY WINS

PROJECT NO. 15135
 DRAWING TITLE 15-120258 LD
 DATE 06/01/16
 DRAWN BY VF
 CHECKED BY TH, FW, RD
 ADR - Early Wins 6/01/16

EXTERIOR RENDERINGS
G 3.03



NORTH COURTYARD - VIEW LOOKING EAST



NORTH COURTYARD - VIEW LOOKING WEST



ROOFTOP AMENITY AREA - VIEW LOOKING WEST



ROOFTOP AMENITY AREA- VIEW LOOKING EAST

Any information contained in these drawings is for informational purposes only. It is not intended to be used for any other purpose. Encore Architects, Inc. is not responsible for the accuracy of the information contained in these drawings. The user of these drawings is responsible for the accuracy of the information contained in these drawings. The user of these drawings is responsible for the accuracy of the information contained in these drawings. The user of these drawings is responsible for the accuracy of the information contained in these drawings. ORIGINAL SHEET SIZE 30" x 42"

BELLEVUE VUECREST

BELLEVUE, WA

CIVIL PLANS

JUNE 1, 2016



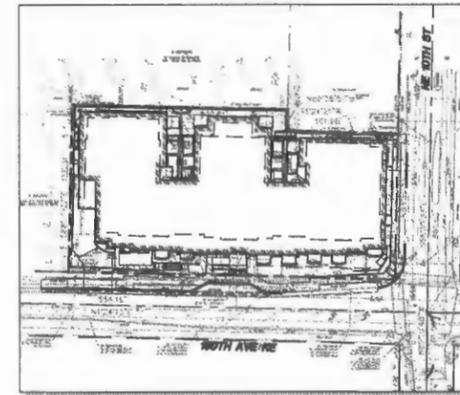
SURVEY INFORMATION

LEGAL DESCRIPTION:
(PER FIRST AMERICAN TITLE INSURANCE COMPANY., ORDER NO. HCS-897424-841, DATED OCTOBER 17, 2014 7:30 A.M.)
THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 35 NORTH, RANGE 3 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID SUBDIVISION;
THENCE SOUTH 88° 37' 27" EAST ALONG THE NORTHERLY LINE OF SAID SUBDIVISION 185.31 FEET; THENCE SOUTH 01° 23' 04" WEST 200.01 FEET;
THENCE NORTH 88° 36' 36" WEST 20.33 FEET TO AN INTERSECTION WITH A LINE PARALLEL TO AND 185.00 FEET EASTERLY FROM THE WEST LINE OF SAID SUBDIVISION, AS MEASURED ALONG THE SOUTHERLY LINE THEREOF;
THENCE SOUTH 01° 24' 21" WEST ALONG SAID PARALLEL LINE 132.00 FEET TO AN INTERSECTION WITH THE SOUTHERLY LINE OF SAID SUBDIVISION;
THENCE NORTH 88° 36' 36" WEST ALONG SAID SOUTHERLY LINE 163.00 FEET TO THE SOUTHWEST CORNER OF SAID SUBDIVISION;
THENCE NORTH 01° 24' 21" EAST ALONG THE WESTERLY LINE OF SAID SUBDIVISION 332.00 FEET TO THE POINT OF BEGINNING, EXCEPT THE SOUTH 30.00 FEET; AND EXCEPT THE WEST 30.00 FEET THEREOF FOR ROADS.
(BEING KNOWN AS PORTIONS OF LOTS 2, 3, 4, AND 8, BLOCK 1, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF AND THE UNPLATTED TRACT ADJOINING.)

SURVEYOR'S NOTES:
HORIZONTAL DATUM: NAD 83/2011 WASHINGTON STATE NORTH ZONE—BASED ON FIELD TIES TO CITY OF BELLEVUE CONTROL TRAVERSE POINTS # 0072 AND # 0077, AND 0044
VERTICAL DATUM: NAVD 88 C.O.B. BM NO. 347 TOP CURB ON WEST SIDE OF 100TH AVE NE @ N. SIDE OF DRIVEWAY @ NE 12th. ELEV=217.776
SITE AREA: 44,837 FT² ± 1.03 ACRES ±
ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.
THE LOCATION AND DESCRIPTION OF ALL SURVEY MARKERS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS TAKEN IN NOVEMBER, 2014, UNLESS OTHERWISE INDICATED.
WORK PERFORMED IN CONJUNCTION WITH THIS SURVEY UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES: (A) 1" TRIMBLE 88 SERIES ELECTRONIC TOTAL STATION, MAINTAINED TO THE MANUFACTURER'S SPECIFICATIONS PER W.A.C. 332-130-100. (B) FIELD TRAVERSE, EXCESSING REQUIREMENTS SET FORTH IN W.A.C. 332-130-080.
THIS TOPOGRAPHIC SURVEY DRAWING ACCURATELY PRESENTS SURFACE FEATURES LOCATED DURING THE COURSE OF THIS SURVEY. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY UPON INFORMATION PROVIDED BY OTHERS AND PACE ENGINEERS, INC. DOES NOT ACCEPT RESPONSIBILITY OR ASSUME LIABILITY FOR THEIR ACCURACY OR COMPLETENESS. CONTRACTOR/ENGINEER SHALL VERIFY EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION. CALL FOR LOCATE. UTILITY LOCATION SERVICE: 1-800-484-6666.
THE SUBJECT PROPERTY LIES WITHIN ZONE X, (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 53033C0305 X, REVISED DATE APRIL 19, 2005
NO EVIDENCE OF CURRENT EARTH MOVING WORK, CONSTRUCTION OR ADDITIONS.
REQUIRED EASEMENT DEDICATION OF 12 FEET FROM EXISTING CURB WILL BE REQUIRED FOR FUTURE DEVELOPMENT.
NO EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP.
NO EVIDENCE OF WETLANDS EXCEPT NARROW CREEK AS SHOWN.
PARKING: HANDICAP = 0
STANDARD = 38



VICINITY MAP
SCALE= 1"=500'



SITE MAP
SCALE= 1"=60'

LEGEND	
---	PROPERTY LINE
---	SAWCUT LINE
---	EXISTING GRADES
---	PROPOSED STORM DRAINAGE
SS	PROPOSED SANITARY SEWER
W	PROPOSED WATER LINE
---	PROPOSED STREET LIGHT LINE
---	PROPOSED ASPHALT PAVING
---	PROPOSED CEMENT CONCRETE
---	PROPOSED LANDSCAPE
---	2" GRIND AND OVERLAY
---	PROPOSED CURB
□	CATCH BASIN TYPE 1
○	CATCH BASIN TYPE 2
○	SANITARY SEWER MANHOLE
+	FIRE HYDRANT
M	GATE VALVE
□	STREET LIGHT BOX
○	EXISTING STREET LIGHT BOX
○	STREET LIGHT
○	EXISTING STREET LIGHT

OWNER/DEVELOPER/CONSULTANTS

APPLICANT/DEVELOPER:
CONTACT: ED SEGAT
COMPANY: CONTINENTAL PROPERTIES, INC.
ADDRESS: 800 100TH AVE NE, #1010
BELLEVUE, WA 98004
PHONE: (425) 233-8184

PROJECT ENGINEER:
NAME: JOHN WEED
COMPANY: PACE ENGINEERS INC.
ADDRESS: 11255 KIRKLAND WAY, SUITE 300
KIRKLAND, WA 98033
PHONE: (425) 827-2014

SURVEYOR:
NAME: WILLIAM R. HAWKINS
COMPANY: PACE ENGINEERS, INC.
ADDRESS: 11255 KIRKLAND WAY, SUITE 300
KIRKLAND, WA 98033
PHONE: (425) 827-2014

GEOTECHNICAL:
NAME: RICHARD LUARK
COMPANY: TERRACON CONSULTANTS, INC.
ADDRESS: 21805 84TH AVENUE WEST, SUITE 100
MOUNTLAKE TERRACE, WA 98043
PHONE: (425) 771-3304

DEVELOPMENT SUMMARY

PROPERTY: 44,837 SF (1.03 AC)
IMPERVIOUS SURFACE COVERAGE: 39,118 SF (0.90 AC)
LANDSCAPE AREAS: 5,719 SF (0.13 AC)

NUMBER OF UNITS: 137 UNITS
PROPOSED DENSITY: N/A

PARKING SUMMARY (ALL STD)

GARAGE (SPACES):	188 STALLS
RATIO:	AVG. 1.37/DU

LAND USE ZONING: DMTN-R

NOTE:
CONTRACTOR MUST HAVE THE MOST CURRENT CITY OF BELLEVUE DETAILS ON SITE DURING CONSTRUCTION.

CIVIL SHEET INDEX

SHEET #	SHEET TITLE
C0.00	COVER SHEET
C0.01	SITE PLAN B
C1.00	EXISTING CONDITIONS
C2.00	TESC & DEMOLITION PLAN
C2.01	TESC & DEMOLITION DETAILS
C3.00	GRADING & DRAINAGE PLAN
C3.01	UTILITY PLAN
C3.02	ROAD PLAN
C3.03	FOOTING DRAIN PLAN
C3.04	ROAD SECTIONS
C3.05	GRADING & DRAINAGE DETAILS
P3-04	VEHICLE FLUSHING TEMPLATE

NOTE:
THE PEDESTRIAN PROTECTION PLAN WILL BE A DEFERRED SUBMITTAL.

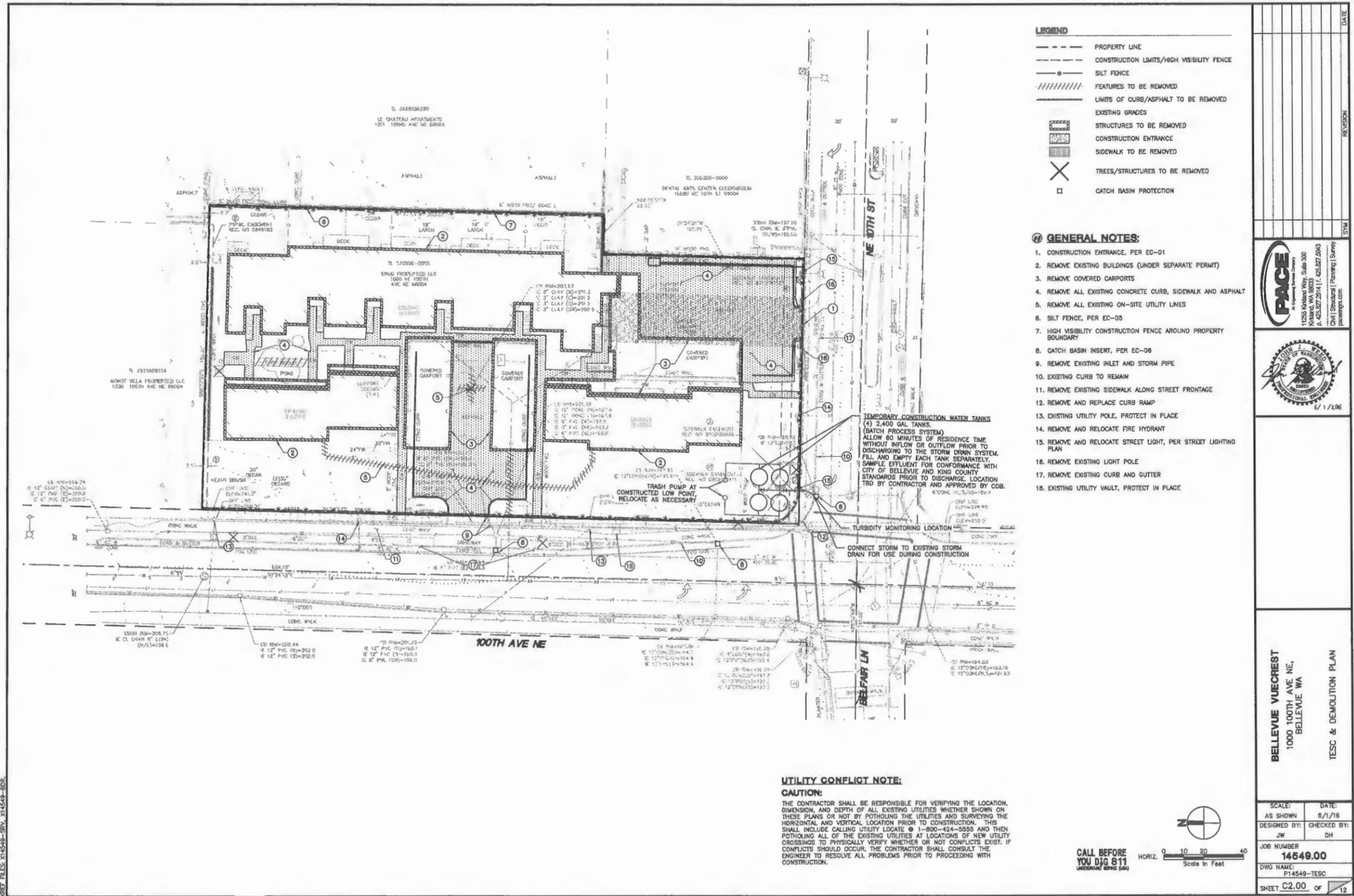
PEDESTRIAN PROTECTION PLAN REMOVED

FILE NAME: P:\P\14549 BELLEVUE 200\CAD\CONCRETE\DWG\SHEETS\P14549-CVR.DWG
SAVE TIME: 5/21/2016 12:04:35 PM
USER NAME: JAW
CUSER: JAW
XREF FILES: 14549-A\TA_X14549-SP_X14549-BDR

DATE	
REVISION	
SYN	
 11255 Kirkland Way, Suite 300 Kirkland, WA 98033 P. 425.827.2014 F. 425.827.8043 www.paceengr.com	
BELLEVUE VUECREST 1000 100TH AVE NE, BELLEVUE WA COVER SHEET	
SCALE:	DATE:
AS SHOWN	6/1/16
DESIGNED BY:	CHECKED BY:
JW	DH
JOB NUMBER	
14549.00	
DWG NAME:	
P14549-CVR	
SHEET C0.00	OF 12

1000 100TH AVE NE
 Bellevue, WA
 Continental Properties

FOR PERMIT ONLY
THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

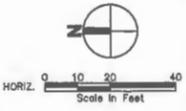


- LEGEND**
- PROPERTY LINE
 - - - CONSTRUCTION LIMITS/HIGH VISIBILITY FENCE
 - * - SILT FENCE
 - ////// FEATURES TO BE REMOVED
 - ===== LIMITS OF CURB/ASPHALT TO BE REMOVED
 - EXISTING GRADES
 - [Hatched Box] STRUCTURES TO BE REMOVED
 - [Hatched Box] CONSTRUCTION ENTRANCE
 - [Hatched Box] SIDEWALK TO BE REMOVED
 - X TREES/STRUCTURES TO BE REMOVED
 - CATCH BASIN PROTECTION

- GENERAL NOTES:**
1. CONSTRUCTION ENTRANCE, PER EC-01
 2. REMOVE EXISTING BUILDINGS (UNDER SEPARATE PERMIT)
 3. REMOVE COVERED CARPORTS
 4. REMOVE ALL EXISTING CONCRETE CURB, SIDEWALK AND ASPHALT
 5. REMOVE ALL EXISTING ON-SITE UTILITY LINES
 6. SILT FENCE, PER EC-05
 7. HIGH VISIBILITY CONSTRUCTION FENCE AROUND PROPERTY BOUNDARY
 8. CATCH BASIN INSERT, PER EC-08
 9. REMOVE EXISTING INLET AND STORM PIPE
 10. EXISTING CURB TO REMAIN
 11. REMOVE EXISTING SIDEWALK ALONG STREET FRONTAGE
 12. REMOVE AND REPLACE CURB RAMP
 13. EXISTING UTILITY POLE, PROTECT IN PLACE
 14. REMOVE AND RELOCATE FIRE HYDRANT
 15. REMOVE AND RELOCATE STREET LIGHT, PER STREET LIGHTING PLAN
 16. REMOVE EXISTING LIGHT POLE
 17. REMOVE EXISTING CURB AND GUTTER
 18. EXISTING UTILITY VAULT, PROTECT IN PLACE

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5855 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG 811
UNDERGROUND SERVICE DATA



DATE	
REVISION	
SYN	
 PACE 11225 Kirkland Way, Suite 300 Kirkland, WA 98033 p. 425.827.2111 f. 425.827.5043 Civil Structural Planning Survey paceengr.com	
 CITY OF BELLEVUE DEPARTMENT OF PUBLIC WORKS 8/1/16	
BELLEVUE VUECREST 1000 100TH AVE NE, BELLEVUE WA TESC & DEMOLITION PLAN	
SCALE:	DATE:
AS SHOWN	8/1/16
DESIGNED BY:	CHECKED BY:
JW	DH
JOB NUMBER	
14549.00	
DWG NAME:	
P14549-TESC	
SHEET C2.00 OF 12	

FILE NAME: P:\P14549\14549 BELLEVUE 2000\CAD\DWG\DWG\SHETS\PH14549-TESC.DWG
 SAVE TIME: 5/27/2016 11:42:36 AM
 USER: NAME: JACOB J. WILSON
 APP: PLS: XT-14549-DRY, 14549-DRY

1000 100TH AVE NE

1000 100th Ave NE
Bellevue, WA
Continental Properties

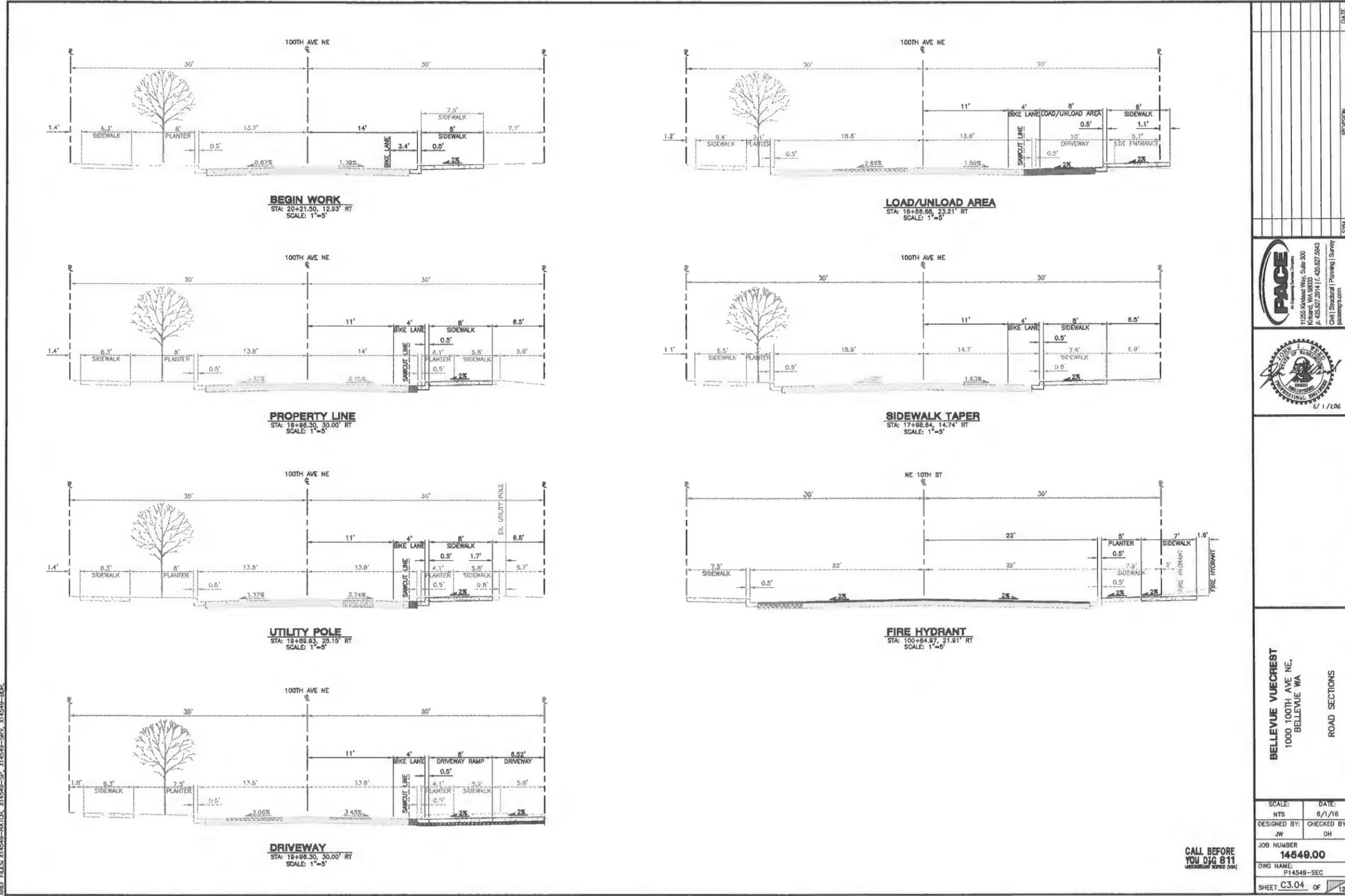
18135
 15-120258 - LD
 ADR - EARLY WINB 8/01/2015

TESC & DEMOLITION PLAN

FOR PERMIT ONLY
 THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

1000 100TH AVE NE

1000 100th Ave NE
 Bellevue, WA
 Confidential Properties



FILE NAME: P:\P14548 BELLEVUE 200\CAD\ENGINEERING\SHEETS\P14548-SEC.DWG
 SAVE TIME: 5/23/2016 11:42:01 AM
 USER: NAME: JEFF HARRIS
 XREF FILES: X14548-HATCH, X14548-SP, X14548-SV, X14548-BOR

CALL BEFORE YOU DIG 811
 (www.wa.gov/call811)

NO.	DATE	REVISION

PACE
 An Engineering Services Company
 11255 Kirkland Way, Suite 300
 Kirkland, WA 98033
 P: 425.827.2014 | F: 425.827.5043
 Civil | Structural | Planning | Survey
 paceengr.com



BELLEVUE VUECREST
 1000 100TH AVE NE,
 BELLEVUE WA
 ROAD SECTIONS

SCALE:	DATE:
NTS	6/1/16
DESIGNED BY:	CHECKED BY:
JW	DH
JOB NUMBER:	
14548.00	
DWG NAME:	
P14548-SEC	
SHEET C3.04 OF 12	

16189
 16-120258-LD
 ADR - EARLY WIN8 6/01/2016

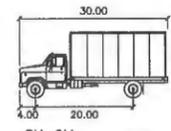
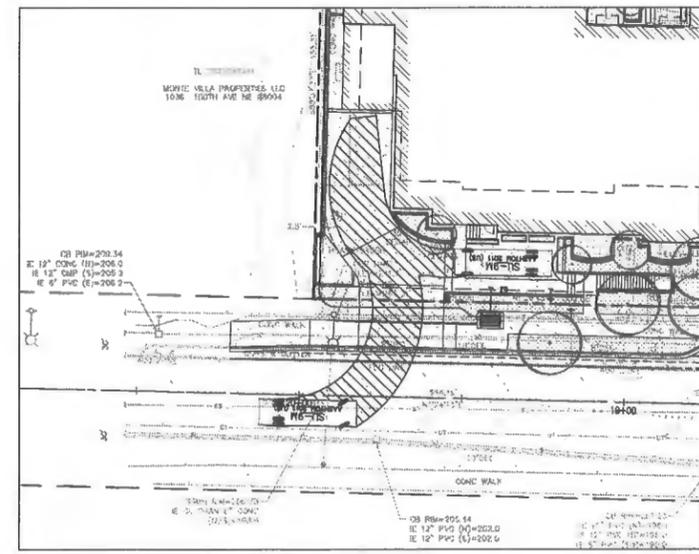
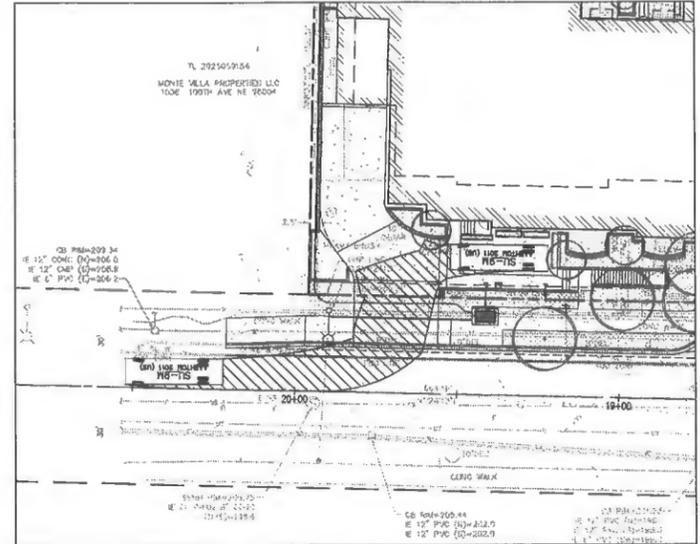
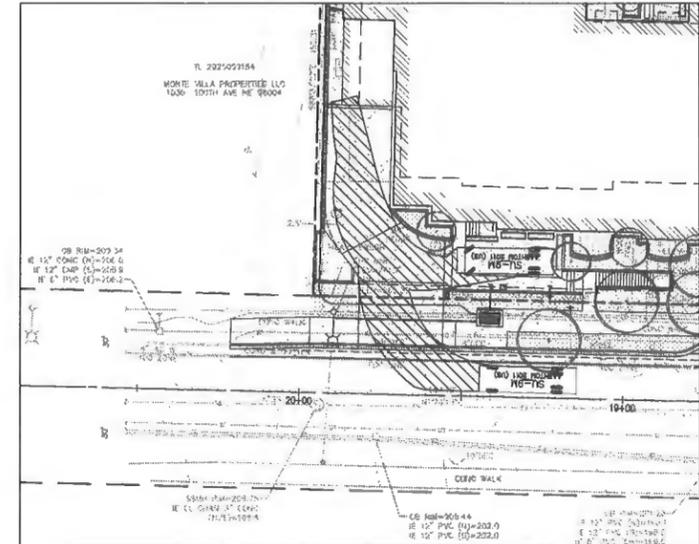
ROAD SECTIONS

FOR PERMIT ONLY
 THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

1000 100TH AVE NE

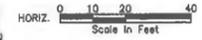
1000 100th Ave NE
 Bellevue, WA
 Confidential Properties

FILE NAME: P:\P14549 BELLEVUE 200\CAD\ENGINEERING\DRWG\14549-AUTO.DWG
 SAVE TIME: 5/21/2018 11:41:52 AM
 USER: NAME: JWG
 REF: FILES: X14549-DATCH, X14549-SP, X14549-UT, X14549-SRV, X14549-BDR



SU-9M feet
 Width : 8.00
 Track : 8.00
 Lock to Lock Time : 8.0
 Steering Angle : 31.8

CALL BEFORE YOU DIG 811
 UNDEGROUND SERVICE (800)

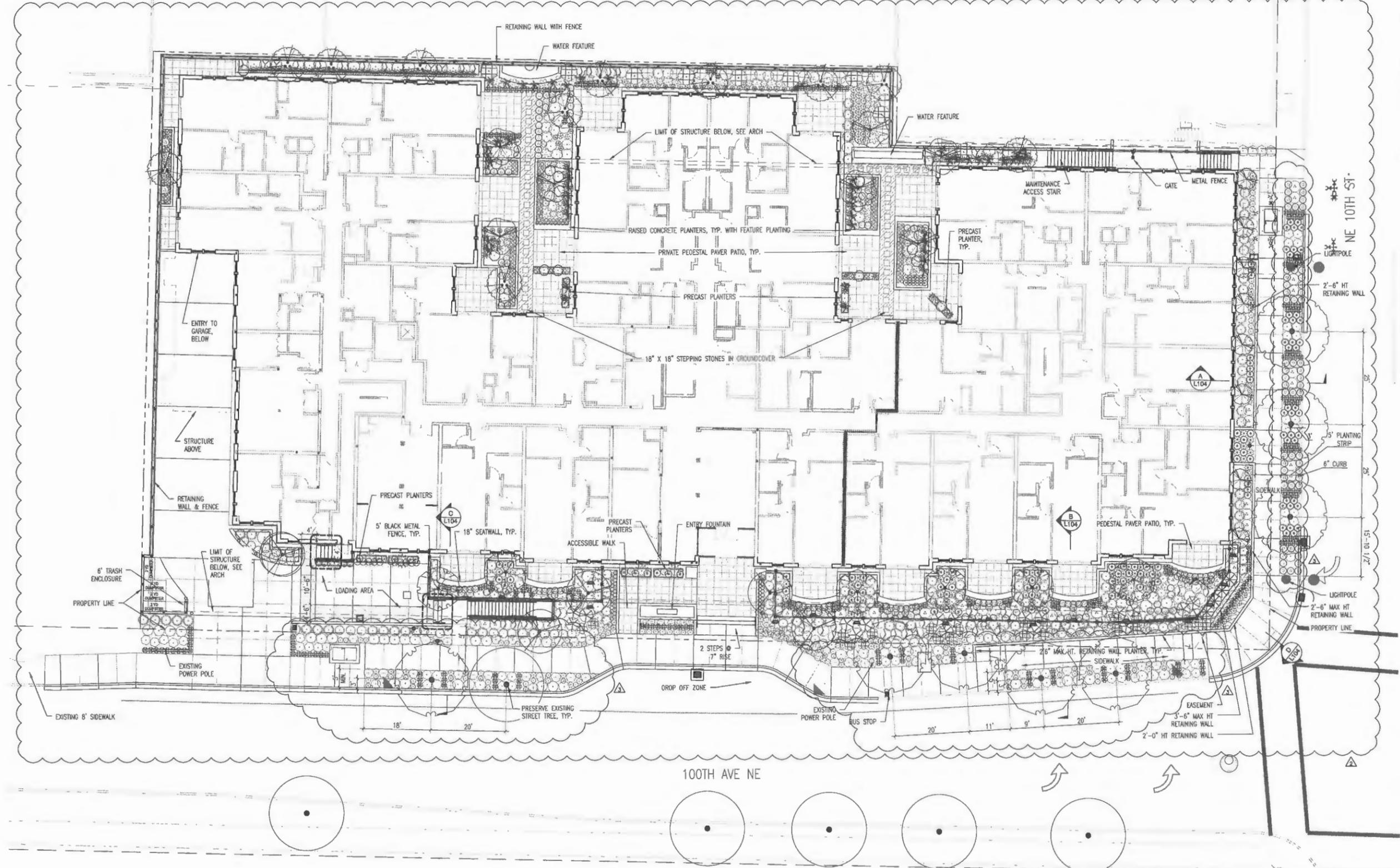


 11255 Kildale Way, Suite 300 Kirkland, WA 98033 P: 425.827.2814 F: 425.827.5643 Civil Structural Planning Survey paceengr.com		REVISION SYM DATE
BELLEVUE VUECREST 1000 100TH AVE NE, BELLEVUE WA VEHICLE TURNING TEMPLATE		SCALE: AS SHOWN DATE: 6/1/18 DESIGNED BY: JW CHECKED BY: DH JOB NUMBER: 14549.00 DWG NAME: P14549-AUTO SHEET: C3.08 OF 12

18185
 16-120288-LD
 16-120288-10
 16-120288-10
 ADP - EARLY WNS 8/01/2018

VEHICLE TURNING TEMPLATE

NOTES:
 PLANTING SCHEDULE, SEE SHEET L1.03
 IRRIGATION WATER BUDGET, SEE SHEET L1.07



ENCORE architects
 pllc
 1402 3rd Ave S-18 1000
 Seattle, WA 98101

TRA
 LANDSCAPE ARCHITECTURE
 WITH 60 DAY EXPIRY AND RENEWAL BY WA PL 200 002 000

FOR PERMIT ONLY
 THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

STATE OF WASHINGTON
 REGISTERED LANDSCAPE ARCHITECT
 THOMAS V. HENSTORF
 CERTIFICATE NO. 198

1000 100TH AVE NE

1000 100TH AVE NE
 Bellevue, WA
 CONTINENTAL PROPERTIES

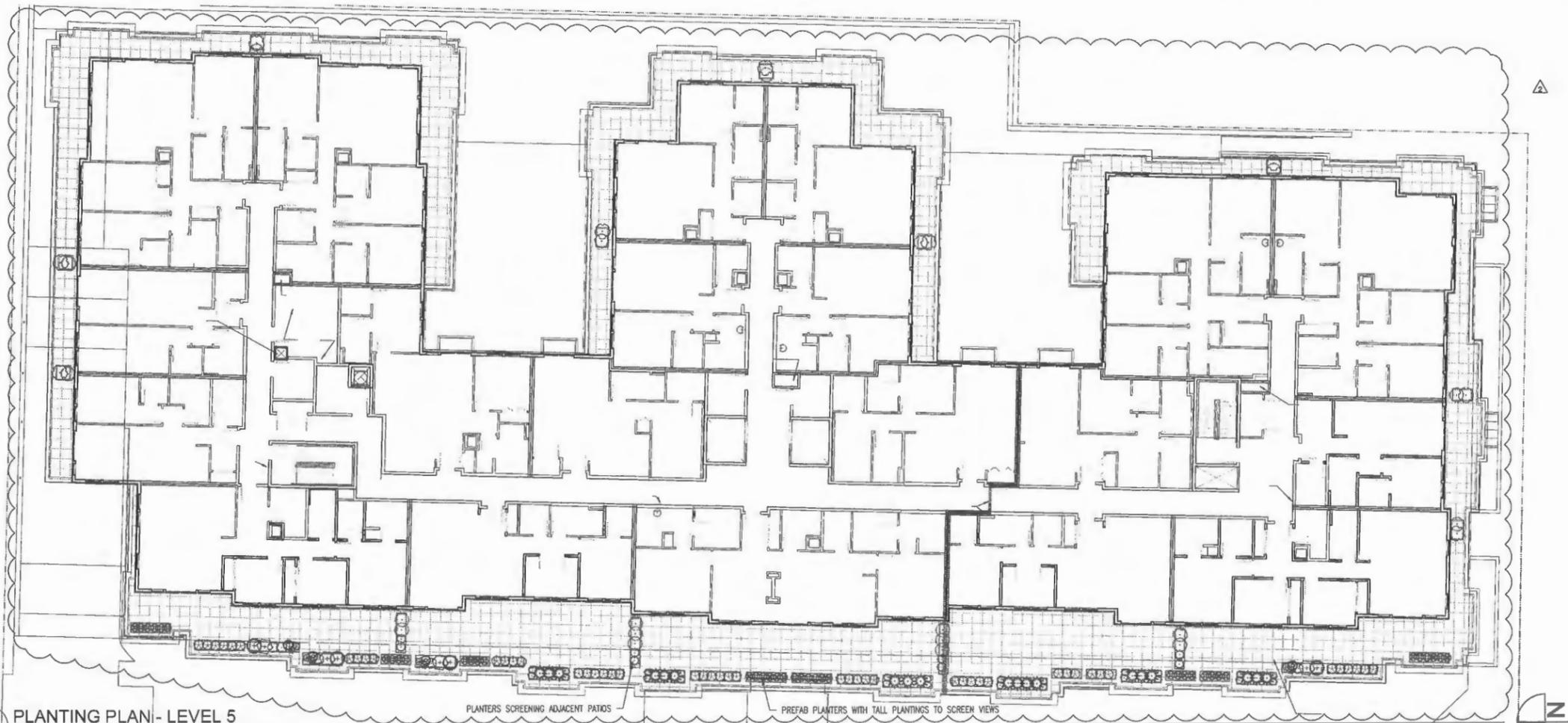
REV 1 ADR RESUBMISSION 12/16/15
 REV 2 ADR RESUBMISSION 01/11/16
 REV 3 ADR-EARLY WINS 03/16

18138
 18-120258 - LD
 TR M/HF/JSE/LP/BT
 ADR-EARLY WINS 03/2016

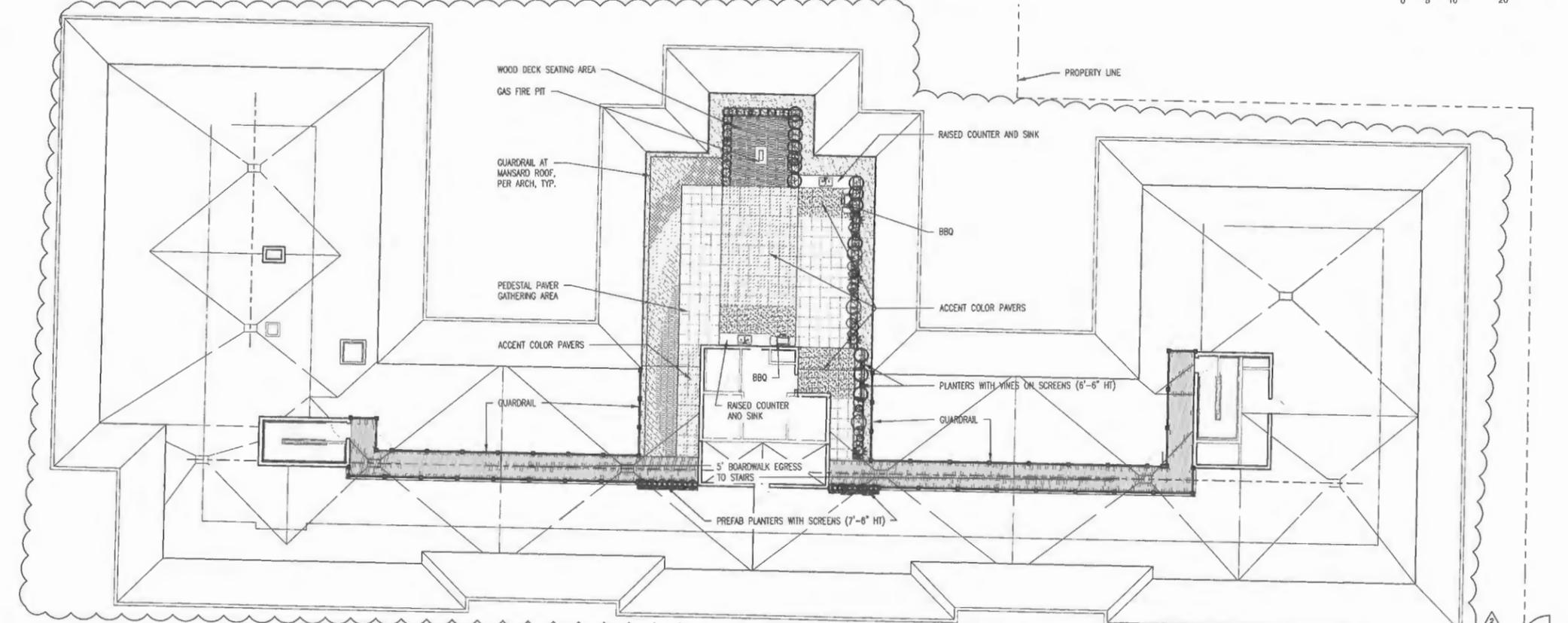
PLANTING PLAN - STREET LEVEL

1 PLANTING PLAN - STREET LEVEL
 1" = 10'-0"

L1.01
 © 2015 Encore Architects pllc



1 PLANTING PLAN - LEVEL 5
1" = 10'-0"



2 PLANTING PLAN - ROOF LEVEL
1" = 10'-0"

PLANT SCHEDULE - ALL LEVELS

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
	ACER CIRCINATUM 'MONROE'	CUTLEAF VINE MAPLE	B & B	2"CAL; MULTI-STEM	12"-14' HT	11
	CARPINUS JAPONICA	JAPANESE HORNBEAM	B & B	1.5"CAL	5'-6' HT.	7
	FAGUS SYLVATICA 'DAWYCK GOLD'	EUROPEAN BEECH	B & B		5'-6'H	8
	NYSSA SYLVATICA 'FIRESTARTER'	FIRESTARTER TUPELO	B & B	3"CAL		3
	PYRUS CALLERYANA 'ARISTOCRAT' TM	ARISTOCRAT FLOWERING PEAR	B & B	3"CAL		5
	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	B & B	2"CAL		4
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	B & B	2"CAL		6
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
	STYRAX JAPONICUS	JAPANESE SNOWBELL	B & B	2"CAL		1

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	SPCG	SPACING	QTY
	SEASONAL COLOR		1 GAL		12" o.c.	19
	THYMUS X 'RED CREEPING'	RED CREEPING THYME	4" POT		12" o.c.	118
	THYMUS 'RED CREEPING' DT	RED CREEPING THYME	4"POT		6" o.c.	1,493

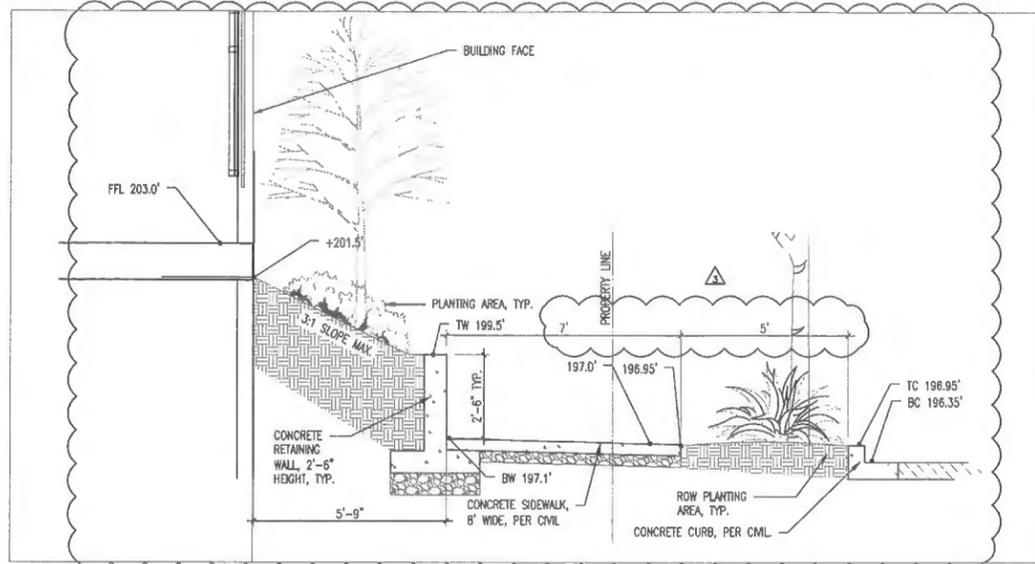
GREEN ROOF PLANT SCHEDULE

	GREEN ROOF MIX 1 8" GREEN ROOF PLANTING - SEE DETAIL 41/L1.34 GREENROOF 8" EXTENSIVE / COLUMBIA GREEN LAY DOWN SYSTEM EVERGREEN & DECIDUOUS MIX; 4 SEASON COLOR HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS SEDUM X 'AUTUMN JOY' / AUTUMN JOY SEDUM	114 SF
	GREEN ROOF MIX 2 8" GREEN ROOF PLANTING - SEE DETAIL 41/L1.34 FRAGARIA CHILOENSIS 'LIPSTICK' / BEACH STRAWBERRY ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY	52 SF
	GREEN ROOF MIX 3 8" GREEN ROOF PLANTING - SEE DETAIL 41/L1.34 LAVANOUULA STDECHAS 'OTTO QUAST' / SPANISH LAVENDER	80 SF
	GREEN ROOF MIX 4 8" GREEN ROOF PLANTING - SEE DETAIL 41/L1.34 GREENROOF 8" EXTENSIVE / COLUMBIA GREEN LAY DOWN SYSTEM EVERGREEN & DECIDUOUS MIX; 4 SEASON COLOR HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS	170 SF

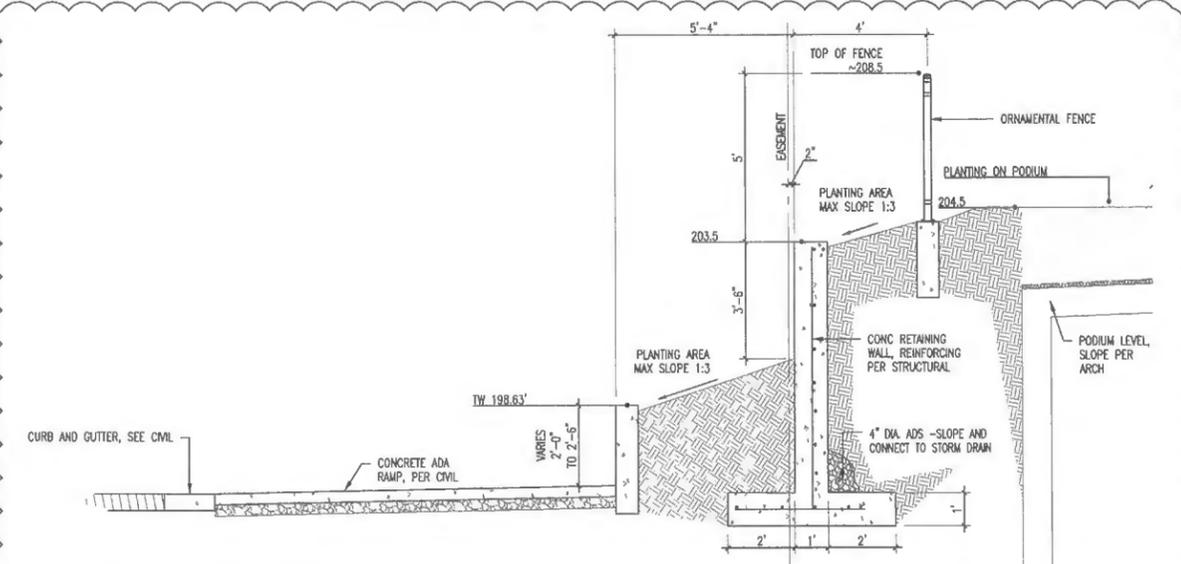
GRASSES	BOTANICAL NAME	COMMON NAME	CONT	MIN. HT./SPREAD	QTY
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL		18
	CAREX ELATA 'BOWLES GOLDEN'	BOWLES GOLDEN SEDGE	1 GAL		129
	CAREX X 'ICE DANCE'	ICE DANCE SEDGE	1 GAL		12
	HAKONECHLOA MACRA 'BENI-KAZE'	GREEN FOREST GRASS	1 GAL		48
	HELICTOTRICHON SEMPERVIRENS DT	BLUE OAT GRASS	1 GAL		147
	NASSELLA TENUISSIMA	TEXAS NEEDLE GRASS	5 GAL		48
	PANICUM VIRGATUM 'SHENENDOAH'	BURGUNDY SWITCH GRASS	2 GAL		28
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	CONT	MIN. HT./SPREAD	QTY
	CLEMATIS ARMANDII 'SNOWDRIFT'	EVERGREEN CLEMATIS	2 GAL		4
	HYDRANGEA INTEGRIFOLIA	EVERGREEN CLIMBING HYORANGEA	1 GAL		2
	WISTERIA FLORIBUNDA 'ROSEA'	PINK JAPANESE WISTERIA	5 GAL		18

SHRUBS

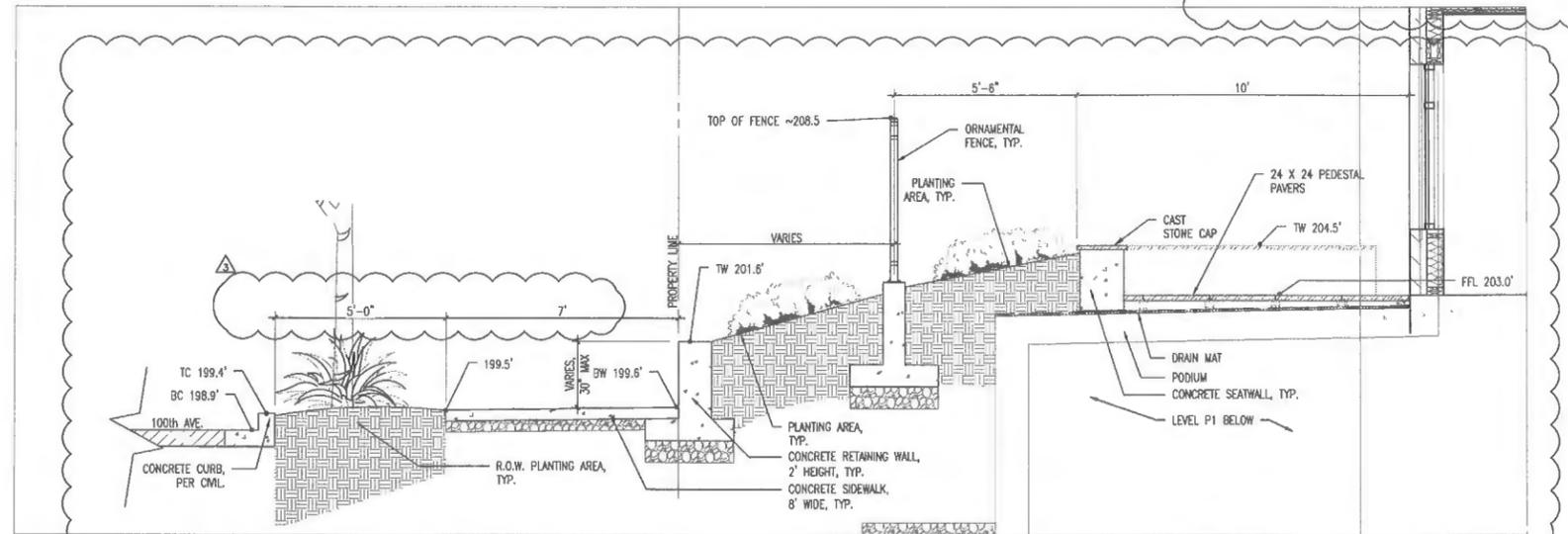
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	MIN. HT./SPREAD	QTY
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL		4
	AZALEA SATSUKI HYBRID 'GUMPO WHITE'	SATSUKI AZALEA	2 GAL	18" HT	62
	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	2 GAL		11
	BUXUS SEMPERVIRENS 'GREEN TOWER'	GREEN TOWER BOXWOOD	2 GAL		16
	BUXUS SEMPERVIRENS 'SUFFRUTICOSA' DT	TRUE DWARF BOXWOOD	1 GAL		161
	CALLUNA VULGARIS 'AUREA'	HEATHER	2 GAL		50
	CEANOTHUS HYBRID 'DARK STAR' DT	DARK STAR CEANOTHUS	5 GAL		4
	CHOISYA TERNATA 'AZTEC PEARL'	AZTEC PEARL MEXICAN ORANGE	5 GAL		18
	CISTUS 'SUNSET' DT	SUNSET ROCKROSE	2 GAL		5
	DAPHNE MEZEREUM	PARADISE PLANT	1 GAL		19
	ERICA CARNEA 'SPRINGWOOD PINK'	PINK SPRING HEATH	2 GAL		59
	ERICA CINEREA 'C.D. EASON'	C.D. EASON HEATHER	2 GAL		43
	ESCALLONIA RUBRA	RED ESCALLONIA	5 GAL		3
	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY WITCHALDER	5 GAL	36" HT. MIN.	9
	GARRYA ELIPTICA 'JAMES ROOF'	COAST SILK TASSEL	5 GAL	42" - 48" HT	2
	HYDRANGEA MACROPHYLLA	HYDRANGEA	5 GAL		5
	HYDRANGEA QUERCIFOLIA 'PEE WEE'	OAKLEAF HYDRANGEA	5 GAL		75
	MAHONIA REPENS DT	CREEPING MAHONIA	1 GAL		130
	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	5 GAL	6" - 12"	28
	OSMANTHUS HETEROPHYLLUS 'GOSHIKI'	GOSHIKI HOLLY OLIVE	5 GAL		16
	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES'	RUSSIAN SAGE	3 GAL		38
	PHORMIUM TENAX 'OUSKY CHIEF' DT	NEW ZEALAND FLAX	7 GAL		45
	PIERIS 'FOREST FLAME'	FOREST FLAME PIERIS	5 GAL		14
	PIERIS 'SPRING SNOW'	SPRING SNOW PIERIS	5 GAL		42
	RHODODENDRON IMPEDITUM	IMPEDITUM DWARF RHODODENDRON	1 GAL		40
	RIBES SANGUINEUM 'KING EDWARD VII'	RED FLOWERING CURRANT	5 GAL	30" MIN. HT.	21
	ROSA X 'NEARLY WILD' DT	NEARLY WILD ROSE	5 GAL		60
	SARCOCCOCCA HOOKERANA HUMILIS	SMALL HOOKERI	1 GAL		24
	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPIREA	2 GAL		4
	SPIRAEA X BUMALOA 'LIME MOUND' TM	LIME MOUND SPIREA	2 GAL		4
	TAXUS MEDIA 'DENSIFORMIS' DT	DENSE YEW	24"-30" SPREAD, FULL, B&B		95
	TAXUS MEDIA 'HICKSII' DT	HICKS YEW	B & B, 4'-5' HT.		10
	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5 GAL	4'-5' HT	19
	VIBURNUM PLICATUM 'DOUBLEFILE'	DOUBLEFILE VIBURNUM	7 GAL		11
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	CONT	MIN. HT./SPREAD	QTY
	AGAPANTHUS ORIENTALIS	LILY-OF-THE-NILE	5 GAL		112
	ATHYRIUM FILIX-FEMINA	COMMON LADY FERN	1 GAL		79
	EUPHORBIA CHARACIAS 'SILVER SWAN' DT	EVERGREEN SPURGE	2 GAL		83
	HELLEBORUS ARGUTIFOLIUS	CORSICAN HELLEBORE	1 GAL		31
	HOSTA SIEBOLDIANA 'ELEGANS'	SIEBOLDIANA ELEGANS HOSTA	1 GAL		63
	IRIS PALLIDA 'VARIEGATA'	VARIEGATED SWEET IRIS	2 GAL		68
	LAVANDULA ANGSTIFOLIA DT	ENGLISH LAVENDER	1 GAL		84
	LAVANDULA STOECHAS DT	SPANISH LAVENDER	1 GAL		18
	LIRIOPE MUSCARI 'BIG BLUE' 12" O.C.	BIG BLUE LILYTURF	1 GAL		112
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	2 GAL		47



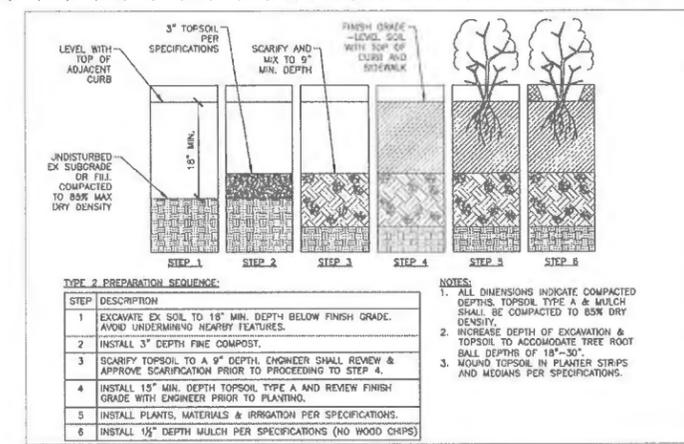
A SECTION: NE 10TH ST FRONTAGE
1/2" = 1'-0"



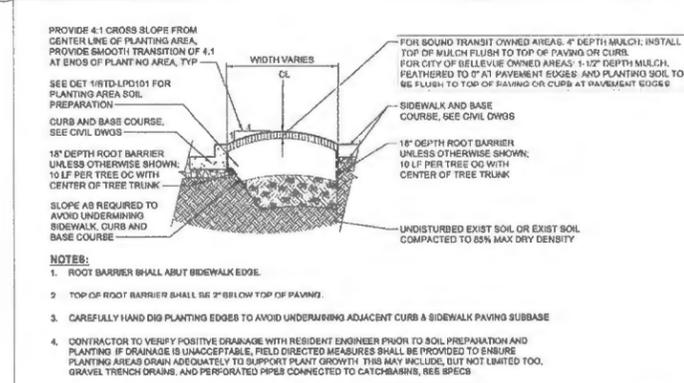
D SECTION: RETAINING WALLS AT CORNER
1/2" = 1'-0"



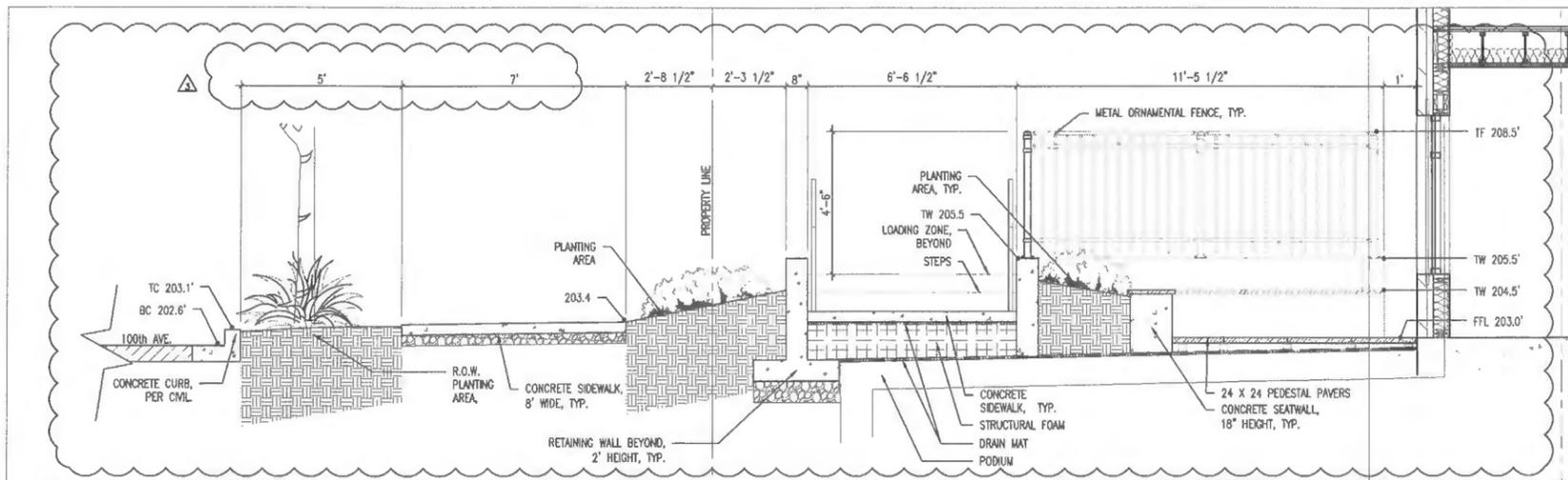
B SECTION: 100TH AVE FRONTAGE - SOUTH
1/2" = 1'-0"



E SECT: SOIL PREPARATION
SCALE: NTS



F SECT: SIDEWALK AREA PLANTING
SCALE: NTS



C SECTION: 100TH AVE FRONTAGE - NORTH
1/2" = 1'-0"



1000 100TH AVE NE

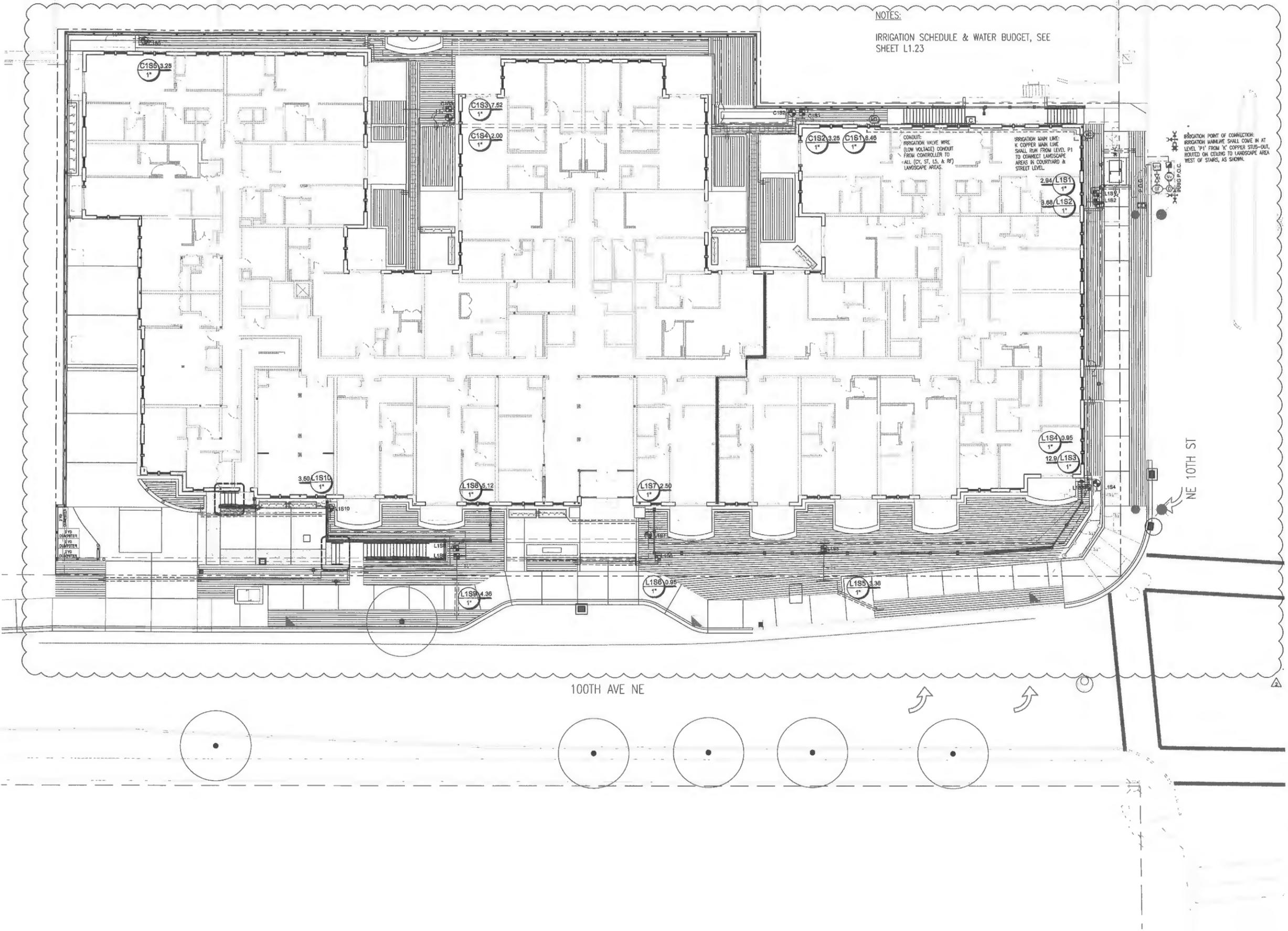
1000 100TH AVE NE
Bellevue, WA
CONTINENTAL PROPERTIES

REV 1 ADR RESUBMISSION 12/15/15
REV 2 ADR RESUBMISSION 6/1/16
REV 3 ADR-EARLY WINS 6/3/16

18135
18-120259 - LD
MH/FJ/SE/LP/BT
ADR-EARLY WINS 6/3/2016

SECTIONS & ELEVATIONS

L1.04
© 2015 Encore Architects pllc



NOTES:
 IRRIGATION SCHEDULE & WATER BUDGET, SEE SHEET L1.23

CONDUIT: IRRIGATION VALVE WIRE (LOW VOLTAGE) CONDUIT FROM CONTROLLER TO ALL (CV, ST, LS, & RF) LANDSCAPE AREAS.

IRRIGATION MAIN LINE: K COPPER MAIN LINE SHALL RUN FROM LEVEL P1 TO CONNECT LANDSCAPE AREAS IN COURTYARD & STREET LEVEL.

IRRIGATION POINT OF CONNECTION: IRRIGATION MAINLINE SHALL COME IN AT LEVEL P1 FROM 1" COPPER STUB-OUT, ROUTED ON CEILING TO LANDSCAPE AREA WEST OF STAIRS, AS SHOWN.

FOR PERMIT ONLY
 THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES



THOMAS V. BENGTSON
 REGISTERED LANDSCAPE ARCHITECT
 CERTIFICATE NO. 298

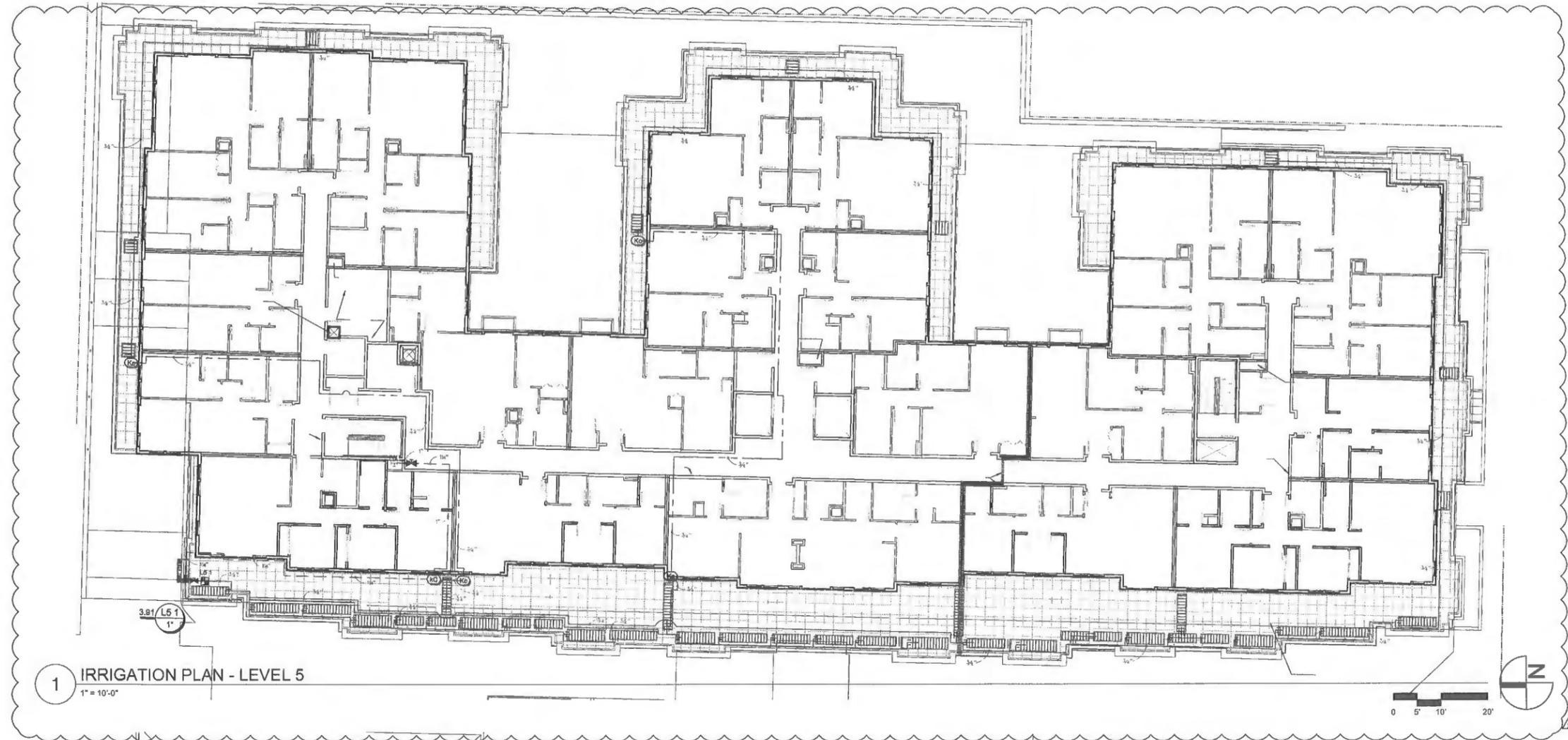
1000 100TH AVE NE
 Bellevue, WA
 CONTINENTAL PROPERTIES

REV 1 ADR RESUBMISSION	12/18/15
REV 2 ADR RESUBMISSION	01/11/16
REV 3 ADR-EARLY WINS	03/16

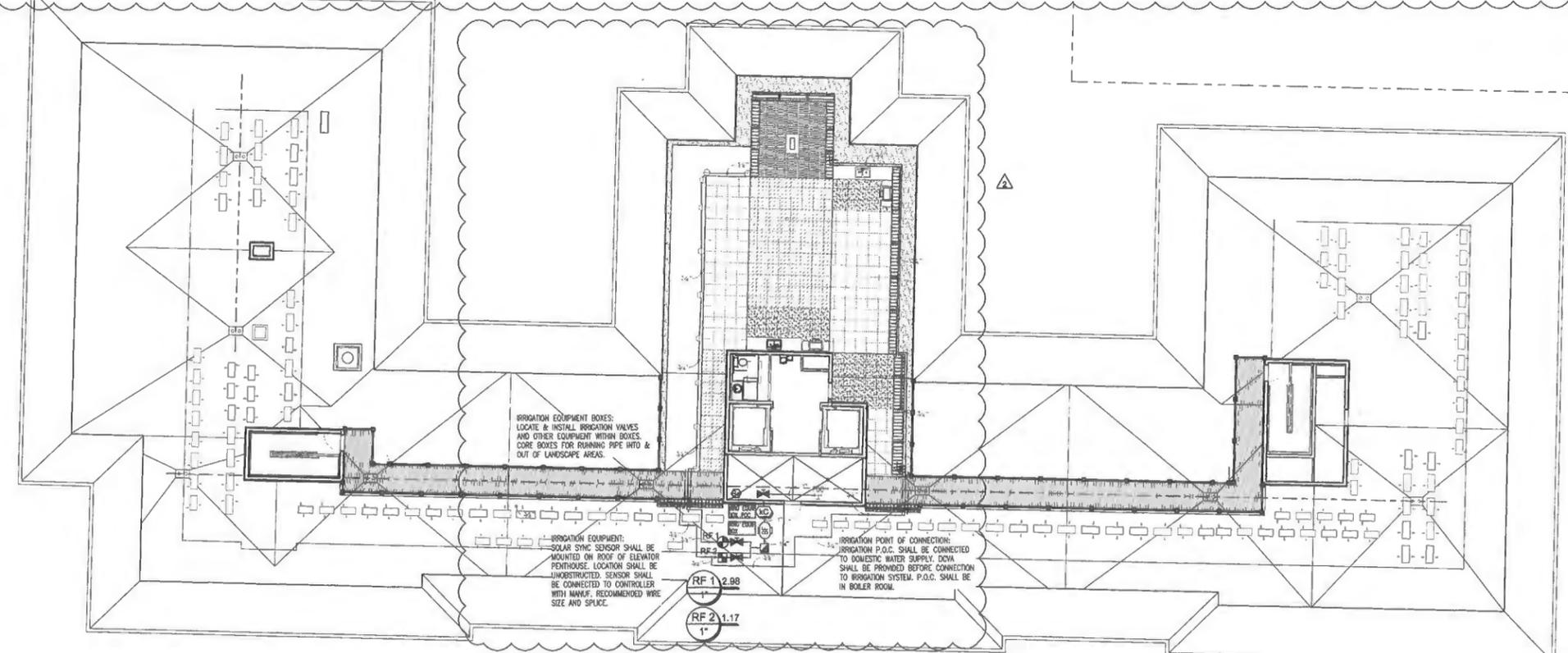
16135
 15-12025B - LD
 TR MHP/JSE/LP/BT
 ADR-EARLY WINS 6/3/2016

IRRIGATION PLAN - STREET LEVEL

1 IRRIGATION PLAN - STREET LEVEL
 1" = 10'-0"



1 IRRIGATION PLAN - LEVEL 5
1" = 10'-0"



2 IRRIGATION PLAN - ROOF LEVEL
1" = 10'-0"

NOTES:
IRRIGATION SCHEDULE & WATER BUDGET, SEE SHEET L1.23

REV 1 ADR RESUBMISSION	12/16/15
REV 2 ADR RESUBMISSION	01/11/16
REV 3 ADR-EARLY WINS	03/16

16135	
15-120258 - LD	
MMF/JSE/LP/BT	
ADR-EARLY WINS	6/3/2016

IRRIGATION PLAN - LEVEL 5 & ROOF

Water Budget: Baseline

<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>WATER BUDGET PER CITY OF BELLEVUE ZONING CODE - BASELINE STUDY</p> <p>TOTAL LANDSCAPE AREA: 8,169 S.F.</p> <p>ET: EVAPOTRANSPIRATION RATE (not seasonal irrigation requirement in inches) AP: ADJUSTMENT FACTOR VALUE LA: LANDSCAPE AREA IN SQUARE FEET CF: CONVERSION FACTOR (870 inches to gallons per square foot) IPR: IRRIGATION WATER BUDGET IN GALLONS</p> <p>THIS WATER BUDGET IS CALCULATED USING THE FOLLOWING FORMULA</p> $ET \times AP \times LA \times CF = IPR$ <p>14.49 0.8 X 8,165 X 8.62 = 10,106.42 GALLONS</p> <p>ESTIMATED WATER USE</p> <p>ET: EVAPOTRANSPIRATION RATE (not seasonal irrigation requirement in inches) PP: PLANT FACTOR VALUE: 0.4-1.0 LOW WATER USE, 0.4-0.6 MEDIUM WATER USE, 0.7-1.0 HIGH WATER USE IA: IRRIGATION AREA IN SQUARE FEET CF: CONVERSION FACTOR (870 inches to gallons per square foot) IE: IRRIGATION EFFICIENCY 0.65 FOR SPRAY IRRIGATION, 0.55 FOR DRIP IRRIGATION IPW: ESTIMATED WATER USE FOR EACH HYDROZONE (AN AREA WHERE PLANTS REQUIRE SIMILAR AMOUNTS OF WATER) IN GALLONS</p> <p>ESTIMATED WATER USE IS CALCULATED USING THE FOLLOWING FORMULA</p> $ET \times IE \times IA \times CF = IPW$	<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>HYDROZONE 1 Level 1 SHRUB, NORTHEAST 16.88 X 0.2 X 1,528 X 8.62 = 21,819.40 GALLONS = 3,917.89 CUBIC FEET</p> <p>HYDROZONE 2 Level 1 SHRUB, SOUTH 16.82 X 0.2 X 4,201 X 8.62 = 49,927.76 GALLONS = 8,604.46 CUBIC FEET</p> <p>HYDROZONE 3 Level 1 SHRUB, WEST 14.49 X 0.2 X 4,082 X 8.62 = 5,072.80 GALLONS = 882.80 CUBIC FEET</p> <p>HYDROZONE 4 ROOF LEVEL SHRUB 16.49 X 0.2 X 1,092 X 8.62 = 3,043.90 GALLONS = 541.71 CUBIC FEET</p> <p>HYDROZONE 5 ROOF LEVEL GROUNDROOF 16.49 X 0.2 X 561 X 8.62 = 2,477.80 GALLONS = 438.01 CUBIC FEET</p> <p>TOTAL 8,413 36,961.76 GALLONS 7,111.54 CUBIC FEET</p> <p>Prepared by Thomas Rengstorf 12/14/2015 Page 1</p>
--	--

<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>HYDROZONE 1 Level 1 SHRUB, NORTHEAST 16.88 X 0.2 X 1,528 X 8.62 = 21,819.40 GALLONS = 3,917.89 CUBIC FEET</p> <p>HYDROZONE 2 Level 1 SHRUB, SOUTH 16.82 X 0.2 X 4,201 X 8.62 = 49,927.76 GALLONS = 8,604.46 CUBIC FEET</p> <p>HYDROZONE 3 Level 1 SHRUB, WEST 14.49 X 0.2 X 4,082 X 8.62 = 5,072.80 GALLONS = 882.80 CUBIC FEET</p> <p>HYDROZONE 4 ROOF LEVEL SHRUB 16.49 X 0.2 X 1,092 X 8.62 = 3,043.90 GALLONS = 541.71 CUBIC FEET</p> <p>HYDROZONE 5 ROOF LEVEL GROUNDROOF 16.49 X 0.2 X 561 X 8.62 = 2,477.80 GALLONS = 438.01 CUBIC FEET</p> <p>TOTAL 8,413 36,961.76 GALLONS 7,111.54 CUBIC FEET</p> <p>Prepared by Thomas Rengstorf 12/14/2015 Page 2</p>	<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>HYDROZONE 1 Level 1 SHRUB, NORTHEAST 16.88 X 0.2 X 1,528 X 8.62 = 21,819.40 GALLONS = 3,917.89 CUBIC FEET</p> <p>HYDROZONE 2 Level 1 SHRUB, SOUTH 16.82 X 0.2 X 4,201 X 8.62 = 49,927.76 GALLONS = 8,604.46 CUBIC FEET</p> <p>HYDROZONE 3 Level 1 SHRUB, WEST 14.49 X 0.2 X 4,082 X 8.62 = 5,072.80 GALLONS = 882.80 CUBIC FEET</p> <p>HYDROZONE 4 ROOF LEVEL SHRUB 16.49 X 0.2 X 1,092 X 8.62 = 3,043.90 GALLONS = 541.71 CUBIC FEET</p> <p>HYDROZONE 5 ROOF LEVEL GROUNDROOF 16.49 X 0.2 X 561 X 8.62 = 2,477.80 GALLONS = 438.01 CUBIC FEET</p> <p>TOTAL 8,413 36,961.76 GALLONS 7,111.54 CUBIC FEET</p> <p>Prepared by Thomas Rengstorf 12/14/2015 Page 2</p>
--	--

Water Budget: Preliminary Improvement

<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>WATER BUDGET PER CITY OF BELLEVUE ZONING CODE - PRELIMINARY IMPROVEMENT</p> <p>TOTAL LANDSCAPE AREA: 8,433 S.F.</p> <p>ET: EVAPOTRANSPIRATION RATE (not seasonal irrigation requirement in inches) AP: ADJUSTMENT FACTOR VALUE LA: LANDSCAPE AREA IN SQUARE FEET CF: CONVERSION FACTOR (870 inches to gallons per square foot) IPR: IRRIGATION WATER BUDGET IN GALLONS</p> <p>THIS WATER BUDGET IS CALCULATED USING THE FOLLOWING FORMULA</p> $ET \times AP \times LA \times CF = IPR$ <p>14.49 0.8 X 8,433 X 8.62 = 10,106.42 GALLONS</p> <p>ESTIMATED WATER USE</p> <p>ET: EVAPOTRANSPIRATION RATE (not seasonal irrigation requirement in inches) PP: PLANT FACTOR VALUE: 0.4-1.0 LOW WATER USE, 0.4-0.6 MEDIUM WATER USE, 0.7-1.0 HIGH WATER USE IA: IRRIGATION AREA IN SQUARE FEET CF: CONVERSION FACTOR (870 inches to gallons per square foot) IE: IRRIGATION EFFICIENCY 0.65 FOR SPRAY IRRIGATION, 0.55 FOR DRIP IRRIGATION IPW: ESTIMATED WATER USE FOR EACH HYDROZONE (AN AREA WHERE PLANTS REQUIRE SIMILAR AMOUNTS OF WATER) IN GALLONS</p> <p>ESTIMATED WATER USE IS CALCULATED USING THE FOLLOWING FORMULA</p> $ET \times IE \times IA \times CF = IPW$	<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>HYDROZONE 1 Level 1 SHRUB, NORTHEAST 16.88 X 0.2 X 1,096 X 8.62 = 14,743.14 GALLONS = 1,971.81 CUBIC FEET</p> <p>HYDROZONE 2 Level 1 SHRUB, SOUTH/WEST 16.82 X 0.2 X 4,201 X 8.62 = 49,927.76 GALLONS = 8,604.46 CUBIC FEET</p> <p>HYDROZONE 3 Level 1 SHRUB, SOUTH 14.49 X 0.2 X 4,082 X 8.62 = 5,072.80 GALLONS = 882.80 CUBIC FEET</p> <p>HYDROZONE 4 ROOF LEVEL SHRUB 16.49 X 0.2 X 1,092 X 8.62 = 3,043.90 GALLONS = 541.71 CUBIC FEET</p> <p>HYDROZONE 5 ROOF LEVEL GROUNDROOF 16.49 X 0.2 X 561 X 8.62 = 2,477.80 GALLONS = 438.01 CUBIC FEET</p> <p>TOTAL 8,413 40,726.84 GALLONS 5,836.59 CUBIC FEET</p> <p>Prepared by Thomas Rengstorf 12/14/2015 Page 1</p>
---	--

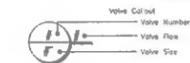
<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>HYDROZONE 1 Level 1 SHRUB, NORTHEAST 16.88 X 0.2 X 1,096 X 8.62 = 14,743.14 GALLONS = 1,971.81 CUBIC FEET</p> <p>HYDROZONE 2 Level 1 SHRUB, SOUTH/WEST 16.82 X 0.2 X 4,201 X 8.62 = 49,927.76 GALLONS = 8,604.46 CUBIC FEET</p> <p>HYDROZONE 3 Level 1 SHRUB, SOUTH 14.49 X 0.2 X 4,082 X 8.62 = 5,072.80 GALLONS = 882.80 CUBIC FEET</p> <p>HYDROZONE 4 ROOF LEVEL SHRUB 16.49 X 0.2 X 1,092 X 8.62 = 3,043.90 GALLONS = 541.71 CUBIC FEET</p> <p>HYDROZONE 5 ROOF LEVEL GROUNDROOF 16.49 X 0.2 X 561 X 8.62 = 2,477.80 GALLONS = 438.01 CUBIC FEET</p> <p>TOTAL 8,413 40,726.84 GALLONS 5,836.59 CUBIC FEET</p> <p>Prepared by Thomas Rengstorf 12/14/2015 Page 2</p>	<p>1000 100th AVE WATER BUDGET 12/14/2015</p> <p>Prepared by: Thomas Rengstorf Associates 911 Western Ave. Suite 202 Seattle, WA 98104</p> <p>Tel: (206) 862-7682 Fax: (206) 862-4721</p> <p>HYDROZONE 1 Level 1 SHRUB, NORTHEAST 16.88 X 0.2 X 1,096 X 8.62 = 14,743.14 GALLONS = 1,971.81 CUBIC FEET</p> <p>HYDROZONE 2 Level 1 SHRUB, SOUTH/WEST 16.82 X 0.2 X 4,201 X 8.62 = 49,927.76 GALLONS = 8,604.46 CUBIC FEET</p> <p>HYDROZONE 3 Level 1 SHRUB, SOUTH 14.49 X 0.2 X 4,082 X 8.62 = 5,072.80 GALLONS = 882.80 CUBIC FEET</p> <p>HYDROZONE 4 ROOF LEVEL SHRUB 16.49 X 0.2 X 1,092 X 8.62 = 3,043.90 GALLONS = 541.71 CUBIC FEET</p> <p>HYDROZONE 5 ROOF LEVEL GROUNDROOF 16.49 X 0.2 X 561 X 8.62 = 2,477.80 GALLONS = 438.01 CUBIC FEET</p> <p>TOTAL 8,413 40,726.84 GALLONS 5,836.59 CUBIC FEET</p> <p>Prepared by Thomas Rengstorf 12/14/2015 Page 2</p>
--	--

LEVEL 5

LEVEL 5 IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER IC2-101-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.		MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE, 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.
	AREA TO RECEIVE DRIPLINE NETAFIM T1CV-04-12 (12) TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE. 0.4GPH EMITTERS AT 12.0" O.C. DRIPLINE LATERALS SPACED AT 12.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.		K COPPER STUB-OUT - MAIN LINES PROVIDE K COPPER STUB-OUT WHEN ENTERING A STRUCTURE. PROVIDE MINIMUM 6" STUB-OUT BEYOND FINISHED BUILDING FACE, BELOW FINISHED GRADE AT IRRIGATION MAIN LINE DEPTH.
	K COPPER STUB-OUT - LATERAL LINES PROVIDE K COPPER LATERAL LINE STUB-OUT FOR IRRIGATION LATERAL LINES ENTERING/EXITING THE STRUCTURE TO FEED REMOTE STAND ALONE PLANTERS. PROVIDE MINIMUM 6" STUB-OUT TO CONNECT SCH 40 PVC.		POINT OF CONNECTION 3/4" DOMESTIC TAP FROM MAIN DOMESTIC SUPPLY ON LEVEL 5

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION LATERAL LINE: TYPE K COPPER PIPE
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: TYPE K COPPER PIPE
	PIPE SLEEVE: PVC CLASS 200 SDR 21 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.



IRRIGATION SCHEDULE - ALL LEVELS & WATER BUDGET FORMS

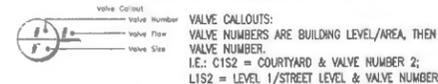
NO SCALE

STREET LEVEL

STREET LEVEL IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	TORO 0-T-570S-PRX 5 SERIES SHRUB SPRAY, FIXED RISER WITH X-FLOW SHUT-OFF DEVICE AND PRESSURE REGULATOR, PRECISION SERIES SPRAY NOZZLES.
	HUNTER PROS-00-PCN FLOOD BUBBLER, ON FIXED RISER.
	HUNTER IC2-101-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 0.5 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.
	AREA TO RECEIVE DRIPLINE NETAFIM T1CV-04-12 (12) TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE. 0.4GPH EMITTERS AT 12.0" O.C. DRIPLINE LATERALS SPACED AT 12.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.
	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	HUNTER HQ-33DLRC QUICK COUPLER VALVE, YELLOW LOCKING RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 3/4" NPT INLET, 2-PIECE BODY.
	MUELLER MARK II ORISEAL STRAIGHT METER VALVE - LINE SIZE
	HUNTER IBV 1" 1", 1-1/2", 2", AND 3" BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	MANUAL DRAIN VALVE BUCKNER VBM SERIES ALL BRASS ANGLE VALVES
	FIBCO 850U 1" DOUBLE CHECK BACKFLOW PREVENTION WITH UNION END BALL VALVE, 1/2" TO 2".
	HUNTER IC-1200-SS MODULAR CONTROLLER, 12 STATIONS, OUTDOOR MODEL, STAINLESS STEEL CABINET, COMMERCIAL USE WITH ONE ICM-80D MODULE INCLUDED.
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.
	K COPPER STUB-OUT - MAIN LINES PROVIDE K COPPER STUB-OUT WHEN ENTERING A STRUCTURE. PROVIDE MINIMUM 6" STUB-OUT BEYOND FINISHED BUILDING FACE, BELOW FINISHED GRADE AT IRRIGATION MAIN LINE DEPTH.
	K COPPER STUB-OUT - LATERAL LINES PROVIDE K COPPER LATERAL LINE STUB-OUT FOR IRRIGATION LATERAL LINES ENTERING/EXITING THE STRUCTURE TO FEED REMOTE STAND ALONE PLANTERS. PROVIDE MINIMUM 6" STUB-OUT TO CONNECT SCH 40 PVC.
	WATER METER 1"

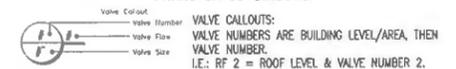
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION LATERAL LINE: TYPE K COPPER PIPE
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: TYPE K COPPER PIPE
	PIPE SLEEVE: PVC CLASS 200 SDR 21 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.



ROOF LEVEL

ROOF IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	TORO 0-T-570S-PRX 5 SERIES SHRUB SPRAY, FIXED RISER WITH X-FLOW SHUT-OFF DEVICE AND PRESSURE REGULATOR, PRECISION SERIES SPRAY NOZZLES.
	TORO 0-T-570S-PRX B SERIES SHRUB SPRAY, FIXED RISER WITH X-FLOW SHUT-OFF DEVICE AND PRESSURE REGULATOR, PRECISION SERIES SPRAY NOZZLES.
	TORO 0-T-570S-PRX 4X STRIP SPRAY SHRUB SPRAY, FIXED RISER WITH X-FLOW SHUT-OFF DEVICE AND PRESSURE REGULATOR, PRECISION SERIES SPRAY NOZZLES.
	HUNTER PROS-00-PCN FLOOD BUBBLER, ON FIXED RISER.
	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	HUNTER HQ-33DLRC QUICK COUPLER VALVE, YELLOW LOCKING RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 3/4" NPT INLET, 2-PIECE BODY.
	MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE, 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.
	FIBCO 850U 3/4" DOUBLE CHECK BACKFLOW PREVENTION WITH UNION END BALL VALVE, 1/2" TO 2".
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.
	K COPPER STUB-OUT - MAIN LINES PROVIDE K COPPER STUB-OUT WHEN ENTERING A STRUCTURE. PROVIDE MINIMUM 6" STUB-OUT BEYOND FINISHED BUILDING FACE, BELOW FINISHED GRADE AT IRRIGATION MAIN LINE DEPTH.
	POINT OF CONNECTION 3/4" DOMESTIC TAP FROM MAIN DOMESTIC WATER SUPPLY TO ROOF LEVEL
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION LATERAL LINE: TYPE K COPPER PIPE
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: TYPE K COPPER PIPE
	PIPE SLEEVE: PVC CLASS 200 SDR 21 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.



1402 3rd Ave Suite 1000
Seattle, WA 98101



FOR PERMIT ONLY

THIS DRAWING HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES



THOMAS V. RENGSTORF
LICENSED PROFESSIONAL ENGINEER

1000 100TH AVENUE
Ballwin, WA
CONTINENTAL PROPERTIES

REV 1 ADR RESUBMISSION 12/18/15
REV 2 ADR RESUBMISSION 01/11/16
REV 3 ADR-EARLY WINS 03/31/16

15138
15-120258 - LD
MHP/JSL/PL/BT
ADR-EARLY WINS 03/31/16

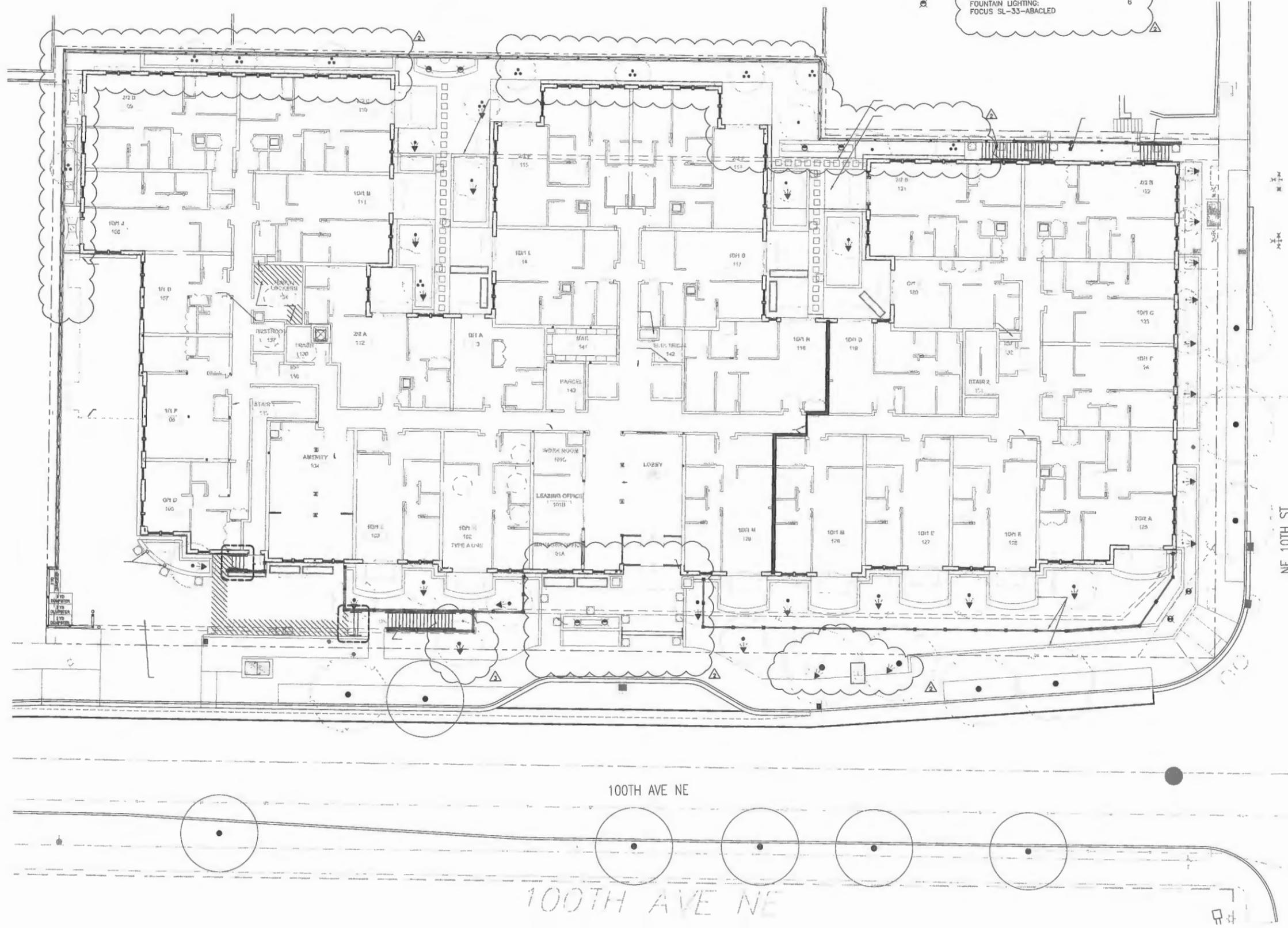
IRRIGATION SCHEDULE - ALL LEVELS & WATER BUDGET FORMS

L1.07

© 2015 Encore Architects pllc

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
▼	TREE UPLIGHT: LITHUANIA OLBS	28
⊖	SIGN LIGHTING: LITHONIA OLBF	2
□	RECESSED WALL AND STEP LIGHT (LED): ORACLE ST403-BZ/ST48X-LED-WW-120V	28
⊗	FOUNTAIN LIGHTING: FOCUS SL-33-ABACLED	6

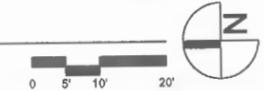


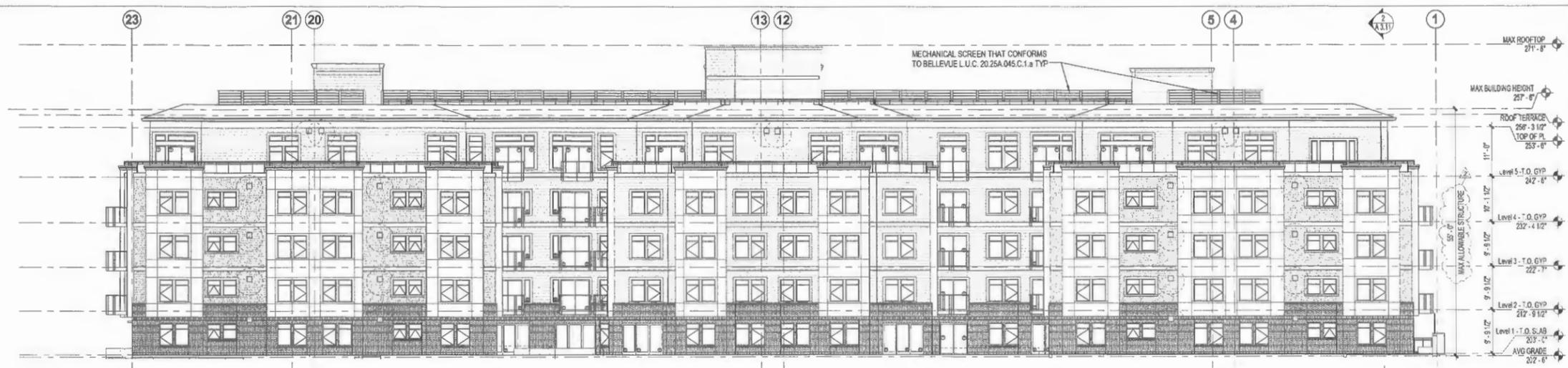
1000 100TH AVE NE
1000 100TH AVE NE
Bellevue, WA
CONTINENTAL PROPERTIES

REV 1 ADR RESUBMISSION	12/15/15
REV 2 ADR RESUBMISSION	01/11/16
REV 3 ADR-EARLY WINS	03/16

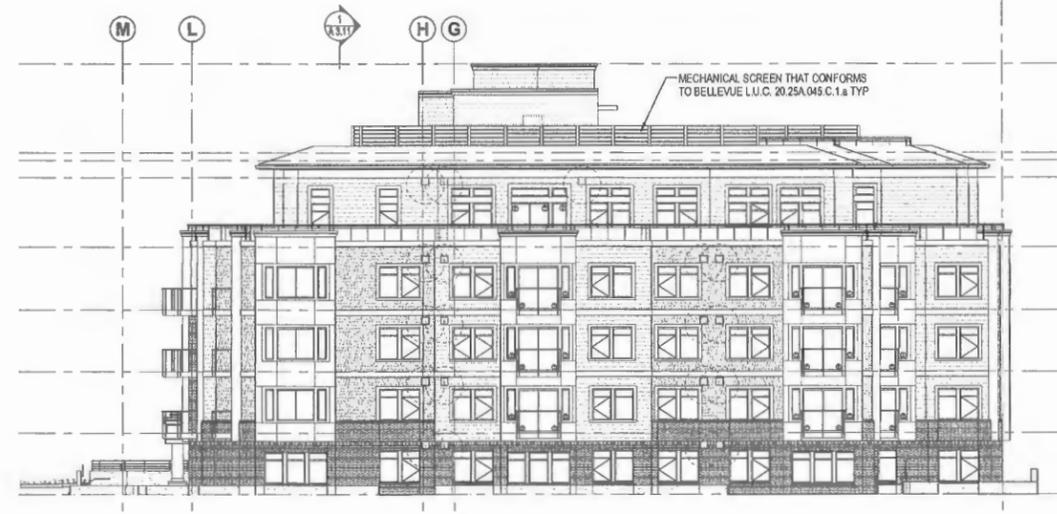
16135
15-120288 - LD
TR MHF/JSE/LP/BT
ADR-EARLY WINS 6/3/2016

LANDSCAPE LIGHTING PLAN - STREET LEVEL

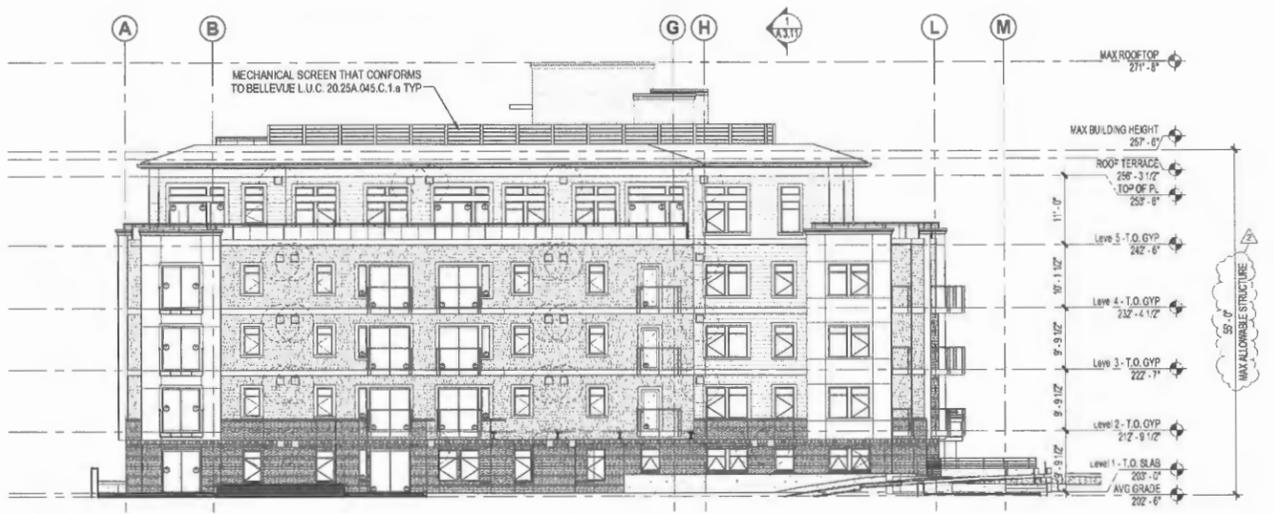




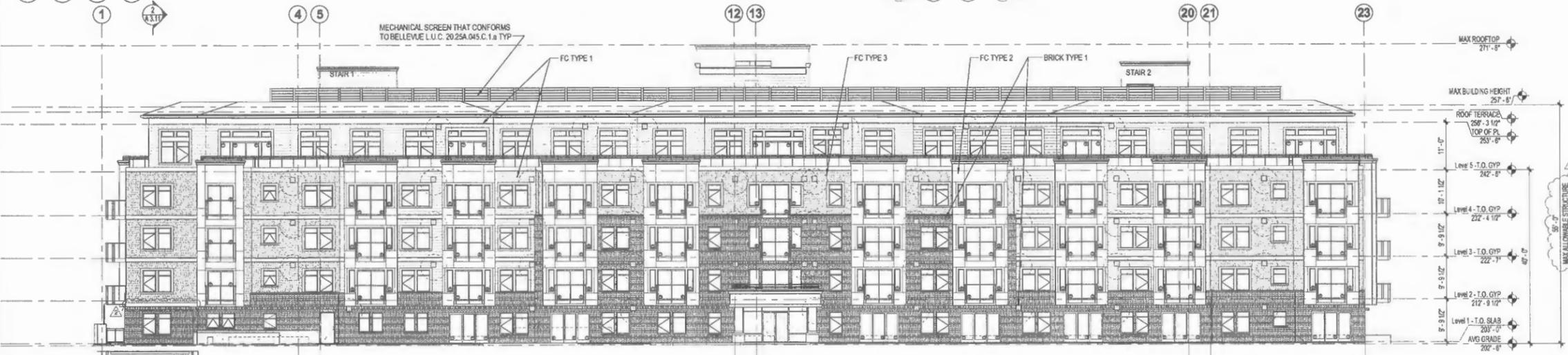
1 EAST ELEVATION
322'-11 1/2"



2 SOUTH ELEVATION
99'-11 1/2"

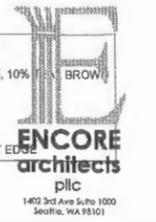


3 NORTH ELEVATION
322'-11 1/2"



4 WEST ELEVATION
322'-11 1/2"

- MATERIALS**
- BRICK BLEND: 50% SIENNA, 40% BROWN VARTONE, 10% BROWN
 - FC TYPE 1: FC LAP SIDING 5" EXPOSURE
 - FC TYPE 2: FC PANEL SIDING
 - FC TYPE 3: FC SHAKER STYLE SIDING W/ STRAIGHT EDGE



FOR PERMIT ONLY

THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

1000 100TH AVENUE

1000 100TH AVENUE
BELLEVUE, WA
CONTINENTAL PROPERTIES
L.L.C.

NO.	DATE	REVISION
1	12/15/15	ADR 1ST PRELIMINARY
2	5/13/16	ADR 2ND PRELIMINARY
4	8/01/16	ADR - EARLY WINS

PROJECT NO: 15135
 DRAWING NUMBER: 15-120258 LD
 TITLE: EXTERIOR ELEVATIONS
 DATE: TH, FW, RD
 ADR - Early Wins 8/01/16

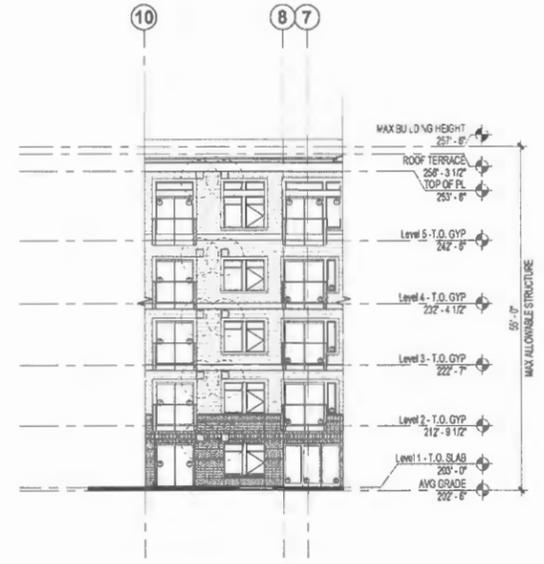
EXTERIOR ELEVATIONS

A 3.01

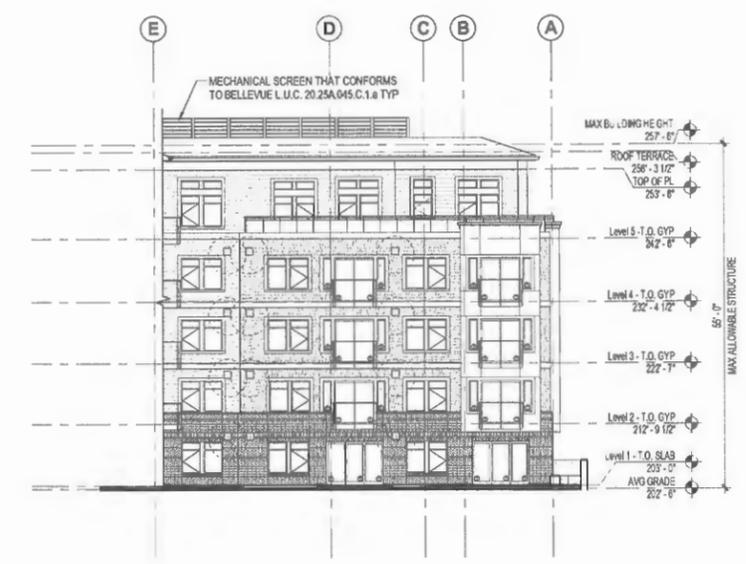
REGISTERED ARCHITECT
VINCENT J. FERRELL
STATE OF WASHINGTON
FOR PERMIT ONLY
THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES



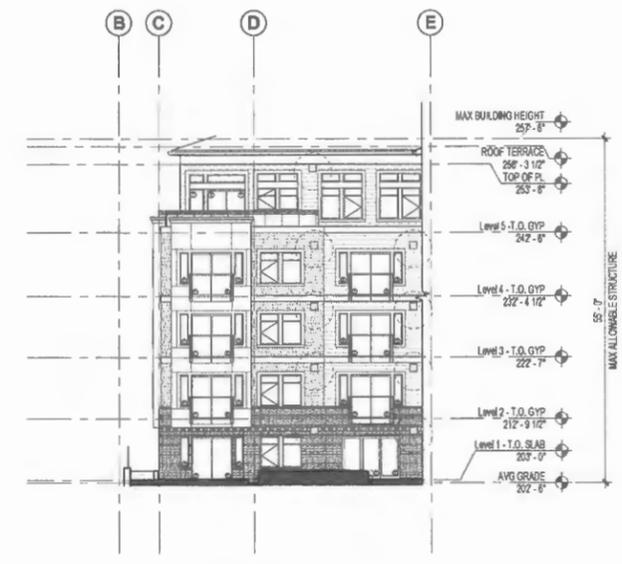
1 N. COURTYARD N. ELEVATION
3/32" = 1" = 0"



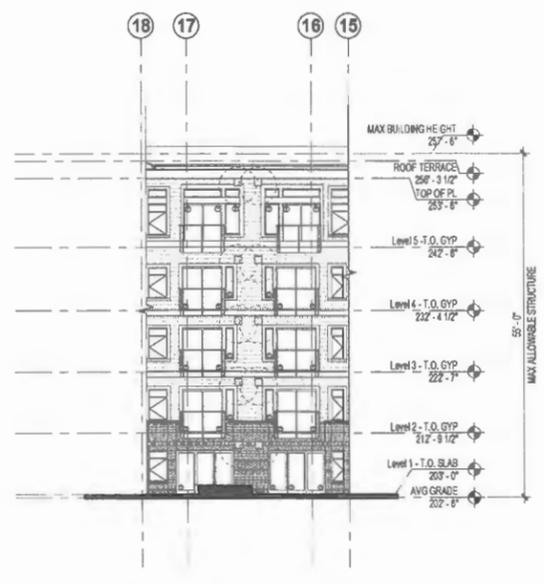
2 N. COURTYARD E. ELEVATION
3/32" = 1" = 0"



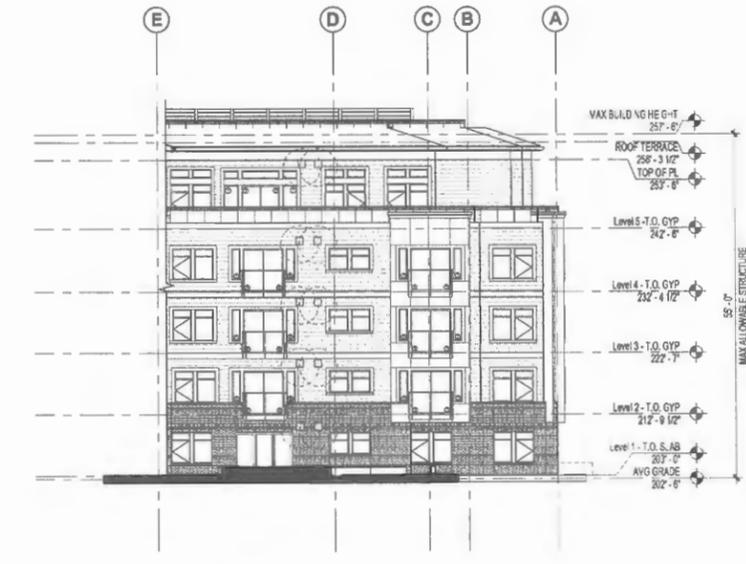
3 N. COURTYARD S. ELEVATION
3/32" = 1" = 0"



4 S. COURTYARD N. ELEVATION
3/32" = 1" = 0"



5 S. COURTYARD E. ELEVATION
3/32" = 1" = 0"



6 S. COURTYARD S. ELEVATION
3/32" = 1" = 0"

1000 100TH AVENUE

1000 100TH AVENUE
BELLEVUE, WA
CONTINENTAL PROPERTIES
LLC

NO.	DATE	REVISION
1	12/15/15	ADR 1ST RESUBMITTAL
2	01/13/16	ADR 2ND RESUBMITTAL
4	06/11/16	ADR - EARLY WINS

PROJECT NO: 16136
DRAWING NUMBER: 15-120288 LD
DATE PLOTTED: 01/13/16
PLOTTER: T14, FW, RD
ADR - Early Wins 6/01/16

EXTERIOR ELEVATIONS
A 3.02

ATTACHMENT B
(FAR and Amenity Calculations)

CITY OF BELLEVUE LAND USE CODE ANALYSIS, DNTN-R DISTRICT

FAR AMENITY INCENTIVE SYSTEM WORKSHEET, RESIDENTIAL/Perimeter Subdistrict A

PROJECT NAME: 1000 100th Ave NE

District: DNTN-R

Project Number: 15-120258 LD

Location: 1000 100TH AVE NE

Residential/Non Residential: Residential

Date Prepared: 7/14/2016

Lot Area (SF): 44,837

Project Limits (Net On-Site Land Area) (SF): **44,837**

FAR CALCULATIONS

	Basic	Maximum (Y)
Allowable Floor Area Ratio, Residential (FAR)	2.0	3.5
Allowable Floor Area	89,674	156,930
Minimum Basic Required Amenity Floor Area (.2 x .5 x Project Limit)		4,484

AMENITIES (See LUC 20.25A.020.C & 030.C)

BASIC REQUIRED AMENITIES

	Unit of Measure	Bonus Per Unit	Maximum Points (B)	Area or Value	
Pedestrian Oriented Frontage*	1 lf	100.0	n/a	0	0
Pedestrian Oriented Frontage**	1 lf	50.0	n/a	0	0
Landscape Feature	1 sf	4.0	n/a	1,423	5,692
Landscape Feature off Intersection	1 sf	8.0	n/a	62	496
Arcade	1 sf	6.0	n/a	0	0
Arcade Level 2	1 sf	6.0	n/a	0	0
Marquee	1 sf	2.0	n/a	0	0
Awning	1 sf	0.5	n/a	0	0
Sculpture or Artwork	\$100	5.0	n/a	\$0	0
Water Feature	\$100	8.0	n/a	\$15,000	1,200
Earned Basic Amenity Points					7,388

ADDITIONAL BONUS AMENITIES

Exterior Plaza*	1 sf	4.0	20,000	0	0
Enclosed Plaza	1 sf	4.0	n/a	0	0
Landscape Area	1 sf	1.0	n/a	0	0
Active Recreation Area	1 sf	1.0	n/a	0	0
Residential Uses	1 sf	2.0	n/a	0	0
Underground Parking	1 sf	3.0	n/a	64,625	193,875
Above Grade Parking, Residential	1 sf	3.0	n/a	0	0
Child Care Services***	1 sf	8.0	n/a	0	0
Public Restrooms	1 sf	4.0	n/a	0	0
Space for Non-Profit Social Services	1 sf	4.0	20,000	0	0
Park Property Donation	1 sf	5.0	n/a	0	0
TOTAL EARNED ADDITIONAL AMENITY BONUS POINTS					193,875

TOTAL EARNED ADDITIONAL AMENITY BONUS POINTS

TOTAL EARNED AMENITY POINTS

201,263

PROJECT PROGRAM

Proposed Building Gross Floor Area	205,515	
Floor Area Exempt from FAR	69,002	
Gross Floor Area for FAR Calculation	136,513	
Maximum Allowable Building Floor Area		156,930

ANALYSIS OF AMENITY BONUS POINTS

Earned Basic Amenity Points	7,388
Required Basic Amenity Points	4,484
Surplus Basic Amenity Points	2,904
Earned Additional Amenity Points	193,875
Total Bonus Points Provided (Surplus Basic + Earned Additional)	196,779
Bonus Points Required (GFA - Basic Allowable Floor Area)	46,839
Total Surplus Amenity Bonus Points	149,940

Transferable Bonus Points Available

Additional Bonus Amenities Available for Transfer	149,940
Total Amenity Bonus Points for Transfer	149,940

FAR for **Project**

3.04

* Located on the ground level

** Located at the upper level outside the City Center District

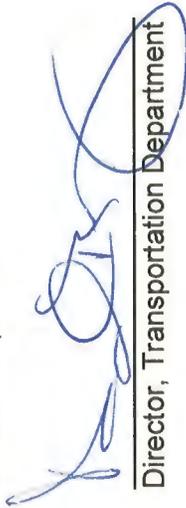
*** Bonus floor area may be excluded from calculation of maximum floor area ratio.

ATTACHMENT C
(Certificate of Concurrence)

CERTIFICATE OF CONCURRENCY

Vuecrest Apartments

This certificate documents the Transportation Department Director's decision that the development project at 1000 100th Avenue NE (File No. 15-120258 LD) complies with the requirements of the Traffic Standards Code (BCC 14.10). This decision reserves 41 net new p.m. peak hour trips to that project, subject to Process II appeal of either the concurrency determination or the Design Review decision. This reservation will expire one year from the land use decision date unless a complete building permit application is filed prior to that date (BCC 14.10.040F). At the time of a complete building permit application, the concurrency reservation will remain in effect for the life of that application (BCC 23.05.090H). Upon issuance of the building permit, concurrency is reserved for one year; the applicant may request up to two one-year extensions (BCC 23.05.100E).



Director, Transportation Department

7-21-16

Date

Certificate No. 106