



DEVELOPMENT SERVICES DEPARTMENT
 ENVIRONMENTAL COORDINATOR
 11511 MAIN ST., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Westridge Apartments

LOCATION OF PROPOSAL: 512 121st Place NE

DESCRIPTION OF PROPOSAL:

Proposal to demolish a recreation building and swimming pool and replace with a 31-unit residential building within an existing multi-family complex.

FILE NUMBERS: 14-138959-LD

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on April 9, 2015.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Cassie McHolland
 Environmental Coordinator

3/26/15
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

State Department of Ecology,
 Attorney General
 Muckleshoot Indian Tribe



**City of Bellevue
Development Services Department
Land Use Division Staff Report**

Proposal Name: **Westridge Apartments**

Proposal Address: 512 121st Pl. NE

Proposal Description: Design Review approval to demolish a recreation building and replace with 31-unit residential building within an existing multi-family complex.

File Number: 14-138959-LD

Applicant: Westridge LT Partnership

Decisions Included: Combined Design Review and SEPA (Process II)

Planner: Sally Nichols

State Environmental Policy Act Threshold Determination: Determination of Non-Significance

Carol V. Helland

Carol V. Helland, Environmental Coordinator
Development Services Department

Director's Recommendation: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: *Carol V. Helland*
Carol V. Helland, Land Use Director

Notice of Application: October 9, 2014
Notice of Decision: March 26, 2015
Appeal Deadline: April 9, 2015
Design Review
Expiration Date: April 9, 2017 (if no complete Building Permit application is filed prior to this date - Refer to LUC 20.40.500)

For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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ATTACHED:

Project Drawings
Environmental Checklist

I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests Design Review approval and a Threshold Determination under the State Environmental Policy Act (SEPA) to demolish an existing recreation building, rental office, and outdoor pool and then replace it with a new, 31-unit residential building. The new building will be within an existing apartment complex and the eastern half of the building falls within a single-family transition design district.

The site is 156,305 square feet (3.58 acres) and is developed as the Westridge Apartments – a 76-unit apartment complex. The complex currently consists of eight residential buildings and the recreation/office building and swimming pool. In addition to the 31 new residential units, the proposed building will include tenant amenity spaces, storage, and a new rental office. New landscaping and a play area will be provided around the new building.



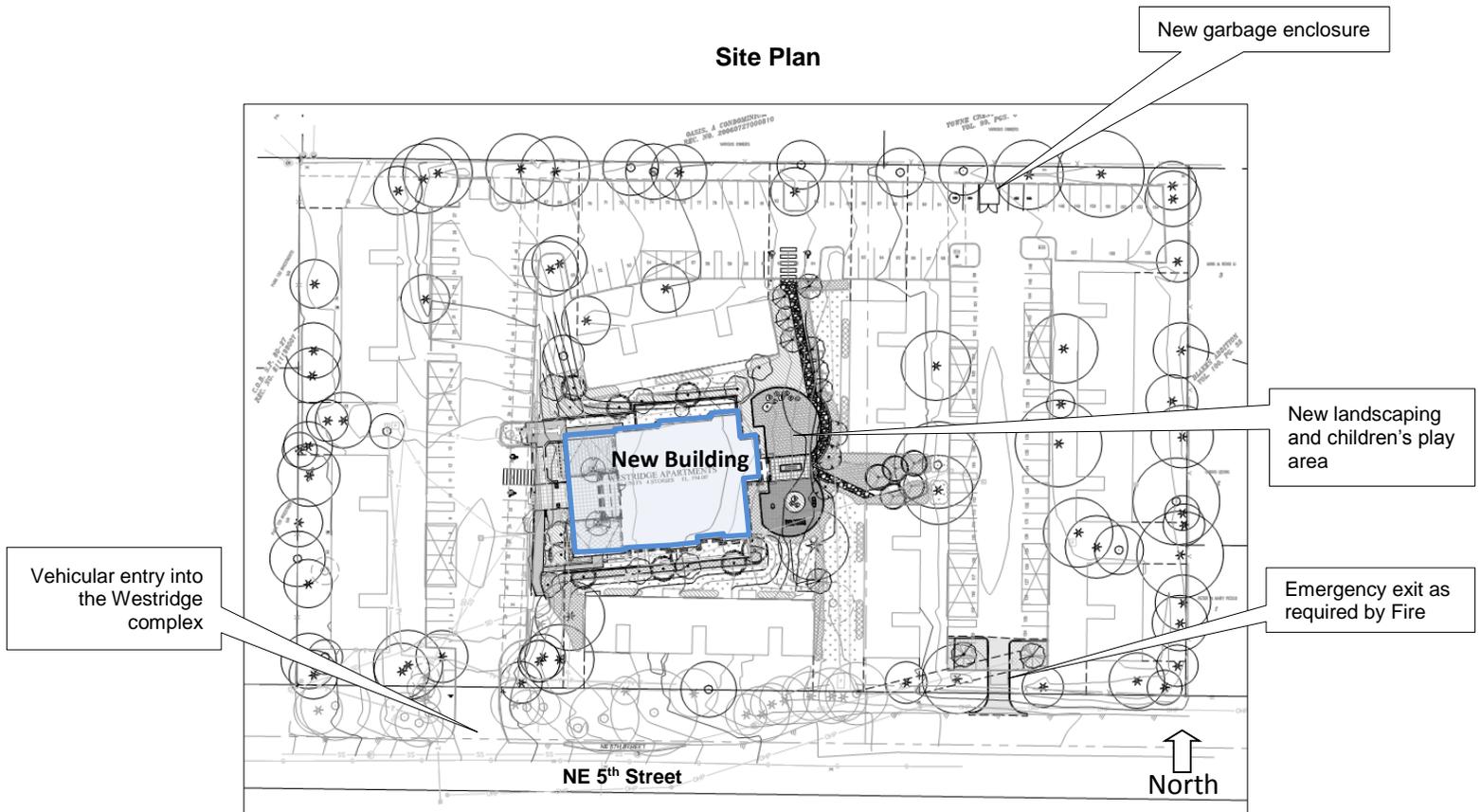
A. Site Design

The new building will be located on a sloped site that is interior to the existing Westridge Apartments site. The proposal site, which is currently occupied by the recreation building and pool, is surrounded to the north, south, and east by four existing two-story residential buildings and to the west by a private roadway and surface parking for the complex.

The main entry into the building will be from the parking lot on the western elevation. The building will be set into the slope and step up the site to the west. There will be a secondary entry on the eastern side of the building. A new play area will also be located to the east of the building. These open space areas are designed for use by the entire complex.

Vehicular circulation for the site will remain as is, except for the addition of a new emergency-only exit on the eastern side of the property as required by the Fire and

Transportation Departments. This new vehicular access point off of NE 5th Street in the southeast corner of the site will accommodate emergency vehicles only and it will be gated/chained with a Fire Department knock box. Parking will be accommodated in the existing parking lot. There will be 153 parking spaces for the entire complex. This proposal will result in an overall net loss of three spaces due to the need for a new garbage enclosure and the emergency-only exit onto NE 5th Street.

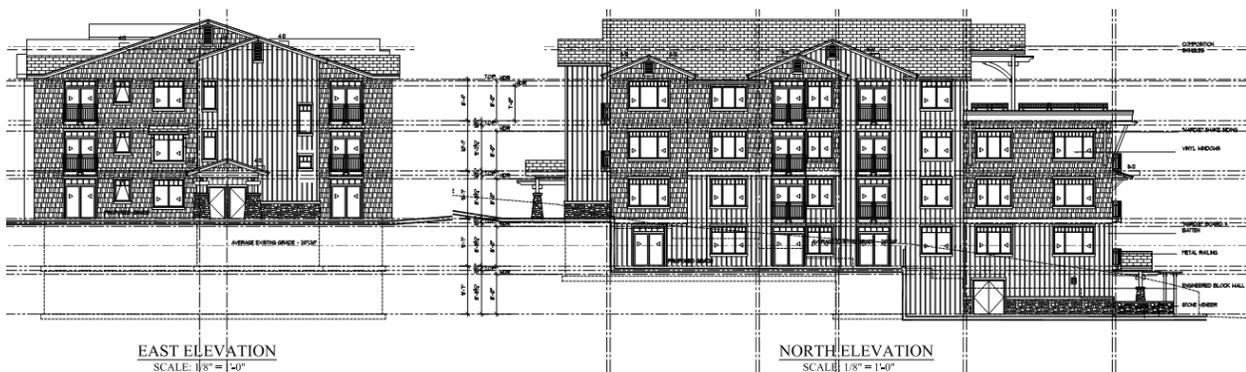
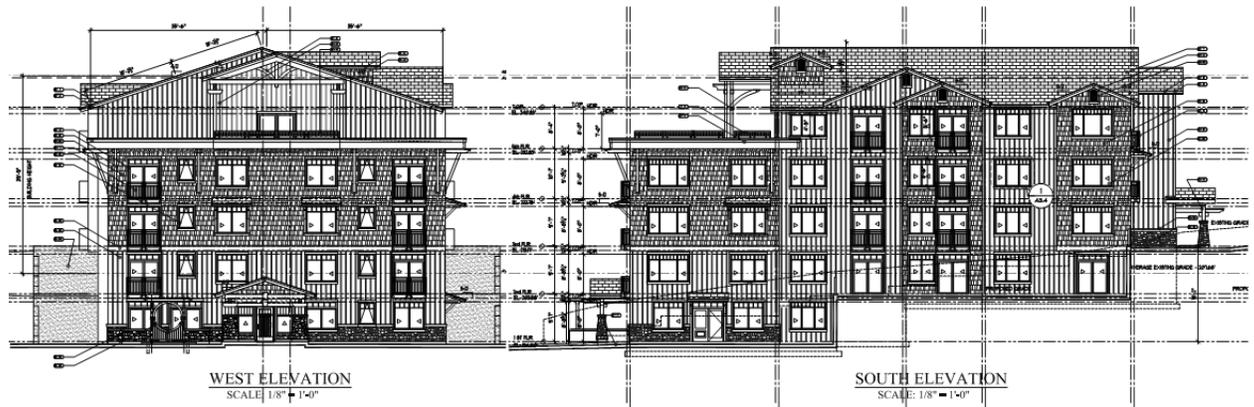


15 *interior* trees will need to be removed as a result of this proposal for a total of 256 diameter inches and one *perimeter* tree will be removed to accommodate the new emergency vehicular access off of NE 5th Street. 24 replacement trees will be planted around the new building and two replacement trees will be planted near the new emergency access. Along with new additional shrub and groundcover landscaping, these landscape enhancements will mitigate for the tree removal and will meet the landscaping requirements for the Transition Area Design District (LUC 20.25B).

B. Building Design

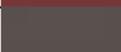
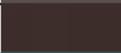
The concept for the building design is to create a building that feels like a main lodge surrounded by smaller cottages (the existing 2 and 3 story buildings). The proposed new building will step up the existing sloped site. The first floor and main entry will be at grade, facing the existing parking lot in the western half of the site. The third floor will be at grade along the eastern side of the building, where there will also be a secondary entry. Retaining walls along the northern and southern facades will allow light, air and egress for the lower units. The fifth floor will be reduced by two units on the west side of the building to provide a rooftop terrace for tenant use. A green (vegetated) roof will flank each side of the terrace. The building will be wood frame construction.

Proposed Building Elevations



Exterior materials were chosen to be residential in character and in context with the existing buildings on-site. The siding materials include a combination of cementitious board and batten and shingle siding with accent stone veneers. The colors, as shown below, will be a combination of earthtones with a muted blue accent color. Vinyl windows and composition roof shingles will be used. The upper units will have shallow Juliette balconies will have metal railings and the lower units will have sliding doors providing ground level access.

Under separate permits and not part of this approval, the existing buildings within the complex will also be upgraded to complement this new building. Upgrades will include painting the buildings with the color palette shown below and the addition of battens on the existing flat siding to match the board and batten detailing on the new building.

SECHRIST DESIGN ASSOCIATES, INC.		TERIOR DESIGN SPACE PLANNING LANDSCAPE ARCHITECTURE		9 6TH AVENUE SOUTH SEATTLE, WA 98108					
		06.723.1147 F.206.723.3453							
Cammark - Westridge Apartments, Bellevue, WA									PERMIT SET
EXTERIOR FINISH LEGEND:									Issue Date: 06.30.2014
REF. NO.	MATERIAL	APPLICATION	MFR./SUPPLIER	SPECIFICATION	SIZE	COLOR/FINISH	NOTES	IMAGE	
P-1	Paint	Exterior Shingles	Benjamin Moore Classic colors	Exterior Paint	N/A	Greenbrier Beige HC-79	U.O.N. See Drawings		
P-2	Paint	Exterior Battens	Benjamin Moore Affinity colors	Exterior Paint	N/A	Dinner Party AF-300	U.O.N. See Drawings		
P-3	Paint	Exterior Trim	Benjamin Moore Affinity colors	Exterior Paint	N/A	Silhouette AF-655	U.O.N. See Drawings		
P-4	Paint	Exterior Doors & Door Frames	Benjamin Moore Affinity colors	Exterior Paint	N/A	Wenge AF-180	All exterior doors and door frames U.O.N. See Drawings		
P-5	Paint	Exterior TBD	Benjamin Moore	Exterior Paint	N/A	HC-158	U.O.N. See Drawings		
S-1	Stone	Exterior TBD	Cultured Stone	Exterior Stone	N/A	Walnut Southern Ledgestone CSV-2027	U.O.N. See Drawings		



II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT

A. Site Description/Context

The existing 3.58-acre apartment site has one access point off NE 5th Street. In addition to the recreation building, there are 76 residential unit in six (6) two-story and two (2) two-story over basement walk-up buildings. The buildings are arranged around a “U” shaped, dead-end internal roadway. The existing recreation building and swimming pool, which will be demolished for this proposal, lie in the center of the development. Parking is accommodated with either surface stalls or within open carports that align the interior roadway.

The development is characterized by stands of mature trees and residential-scaled landscaping including expanses of lawn in the center of the site.

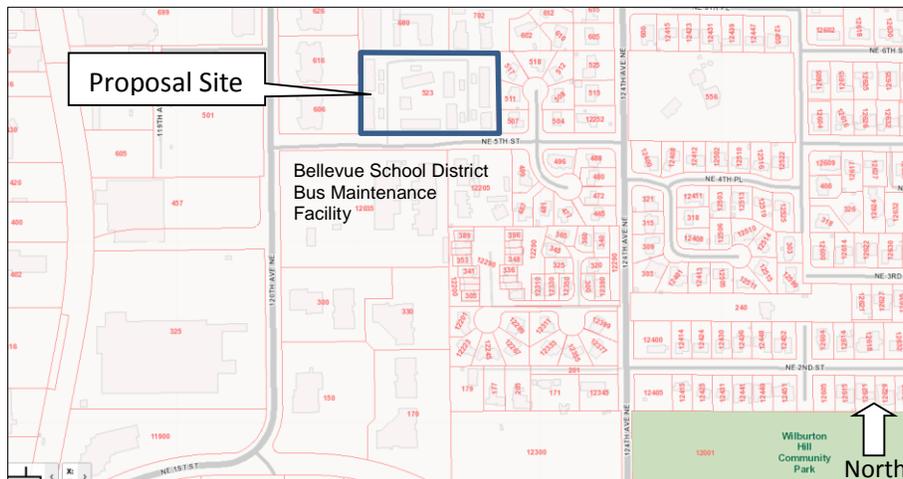
Aerial Photograph/Site Context



The surrounding area is developed with a mix of multi-family residential housing, single-family housing and commercial uses as follows:

- North: Multi-family apartment developments
- East: Single-family neighborhoods
- South: Multi-family development and the Bellevue School District Transportation Maintenance Facility.
- West: Park 120 office complex, with surface parking lot directly adjacent to the proposal site.

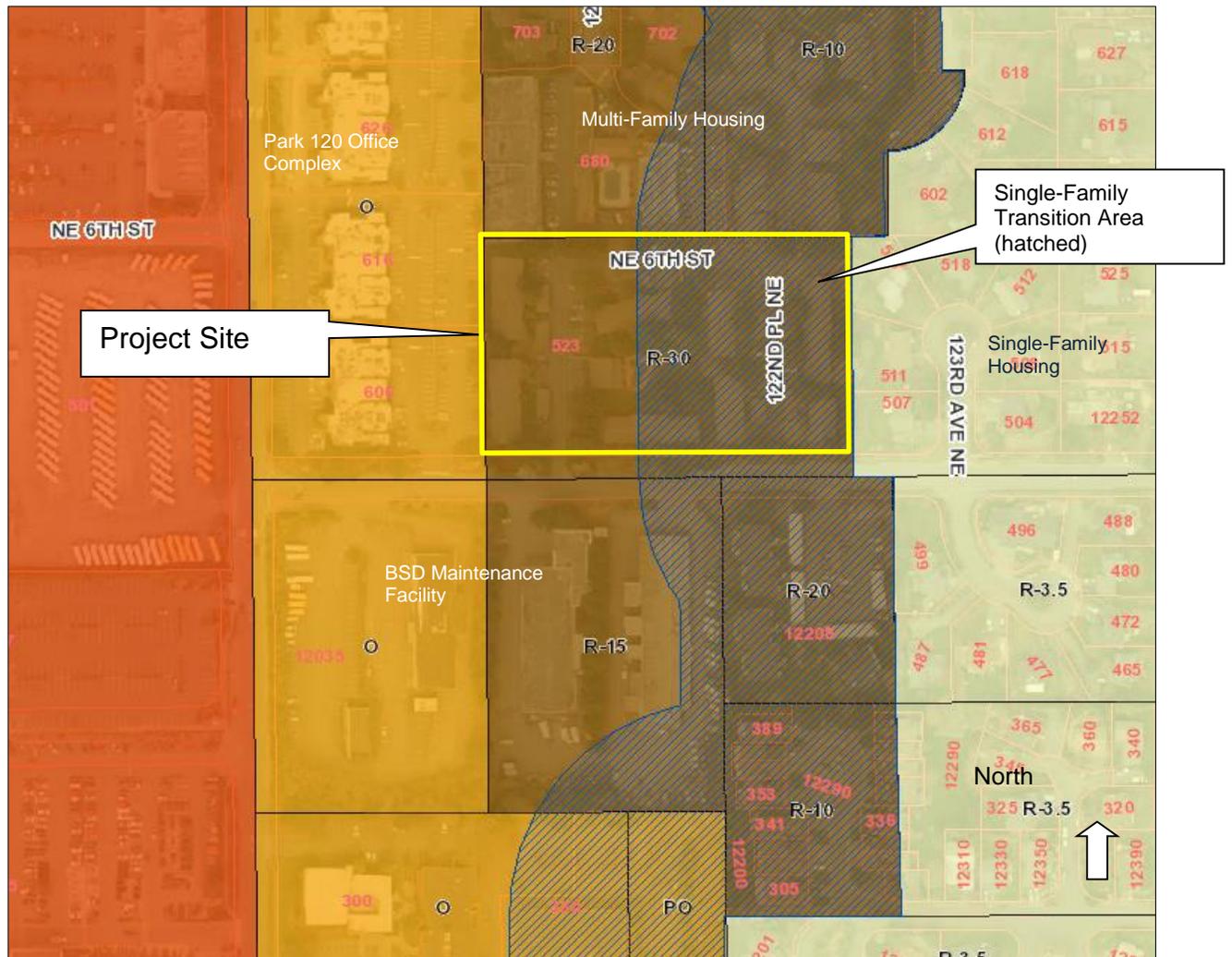
Vicinity Map



B. Zoning

The site is zoned Multi-Family (R-30), but also lies within the Transition Area Design District zoning overlay due its proximity to the single family R-3.5 zoning district to the east. The location of this site within the Transition Area triggered the Design Review process (Refer to Zoning Map below). To the north and south are additional Multi-Family land use districts (R-10, R-15, and R-20) and the properties to the west are zoned Office (O).

Zoning Map



III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Use

Uses are regulated by LUC 20.10.400 (Use Charts) and LUC 20.25B (Transition Area Overlay District). While the use proposed for this project is an expansion of the existing use which is already permitted in the Multifamily Residential (R-30) Districts, it is subject to Design Review approval since a portion of it lies within the Transition Area Design District.

2. Dimensional Requirements

All applicable dimensional requirements of the Land Use Code will be met. Refer to the following chart for specific information, as well as Conditions of Approval and the attached Project Plans.

	Permitted/Required	Proposed
Site Area/Zone	156,305 SF R-30 in Transition Area Design District	
Building Height	30 FT for buildings located within R-30 that is overlaid by the Transition Area Design District. 40 FT allowed only with bonuses. LUC 20.25B.040.A	39'-9" measured from average existing grade to mid-point of the pitched roof Ht. Bonus Provided: Pitched Roof – 5 FT No Mechanical on Roof – 5 FT Meets LUC requirement.
Lot Coverage	35% = 54,707 SF LUC 20.20.010	Existing Building: 28,286 SF Proposed Building: 7,265 SF Total: 35,551 SF = 23% Meets LUC requirement.
Maximum Impervious Surface	80% of 156,305 SF = 125,044 SF LUC 20.20.010	Proposed: 89,399 SF = 57% Meets LUC requirement.
Setbacks & Distance between Structures	<u>Structure Setbacks</u> : Due to location of new building within an existing development, standard structure setbacks at property lines do not apply. <u>Distance between structures in Transition</u> : Min. 20 feet LUC 20.20.010, 20.25B.040.B.2	N/A New building is approximately 26 FT and 23 FT respectively from the surrounding buildings to the north and south. Meets LUC requirement.
Parking	<u>Required</u> : 54 - 2 bdrm @ 1.6/unit = 86 53 - 1 bdrm @ 1.2/unit = 64 TOTAL MINIMUM REQUIRED = 150 stalls LUC 20.20.590.F.1	Proposed: 153 spaces total (all existing currently on site). There will be an excess of 3 spaces. <u>Refer to Condition of Approval regarding parking in Section IX of this report.</u> As conditioned, meets LUC requirement.

	Permitted/Required	Proposed
Loading	<p>Minimum one 10' x 55' area accessible to a public right of way.</p> <p>LUC 20.20.590.K.4</p>	<p>Loading will continue to be handled on the internal private roadway in the site accessed off NE 5th Street.</p> <p>Meets LUC requirement.</p>
Landscape	<p>Compliance with LUC 20.20.520, 20.20.900 and 20.25B.040.C</p>	<p>The landscape plan complies with all Land Use Code landscape requirements.</p> <p><u>Refer to Conditions of Approval regarding the final landscape plan and landscape installation and maintenance assurance devices in Section IX of this report.</u></p>
Recycling & Solid Waste Collection Area	<p>Solid Waste and Recycling containers must be contained within a structure enclosed on all four sides.</p> <p>Recycling size requirements: 1.5 SF X 107 units = 160 SF min.</p> <p>LUC 20.20.725 and 20.25B.040.F</p>	<p>Two large solid waste and recycling areas will be located on site. The garbage collection areas will total approximately 426 SF. The new collection area will have cementitious shingle walls & gates.</p> <p>Because the enclosure is over 200 SF, it will either need to 1) be covered, or 2) be reduced in size and an additional area be provided and/or the existing enclosure be expanded. Refer to Utilities comments in Section V. of this report.</p> <p><u>Refer to Condition of Approval regarding solid waste/recycling, the garbage enclosure, and waste receptacle lids in Section IX of this report.</u></p> <p>As conditioned, meets LUC requirements.</p>
Mechanical Equipment	<p>Located on the roof & visually screened, within the building or below grade.</p> <p>LUC 20.20.525</p>	<p>There will be no mechanical equipment on the roofs. All mechanical equipment will be located inside the buildings. Meet LUC requirements.</p>

IV. PUBLIC NOTICE AND COMMENT

Application Date: August 15, 2014
Application Completeness Date: October 2, 2014
Notice of Application published: October 9, 2014
Public Notice Sign installed: October 9, 2014
Minimum Comment Period ended: October 23, 2014

Although the minimum required public comment period ended on October 23, 2014, comments were accepted up to the date of this decision. Two written comments were received regarding this proposal. One comment was general in nature with the commenter requesting to be kept up to date regarding the proposal. The second comment concerned parking and construction parking. Although there will be more units within the complex, the proposal still meets the parking requirements for a residential development. Refer to the parking section in the dimensional chart in Section III of this report. It will also be a condition of this approval and the right-of-way use permit that the applicant secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, foundation or demolition permit. **Refer to Condition of Approval regarding the right-of-way use permit in Section IX of this report.**

V. TECHNICAL REVIEW

A. Clearing & Grading

The Clearing & Grading Division has no comments or conditions for this Design Review. All comments are reserved for construction permit review.

B. Utilities

Storm Drainage

The project will trigger (MR) minimum requirements 1-9 from the Department of Ecology Stormwater Management Manual for Western Washington. This project drains to Lake Washington through the Sturtevant Creek 40-20 Basin, a tributary to the Mercer Slough. The project qualifies as redevelopment under the Department of Ecology Stormwater Management Manual for Western Washington and will not need to provide runoff control and treatment for all new and replaced impervious surfaces. MR 6 Run-Off Treatment is not triggered for the site because the pollution generating impervious surface (PGIS) of new and replaced is under 5,000 S.F. An MR 7 Flow Control BMP will not be required because the project falls below the 0.1 cubic feet per second increase in the 100-year flood frequency. MR 5 will be required because the new and replaced impervious surface is greater than 2,000 S.F.

Water

The water supply for this project is available from existing City of Bellevue owned 8-inch asbestos concrete water mains located on site in the 400 pressure zone. Water improvements consist of domestic, irrigation and fire lines. Backflow prevention is required for fire sprinklers. It appears from the size and scale of the project that both domestic and fire requirements can be met by connecting to either 8-inch water main. The applicant will be required to apply for a separate over-the-counter water service application for any additional water connection or service. There are nine (9) existing water services at this site. Water meters are not allowed inside building structures and must be located in a location approved by the Utility Department.

Sewer

Sewer service for the Westridge Apartments will be available to the project from an existing 8-inch vitrified clay sewer main that is on site, via an existing sanitary sewer manhole in 121st PI NE. **NOTE: Maximum area of uncovered trash enclosure is 200 square feet, and the area must drain to sanitary sewer after passing through an oil/water separator.** The stub out of the manhole will need to be inspected by sewer maintenance prior to reuse.

Refer to Condition of Approval regarding preliminary design, utility codes and engineering standards and trash enclosure in Section IX of this report.

C. Transportation

Site Access

Access to the proposed project will continue to be provided by the existing driveway located on NE 5th Street. No changes to the driveway or its location are required. A secondary driveway for emergency access only will be installed near the eastern corner of the project site. This driveway will be blocked with removable bollards with a lockbox system to ensure access for emergency services only. See NE 5th Street East View photograph below. All loading and unloading, delivery, garbage and recycling services must be contained within the project site. No portion of city right of way may be used for these services. **Refer to Condition of Approval regarding provisions for loading in Section IX of this report.**

Street Frontage Improvements

Currently, the Westridge Apartment complex connects to NE 5th Street via a 30 foot wide two-way driveway. Directly north of the driveway, sight distance (to westbound traffic) is limited by steep street grades (10%), landscaping, street trees and a rockery. Over the



NE 5TH STREET EAST VIEW

years, nearby residents have reported to the Transportation Department that the steep grade results in excessive speeding adjacent to the driveway connection on NE 5th Street. In 2014 the Transportation Department installed a chicane traffic calming system combined with stop signs and a lane reduction (from two lanes to one). This system forces all eastbound traffic to stop directly in front of the access driveway and westbound (or downhill traffic) to stop at the high point of NE 5th Street north of the driveway. The enforced stops have been successful in eliminating excessive speeding and have improved sight distance to westbound, downhill traffic. See NE 5th Street East View photograph on the previous page.

Pedestrian Plan Project S-414-N lists the need for a five foot sidewalk along the north side of NE 5th Street adjacent to the project site. However, constructing project S-414-N would require the removal of the chicane traffic system. Removal would reverse the corrective measures that the chicane currently provides for excessive speeding. Vertical sight distance would remain limited due to the existing steep upward grade of NE 5th Street from the driveway (see photograph/NE 5th Street east view on previous page).

Considering the above as well as the fact that there is existing sidewalk along the south side of NE 5th Street and no existing sidewalk to connect to on the north side of NE 5th Street it is the preference of the Transportation Department to not build this portion of Pedestrian Plan Project S-414-N at this time.

Note that transportation-related improvements will be required due to the construction of the secondary emergency access off of NE 5th Street. **Refer to Condition of Approval regarding transportation-related improvements in Section IX of this report.**

Holiday Construction & Traffic Restrictions

The applicant shall contact the Transportation Department Right-of-Way Section to confirm whether holiday construction and traffic restrictions apply to this project prior to applying for a Right-of-Way Use Permit. **Refer to Condition of Approval regarding Right-of-Way Use Permit in Section IX of this report.**

Use of the Right-of-Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right-of-Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right-of-Way Use Permit. **Refer to Condition of Approval regarding the right-of-way use permit in Section IX of this report.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching. Near this project, NE 5th Street has been classified as "Overlay Required". Generally this

classification requires a full grind and overlay extending 50 feet from the center of the trench in opposite directions for the full width of the street. Specific pavement restoration requirements will be listed in the required right of way permit to be issued for this project. **Refer to Condition of Approval regarding pavement restoration in Section IX of this report.**

D. Building

The Building Division has no comments or requirements for this Design Review; all comments are reserved for construction permit review.

E. Fire

Due to the increase in units within this existing apartment complex, the Fire Department will require an emergency access to NE 5th Street from the southeast corner of the site. This access will be for Fire Department Use only and shall be 12 feet wide with a maximum grade of 15%. The access shall prohibit public use (i.e. removable bollards and lockbox system with signage). **Refer to Condition of Approval regarding the Fire Department in Section IX of this report.**

VI. STATE ENVIRONMENTAL POLICY ACT (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see Environmental Checklist in the project file at City Hall Records Office). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2013-2024 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS), adopted August, 2013 (available in the Records Office at City Hall). This document analyzes the transportation and air quality impacts of the City's Traffic Task Force recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Code or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below together with specific conditions of approval. These impacts will be mitigated through exercise of Code authority as well as through project-specific conditions of approval, contained in Section IX of this report.

A. NOISE

Given the project site's close proximity to other residences, consideration of the construction noise will be particularly important. **Refer to Condition of Approval regarding construction noise in Section IX of this report.**

B. TRANSPORTATION

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2024 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2024 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current

Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. The Westridge Apartments proposal lies within MMA #4 Wilburton, which has a 2024 total growth projection of 280 additional multi-family units. This development proposes adding 31 new multi-family units to an existing 76 unit apartment complex. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. **Refer to Condition of Approval regarding traffic impact fees in Section IX of this report.**

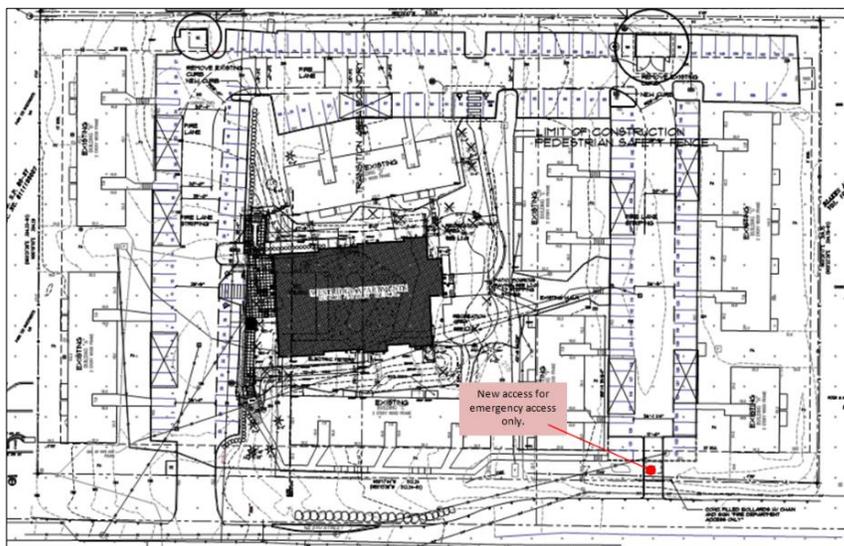
Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained. The Westridge Apartment proposal will generate 15 new p.m. peak hour trips and therefore will not be subject to concurrency testing.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Issues that were analyzed included sight distance at the access driveway and a second access for emergency vehicles.

To improve sight distance further, the applicant will be required to prune back the existing vegetation and street trees east of the access driveway on NE 5th Street. **Refer to Condition of Approval regarding final landscape plan in Section IX of this report.**



NEW EMERGENCY ACCESS – also refer to Site Plan on page 3 of this report

A secondary driveway will be installed near the eastern corner of apartment complex to improve emergency access to the site. Access to this driveway will be for emergency vehicles only; enforced by removable bollards with a lockbox system. See New Emergency Access diagram below.

Finally, considering the low volume of new p.m. peak hour trips generated from this proposal, operational impacts to the adjacent street system will be minor and therefore no additional mitigation is required (other than as noted in this report). **Refer to Condition of Approval regarding street frontage improvements and civil engineering plans for transportation in Section IX of this report.**

VII. DECISION CRITERIA

A. The Director may approve, or approve with modifications, an application for Design Review under LUC 20.30F.145.A–E if:

1. The proposal is consistent with the Comprehensive Plan.

This project is consistent with the Comprehensive Plan, which includes policies for the provision of housing along with policies that address the goals of site and building design. The addition of new residential units is consistent with the City's goal of creating housing for its population and the region under the State's Growth Management Act. This project is also in alignment with the City's commitment to maintain, strengthen, protect and enhance its existing residential neighborhoods. The most applicable policies for this proposal are the following:

Policy LU-9: *Maintain compatible use and design with surrounding built environment when considering new development or redevelopment within an already developed area.*

Finding: The proposed development is surrounded by existing multifamily and single family developments with similar building heights and residential detailing. The proposed residential use and design will achieve compatibility with the surrounding built environment.

Policy HO-17: *Encourage infill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.*

Finding: This proposal involves infill within an existing residential apartment community. This is beneficial to the City's housing goals and the region's promotion of jobs/housing balance under the State's Growth Management Act; this project will help provide additional housing for people who choose to live near their jobs Downtown or in other proximate locations within the City. The increase to the housing inventory by the proposed new development, together with the proposed changes to the exterior of the existing buildings and the upgrade of the current landscaping will make this proposed development compatible with the surrounding neighborhood.

The design of the new building and the proposed improvements to the existing buildings is also consistent with currently adopted building codes and design standards. Refer to Section III of this report for how the project has addressed Land Use Code requirements.

Policy UD-2: *Support designs for the built environment that are visually stimulating and thoughtful and which convey excellence in architecture and workmanship, and durability in building materials.*

Finding: Consistent with this policy, the proposal improves the attractiveness and livability of the existing apartment community. The proposed development plans include upgrades to the exteriors of the existing buildings on-site so that they will match the new building with respect to materials and color.

Policy UD-3: *Encourage a variety of site and building designs which are compatible and consistent with surrounding development and that implement the policies of this plan.*

Finding: The architectural details and earthtone colors of the proposed building will be compatible with the surrounding residential neighborhoods and the existing building on-site. The existing buildings will be upgraded with new paint and battens will be added to the flat siding to harmonize with the proposed building and ensure overall consistency throughout the development.

2. The proposal complies with the applicable requirements of this Code.

Finding: The proposal complies with all applicable requirements of the Land Use Code. Refer to Section III of this report for specific information on Land Use Code consistency.

3. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

Finding: As conditioned, the proposal complies with all applicable Design Guidelines contained in LUC 20.25B.050, Transition Area Design District. Key points are summarized as follows:

Site Design Guidelines

Site development should maximize the retention of existing significant vegetation in order to soften the visual impact on adjacent residential uses (LUC 20.25B.050.A.3).

Fifteen (15) existing interior trees will be removed to accommodate the new building and two perimeter trees will be removed to accommodate the new emergency vehicular access onto NE 5th Street. There will be 24 new replacement trees around the new building and two replacement trees near the emergency access. Along with the new trees, additional shrub and groundcover landscaping will help mitigate for the tree removal and will meet the landscaping requirements for the Transition Area Design District in LUC 20.25B. Because the existing Westridge development has so many dense mature trees throughout the entire complex, the overall vegetated character of the development will remain.

Surrounding vegetation, topography, street patterns, parking configuration, and building massing should be considered in order to result in a compatible fit between the proposed development and existing residential development (LUC 20.25B.050.A.4).

The proposed development is an infill project that will have very limited exposure to the surrounding neighborhoods. However, to ensure compatibility with the surrounding building within the Westridge complex, the proposed building will be set into the existing hillside to help reduce the overall mass and impact of the building

and make it feel more like the surrounding two-story buildings.

Building Design Guidelines

Building surfaces facing abutting residential districts should be clad with materials which are similar to or compatible with surrounding uses, and which minimize reflected lighting (LUC 20.25B.050.B.1).

Cementitious shingle and board and batten siding will be used on the new building. The existing building, which currently have flat cementitious siding, will be upgraded with battens and painted to match the new building so that there will be consistency throughout the entire complex. The proposed earthtone colors to be used on all of the buildings are non-reflective and compatible with the colors used throughout the surrounding neighborhood.

Building facades should incorporate elements such as setbacks, offsets, angled facets, deep roof overhangs, recesses and other architectural features which serve to break down the scale (LUC 20.25B.050.B.2).

The facades of the new buildings will be articulated (offset) and the top floor will be set back along the western facade to create an outdoor terrace space. The facades will have an interplay of shingles and board and batten siding and colors. Architectural details such as decorative brackets, Juliette balconies, accent stone veneers at the building base, and deep overhangs will also help to break down the overall scale.

Pitched roof forms are preferred in order to enhance the compatibility with nearby residential areas (LUC 20.25B.050.B.3).

The 4/12 pitched roof type proposed for the new building matches the roof style of the eight existing buildings. All roofs, including the roof on the proposed building, within the development will have composition shingles. This pitched roof form has the residential quality that is compatible with homes in the surrounding residential neighborhoods.

Materials and colors used on the building facades should be compatible with nearby residential buildings and the surrounding natural environment (LUC 20.25B.050.B.2).

The proposed shingle and board and batten siding and earthtone colors to be used on the new building are compatible with the surrounding residential buildings and neighborhood. The colors and materials will also complement the mature vegetation found on the site.

- 4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**

Finding: As described above in Section I of this report, the proposed buildings have been designed and sited and designed to be compatible with the eight existing apartment buildings on-site and with the surrounding residential neighborhood.

- 5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.**

Finding: All required public services and facilities are available to the site.

VIII. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, City Code & Standard compliance reviews and SEPA review, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal.

IX. CONDITIONS OF APPROVAL:

Compliance with City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including, but not limited to the following:

Applicable Codes, Standards and Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Sean Nichols, 425-452-2926
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Tim Stever, 425-452-4294
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Ray Godinez, 425-452-7915
Utility Code – BCC Title 24	Chris Brookes, 425-452-6825

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Noise & Construction Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code.

Due to the close proximity of residential uses that may be affected by construction noise, no variation from the standard construction hours will be allowed.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Sally Nichols, Land Use

2. Provisions for Loading

The property owner shall provide an off-street loading space which can access a public street. This must include an off-street location for garbage pick-up, which must be acceptable to the garbage hauler. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4; BCC 14.60.180
REVIEWER: Ray Godinez (425) 452-7915

3. Preliminary Design, Utility Codes and Engineering Standards

Utility review has been completed on the preliminary information submitted at the time of this application. The review has no implied approvals for water, sewer and storm drainage components of the project. A Utility Extension Agreement will be required for review and approval of the utility design for water. The side sewer connection can be reviewed under the UE but will be permitted under a separate commercial side sewer permit. A multifamily over-the-counter side sewer permit will be required to connect the proposed structure to the existing 8-inch sewer main. The applicant can apply for sewer connection permits when preconstruction items are submitted. Submittal of the Utility extension will coincide with future clearing and grading permit review.

Final civil engineering may require changes to the site layout to accommodate the utilities. Preliminary storm drainage review was completed under the codes and standards in place at the time of this application.

AUTHORITY: BCC 24.02, 24.04, 24.06
REVIEWER: Chris Brookes, Utilities

4. Garbage Enclosure

The proposed new garbage/recycling enclosure is over 200 square feet. Therefore, it must either be constructed per one of the following:

- a) Completely covered; **or**
- b) If uncovered, the garbage collection area shall be discharged to the sanitary sewer after passing through an oil/water separator. This information shall be included on all subsequent permit drawings and will be reviewed under the UE Permit (Developer Extension Agreement) process.

The maximum size/area of uncovered trash enclosure is 200 square feet.

Therefore, if the applicant chooses to keep the new enclosure shown on Design Review drawings *uncovered*, the enclosure must be reduced in size to 200 square feet or less, **and** an additional garbage location must be located on the site plan and submitted to Land Use for approval as a revision to this Design Review before a Building Permit can be issued.

- c) The garbage enclosure (covered or uncovered) shall be reviewed under the Building Permit.

AUTHORITY: LUC 20.25B.040.F
REVIEWER: Sally Nichols, Land Use
Chris Brookes, Utilities

5. Solid Waste/Recycling

The applicant shall provide a written document showing that Republic Services has been contacted to establish adequate sizing of the recycling and solid waste collection area for this building using current standards. All rights of way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

All lids for any solid waste and/or recycling receptacles must be made of molded plastic or other sound buffering material.

AUTHORITY: LUC 20.20.725 and 20.25B.040.F
REVIEWER: Sally Nichols, Land Use

C. PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

6. Right-of-Way Use Permit

Prior to application for a Right-of-Way Use Permit, the applicant shall contact the Transportation Department/Right-of-Way Section to determine whether holiday construction and traffic restrictions will apply to this project.

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) Pavement restoration requirements.
- i) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever (425) 452-4294

7. Civil Engineering Plans – Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all transportation related improvements must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans will be specified during the clear and grade permit phase for this project. These requirements will include vegetation pruning to improve sight distance.

AUTHORITY: BCC 14.60; Transportation Department Design Manual
REVIEWER: Ray Godinez, Transportation

8. Parking

Under the Clearing and Grading Permit, the applicant must submit a Site Plan that accurately delineates *and dimensions* the 153 parking spaces to be provided.

AUTHORITY: LUC 20.20.590
REVIEWER: Sally Nichols, Land Use

9. Final Landscape Plan

The Final Landscape Plan shall be submitted with the Clearing and Grading application to ensure compliance will all Land Use Code requirements. Plant species shall be chosen to minimize irrigation demands and reduce maintenance requirements.

To improve sight distances, the applicant will be required to trim existing vegetation and street trees east of the existing access driveway on NE 5th Street. However, **no tree/vegetation trimming may occur prior to issuance of the Clearing and Grading Permit.** A plan prepared by a landscape professional (landscape architect or certified arborist) shall be submitted under the Clearing and Grading Permit, that identifies the vegetation and street trees to be trimmed and the best management practices used to ensure viability of this existing vegetation.

AUTHORITY: LUC 20.20.520 and 20.25B.040.C
REVIEWER: Sally Nichols, Land Use

C. PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:

10. Transportation Impact Fee

Payment of the traffic impact fee will be required at the time of building permit issuance. If multiple building permits will be issued, the impact fee will be tied to the primary above-ground permit. Removal of existing buildings will be eligible for impact fee credit. The impact fee is estimated to be \$1360.00 per new multi-family unit. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply.

AUTHORITY: BCC 22.16
REVIEWER: Ray Godinez (425) 452-7915

11. Fire Department Conditions

FIRE DEPARTMENT ACCESS

- a) Provide approved access to all structures including during construction.
- b) Access roads:
 - 20' access roads shall be signed and posted "No Parking-Fire Lane" per Bellevue Standards at locations approved by the Fire Department.
 - 24' access roads shall be signed and posted "No Parking-Fire Lane" per Bellevue Standards at locations approved by the Fire Department. On one side.
 - 28' access roads will allow parking on both sides.
 - South East access will be Fire Department Use only and shall be 12' wide with a maximum grade of 15%. The FD access shall prohibit public use via removable bollards, a lockbox and signage.

- c) Any Fire turn-around or Hammerhead must comply with Bellevue Transportation Code and Appendix D of the International Fire Code as adopted.
- d) Any Circular turn-around must comply with Bellevue Transportation Code and Appendix D of the International Fire Code as adopted. Circumference shall be 28' inside and 48' outside.
- e) Road grade may not exceed 12% grade. If residential sprinklers are installed the grade may be increased to a maximum of 15%.

WATER SUPPLIES

- a) A fire hydrant is to be located within 400' of all exterior points of any structure.
- b) A fire hydrant shall be located within 100' of the Fire Department Connection (FDC).

FIRE PROTECTION REQUIREMENTS

- a) An automatic sprinkler system is required to be installed in accordance with IFC section 903. (Permit type FB) A fire underground permit will be required (FD Type). Class I standpipes are shall be installed per IFC 905 and BA amendments
- b) A manual fire alarm system that activates the occupant notification system is required per 907.2.9. (Permit type FA).
Manual fire alarm boxes are not required per 907.2.9.1 Exception 2.
- c) Single or multiple station smoke alarms shall be installed and maintained per IFC section 907.2.11.2.
- d) Carbon Monoxide alarms shall be provided per IFC 908.7 as amended by Washington State Amendments.

DEMOLITION/ CONSTRUCTION CODES

Demolition and Construction shall conform to the requirements of International Fire Code Chapter 33.

AUTHORITY: BCC Title 23
REVIEWER: Sean Nichols, Fire

- D. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):**

12. Transportation-Related Improvements

All transportation related improvements must be constructed by the applicant and accepted by the City Inspector prior to issuance of the final certificate of occupancy. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Department Design Manual
REVIEWER: Ray Godinez (425) 452-7915

13. Pavement Restoration

If needed, pavement restoration shall be provided as follows: NE 5th Street: Based on this street's excellent condition, it is classified with the City's overlay program as "Overlay

Required.” Street cutting is permitted only with extraordinary pavement restoration. Pavement restoration requirements will be specified in the required right of way permit to be issued for this project.

AUTHORITY: BCC 14.60. 250; Transportation Design Manual

REVIEWER: Tim Stever (425) 452-4294

14. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the applicant shall submit the following: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation and inspection approval by Land Use.

AUTHORITY: LUC 20.40.490

REVIEWER: Sally Nichols, Land Use

15. Landscape Maintenance Assurance Device

A landscape maintenance assurance device must be filed with the Development Services Department for a one-year period from final planting in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490

REVIEWER: Sally Nichols, Land Use

Attachments:

Project Drawings

Environmental Checklist





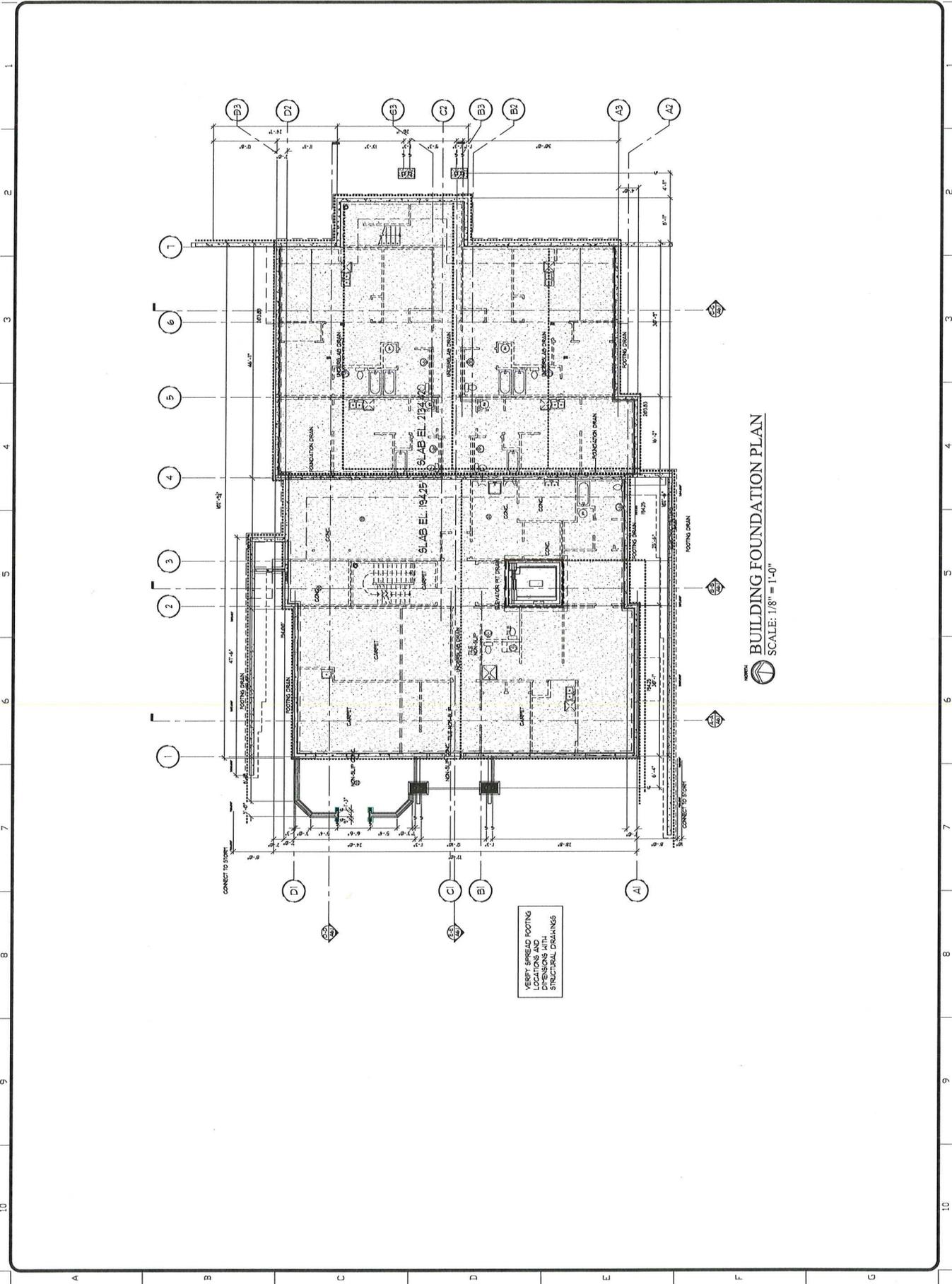
Sheet No.	03-24-14
Revision	02-24-14
Job No.	1324
Drawn by	
Checked by	
Approved by	

BUILDING FOUNDATION PLAN

WESTRIDGE APARTMENTS
 512-1241 PLACE NORTHEAST
 BELLEVUE, WASHINGTON
 4801-162ND AVENUE NORTHEAST
 REDMOND, WASHINGTON 98052

CHECK SET NOT FOR CONSTRUCTION

GMB
 CONSULTING ENGINEERS
 1804 180th Place NE Ste. 1
 Bellevue, Washington 98008
 Phone: 206.451.1100
 Fax: 206.451.1101
 Office: 206.451.1102
 Website: www.gmb.com



BUILDING FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

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1 2 3 4 5 6 7 8 9 10

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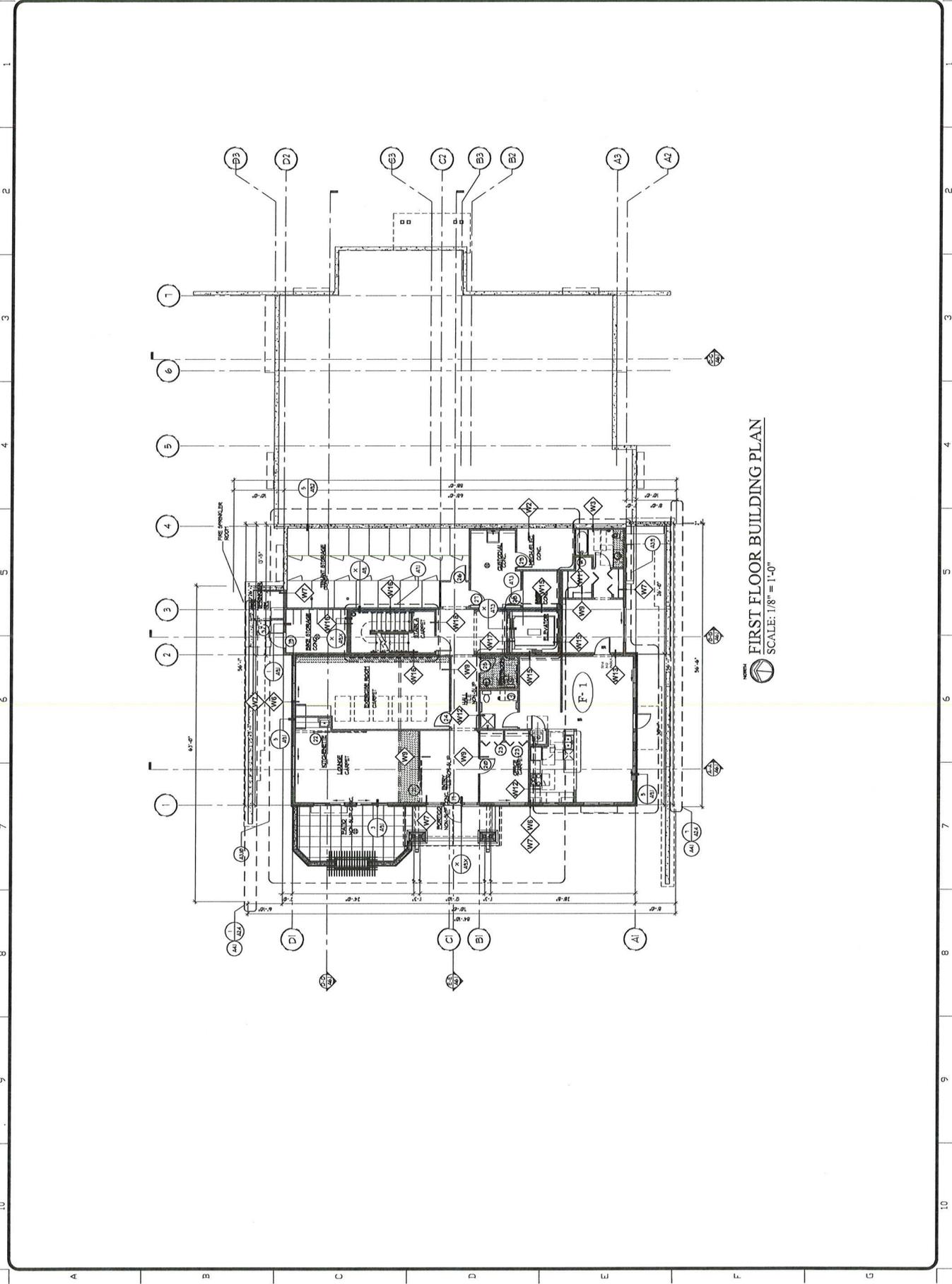
DATE: 02-24-12
PROJECT: R202
JOB #: 12224
DESCRIPTION:

FIRST FLOOR BUILDING PLAN

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 BELLEVUE, WASHINGTON
 512-1214 PLACE NORTH EAST
 BELLEVUE WESTRIDGE LT P15HP
 4801-162ND AVENUE NORTH EAST
 REDMOND, WASHINGTON 98052

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GWG
 Commercial
 1804 130th Place NE Ste. 1
 Redmond, WA 98052
 425.874.4427 FAX 425.874.3322
 office@gwgc.com
 Architecture • Design • Planning



FIRST FLOOR BUILDING PLAN
 SCALE: 1/8" = 1'-0"

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Date:	03-24-14
Drawn:	RS/C
Job #:	1324
Revisions:	

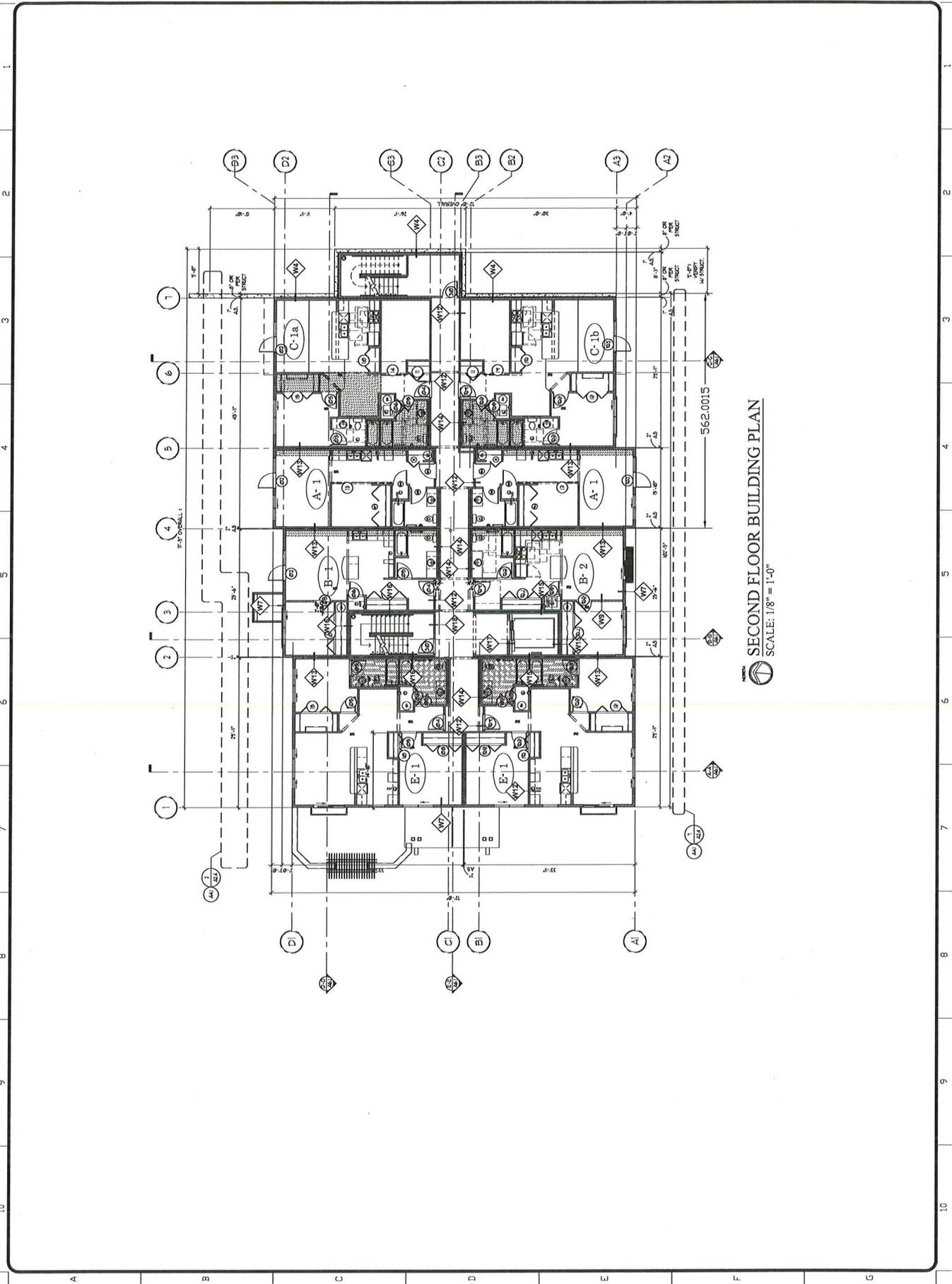
SECOND FLOOR BUILDING PLAN

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512-1214 PLACE NORTHEAST
BELLEVUE, WASHINGTON
4801-1524 AVENUE NORTHEAST
REDMOND, WASHINGTON 98052

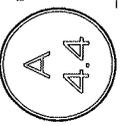
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GMS
Architectural Group
1004 108th Place NE Ste. 1
Bellevue, WA 98004
425.841.6442 Fax: 425.841.1921
office@gmsarch.com



SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

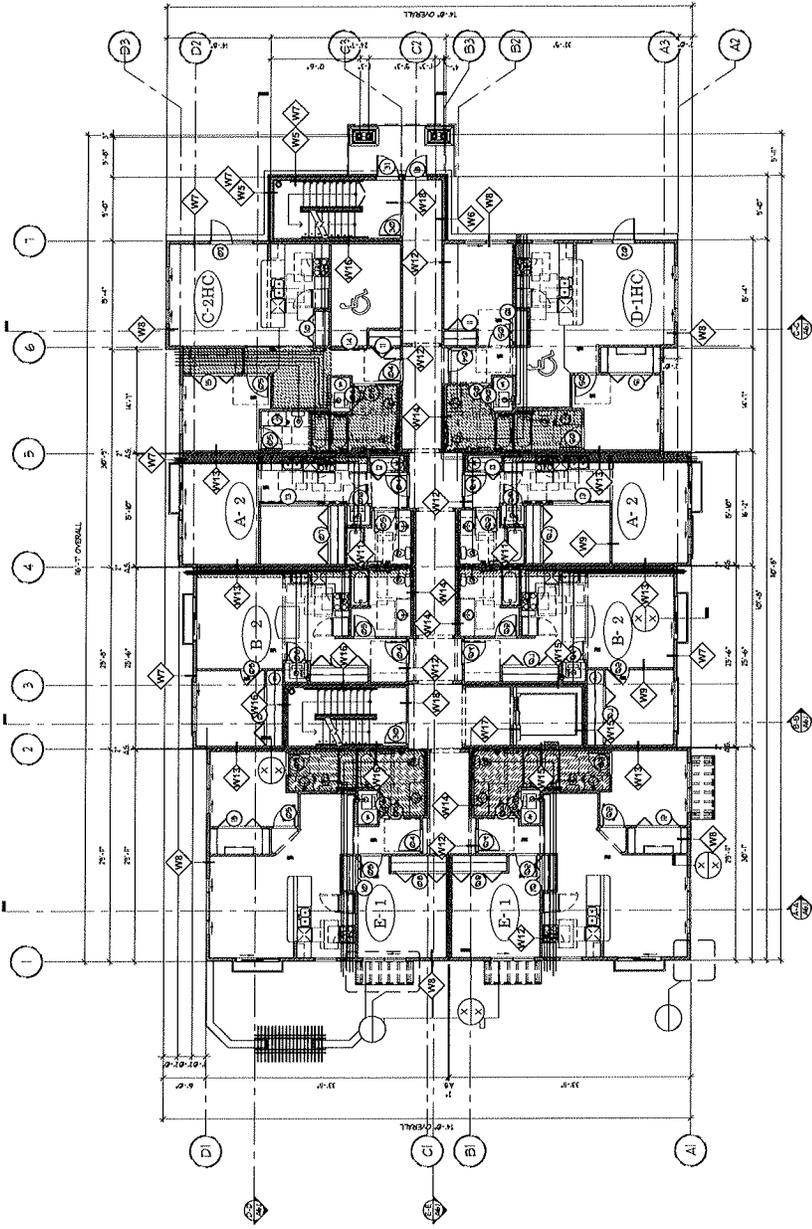


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PLAN	CD-24-14
JOB NO.	1324
DATE	
REVISIONS	

THIRD FLOOR BUILDING PLAN

WESTRIDGE APARTMENTS
 BELLEVUE, WASHINGTON
 4801-162ND AVENUE NORTH EAST
 REDMOND, WASHINGTON 98052

gmp
 ARCHITECTS
 1804 12th St. SE
 Bellevue, Washington 98003
 Phone: 206.451.1000
 Fax: 206.451.1001
 www.gmp-architects.com



THIRD FLOOR BUILDING PLAN
 SCALE: 1/8" = 1'-0"

LEGEND

	HALL, APARTMENT, MEET. AREA, etc.
	CORRIDOR, etc.
	STAIR, etc.
	ELEVATOR, etc.
	MECHANICAL ROOM, etc.
	UTILITY ROOM, etc.
	FIRE EXTINGUISHER, etc.
	ADA SIGNAGE, etc.
	EXIT LIGHT, etc.
	EXIT SIGN, etc.

NOTES

1. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND NOTES.
2. SEE CIVIL DRAWINGS FOR UTILITY LOCATIONS AND NOTES.
3. SEE MECHANICAL DRAWINGS FOR MECHANICAL ROOMS AND NOTES.
4. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL ROOMS AND NOTES.
5. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DETAILS AND NOTES.

1 2 3 4 5 6 7 8 9 10

A1 A2 A3 A4 A5 A6

1 2 3 4 5 6 7 8 9 10



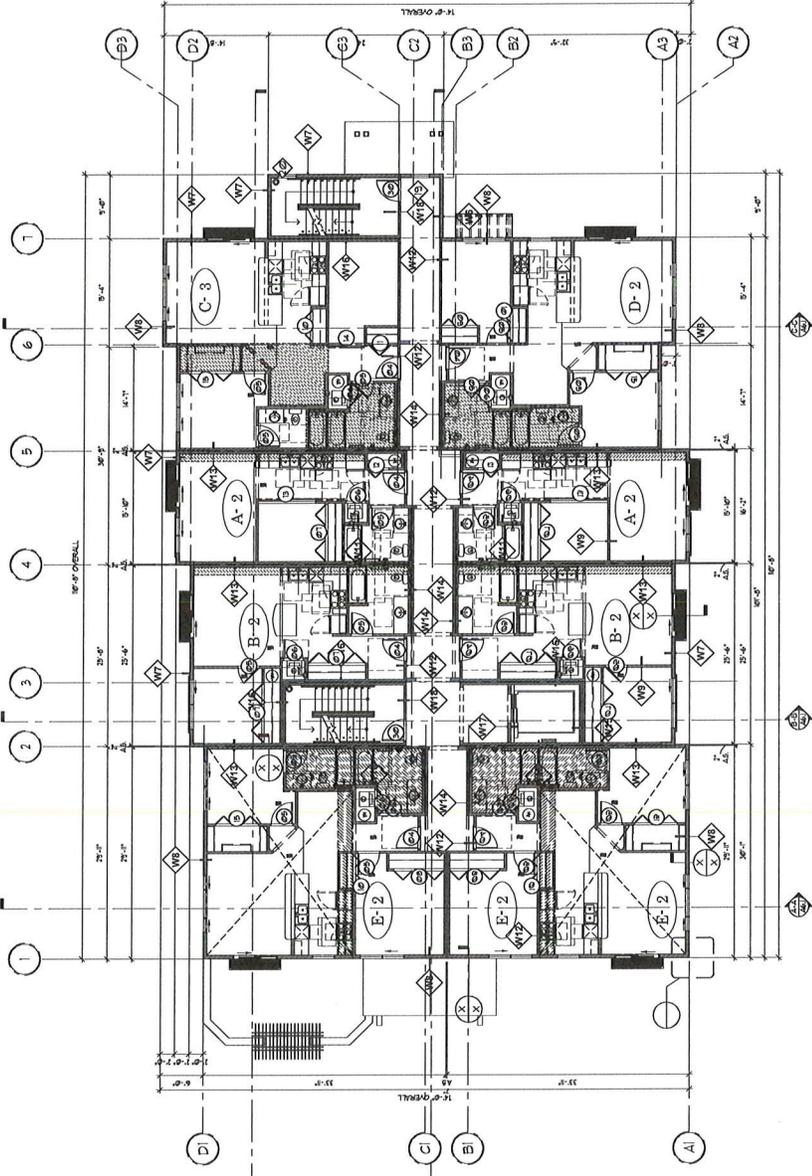
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DRAWN BY	SAJ
CHECKED BY	SAJ
DATE	03/24
REVISIONS	

FOURTH FLOOR BUILDING PLAN

WESTRIDGE APARTMENTS
 512 121st PLACE NORTHEAST
 BELLEVUE, WASHINGTON
 BELLEVUE WESTRIDGE LT P15P
 4801 162nd AVENUE NORTHEAST
 REDMOND, WASHINGTON 98052

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Architectural Group
 1904 130th Place NE Ste. 1
 Bellevue, Washington 98005
 206.461.1121
 office@agmarch.com



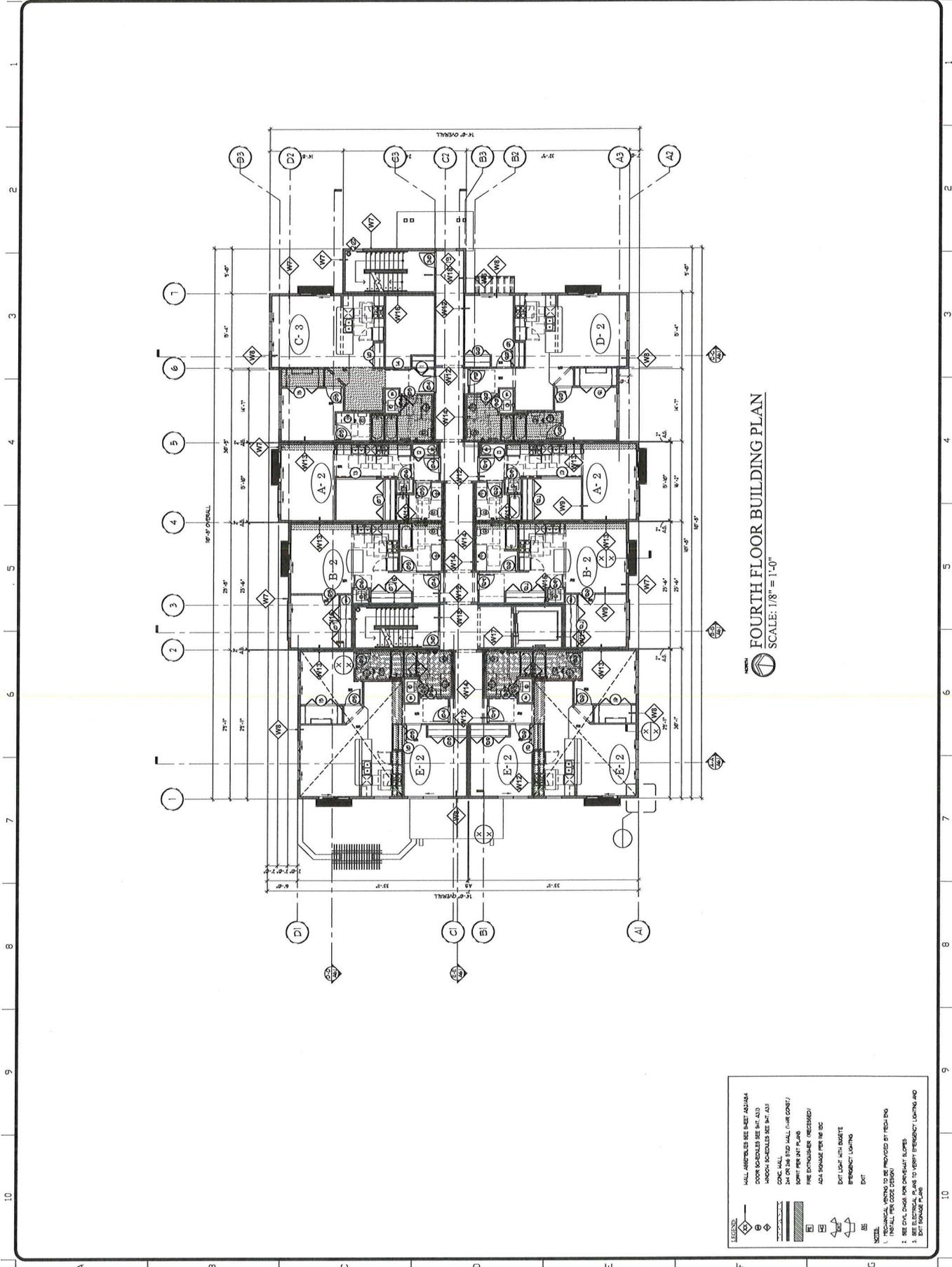
FOURTH FLOOR BUILDING PLAN
 SCALE: 1/8" = 1'-0"

LEGEND

- HALL (SCHEDULES SEE SHEET A0104A)
- DOOR SCHEDULES SEE SHEET A0104B
- WINDOW SCHEDULES SEE SHEET A0104C
- STAIR (SCHEDULES SEE SHEET A0104D)
- ELEVATOR (SCHEDULES SEE SHEET A0104E)
- CORE PER INT. PLAN
- FINE PARTICULATE (RECYCLED)
- ADA COMPLIANCE PER 907.203
- EXIT LIGHT (WITH BATTERY)
- EMERGENCY LIGHTING
- EXIT

NOTES

1. MECHANICAL WORKING TO BE PROVIDED BY TREC ENGINEERING (INSTALL PER CODE DESIGN)
2. SEE CIVIL DRAWING FOR DRIVEWAY SLOPES
3. SEE ELECTRICAL DRAWING FOR TO VERIFY EMERGENCY LIGHTING AND EXIT SIGNAGE PLACING





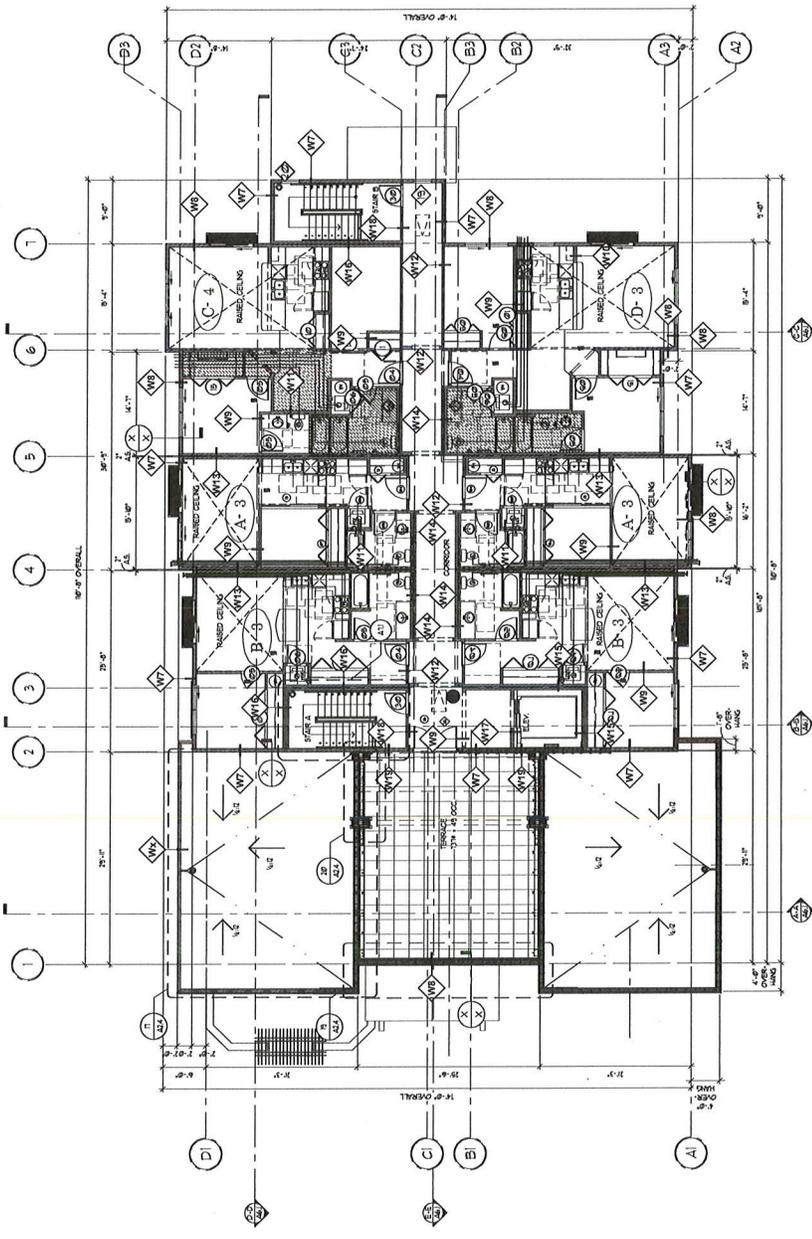
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 Project: R453
 Job #: 1324
 Revision:

FIFTH FLOOR BUILDING PLAN
 WESTEDGE APARTMENTS
 512-1241 PLACE NORTHEAST
 BELLEVUE, WASHINGTON
 4801 162ND AVENUE NORTHEAST
 REDMOND, WASHINGTON 98052

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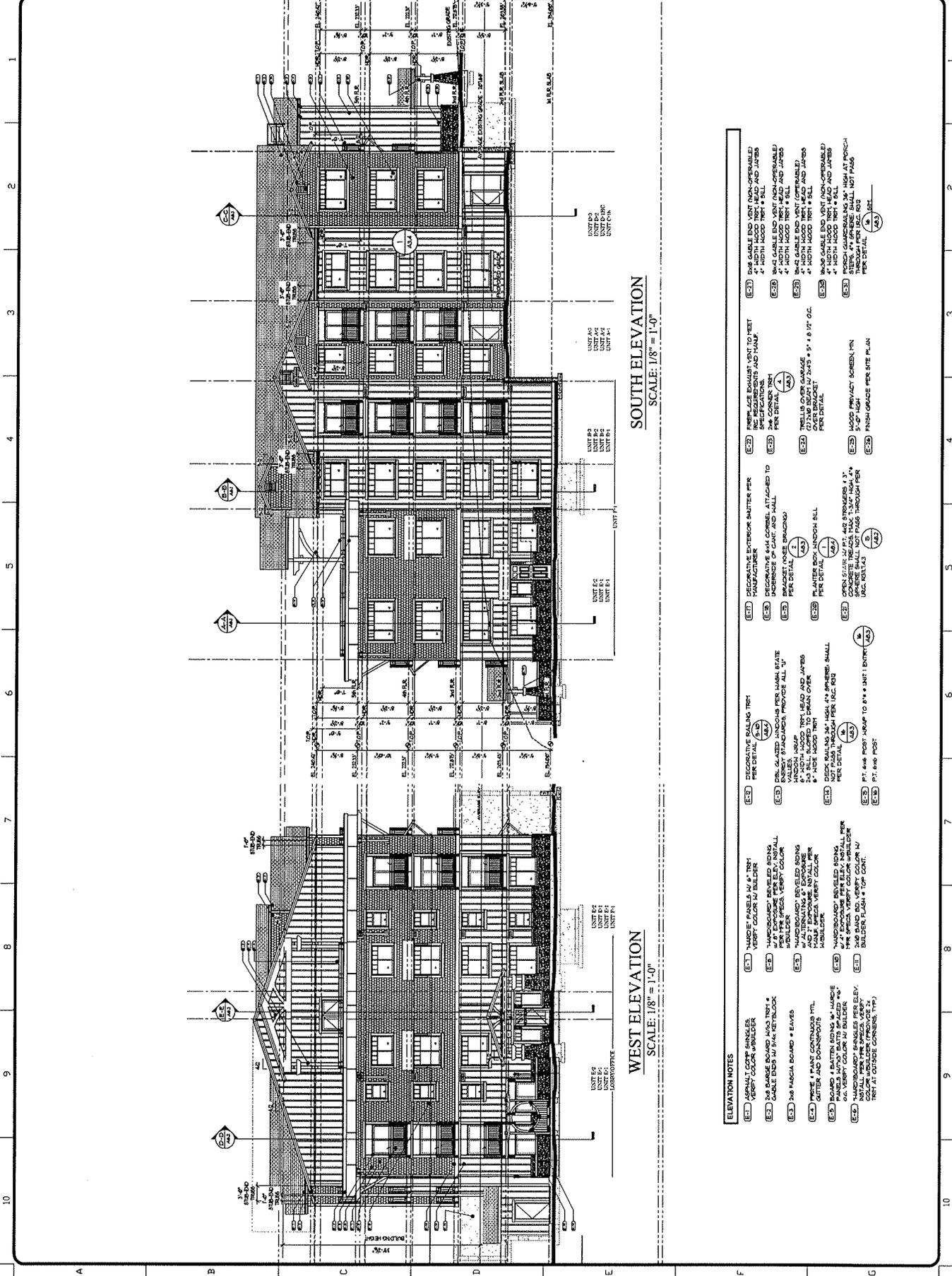
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GMS
 Architectural Group
 1804 130th Place NE Ste. 1
 Bellevue, Washington 98005
 Tel: 206.469.1100
 Fax: 206.469.1101
 office@gmsarch.com



FIFTH FLOOR BUILDING PLAN
 SCALE: 1/8" = 1'-0"

- LEGEND:**
- WALL ANNOTATIONS SEE SHEET A212A/B
 - DOOR SCHEDULES SEE SHEET A213
 - WINDOW SCHEDULES SEE SHEET A214
 - CONC. WALL
 - DOOR ON 3RD FLOOR HALL (CLASH CORRECT)
 - FIRE EXTINGUISHER (PRE-INSTALLED)
 - ADA SIGNAGE PER NFIC
 - LIGHT FIXTURE
 - EMERGENCY LIGHTING
 - DOOR
- NOTES:**
1. TECHNICAL WRITING TO BE PROVIDED BY FIELD ENG
 2. SEE CIVIL ENGINEER FOR UTILITY SUPPLIES
 3. SEE CIVIL ENGINEER FOR UTILITY SUPPLIES TO TEST EMERGENCY LIGHTING AND DOOR SIGNAGE PLANS



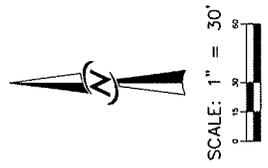
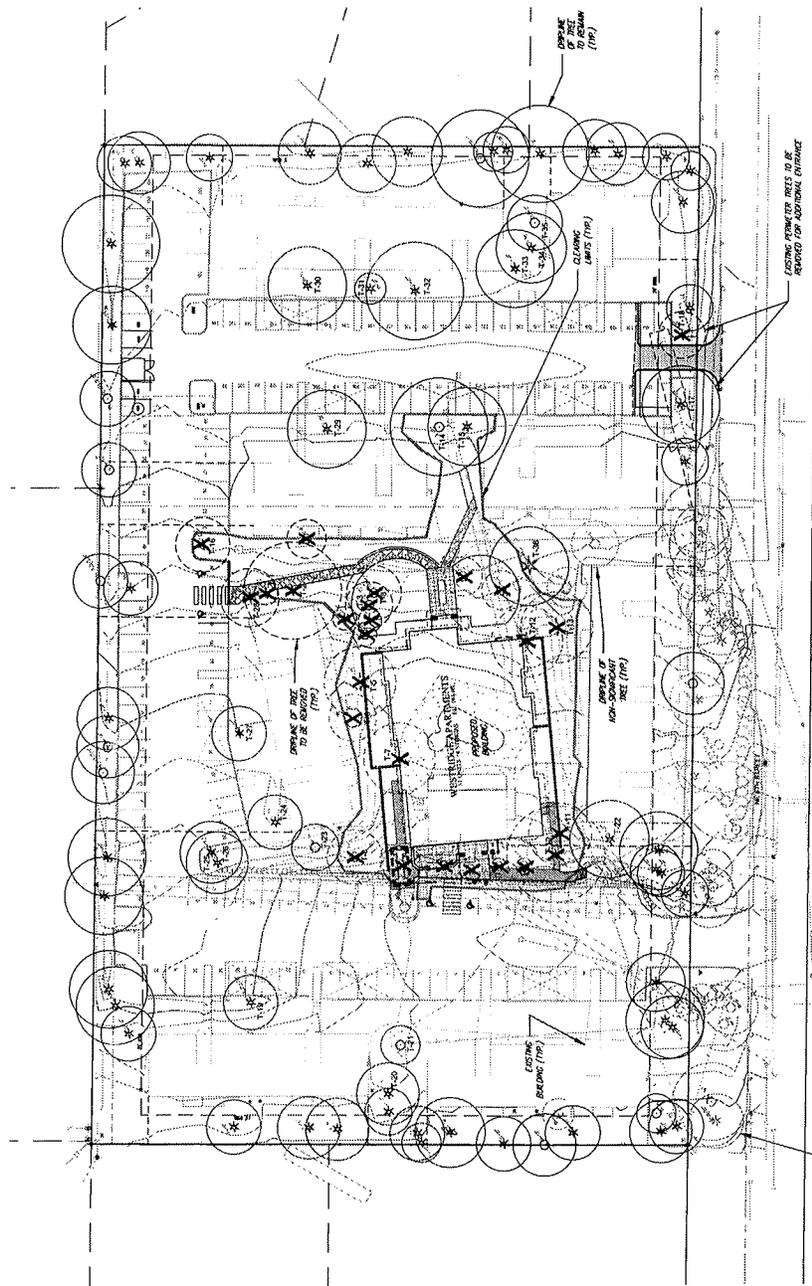
SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

WEST ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- E-1 ASPHALT GOTE SHINGLES VERIFY COLOR W/ BUILDER
- E-2 2x8 BASE BOARD AND TRIM + VERIFY COLOR W/ BUILDER
- E-3 GABLE END IN 2x4 NETWORK BUILDER
- E-4 2x8 FASCIA BOARD + EAVES
- E-5 WHITE + PAINT CONTIGUOUS W/ GUTTER AND DOWNSPOUTS
- E-6 PANELS ABOVE BALTS SPACED 2x8
- E-7 2x8 BASE BOARD AND TRIM + VERIFY COLOR W/ BUILDER
- E-8 2x8 WALL PANEL UNDER ELEV. COLOR BUILDER (PROVIDE IN TRIM AT CORNER CONNECTIONS, TYP.)
- E-9 "HARDBOARD" REVEALED SIDING VERIFY COLOR W/ BUILDER
- E-10 "HARDBOARD" REVEALED SIDING VERIFY COLOR W/ BUILDER
- E-11 2x8 HAND DO. VERIFY COLOR W/ BUILDER (PROVIDE IN TRIM AT CORNER CONNECTIONS, TYP.)
- E-12 2x8 FASCIA BOARD + EAVES
- E-13 2x8 FASCIA BOARD + EAVES
- E-14 2x8 FASCIA BOARD + EAVES
- E-15 2x8 FASCIA BOARD + EAVES
- E-16 2x8 FASCIA BOARD + EAVES
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- E-35 2x8 FASCIA BOARD + EAVES
- E-36 2x8 FASCIA BOARD + EAVES
- E-37 2x8 FASCIA BOARD + EAVES
- E-38 2x8 FASCIA BOARD + EAVES

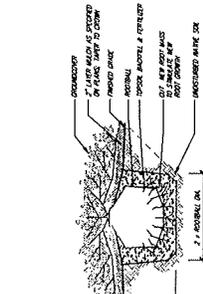
NE 1/4 OF THE NW 1/4 OF SEC. 33, TWP. 25 N., RGE. 5 E., W.M.



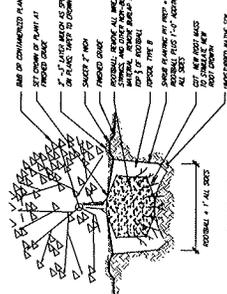
Size Interior Significant Trees		Interior Tree Inches to Remain	
Tree Number	Species	Tree Number	Species
T-1	Cedar	T-14	Maple
T-2	Fir	T-15	Fir
T-3	Deciduous	T-16	Cedar
T-4	Deciduous	T-17	Fir
T-5	Maple	T-18	Maple
T-6	Maple	T-19	Fir
T-7	Cedar	T-20	Maple
T-8	Maple	T-21	Fir
T-9	Maple	T-22	Fir
T-10	Fir	T-23	Deciduous
T-11	Cedar	T-24	Fir
T-12	Fir	T-25	Cedar
T-13	Fir	T-26	Cedar
T-14	Fir	T-27	Fir
T-15	Fir	T-28	Fir
T-16	Fir	T-29	Fir
T-17	Fir	T-30	Fir
T-18	Fir	T-31	Fir
T-19	Fir	T-32	Fir
T-20	Fir	T-33	Fir
T-21	Fir	T-34	Fir
T-22	Fir	T-35	Deciduous
T-23	Fir	T-36	Fir
T-24	Fir	T-37	Fir
T-25	Cedar	T-38	Fir
T-26	Cedar	T-39	Fir
T-27	Fir	T-40	Fir
T-28	Fir	T-41	Fir
T-29	Fir	T-42	Fir
T-30	Fir	T-43	Fir
T-31	Fir	T-44	Fir
T-32	Fir	T-45	Fir
T-33	Fir	T-46	Fir
T-34	Fir	T-47	Fir
T-35	Deciduous	T-48	Fir
T-36	Fir	T-49	Fir
T-37	Fir	T-50	Fir
T-38	Fir	T-51	Fir
T-39	Fir	T-52	Fir
T-40	Fir	T-53	Fir
T-41	Fir	T-54	Fir
T-42	Fir	T-55	Fir
T-43	Fir	T-56	Fir
T-44	Fir	T-57	Fir
T-45	Fir	T-58	Fir
T-46	Fir	T-59	Fir
T-47	Fir	T-60	Fir
T-48	Fir	T-61	Fir
T-49	Fir	T-62	Fir
T-50	Fir	T-63	Fir
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T-53	Fir	T-66	Fir
T-54	Fir	T-67	Fir
T-55	Fir	T-68	Fir
T-56	Fir	T-69	Fir
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T-58	Fir	T-71	Fir
T-59	Fir	T-72	Fir
T-60	Fir	T-73	Fir
T-61	Fir	T-74	Fir
T-62	Fir	T-75	Fir
T-63	Fir	T-76	Fir
T-64	Fir	T-77	Fir
T-65	Fir	T-78	Fir
T-66	Fir	T-79	Fir
T-67	Fir	T-80	Fir
T-68	Fir	T-81	Fir
T-69	Fir	T-82	Fir
T-70	Fir	T-83	Fir
T-71	Fir	T-84	Fir
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T-73	Fir	T-86	Fir
T-74	Fir	T-87	Fir
T-75	Fir	T-88	Fir
T-76	Fir	T-89	Fir
T-77	Fir	T-90	Fir
T-78	Fir	T-91	Fir
T-79	Fir	T-92	Fir
T-80	Fir	T-93	Fir
T-81	Fir	T-94	Fir
T-82	Fir	T-95	Fir
T-83	Fir	T-96	Fir
T-84	Fir	T-97	Fir
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T-86	Fir	T-99	Fir
T-87	Fir	T-100	Fir
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T-89	Fir	T-102	Fir
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T-109	Fir	T-122	Fir
T-110	Fir	T-123	Fir
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T-112	Fir	T-125	Fir
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T-213	Fir	T-226	Fir
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T-290	Fir	T-303	Fir
T-291	Fir	T-304	Fir
T-292	Fir	T-305	Fir
T-293	Fir	T-306	Fir
T-294	Fir	T-307	Fir
T-295	Fir	T-308	Fir
T-296	Fir	T-309	Fir
T-297	F		

NE 1/4 OF THE NW 1/4 OF SEC. 33, TWP. 25 N., RGE. 5 E., W. 11.

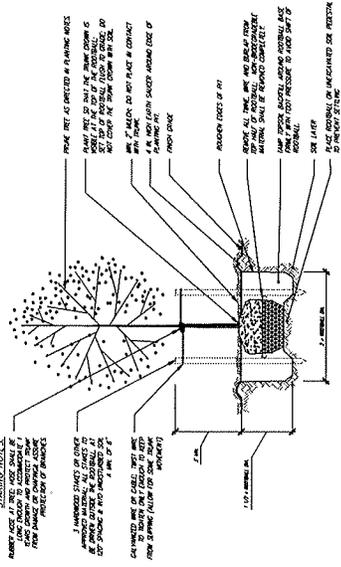
DETAILS



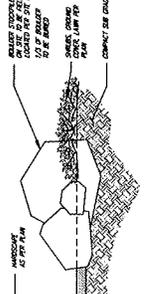
GROUND COVER
NO SCALE



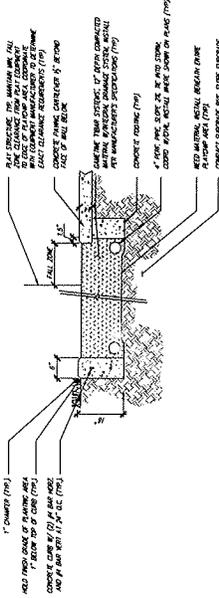
SHRUB
NO SCALE



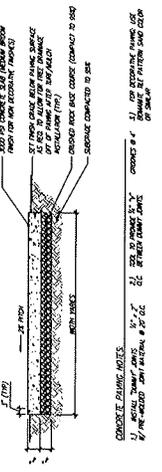
TREE
NO SCALE



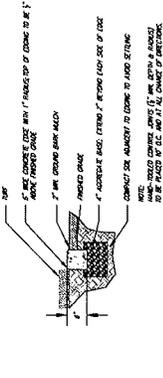
BOULDER DETAIL
NO SCALE



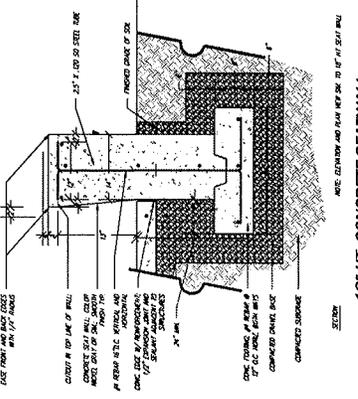
PLAY AREA EDGE/SURFACE
NO SCALE



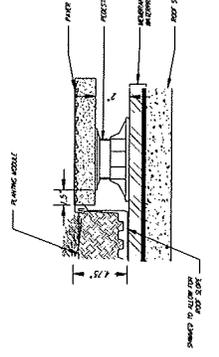
WALKWAY
NO SCALE



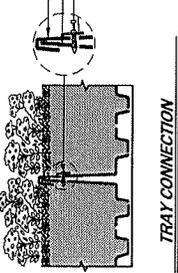
CONCRETE EDGING DETAIL
NO SCALE



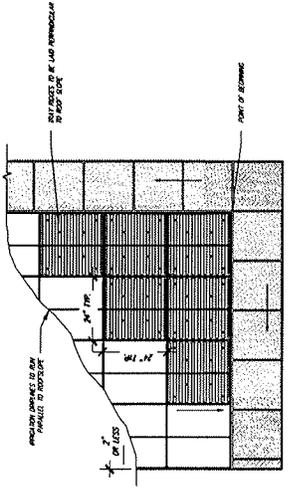
48" HI. CONCRETE SEATWALL
NO SCALE



PAVER/PEDESTAL W/ MODULE
NO SCALE



TRAY CONNECTION
NO SCALE



TRAY LAYOUT
NO SCALE

DATE	JUNE 2014
DESIGNED	LANSBET B. SOKOLOV
DRAWN	JOSHUA P. BEHARD
APPROVED	KEVIN J. HANDELMAN
SHEET	5
PROJECT NUMBER	12157/GMS



STATE OF WASHINGTON
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LANDSCAPE ARCHITECT
KELVIN J. HANDELMAN
LICENSED PROFESSIONAL LANDSCAPE ARCHITECT
LICENSE NO. 12157/GMS
EXPIRES 12/31/2014

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LANDSCAPE DETAILS
WESTRIDGE APARTMENTS
BELLUE WESTRIDGE LIMITED PARTNERSHIP
1320 MARKET STREET, SUITE B
KINGMAN, WA 98033

DATE	JUNE 2014
DESIGNED	LANSBET B. SOKOLOV
DRAWN	JOSHUA P. BEHARD
APPROVED	KEVIN J. HANDELMAN
SHEET	5
PROJECT NUMBER	12157/GMS

Sally Nichols
March 13, 2015

ENVIRONMENTAL CHECKLIST

4/11/2013

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call Development Services (425-452-6800) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

BACKGROUND INFORMATION

Property Owner: Bellevue Westridge Limited Partnership ✓

Proponent: GMS Architects ✓

Contact Person: Patrick W. McBride ✓

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: 1804-136th Place NE, Suite #1, Bellevue, Wa. 98005 ✓

Phone: (425) 644-1446 ✓

Proposal Title: Westridge Apartments ✓

Proposal Location: 500-121st Place NE, Bellevue, Wa. ✓

(Street address and nearest cross street or intersection) Provide a legal description if available.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description: 31 unit apartment building, 3-5 floors, wood framed ✓

2. Acreage of site: 3.58 acres ✓

3. Number of dwelling units/buildings to be demolished: 1 recreation building *and swim pool* ✓

4. Number of dwelling units/buildings to be constructed: 1 apartment building ✓

5. Square footage of buildings to be demolished: 2,000+/- ✓

6. Square footage of buildings to be constructed: 30,681 sqft. ✓ *7245 SF footprint* ✓

7. Quantity of earth movement (in cubic yards): *excav 55 cy.* ✓

8. Proposed land use: Residential, zoned R-30 ✓ *Transition Area Design Dist.*

9. Design features, including building height, number of stories and proposed exterior materials: ✓

3-5 stories with modulation, steps up hill, 40' height (midpoint of roof to average grade), "Hardie" siding, board & batten and shingles with stone accents.

10. Other

Juliet balconies, craftsman detailing, upper level terrace. ✓ *green roof*

SN

Estimated date of completion of the proposal or timing of phasing:
summer 2015

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

Existing units to be repainted and re-detailed (battens added to existing stucco board). ✓

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. ✓

none

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

none ^{OK} ⁸⁷⁸ 15-103897-BB
15-103860-6D

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

clearing and grading, demolition, building, utilities, fire, transportation

15-103897-UE

Please provide one or more of the following exhibits, if applicable to your proposal. (Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning
- Preliminary Plat or Planned Unit Development
Preliminary plat map
- Clearing & Grading Permit
Plan of existing and proposed grading *in review*
Development plans
- Building Permit (or Design Review) *in review*
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other ✓

b. What is the steepest slope on the site (approximate percent slope)? ✓

8% ✓

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland. ✓

gravily sandy loam

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

no

Reports to Geotech Report prepared by GeoEngr3 dated 9/19/14 in file

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Purpose of grading to to construct a new building on a existing multi family residential site. Grading will provide building pad for new construction and walkways. Total cut will be 2,336 cubic yards with no fill. If it discovered that site will need fill, a fill source statement will be submitted at that time.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Potentially, resulting from denuded soils during and immediately following storm events

Bill 23.76 - Erosion & Sedimentation Control C&G code

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Existing impervious coverage is 54.7%. After construction total impervious coverage will be 57.8%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

A temporary erosion and sedimentation control plan will be implemented prior to construction. During construction, erosion control measures may include any of the following: siltation fence, siltation ponds and other materials which may be used in accordance with City requirements. At completion of the project, permanent measures will include stormwater runoff detention and water quality facilities as required.

TESC req'd w/ C&G permit Bill 23.76

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

approx. 42 additional cars on site.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

no

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

none

Construction Dust suppression measures per Bill 23.76 - Clearing and Grading Code

3. WATER

a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. ✓

There are no surface water bodies in the immediate vicinity of project site.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans. ✓

The project will not require such work.

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. ✓

Not applicable

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. ✓

Not applicable

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. ✓

The site does not lie within a 100yr floodplain.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. ✓

No, a public sanitary sewer system will be installed to serve dwellings

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description. ✓

no

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. ✓

Not applicable. The site will be served by sanitary sewers.

c. Water Runoff (Including storm water)

(1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Stormwater runoff from roadways and other impervious surfaces will be collected by yard drains and catch basins and tight lined into existing public storm-system. Maximum runoff is expected at .180 CFS.

(2) Could waste materials enter ground or surface waters? If so, generally describe.

Unlikely. Potential materials entering ground or surface water may be ones associated with automobile discharges and landscape preparations. Pollutants generated during construction are suspended solids and trace petroleum hydrocarbons. Following construction sources include, roadway and landscaping chemicals.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

A City approved storm drainage system will be designed and implemented to mitigate any adverse impacts from runoff.

*BCC 24.06 utilities
BCC 23.76
C&G*

4. Plants

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

*ornamental landscaping
for apt. complex*

*15 interior / 1 perimeter trees
removed. Replaced w/
24 new trees per
LWG 20.20.900*

b. What kind and amount of vegetation will be removed or altered?

Selected trees on the property will be retained to satisfy the City of ~~Sammamish~~ *Bellevue* Tree Retention Requirements. Please refer to the Tree Retention Plan prepared by Core Design for specific tree retention information. The remainder of the site will be cleared for construction of dwellings and access/utilities.

c. List threatened or endangered species known to be on or near the site.

No threatened or endangered species known to be on or near the site.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Proposed landscape plan will emphasis the use of native or drought resistant plants. Invasive species found on site will be removed to enhance existing vegetation, where retained.

SN

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

animals top of lowland

- b. List any threatened or endangered species known to be on or near the site.

none

- c. Is the site part of a migration route? If so, explain.

no

- d. Proposed measures to preserve or enhance wildlife, if any:

none

new landscaping

*Pacific flyway -
entire Puget Sound region*

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

electricity will be used for all energy needs.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

no

does not block solar access to adj. bldgs

- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

The project will meet or exceed state energy requirements.

*green roof
around west-
facing terrace*

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

no

- (1) Describe special emergency services that might be required.

none

- (2) Proposed measures to reduce or control environmental health hazards, if any.

none

b. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

traffic noise, fairly remote

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site. ✓
modest increase in vehicular noise.

- (3) Proposed measures to reduce or control noise impacts, if any: ✓
none

noise impacts regulated per BCC 9.18 Noise Control - including construction hours

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties? ✓
residential
- b. Has the site been used for agriculture? If so, describe. ✓
no
- c. Describe any structures on the site. ✓
8, 2 -2 1/2 story apartments plus a recreation building.
- d. Will any structures be demolished? If so, what? ✓
The recreation building and pool will be demolished.
- e. What is the current zoning classification of the site? ✓
R-30 w/in single family transition area
- f. What is the current comprehensive plan designation of the site?
~~Bel Red GC~~ multi-family high
- g. If applicable, what is the current shoreline master program designation of the site? ✓
none NA
- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. ✓
no
- i. Approximately how many people would reside or work in the completed project? ✓
35-55 371 units
- j. Approximately how many people would the completed project displace? ✓
none
- k. Proposed measures to avoid or reduce displacement impacts, if any: ✓
none
- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:
none, project is compatible.

Design Review criteria to ensure compatibility see staff report for 14-138959-LD.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.
31 mid-income ✓
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.
none ✓
- c. Proposed measures to reduce or control housing impacts, if any: ✓
none

adding housing

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?
40' (mid-roof to average ^{gn.} grade) ✓
- b. What views in the immediate vicinity would be altered or obstructed?
none ✓
- c. Proposed measures to reduce or control aesthetic impacts, if any: ✓
Lodge/craftsman style detailing and massing, existing buildings on site will be repainted and detail added.

*Design Review
req'd per criteria in
LUC 20.25 B.*

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?
none ✓
- b. Could light or glare from the finished project be a safety hazard or interfere with views?
no ✓
- c. What existing off-site sources of light or glare may affect your proposal?
none
- d. Proposed measures to reduce or control light or glare impacts, if any: ✓
Low glare craftsman style site lights to be used.

*materials & colors chosen
to reduce glare
light and glare code -
LUC 20.20.522*

shields to be used

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? ✓
Bellevue Botanical Garden and Wilburton Hill park are several blocks to the south, Glendale Country club to the east.
- b. Would the proposed project displace any existing recreational uses? If so, describe. ✓
Existing recreation building is to be demolished.
Land pool
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: ✓
Proposed building will have an exercise room as well as a patio and upper floor terrace and play areas.
to east of bldg

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. ✓
no
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site. ✓
none
- c. Proposed measures to reduce or control impacts, if any: ✓
none

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. ✓
NE 5th Street
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? ✓
The site is One and one half blocks from a rapid ride station with close by connection to the Bellevue transit ✓
- c. How many parking spaces would be completed project have? How many would the project eliminate? ✓
150 required and provided, ³ spaces eliminated by reconfiguration will be made up. ✓
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). ✓
no *new emergency access (gated w/knox box) req'd by Fire Dept.*
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. ✓
no
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. ✓
15 new pm peak
- g. Proposed measures to reduce or control transportation impacts, if any: ✓
none
*trim vegetation to increase sight distance @ entry driveway.
R.O.W. use Permit for construction hauling, use of R.O.W. BCC 14.30*

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. ✓

Additional residents could marginally increase fire and police services, smaller apartments are not likely to attract many families with children.

require additional emergency vehicular access (req. by Fire Dept.)

- b. Proposed measures to reduce or control direct impacts on public services, if any. ✓
none

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other. ✓

water, sanitary, storm, electric, gas, refuse

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. ✓

Water, sanitary, storm and electric are required and on site.

Prelim. storm Drainage Report 6/3/14 by CORE

stormwater per BC 24.06 Utility Code

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....

Date Submitted.....

[Handwritten Signature]
6/24/14

SN

