

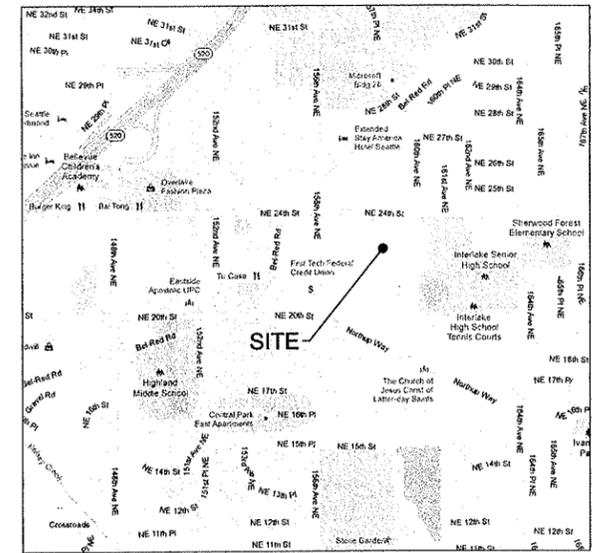
Bellevue Technology Center - Bldg. A



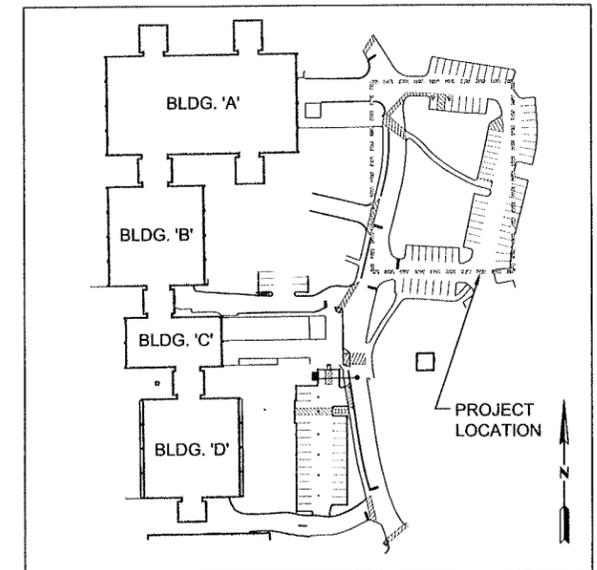
BELLEVUE TECHNOLOGY CENTER PRELIMINARY BUILDING 'A' SITE IMPROVEMENTS FOR PUD ADMINISTRATIVE AMENDMENT

APPLICATION #XX-XXXXXX XX
2333 - 158th COURT NE
BELLEVUE, WA 98007

DATE: NOVEMBER 2014



VICINITY MAP
N.T.S.



PROJECT LOCATION MAP
N.T.S.

Prepared for: TRANSWESTERN
Contact: Mr. Mark Jackson
2018 - 156th Ave. N.E., Suite 100
Bellevue, WA 907

Overlay District: Crossroads Subarea
Comprehensive Plan Designation: Office (O)
Zoning: Office (O)

SHEET INDEX

- | | |
|---|---------------------------------------|
| | COVER (SHEET INDEX / VICINITY MAP) |
| 1 | TOPOGRAPHIC SURVEY |
| 2 | SITE PLAN |
| 3 | PRELIMINARY DRAINAGE AND GRADING PLAN |
| 4 | PRELIMINARY LANDSCAPING AND LIGHTING |
| 5 | GENERAL NOTES |
| 6 | GENERAL DETAILS |



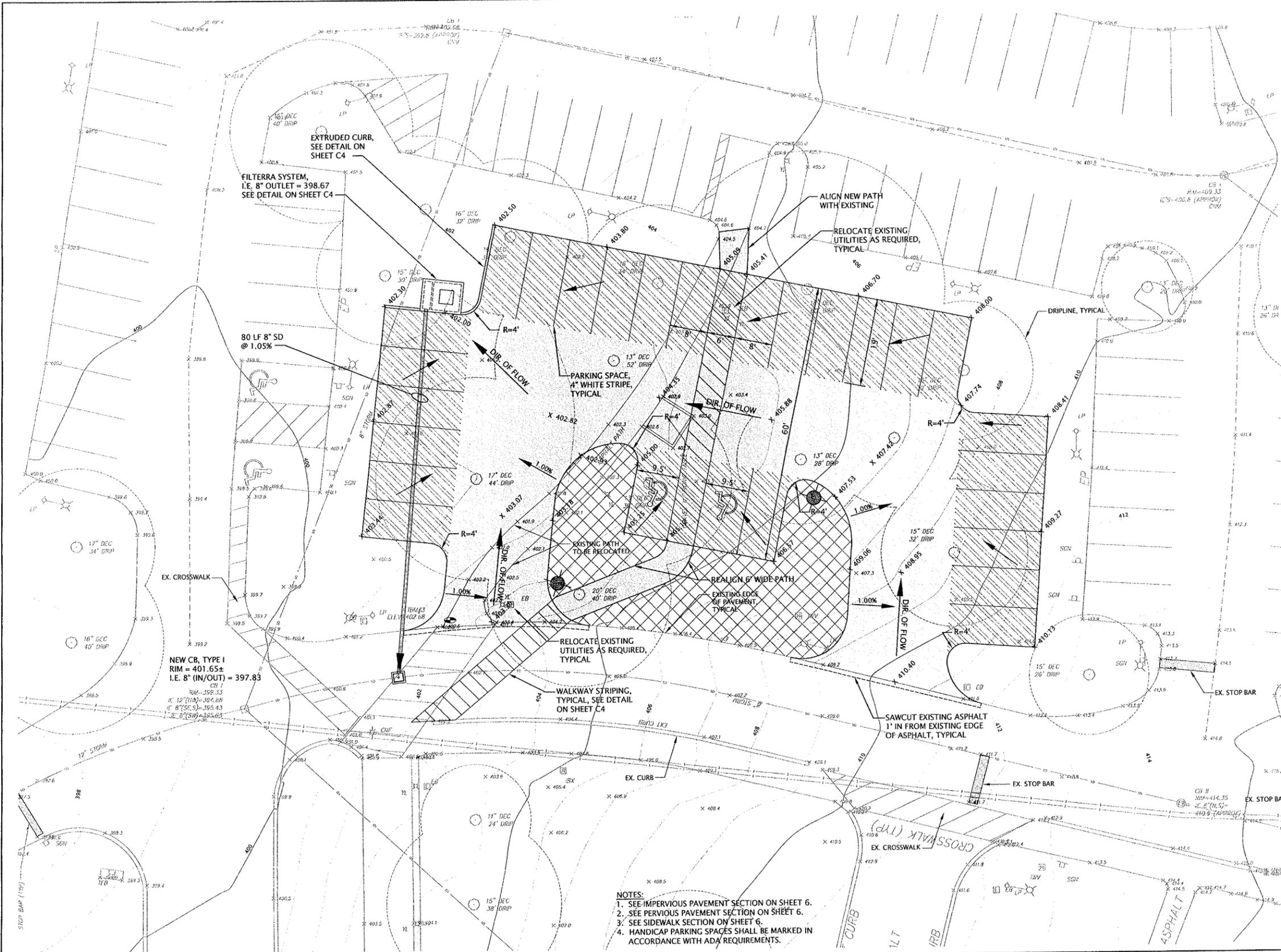
City of
Bellevue

GOLDSMITH
LAND DEVELOPMENT SERVICES
1215 114th Ave SE, Bellevue, WA 98004 | PO Box 3565, Bellevue, WA 98009
T 425 462 1080 F 425 462 7719 www.goldsmitheengineering.com

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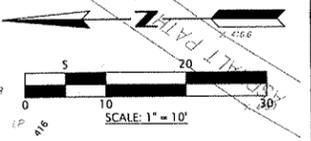
GRID L-5, SECTION 26, TOWNSHIP 25N, RANGE 5E, W.M.

STATISTICAL INFORMATION SHEET		
Note: If Site Plan B is required for your project, this information must also appear on the Site Plan		
1 Land Use Zone	Office	
2 Site Area, in square feet and acres	Lot 1, 538,669 sf; 12.37 ac	
3 Site Data Summary	Required/Allowed	Proposed
a Number of dwelling units per acre	N/A	N/A
b Total number of dwelling units	N/A	N/A
c Area of each proposed structure	Net	N/A
	Net leasable (for Shopping Center)	N/A
	Gross	N/A
d Floor Area Ratio (F.A.R.)	N/A	
e Area of proposed building by use	Net	N/A
	Gross	N/A
4 Percentage of lot coverage	0.1	
5 Amount of impervious area in square feet	4,753	
6 Curbfit (cubic yards)	272	
7 Building height Measured from avg. existing grade in Showings & Transition Areas, measured from average finished grade for all other areas	N/A	
8 Parking: Total # of spaces for the project	25	25
a # of spaces by each proposed use	25	25
b The percentage of compact stalls	0	0
c The percentage of handicapped stalls	0	8%
9 Area of Proposed Landscaping or mitigation	N/A	
a Adjacent to right-of-way	N/A	
b Adjacent to historic or property lines	N/A	
c Within the parking area	Tree Plan	
d Significant Trees to be retained	5	



PAVEMENT LEGEND

	IMPERVIOUS PAVEMENT = 4,753 SF
	PERVIOUS PAVEMENT = 4,556 SF



THE ON-SITE STORM DRAINAGE SYSTEM IS PRIVATE
VERTICAL DATUM: NAVD 88

APPROVED BY

- NOTES:**
1. SEE IMPERVIOUS PAVEMENT SECTION ON SHEET 6.
 2. SEE PERVIOUS PAVEMENT SECTION ON SHEET 6.
 3. SEE SIDEWALK SECTION ON SHEET 6.
 4. HANDICAP PARKING SPACES SHALL BE MARKED IN ACCORDANCE WITH ADA REQUIREMENTS.

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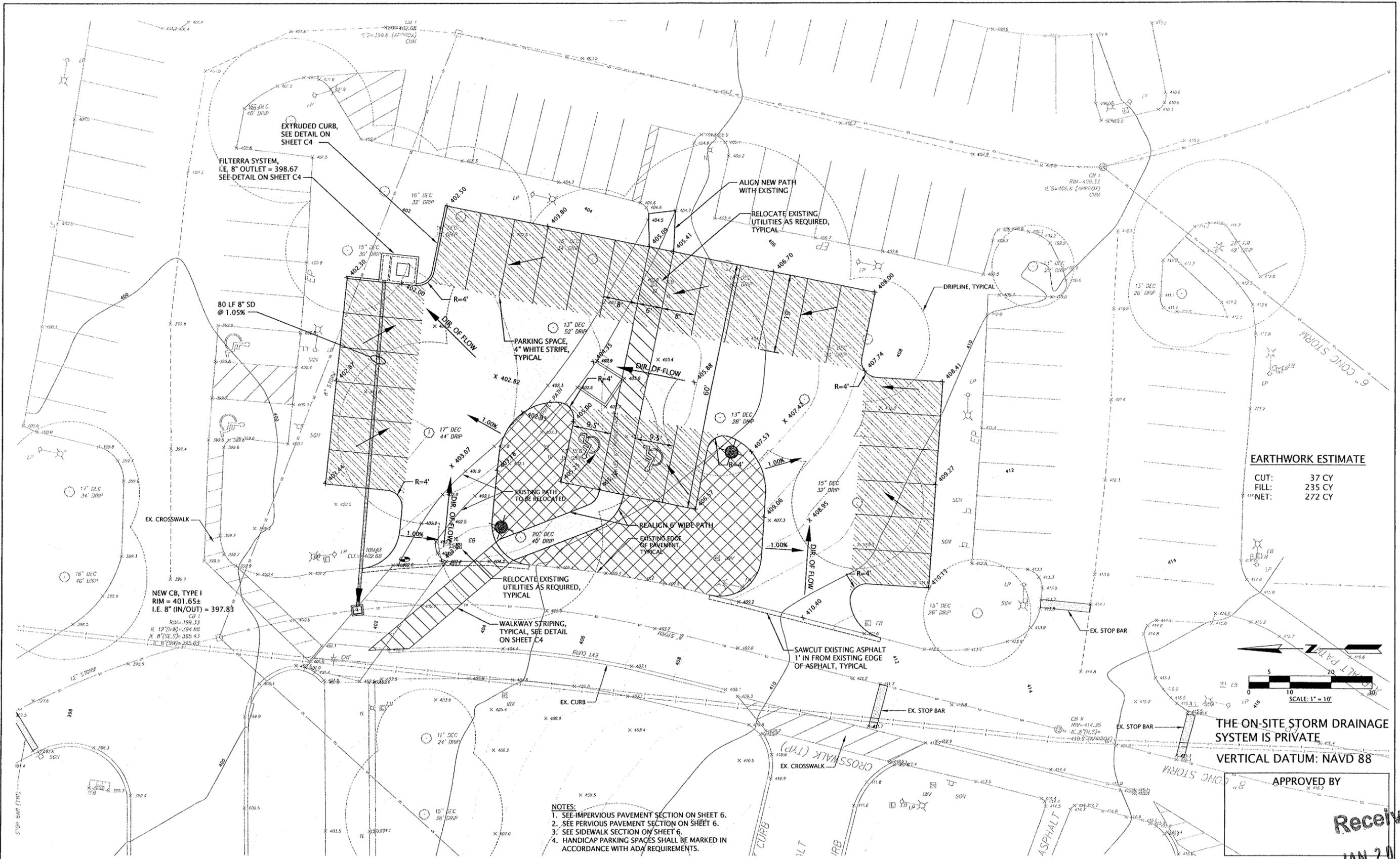
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KEITH J. GOLDSMITH
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
NO. 35000
MARK A. WARNER
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
NO. 35000

KBS CAPITAL ADVISORS
BUILDING 'A' SITE IMPROVEMENTS FOR PARKING
2333 - 158th CT. NE, BELLEVUE, WA 98007
SITE PLAN
BELLEVUE TECHNOLOGY CENTER
APPLICATION #XX-XXXXXX XX
GRID L-5, SEC. 26, TWP. 25N, RGE. 5E, W.M.

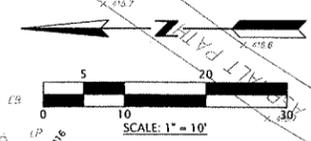
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EARTHWORK ESTIMATE

CUT:	37 CY
FILL:	235 CY
NET:	272 CY



THE ON-SITE STORM DRAINAGE SYSTEM IS PRIVATE
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KBS CAPITAL ADVISORS
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 2333 - 158th CT. NE, BELLEVUE, WA 98007
PRELIMINARY DRAINAGE AND GRADING PLAN
BELLEVUE TECHNOLOGY CENTER
 APPLICATION #XX-XXXXXX XX
 GRID L-5, SEC. 26, TWP. 25N, RGE. 5E, W.M.

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STORM DRAINAGE GENERAL NOTES:

- (1) ALL WORK SHALL CONFORM TO THE 2013 EDITION OF THE CITY OF BELLEVUE UTILITIES CONTROL ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
- (2) STORM PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4" - 15") OR ASTM F-679 (18"-27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
- (3) THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE EXCAVATOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IMMEDIATELY NOTIFY THE ENGINEER IF A CONFLICT EXISTS.
- (4) THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED AND SHALL SEPARATELY CONVEY COLLECTED FLOWS TO THE CONVEYANCE SYSTEM OR TO ON-SITE STORMWATER FACILITIES.
- (5) PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE SITES APPROVED CSWPPP. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
- (6) PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAIN SYSTEM, (SUCH AS RUBBLE, MORTAR AND WEDGED DEBRIS), SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
- (7) ENDS OF EACH STORM DRAIN STUB AT THE PROPERTY LINE SHALL BE CAPPED AND LOCATED WITH AN 8" LONG 2" X 4" BOARD, EMBEDDED TO THE STUB CAP AND EXTENDING AT LEAST 3 FEET ABOVE GRADE, AND MARKED PERMANENTLY "STORM". A COPPER 12 GA. LOCATE WIRE FIRMLY ATTACHED. THE STUB DEPTH SHALL BE INDICATED ON THE MARKER.
- (8) ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOCKING, VANED GRATES PER THE STANDARD DETAILS. STRUCTURES IN TRAFFIC LANES OUTSIDE OF THE CURBLINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOCKING SOLID COVERS. OFF-STREET STRUCTURES WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH BOLT-LOCKING SOLID COVERS.
- (9) VEGETATION/LANDSCAPING IN THE DETENTION POND, BIORETENTION FACILITY, VEGETATED ROOF AND/OR DRAINAGE SWALE(S) ARE AN INTEGRAL PART OF THE RUNOFF TREATMENT SYSTEM FOR THE PROJECT. SUCH DRAINAGE FACILITIES WILL NOT BE ACCEPTED UNTIL PLANTINGS ARE ESTABLISHED.
- (10) ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS. ALL NEW CATCH BASINS SHALL CONFORM TO THE STANDARD DETAILS.
- (11) SIDE STORM STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE/ CATCH BASIN.
- (12) ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
- (13) ALL TRENCHES SHALL BE COMPACTED, AND HOT MIX ASPHALT IN PAVED AREAS, PRIOR TO TESTING STORM LINES FOR ACCEPTANCE.
- (14) ALL PUBLIC STORM DRAINS SHALL BE AIR TESTED AND HAVE A VIDEO INSPECTION PERFORMED PRIOR TO ACCEPTANCE (SEE #23 BELOW). STORM MAIN CONSTRUCTED WITH FLEXIBLE PIPE SHALL BE DEFLECTION TESTED WITH A MANDREL PRIOR TO ACCEPTANCE.
- (15) STORM STUBS SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN STORM IS TESTED.
- (16) ALL MANHOLES/ CATCH BASINS IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTMENT RINGS PER STANDARD DETAILS.
- (17) ALL STORM MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "GSTAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "CLINE AND GRADE" AND CUT SHEETS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION.
- (18) THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
- (19) STORM DRAINAGE MAINLINES, STUBS AND FITTINGS SHALL BE CONSTRUCTED USING THE SAME PIPE MATERIAL AND MANUFACTURER. CONNECTIONS BETWEEN STUBS AND THE MAINLINE WILL BE MADE WITH A TEE FITTING. TEE FITTING SHALL BE FROM SAME MANUFACTURER AS PIPE. CUT-IN CONNECTIONS ARE ONLY ALLOWED WHEN CONNECTING A NEW STUB TO AN EXISTING MAINLINE.
- (20) MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
- (21) PLACEMENT OF SURFACE APPURTENANCES (MH LIDS, VALVE LIDS, ETC) IN TIRE TRACKS OF TRAFFIC LANES SHALL BE AVOIDED WHENEVER POSSIBLE.
- (22) CALL 1-800-424-5555, OR 8-1-1, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATES.
- (23) THE CONTRACTOR SHALL PERFORM A VIDEO INSPECTION AND PROVIDE A DVD OF THE STORM PIPE INTERIOR FOR THE CITY'S REVIEW. THE VIDEO SHALL PROVIDE A MINIMUM OF 14 LINES PER MILLIMETER RESOLUTION AND COVER THE ENTIRE LENGTH OF THE APPLICABLE PIPE. THE CAMERA SHALL BE MOVED THROUGH THE PIPE AT A UNIFORM RATE (S 30 FT/MIN), STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION. THE VIDEO SHALL BE TAKEN AFTER INSTALLATION AND CLEANING TO INSURE THAT NO DEFECTS EXIST. THE PROJECT WILL NOT BE ACCEPTED UNTIL ALL DEFECTS HAVE BEEN REPAIRED.
- (24) CLEARLY LABEL PUBLIC AND PRIVATE SYSTEMS ON THE PLANS. PRIVATE SYSTEMS SHALL BE MARKED "PRIVATE" AND SHALL BE MAINTAINED BY THE PROPERTY OWNER(S).
- (25) ALL CONCRETE STRUCTURES (VAULTS, CATCH BASINS, MANHOLES, OIL/WATER SEPARATORS, ETC.) SHALL BE VACUUM TESTED.

- (26) MANHOLES, CATCH BASINS AND INLETS IN EASEMENTS SHALL BE CONSTRUCTED TO PROVIDE A STABLE, LEVEL GRADE FOR A MINIMUM RADIUS OF 2.5 FEET AROUND THE CENTER OF THE ACCESS OPENING TO ACCOMMODATE CONFINED SPACE ENTRY EQUIPMENT.
- (27) TOPS OF MANHOLES/ CATCH BASINS WITHIN PUBLIC RIGHT-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL AFTER PAVING.
- (28) CONTRACTOR SHALL ADJUST ALL MANHOLE/ CATCH BASIN RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
- (29) CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES/CATCH BASINS, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING STORM DRAINAGE SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
- (30) SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
- (31) THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF FIVE FEET (5') HORIZONTAL SEPARATION BETWEEN ALL WATER AND STORM DRAINAGE LINES. ANY CONFLICT SHALL BE REPORTED TO THE UTILITY AND THE DEVELOPER'S ENGINEER PRIOR TO CONSTRUCTION.
- (32) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT NO CONFLICTS EXIST BETWEEN STORM DRAINAGE LINES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- (33) BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS, WHICH WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY.
- (34) MINIMUM COVER OVER STORM DRAINAGE PIPE SHALL BE 2 FEET, UNLESS OTHERWISE SHOWN.
- (35) AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 DEGREES.
- (36) AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
- (37) WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITIES INSPECTOR PRIOR TO PERMIT SIGN-OFF.
- (38) THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC STORM DRAINAGE EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. THE CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.
- (39) WHERE A NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. ALTERNATIVELY, WHERE DIRECTED BY THE UTILITY, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO BOTTOM OF AC MAIN.

CLEARING AND GRADING STANDARD NOTES

- 1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE(COB) CLEARING & GRADING CODE, CLEARING & GRADING EROSION CONTROL STANDARD DETAILS (EC-1 THROUGH EC-23), DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT(PCD) PRIOR TO CONSTRUCTION.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES AND GEOGRID REINFORCED MODULAR BLOCK WALLS, MUST BE STAMPED BY A PROFESSIONAL ENGINEER.
- 2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- 3. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- 4. THE AREA TO BE CLEARED AND GRADED MUST FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING AND GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.
- 5. A REINFORCED SILT FENCE MUST BE INSTALLED IN ACCORDANCE WITH COB EC-5 AND SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING AND GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.
- 6. A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED PER CLEARING & GRADING STANDARD DETAIL EC-1 OR EC-2. THIS PAD MUST REMAIN IN PLACE UNTIL PAVING IS INSTALLED.
- 7. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- 8. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
- 9. TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ARE REQUIRED:
-PRESERVE NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR.
-PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH MATERIALS, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR.
-INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL.
-INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ONSITE.
- 10. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE UNIFORM BUILDING CODE.
- 11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- 12. TURBIDITY MONITORING MAY BE REQUIRED AS A CONDITION OF CLEARING AND GRADING PERMIT APPROVAL. IF REQUIRED, TURBIDITY MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR. MONITORING MUST CONTINUE DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN-OFF BY THE CLEARING AND GRADING INSPECTOR.
- 13. ANY PROJECT THAT IS SUBJECT TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING AND GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE PCD DIRECTOR. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30TH, AS DEFINED IN SECTION 23.76.093A OF THE CLEARING AND GRADING CODE.

CONSTRUCTION NOISE NOTES

- CONSTRUCTION NOISE OUTSIDE THE ALLOWABLE HOURS IS PROHIBITED PER BCC 9.18.040. TO BE CONSIDERED A VIOLATION, THE CONSTRUCTION-RELATED NOISE MUST BE AUDIBLE ACROSS A PROPERTY LINE OR AT LEAST 75 FEET FROM THE SOURCE. ANY VIOLATION IS A CIVIL INFRACTION AND THE CITY MAY ASSESS A MONETARY PENALTY TO THE INDIVIDUAL CREATING THE NOISE. THE PENALTIES ARE:
- A WARNING WILL BE ISSUED IF NO CONSTRUCTION NOISE VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
 - A CITATION WILL BE ISSUED AND A \$125 FINE IMPOSED IF ONE PREVIOUS VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
 - A CITATION WILL BE ISSUED AND A \$250 FINE IMPOSED IF TWO OR MORE PREVIOUS VIOLATION HAVE BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
- FOR ALL COMMERCIAL, MULTI-FAMILY, AND NEW SINGLE-FAMILY HOMES: CONSTRUCTION-RELATED NOISE IS ALLOWED:
- 7 AM TO 6 PM ON WEEKDAYS
 - 9 AM TO 6 PM ON SATURDAYS

CONSTRUCTION -RELATED NOISE IS NOT ALLOWED:

- OUTSIDE OF ALLOWABLE HOURS
- LEGAL HOLIDAYS
- SUNDAYS

MOBILIZATION/STOCKPILE AREA NOTES

ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE PCD INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY DUMPING.

STREET SWEEPING NOTE

CONTRACTOR SHALL IMMEDIATELY SWEEP THE PAVED CITY RIGHT-OF-WAY WHEN DIRT OR OTHER CONSTRUCTION RELATED DEBRIS IS DEPOSITED.

DUST SUPPRESSION

DUST FROM CLEARING, GRADING, AND OTHER CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED AT ALL TIMES. ANY DUST SUPPRESSANTS USED SHALL BE APPROVED BY THE DIRECTOR. PETROCHEMICAL DUST SUPPRESSANTS ARE PROHIBITED. WATERING THE SITE TO SUPPRESS DUST IS ALSO PROHIBITED UNLESS IT CAN BE DONE IN A WAY THAT KEEPS SEDIMENT OUT OF THE PUBLIC DRAINAGE SYSTEM.

DESIGN CHANGES AFTER PERMIT ISSUANCE

IF UTILITIES DESIGN CHANGES RESULT IN CHANGES TO THE CLEARING LIMITS SHOWN ON THESE PLANS, THE APPLICANT MUST SUBMIT A REVISION TO THE CLEARING AND GRADING PERMIT THAT INDICATES THE LOCATION OF THE NEW CLEARING LIMITS.

GEOTECHNICAL NOTES

THE PROJECT GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE MUST BE ONSITE DURING CRITICAL EARTHWORK OPERATIONS. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL EXCAVATIONS AND FILL AREAS. IN ADDITION, THE ENGINEER SHALL INSPECT THE SOIL CUTS PRIOR TO CONSTRUCTION OF THE ROCKERIES AND INSPECT THE COMPACTION IN FILL AREAS. THE ENGINEER MUST SUBMIT FIELD REPORTS IN WRITING TO THE PCD INSPECTOR FOR SOILS VERIFICATION AND FOUNDATION CONSTRUCTION. ALL EARTHWORK SHOULD BE IN CONFORMANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING. IN ADDITION, THE FOLLOWING CONSTRUCTION STAGES MUST BE INSPECTED, MONITORED, AND TESTED AS NECESSARY BY THE GEOTECHNICAL ENGINEER OF RECORD:

- 1. SITE CLEARING AND STRIPPING OF ORGANIC TOPSOIL FOR ALL AREAS TO RECEIVE STRUCTURAL FILL, PAVEMENTS, OR FOUNDATIONS.
- 2. CUT SLOPES OVER FOUR FEET HIGH.
- 3. BENCHING FOR FILL TO BE PLACED ON SLOPES.
- 4. INSPECTION OF PROPOSED IMPORT FILL MATERIAL, PRIOR TO PLACEMENT.
- 5. PLACEMENT OF STRUCTURAL FILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
- 6. SUBGRADES FOR RETAINING WALLS, FOUNDATIONS, AND FOR THE BASE OF ROCKERIES.
- 7. INSTALLATION OF SUBSURFACE DRAINAGE FACILITIES.
- 8. UTILITY TRENCH BEDDING AND BACKFILL, INCLUDING OBSERVATION OF PROPER MOISTURE CONTENT, LIFT THICKNESS, AND MINIMUM COMPACTION.
- 9. UTILITIES ON STEEP SLOPES; SLOPE ANCHORS AND/OR BACKFILL SLOPE STABILIZATION.
- 10. ANY UNUSUAL SEEPAGE, SLOPE, OR SUBGRADE CONDITION AS DELINEATED IN THE GEOTECHNICAL REPORT OR DISCOVERED IN THE FIELD. AT THE END OF THE CONSTRUCTION, THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SUMMARY LETTER VERIFYING THAT CRITICAL STAGES OF THE CONSTRUCTION HAVE BEEN INSPECTED AND ARE IN CONFORMANCE WITH GEOTECHNICAL REPORT.

APPROVED BY

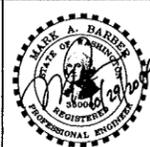
Received

JAN 20 2015

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REV NO.	DATE	DESCRIPTION	MADE BY	CHK'D BY	PLOTTED: 2014/10/27 10:52	PROMELFANGER
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					DESIGNED: ETE	
					APPROVED: ETE	
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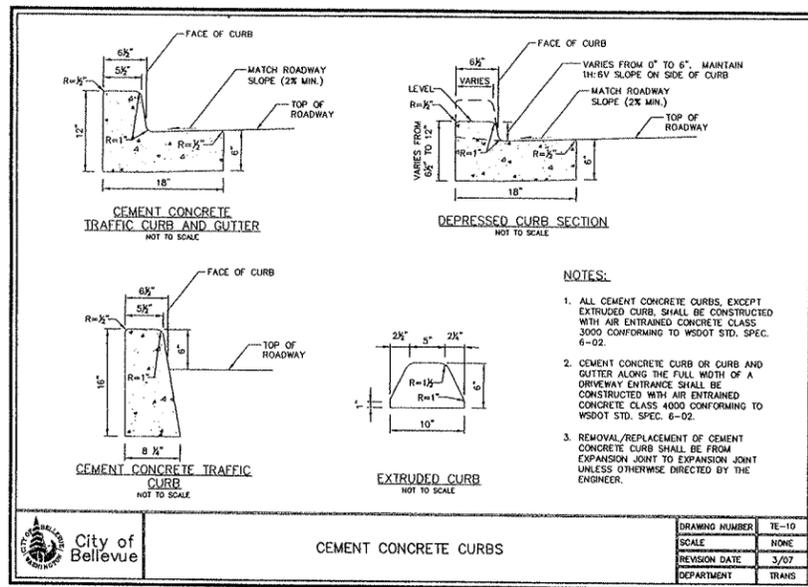


KBS CAPITAL ADVISORS

BUILDING 'A' SITE IMPROVEMENTS FOR PARKING
2333 - 158th CT. NE, BELLEVUE, WA 98007

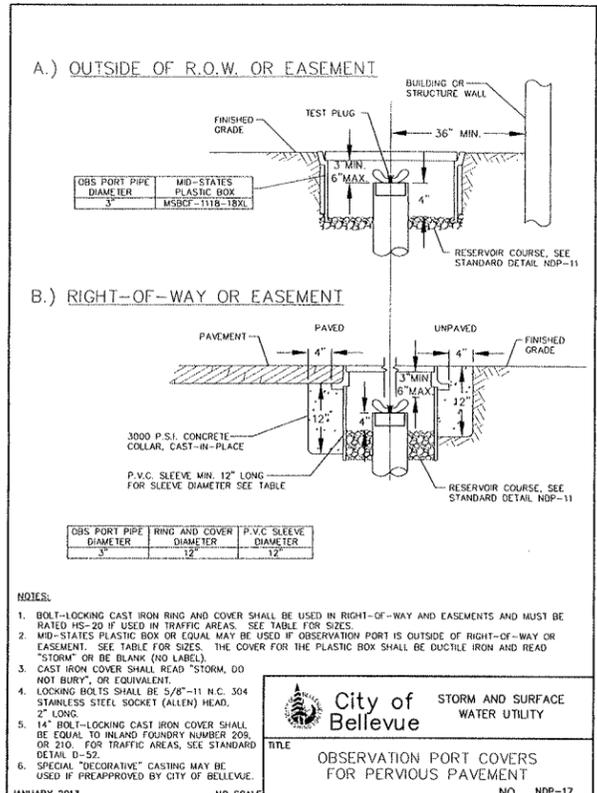
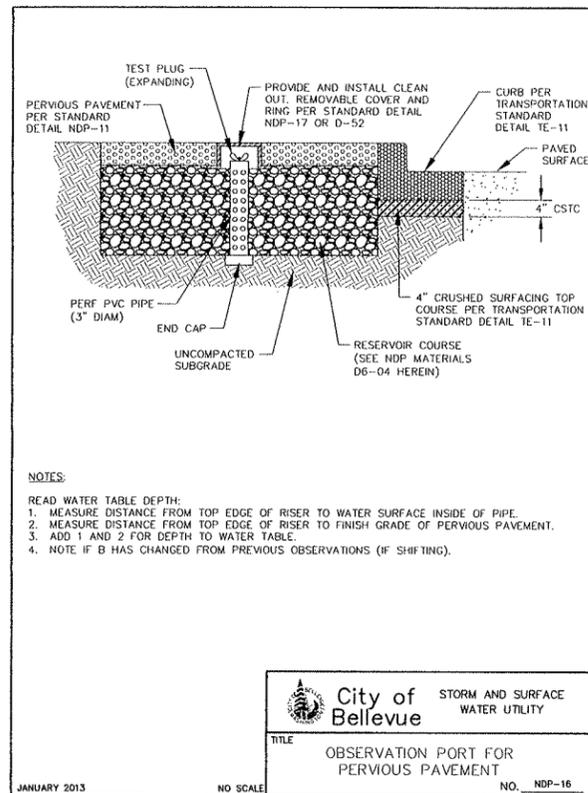
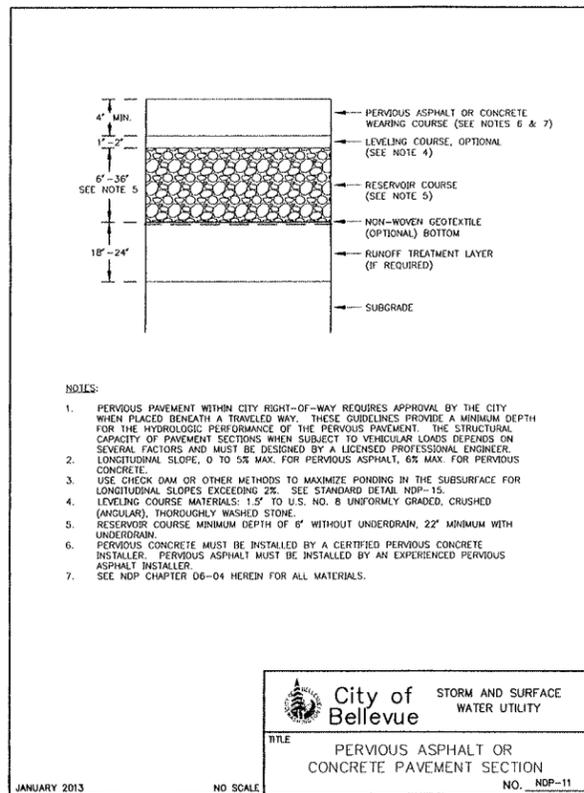
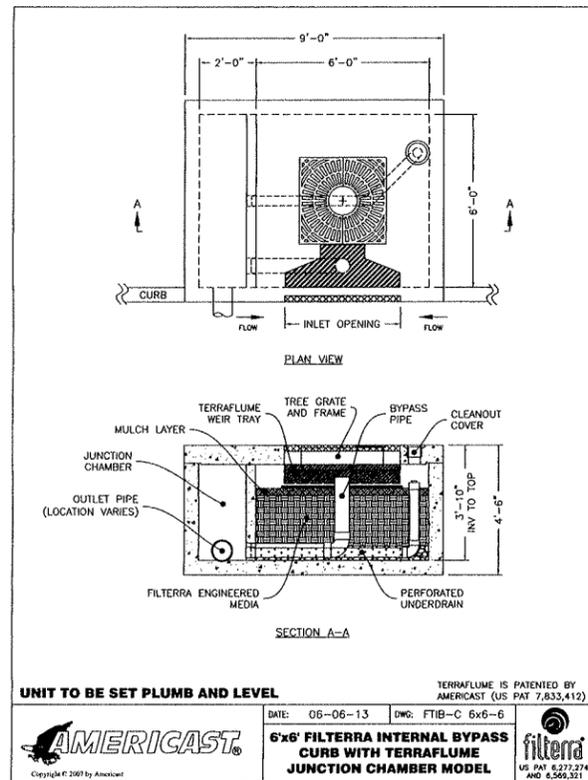
GENERAL NOTES
BELLEVUE TECHNOLOGY CENTER
APPLICATION #XX-XXXXXX XX
GRID L-5, SEC. 26, TWP. 25N, RGE. 5E, W.M.

JOB NO. 12181
SHEET 5



WATER QUALITY TREATMENT BMP.

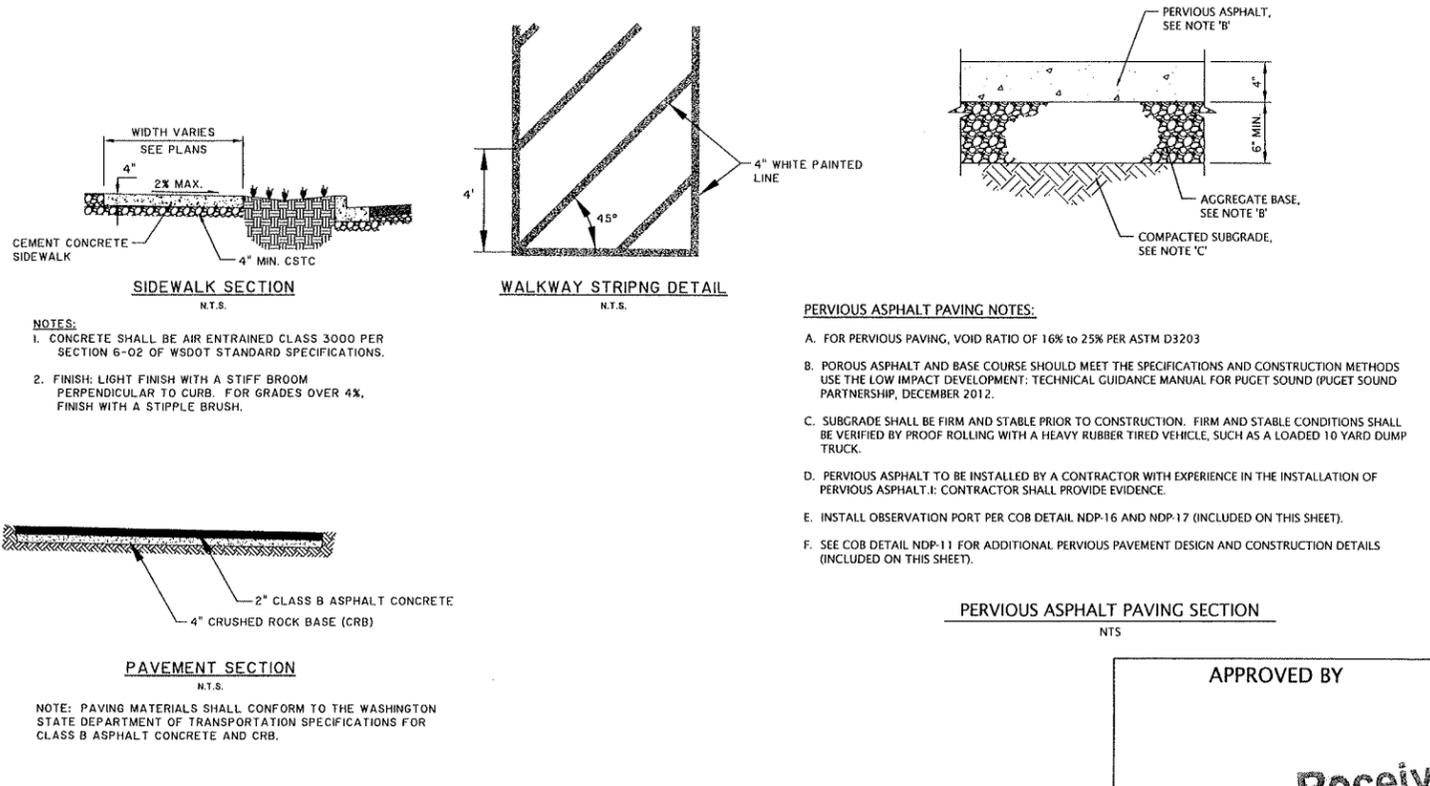
- TREATMENT LEVEL = ENHANCED
- WATER QUALITY DESIGN FLOW = 0.045 CFS
- DESIGN TREATMENT AREA = 12,200 SF
- PROPOSED TREATMENT AREA = 9969 SF (INCLUDES PERVIOUS PAVEMENT)



Filterra® Standard Plan Notes

Construction & Installation

- Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
- If the Filterra® is stored before installation, the top slab must be placed on the box using the 2x4 wood provided, to prevent any contamination from the site. All internal fittings supplied (if any), must be left in place as per the delivery.
- The unit shall be placed on a compacted sub-grade with a minimum 6-inch gravel base matching the final grade of the curb line in the area of the unit. The unit is to be placed such that the unit and top slab match the grade of the curb in the area of the unit. Compact undisturbed sub-grade materials to 95% of maximum density at +1-2% of optimum moisture. Unsuitable material below sub-grade shall be replaced to the site engineer's approval.
- Outlet connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions and local regulations.
- Once the unit is set, the internal wooden forms and protective mesh cover must be left intact. Remove only the temporary wooden shipping blocks between the box and top slab. The top lid should be sealed onto the box section before backfilling, using a non-shrink grout, butyl rubber or similar waterproof seal. The boards on top of the lid and boards sealed in the unit's throat must **NOT** be removed. The Supplier (Americast or its authorized dealer) will remove these sections at the time of activation. Backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation of Filterra® unit shall conform to ASTM specification C891 "Standard Practice for Installation of Underground Precast Utility Structures", unless directed otherwise in contract documents.
- Curb and gutter construction (where present) shall ensure that the flow-line of the Filterra® units is at a greater elevation than the flow-line of the bypass structure or relief (drop inlet, curb cut or similar). Failure to comply with this guideline may cause failure and/or damage to the Filterra® environmental device.
- Each Filterra® unit must receive adequate irrigation to ensure survival of the living system during periods of drier weather. This may be achieved through a piped system, gutter flow or through the tree grate.



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JAN 20 2015

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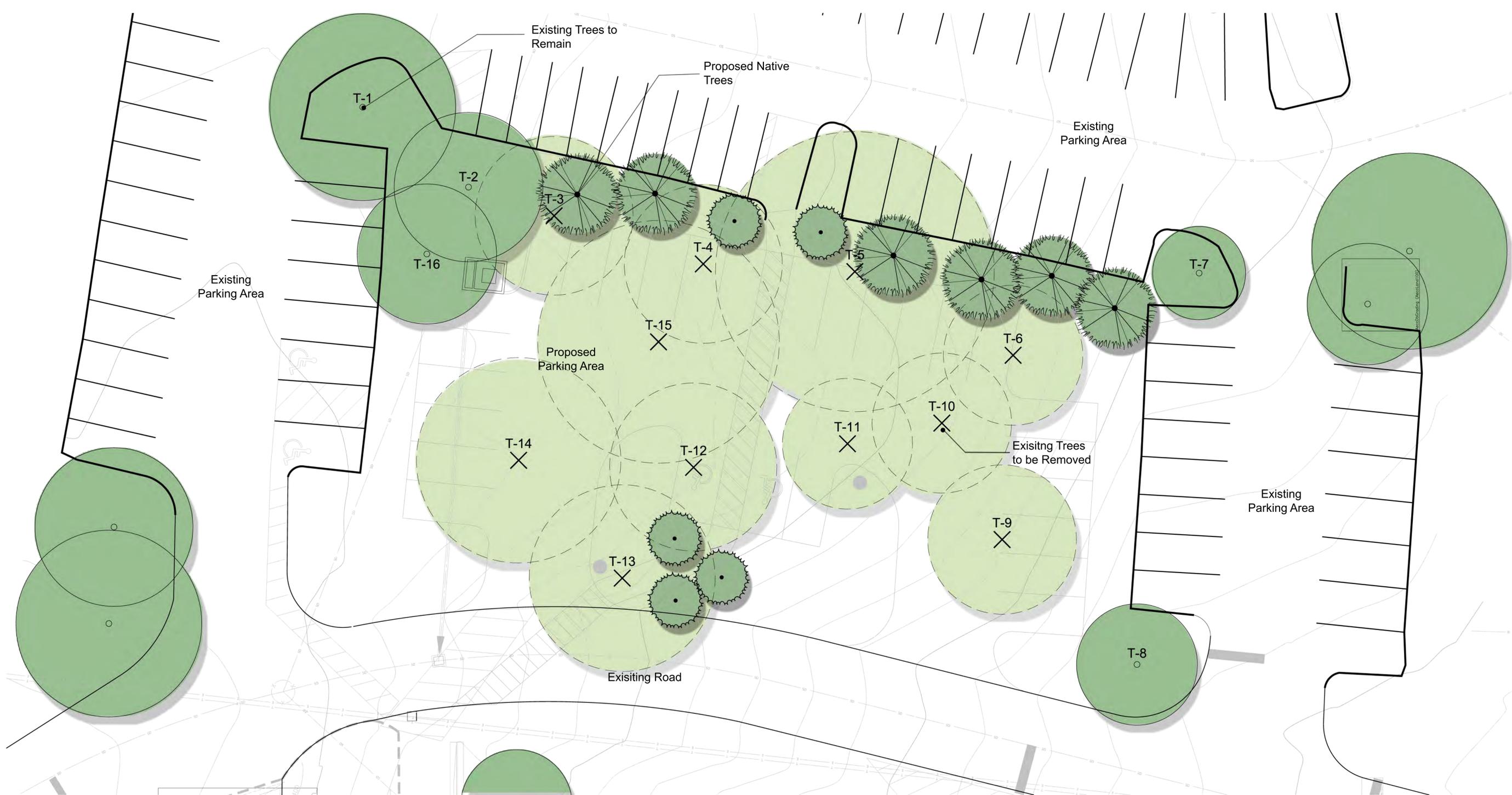
GOLDSMITH
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					APPROVED: ETE	
					FIELD BOOK:	
					PAGE #:	

Professional Engineer stamps for Keith J. Gombert and Mark A. Barbier.

KBS CAPITAL ADVISORS
BUILDING 'A' SITE IMPROVEMENTS FOR PARKING
2333 - 158th CT. NE, BELLEVUE, WA 98007
GENERAL DETAILS
BELLEVUE TECHNOLOGY CENTER
APPLICATION #XX-XXXXXX XX
GRID L-5, SEC. 26, TWP. 25N, RGE. 5E, W.M.

JOB NO. 1215
SHEET 10



1 TREE INVENTORY PLAN

Scale: 1"=10'

TREE INVENTORY TABLE

TREE	SPECIES	DIAMETER	TREES WITHIN SITE INTERIOR	TREES TO BE REMOVED
T-1	ACER PLAT.	18.7"	18.7"	
T-2	ACER PLAT.	16.4"	16.4"	
T-3	ACER PLAT.	16.0"	16.0"	16.0"
T-4	ACER PLAT.	16.5"	16.5"	16.5"
T-5	ACER PLAT.	21.3"	21.3"	21.3"
T-6	ACER PLAT.	16.1"	16.1"	16.1"
T-7	ACER PLAT.	13.7"	13.7"	
T-8	ACER PLAT.	15.7"	15.7"	
T-9	ACER PLAT.	16.5"	16.5"	16.5"
T-10	ACER PLAT.	16.3"	16.3"	16.3"
T-11	ACER PLAT.	14.5"	14.5"	14.5"

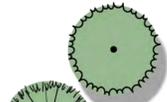
TREE	SPECIES	DIAMETER	TREES WITHIN SITE INTERIOR	TREES TO BE REMOVED
T-12	ACER PLAT.	14.8"	14.8"	14.8"
T-13	ACER PLAT.	21.7"	21.7"	21.7"
T-14	ACER PLAT.	21.2"	21.2"	21.2"
T-15	ACER PLAT.	13.4"	13.4"	13.4"
T-16	ACER PLAT.	17.0"	17.0"	
TOTAL		269.8"	269.8"	188.3"
SITE INTERIOR TREE RETENTION REQUIREMENT, 15% OF DIAMETER INCHES 269.8 x 15% = 40.47"				
TOTAL SIGNIFICANT TREES RETAINED: 81.5" OR 30%				
TOTAL SIGNIFICANT TREES ON SITE: 269.8"				



1 PLANTING PLAN

Scale: 1"=10'

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	HEIGHT	QTY	SHRUB AREAS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPREAD	SPACING	QTY
	PS	Pseudotsuga menziesii / Douglas Fir	B & B	8-10' HT. MIN.	5		GA	Gaultheria Shallon / Salal	1 gal		36" o.c.	809
	TH	Tsuga heterophylla / Western Hemlock	B & B	8-10' HT. MIN.	6		PM2	Polystichum munitum / Western Sword Fern	1 gal		24" o.c.	156



1 SECTION A

Scale: 3/16"=1'-0"



2 SECTION B

Scale: 3/16"=1'-0"



Pseudotsuga menziesii



Tsuga heterophylla



Polystichum munitum



Gaultheria Shallon