



**City of Bellevue
Department of Planning and Community Development
Land Use Division Staff Report**

Proposal Name: Factoria Condominiums

Proposal Address: 4030 Factoria Blvd. SE

Proposal Description: Application for Design Review and SEPA approval to construct seven units of attached multi-family, townhome-style housing within two separate buildings on a 0.28 acre site. Included are 14 garage parking spaces and 2 guest spaces. Proposal property is split zoned R-30 and R-20, and the eastern half of the site lies within the Single Family Transition Area Design District.

File Number: 07-143689-LD

Applicant: Marc Lauricella
Revolve Properties

Decisions Included: Process II, Combined Design Review and SEPA

Planner: Sally Nichols

State Environmental Policy Act
Threshold Determination: **Exempt per BCC 22.02.032.B.1**

Director's Decision: **Approval with Conditions**

Carol V. Hilland for

Matthew A. Terry, Director
Dept. of Planning & Community Development

Notice of Decision Date: June 19 2008
Appeal Deadline: July 3, 2008

For information on how to appeal a proposal, visit the Permit Center at City Hall or call (425) 452-6864. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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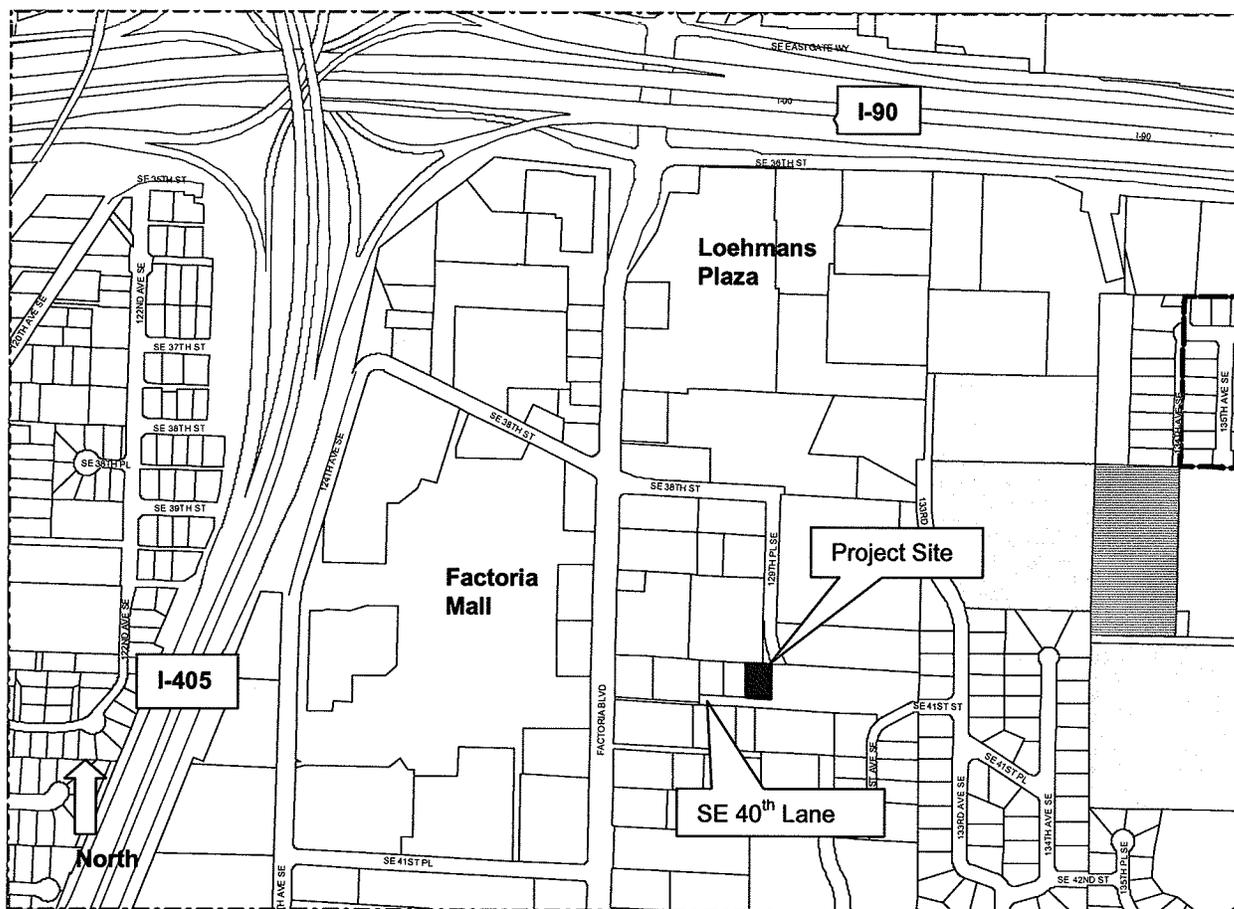
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Attached: Project Plans

I. REQUEST/PROPOSAL DESCRIPTION

The applicant requests Design Review approval to construct seven units of attached multi-family townhome style housing in two buildings on a 12,520 square foot (0.29 acres) site in the Factoria Subarea. There will be a total of 14 parking spaces in garages and two surface guest parking spaces. The proposal property is split zoned R-30 and R-20. The R-20 zone lies in eastern portion of the site and it is also within the Single Family Transition Area Design District.

Vicinity Map



A. Review Process

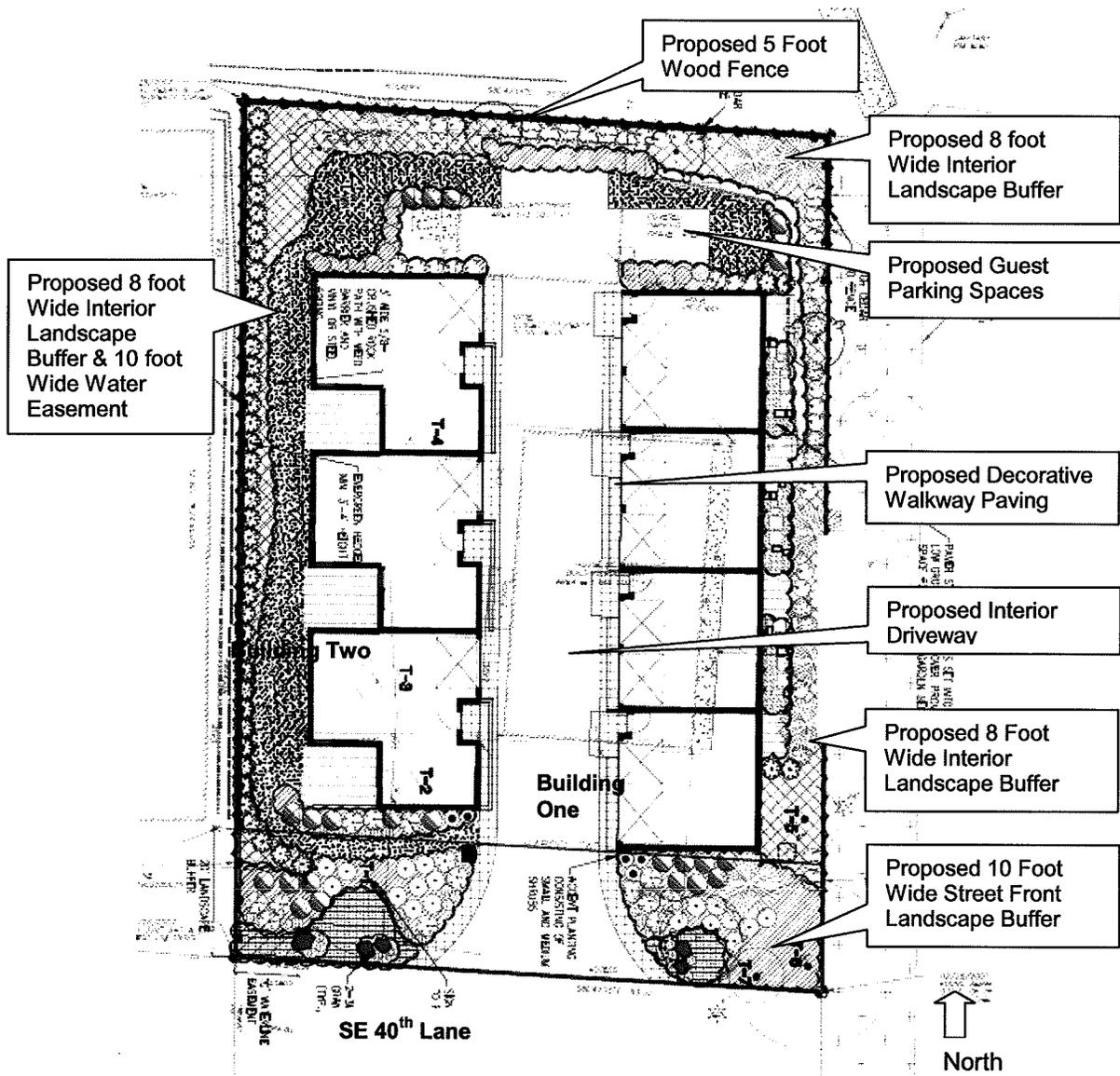
Because the eastern, R-20 portion of the site is located within a Single Family Transition Area Design District, Administrative Design Review for the entire development is required. However, only the R-20 portion of the site and building that is within the Transition Area Design District is subject to the transition area development standards (LUC 20.25B.030). The Design Review is a Process II, administrative land use decisions requiring public notice and approval by the Department Director. The Director issues the Design Review decision.

B. Site Design

The two proposed buildings are aligned on the site in a north-south direction off of an interior driveway. Building One lies entirely within the eastern R-20 zone and Transition Area Design District. It will contain four (4) townhome units. Building Two is located on the western, R-30 portion of the site and will contain three (3) townhome units.

The site is accessed via SE 40th Lane; a private road that connects the proposal site to Factoria Boulevard. An existing access easement allows the use of this Lane as the access roadway to the proposal site. The two new buildings will each front on the internal driveway and all units will have two-car garages. There will be two guest parking stalls at the northern end of the driveway.

Site Plan



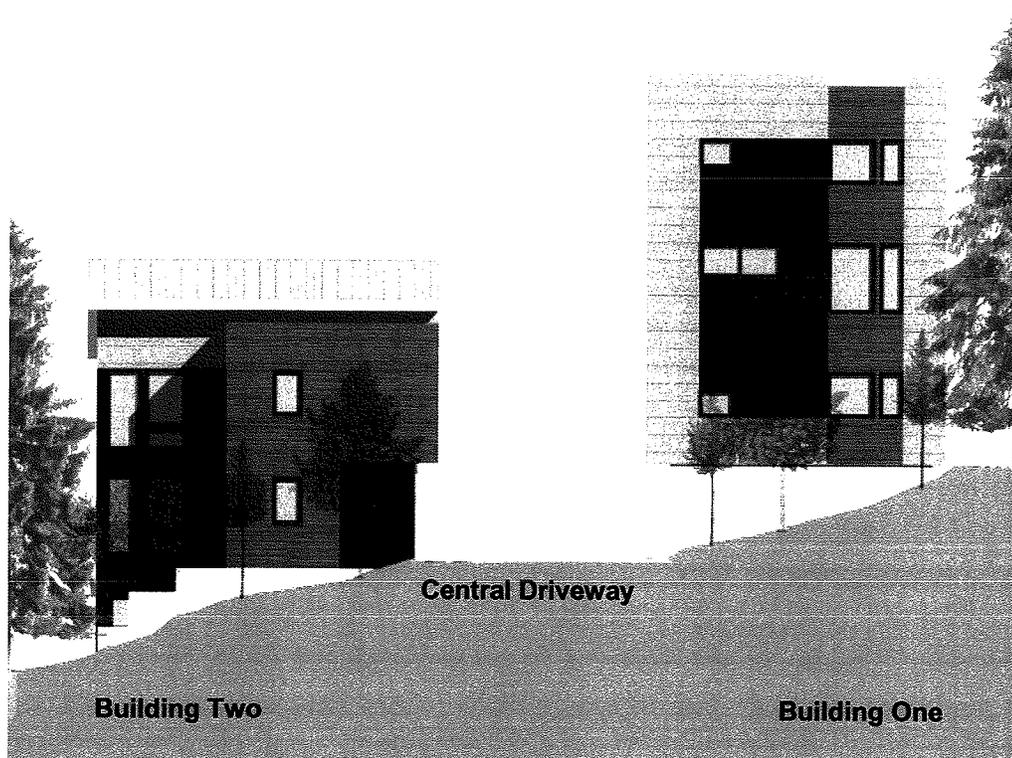
Decorative pavement in front of the garages of each building will highlight the unit entries and will delineate pedestrian walkways that will continue to SE 40th Lane. There will be an additional paved surface for a vehicular turn-around area at the dead end of SE 40th Lane, adjacent to the project site, and street lighting at the driveway connection to SE 40th Lane. **Refer to map on Page 14.**

100 percent of the existing trees within the site perimeter (located in the southeast corner of the site) will be retained. Three interior trees will need to be removed to accommodate Building Two. One large, 36-inch diameter fir tree will be retained within the site interior. New landscaping will have a residential character and will include flowering ornamental trees, additional conifer trees to provide increased screening, hardy shrubs, ornamental grasses and lawn. A new five foot tall wood fence will run along the western and northern property lines. There will be small private decks for Building One along the eastern side of the building and larger decks for Building Two along their western facade. All decks will be less than 30 inches above ground and will not be included in the lot coverage by structure calculations.

C. Building Design

Overall, the design of the buildings is urban contemporary, featuring simple volumes with flat and shed roofs, large windows and modulation to break up the building facades. The seven

Buildings Two and One as seen from SE 40th Lane



townhome-style units will be in two buildings facing the internal shared driveway. The garages of Building One are tucked into the existing slope to minimize exposure of the garages on the north and south elevations. There will be three floors of living space on top of the garage level. Small private decks and gardens are provided along the eastern side of the building.

Building Two (the western building) is designed with only three stories to allow light into the site, minimize overview into the apartments directly to the west, and allow views from the upper levels of Building One. The units will be “L” shaped to provide enlarged private patio spaces with yards and to pull the main living space further from the adjacent building to the west.

Exterior cladding is proposed to be a combination of cement fiber board, composite board with colored accents and wood channel siding with a natural stain finish. The windows and deck doors will be vinyl units with dark-colored frames and the garage doors will be finished metal with a vision panel. Galvanized metal on balconies, flashings, and miscellaneous finish areas will provide accent details and will coordinate well with the galvanized/zinc standing seam metal panels on the sloped roofs. The flat roof will have traditional torch-down material in a non-reflective, earthtone color. The color palette is comprised of earthtones, including dark brown, a natural wood finish and varying shades of grey. **Refer to the project drawings attached to this report and Condition of Approval regarding the flat roof in Section IX of this report.**



Photo Simulation Looking East

II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT

A. Site Description

The proposal site is tucked into an existing slope that rises to the east from Factoria Boulevard. On site there is a small, 1960's-era single family home and detached garage that will be demolished prior to construction.

The site is 12,520 square feet (0.29 acres) and it features a slightly wooded east and south perimeter with an open interior area. The overall site has a cross-slope from the northeast corner to the southwest corner of approximately 14 percent. However, the majority of the site is relatively flat to accommodate the existing home and detached garage. There is one small portion of 40% slope in the northeast corner of the site. This area is small and as such, does not qualify as a critical area according to the criteria in LUC 20.25H.120.A.2. An existing rockery and retaining wall run along a majority of the eastern property line. The retaining wall will remain in place.

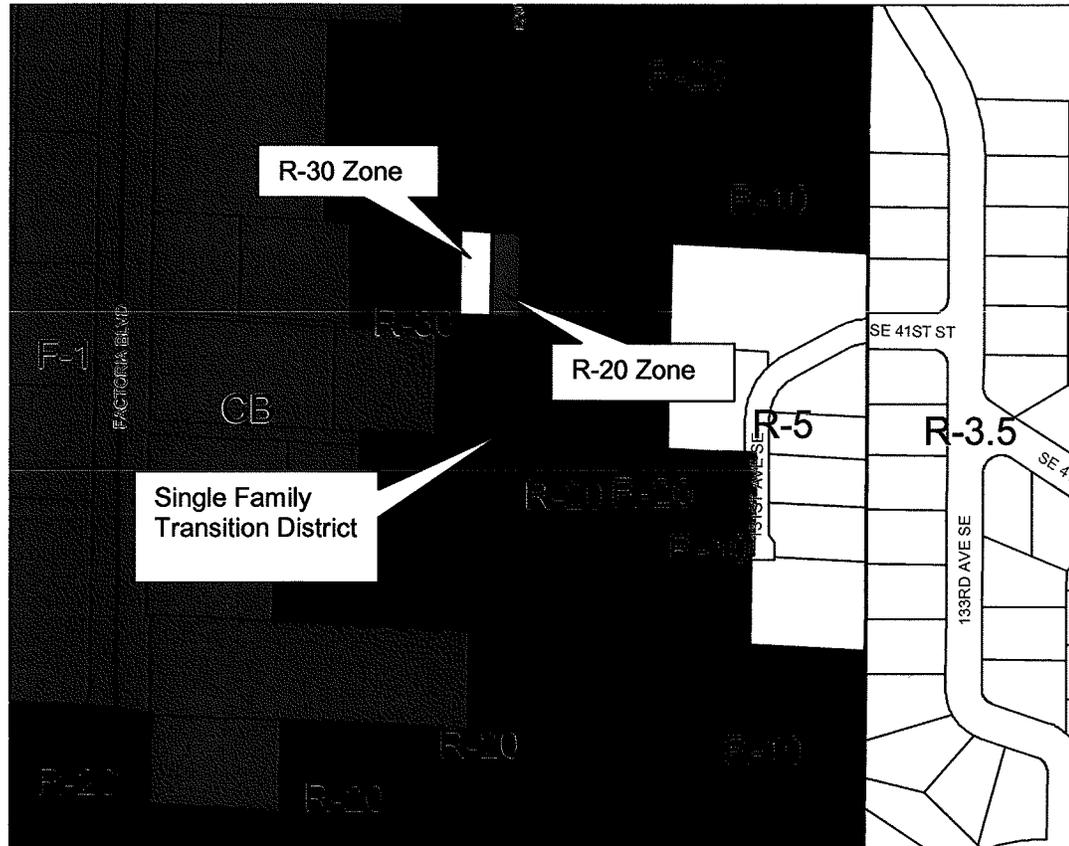
Project Site



B. Zoning and Land Use Context

The property is split zoned R-20 and R-30. The R-20 portion lies within the Transition Area Design District due to its proximity to the R-5 single family homes up the hill to the east. The proposed residential use is permitted outright.

Zoning Map



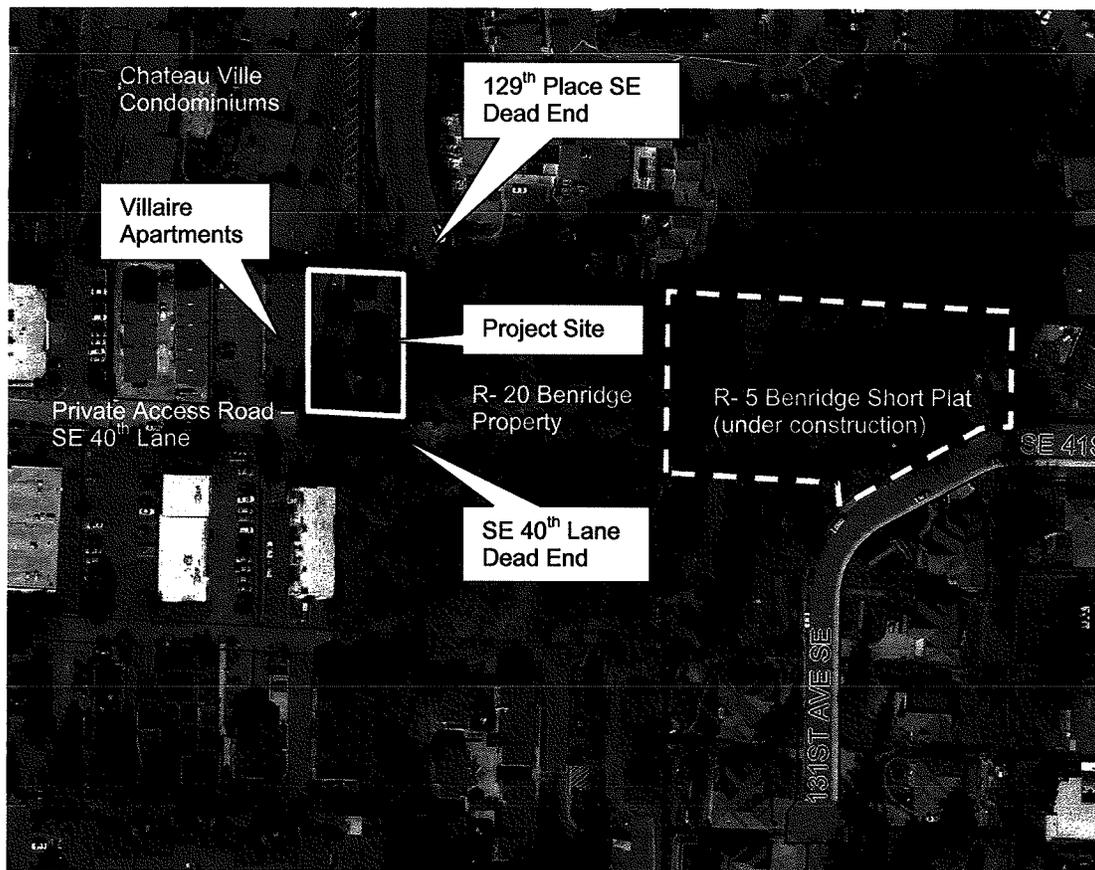
Zoning on Adjacent Property:

- East: R-20, western portion of the Benridge Short Plat Property.
- South: R-20 with one multi-family project and a large undeveloped, wooded parcel to the southwest
- West: R-30, with one, multi-family Villaire Apartments building
- North: R-30, the Chateau Ville Condominium buildings, and the dead end of 129th Place SE in the R-20 zoning district. Other development north of the proposal property is also zoned multifamily and is developed with multi-story condominium projects.

Directly adjacent to the east is the Benridge Short Plat site. The Benridge site is split zoned. The eastern part of the site is zoned R-5 and will have five, single family home lots. The western portion of the Benridge site, adjacent to this proposed project, is zoned R-20 and it will contain the detention vault for the entire Benridge property. This vault, the retained perimeter trees on the Benridge property, and a fifteen foot wide waterline easement that runs on the Benridge property parallel to this proposal's western property line, will provide an effective buffer between any future development on the Benridge site and the Factoria

Condominiums. In addition, the Factoria Condominium proposal site lies over twenty feet downhill from the Benridge property and to the northeast is the dead end of 129th Place SE, which also lies at a much higher elevation than the proposal site.

Aerial Photograph/Context



To the west are the Villaire Apartments; a twelve unit multi-family building. This older, wood frame building is two stories high and has an flat, un-modulated rear wall that faces the proposal property. This apartment building sits approximately five feet from the property line and it lies at a slightly lower elevation than the proposal site at the southeast corner.

There are also still a few undeveloped, multi-family parcels in the general area to the east and south. The lots are heavily wooded at the present time, but are identified in the Comprehensive Plan as multi-family medium and high.

III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

A. General Provisions of the Land Use Code

1. Use

Uses are regulated by LUC 20.10.400 (Use Charts) and LUC 20.25B Transition Area Design District. The multi-family residential use proposed for this project is permitted in the R-20 and R-30 Transition Area Design District with Design Review approval.

2. Dimensional Requirements

As conditioned, all applicable dimensional requirements of the Land Use Code would be met. Refer to the following table for further information.

	Permitted/Required	Proposed
Lot Coverage	35% of 12,520 SF = 4,382 SF LUC 20.20.010	34% = 4,352 SF Meets LUC requirement
Impervious Surface	80% of 12,520 SF = 10,016 SF LUC 20.20.010	54% = 6,863 SF Meets LUC requirement
Setbacks Front Rear Side	<u>R-20</u> <u>R-30</u> 20 ft. 20 ft. 25 ft. 25 ft. 5/15 ft. 5/15 ft. LUC 20.20.010 LUC 20.25B	<u>R-20</u> <u>R-30</u> <u>(Building One)</u> <u>(Building Two)</u> 20 ft. 20 ft. 25 ft. 25 ft. 8 ft 8 ft. Meets LUC requirement
Distance Between Structures	Min. 20 feet LUC 20.25B.040.B	20 feet Meets LUC requirement
Building Height	R-20: 30 feet w/ Bonuses for a maximum of 40 feet – as measured from <u>average existing grade</u> LUC 20.25B.040.A R-30: 40 feet – as measured from <u>average finished grade</u> LUC 20.20.010	Building One in R-20 and Transition Area Design District: 39'-10" w/ following bonuses: 5' – Underbuilding parking 5' – No mechanical on roof Building Two in R-30: 28'-7" feet Meets LUC requirement
Parking	Residential Use: Three or more bedroom unit: min. 1.8 per unit = 13 spaces LUC 20.20.590	2 garage spaces per unit plus two guest spaces = 16 spaces Meets LUC requirement
Landscape Requirements	<u>Interior Property Lines</u> : 8' wide Type III landscaping <u>Street Frontage</u> : 10' wide Type III landscaping LUC 20.20.520 and 20.25B.	<u>Interior Property Lines</u> : 8' wide Type III landscaping <u>Street Frontage</u> : Over 10' Type III landscaping As conditioned, meets LUC requirements. <u>Refer to Condition of Approval regarding the final landscape plan in Section IX of this report.</u>

	Permitted/Required	Proposed
Tree Retention	100% tree retention in site perimeter 15% diameter inches tree retention in site interior: 110 diameter inches total x 0.15 = 16.5 diameter inches LUC 20.20.900 and 20.25B.	100% tree retention in site perimeter 36 diameter inches retained = 32% retained Meets LUC requirements <u>Refer to Condition of Approval regarding tree protection during construction in Section IX of this report.</u>
Mechanical Equipment	Locate on the roof or below grade and visually screen, unless this requirement is modified by the City for projects requiring discretionary approval per LUC 20.20.525.C.5 & 6.	All mechanical equipment will be located inside the buildings. Meets LUC requirements

IV. PUBLIC NOTICE AND COMMENT

Application Date: December 11, 2007
 Notice of Application: January 24, 2008
 Public Notice Sign: January 24, 2008
 Minimum Comment Period: February 7, 2008

Although the minimum required public comment period ended on February 7, 2008, comments were accepted up to the date of this decision. One written comment e-mail was received. Steve Bennett, resident, wrote on April 4, 2008 to request that he be advised regarding anything that pertains to the access drive (SE 40th Lane). Mr. Bennett is the owner of the Benridge property to the east, which includes the access drive to the proposal site. A copy of this email may be viewed in the project file at City Hall. Mr. Bennett is the only Party of Record for this project.

V. TECHNICAL REVIEW

A. Planning & Community Development Dept/ Clearing & Grading Division

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this land use application can be approved without conditions of approval. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

B. Utilities Department

The site is located in the Richards Creek Drainage Basin.

Runoff from the site currently drains to the west of this property. The site drains to a series of private and public drainage pipe systems that outfalls to Richards Creek then to Kelsey Creek then to Lake Washington.

The proposed development is expected to adversely effect the quality of surface water on the site. Pollutants such as sediment, oil, grease, herbicides, pesticides and fertilizers could be expected to enter the storm water from the driving surfaces and landscaping areas. This development is located within an identified basin sensitive to nutrient loading.

The applicant has included adequate storm water runoff control and water quality mitigation prior to discharging the storm water.

The downstream drainage system appears to have adequate capacity to convey drainage for this proposal. **Refer to Conditions of Approval regarding final engineering plans for utilities and utility systems in Section IX of this report.**

C. Transportation Department

Site Access

Access to the proposed project will be provided via a driveway approach per DEV-7B connecting to the existing private access road (SE 40th Lane). The applicant has provided easement documentation showing that the development property has legal rights to ingress and egress. The easement documentation is available for public viewing in the project file at City Hall.

The applicant will provide a 22 foot wide internal driveway width.

All new pavement surfaces shall be designed per DEV-8 with respect to pavement design.

Street Frontage Improvements

This project will not be subject to frontage improvement requirements as the project site does not abut city right-of-way.

Easements

The applicant shall provide easements to the City if found to be needed for any reason during the course of application for review and approval for this project. The city reserves this right until final approval by the Transportation Inspector.

There are existing utility easements contained on this site which may be affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished. **Refer to Conditions of Approval regarding existing easements and any other easements that may be needed in Section IX of this report.**

Holiday Construction & Traffic Restrictions

From November 15th to January 5th, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit, which is issued directly by the Transportation Department. **Refer to Condition of Approval regarding holiday construction and traffic restrictions in Section IX of this report.**

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Conditions of Approval regarding provisions for loading during construction and right of way use permit in Section IX of this report.**

Pavement Restoration

The applicant will be responsible for any damage to SE 40th Lane or City right-of-way resulting from construction activities related to this project. All pavement restoration requirements will be at the discretion of the City's Right-of-Manager and the Transportation Inspector. **Refer to Condition of Approval regarding civil engineering plans for transportation, building and site plan compliance with transportation requirements, transportation improvements and pavement restoration in Section IX of this report.**

Alternative Paving Materials

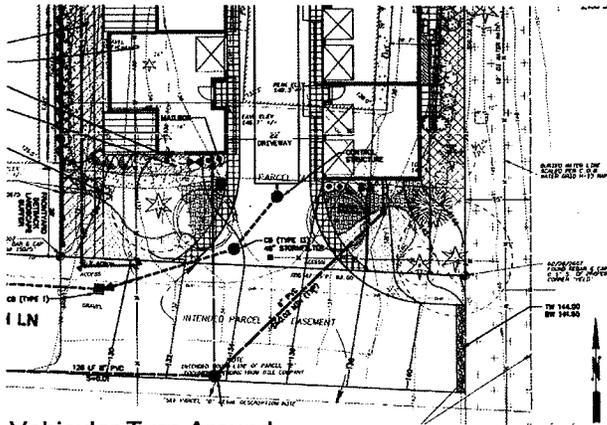
The Transportation Department, in conjunction with other departments as appropriate, will review proposals for the installation of alternative materials by private developers. The materials and installation methods must meet typical construction requirements. If the alternative material is approved, the property owner must sign an indemnification agreement which states that all future maintenance and replacement is the responsibility of the property owner. Work within the alternative material area by City, franchise or other workers as a result of either emergency, normal maintenance or new installation will result in replacement of the surface by standard materials. Advance notification of such work will not be provided to the property owner. In such a circumstance, should the property owner wish to replace or repair the surface with the alternative material, a Right of Way Use Permit may be required. A subsequent approval of the alternative material is not guaranteed. Paving samples must be submitted to the Transportation Department prior to building permit approval. **Refer to Conditions of Approval regarding transportation improvements and pavement restoration in Section IX of this report.**

Traffic Impact Fees

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation

Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. **Refer to Condition of Approval regarding the transportation impact fee in Section IX of this report.**

City staff analyzed the short term operational impacts of this proposal. Issues that were analyzed included the need for additional paved surface for a vehicular turn around area at



the dead end of SE 40th Lane, adjacent to the project site, street lighting at the driveway connections to SE 40th Lane, service vehicle coordination (mail delivery, waste removal), and on-site circulation. The vehicular turn around and post office box have been included in the project drawings. **Refer to Section VII.3.A.b) and Condition of Approval regarding solid waste and recycling in Section IX of this report regarding refuse collection.**

Vehicular Turn Around

D. Fire Department

The site development plans for this decision generally conform to the Fire Code requirements. **Refer to Conditions of Approval regarding the hydrant location and support requirements for the detention vault and pipes in the roadway in Section IX of this report.**

VI. CHANGES TO PROPOSAL DUE TO CITY REVIEW

Site Design

Originally, the entries to Building One were uphill, along the eastern property line. This not only made for an uncomfortable entry walkway, but also compromised the required eight foot wide landscape Type III perimeter landscaping. The entries to Building One have been moved to the western façade of Building One, accessed off of the central driveway.

The guest parking spaces were reconfigured so that the cars would not have to back down the central driveway to exit.

Decorative paving will be placed on each side of the central driveway to define the building entries and pedestrian circulation.

Landscaping has been redesigned to comply with the Transition Area Design District perimeter landscaping requirements.

Building Exterior

The facades of the buildings have been redesigned to have increased modulation and visual interest through the use of varied siding materials, articulation and windows.

Building Interior

Where possible, interior stairs were moved from exterior walls to allow for more windows on the north and south facing facades.

VII. DECISION CRITERIA

The Director may approve, or approve with modifications, an application for Design Review if:

1. *The proposal is consistent with the Comprehensive Plan.*

The project is consistent with the Comprehensive Plan's Urban Design Element and the Factoria Subarea Plan. The proposed development supports the following Subarea and Comprehensive Plan Policies:

Factoria Subarea Policies

Policy S-FA-4: Encourage infill development and redevelopment in a manner that is compatible with surrounding uses and meets adopted design guidelines.

Finding: As conditioned, the proposal development has the same multi-family residential use as exists on the surrounding properties. It will be similar in terms of size, height, scale and massing. The materials used are contemporary, yet residential in their application and the landscaping is dense and has a residential scale. **Refer to Section VII.3 A and B below for how this project meets the applicable site and building guidelines.**

Policy S-FA-21: Provide a network of sidewalks, footpaths, and trails with interconnections to areas surrounding the Factoria Subarea to accommodate safe and convenient access to community facilities, retail areas, and public transit as well as to accommodate the exercise walker and hiker.

Finding: There is an existing trail easement along SE 40th Lane that can be accessed from this project site. In addition, there may be future public transportation projects in the immediate vicinity that would necessitate creating access connections to and/or through this development as mandated by this policy. **Refer to Condition of Approval regarding additional access easements during the construction of this project in Section IX of this report.**

Housing Policies

Policy HO-5: Assure that site and building design guidelines create an effective transition between substantially different land uses and densities;

Policy HO-17: Encourage infill development on vacant or under-utilized sites that have adequate urban services and ensure that the infill is compatible with the surrounding neighborhoods.

Finding: Through compliance with the site and building design guidelines for a Transition Area Design District, the proposal development will result in an infill project on an underutilized site that will serve to help create a buffer between the multi-family residential neighborhoods and the single family neighborhoods uphill to the east. **Refer to Section VII.3.A and B below for how this project meets the applicable site and building guidelines.**

Land Use Policy

Policy LU-4: Encourage new residential development to achieve a substantial portion of the maximum density allowed on the net buildable acreage;

Finding: The project proposes seven units. This is the maximum density allowed on this site and is consistent with development on neighboring properties.

Environmental Policy

Policy EN-89: Protect residential neighborhoods from noise levels that interfere with sleep and repose through development standards and code enforcement.

Finding: The surrounding residential neighborhoods will be protected from noise through the implementation of the development standards, land use codes, and the enforcements of BCC 9.18 regarding Noise Control. Note: The Department Director, as outlined in the Noise Control Ordinance, may grant an approval to expand the hours for which construction-related noise emanates from the site subject to meeting the criteria of BCC 9.18.020.C.1&2. **Refer to Conditions of Approval regarding noise & construction hours and holiday construction and traffic restrictions in Section IX of this report.**

2. *The proposal complies with the applicable requirements of this Code.*

As conditioned, the proposal complies with applicable requirements of the Land Use Code, including requirements for the Transition Area Overlay District. **Refer to Section III.A of this report for further information on compliance with the Land Use Code.**

3. *The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.*

As conditioned, the proposal complies with the Development Standards (LUC 20.25B.040) and Design Guidelines for multi-family development in a Transition Area Design District (LUC 20.25B.050). **Refer to Section III.A of this report for how the proposal has met the Development Standards.**

The applicable Design Guidelines are summarized below:

**A. Site Design Guidelines – Transition Area Design District
LUC 20.25B.050**

a) Vehicular Access

The central, internal driveway will provide vehicular access to all seven units, and will not direct the project traffic through an abutting residential district. A hammerhead that fulfills the requirements of both the fire and transportation departments is provided to allow turning around at the end of SE 40th Lane.

b) Loading and Refuse Collection

The applicant has contacted the waste management company and roll-away refuse containers will be stored inside the individual garages. As with a traditional single family neighborhood, each homeowner will be responsible for moving the refuse and recycling containers to and from their garages. **Refer to Condition of Approval regarding solid waste and recycling in Section IX of this report.**

c) Tree Retention

The project will retain 58 diameter inches or 100% of the significant trees within the required site perimeter landscape area and 36 diameter inches or 32% from the site interior. **Refer to Section VIII.1.c and to Conditions of Approval regarding tree protection in Section IX of this report.**

d) Contextual Compatibility

This project will fit well into the existing neighborhood context. The adjacent properties are all multi-family buildings of a similar height, size and scale. The resident parking will be within individual garages in each unit. The existing vegetation on adjacent properties, the retention of significant trees along the eastern property line of the proposal site, and the fact that the property lies well downhill from the single family residential neighborhood to the east will help to further reduce any negative visual impacts from this project. Additional landscaping will also help the project fit well with the existing residential neighborhood and development context. **Refer to Conditions of Approval regarding the landscape installation and maintenance assurance devices in Section IX of this report.**

B. Building Design Guidelines

a) Exterior Surfaces

All materials are chosen to reduce reflectivity and fit well within the wooded context. **Refer to Section 1.C of this report for discussion of building materials.**

b) Building Façade

The façade is contemporary yet residential in character due to a modulated building exterior, variation in the exterior materials, trim work, decks, porches and other projections that help break down the scale of each building.

c) Roof Form

The roof forms will be a combination of flat and pitched roofs, giving an interesting profile at the top of the building. Views of these buildings from adjacent properties will be interesting and the buildings will maintain a perceived low profile.

d) Communication Dishes

No communication dishes greater than one meter in diameter are proposed for this project.

e) Exterior Materials and Colors

The proposed façade materials and colors are compatible with the residential context. The earthtone colors of the façade and the roof materials work well with the color palettes of adjacent multi-family properties and the vacant wooded properties to the east and south. **Refer to Condition of Approval regarding the flat roof color in Section IX of this report.**

4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.

As conditioned, the proposal will be compatible with the surrounding multi-family development and the single family residential neighborhood uphill to the east. This is achieved in large part via the design of the proposal buildings. As with the single family homes uphill to the east, each unit will have an individual garage and entry. The height and scale of the buildings are similar, if not somewhat smaller, than the surrounding multi-family buildings to the north, west, and south. The use of residential materials, windows, balconies and articulation allow the building to fit well into the residential context. The attention to views has been taken into account by stepping down the heights of the buildings as they move downhill. Earthtone colors will be harmonious with surrounding buildings as well as with the vacant wooded properties to the south.

The proposed landscaping and site development will also have a residential character. The entire site will be landscaped, using a combination of hardy ornamental and native plants. The landscaping along SE 40th Lane will create the feeling of a residential front yard, yet still fulfill the perimeter landscaping requirements. All of the trees in the site perimeter will be retained, thereby maintaining the character of the surrounding neighborhood and providing screening from adjacent properties. The only surface parking will be two guest spaces on the north side of the site. They will be virtually hidden due to topography and screening with evergreen plantings.

5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.

All required public services and facilities are available to the site.

VIII. DECISION

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency and City Code & Standard compliance reviews, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposal.

IX. CONDITIONS OF APPROVAL:

Compliance with City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including but not limited to:

Applicable Codes, Standards and Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Adrian Jones, 425-452-6032
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Jon Regalia, 425-452-4599
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Ray Godinez, 425-452-7915
Utility Code – BCC Title 24	Don Rust, 425-452-4856

The following conditions are imposed on the applicant under the authority referenced:

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Noise & Construction Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Proximity to existing residential uses will be given special consideration. Upon written request to PCD, work hours may be extended to 10:00 p.m. if the criteria for extension of work hours as stated in BCC 9.18 can be met and the appropriate mitigation employed.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Sally Nichols, Planning and Community Development

2. Holiday Construction & Traffic Restrictions

Construction activities such as hauling and lane closures between November 15th and January 5th will be allowed only between the hours of 10:00 pm and 6:00 am due to holiday traffic. The Transportation Department will be monitoring traffic and may modify this moratorium accordingly.

AUTHORITY: BCC 14.30.060
REVIEWER: Jon Regalia, Transportation Department

3. Provisions for Loading During Construction

The developer must provide a loading space which will not hinder vehicular movement on SE 40th Lane. City right-of-way cannot be used for construction staging, storage, or any other loading and unloading activities without written permission from the City's Right-of-Way Manager via a right-of-way use permit.

AUTHORITY: LUC 20.20.590.K.4
REVIEWER: Ray Godinez, Transportation Department

B. PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. Right-of-Way Use Permit

Prior to issuance of any construction or clearing and grading permit, the applicant may need to secure an applicable right-of-way use permit from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.
- i) Pavement restoration requirements.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Jon Regalia, Transportation Department

2. Civil Engineering Plans - Transportation

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all transportation related improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Specific requirements for the engineering plans include, but are not limited to:

- a) Traffic signs and markings.
- b) Driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- c) Installation of a streetlight.
- d) Trench restoration on SE 40th Lane or in any affected right of way or access easement.

AUTHORITY: BCC 14.60; Transportation Department Design Manual

REVIEWER: Ray Godinez, Transportation Department

3. Tree Protection

To mitigate adverse impacts during construction to trees to be retained and trees on adjacent properties, the applicant must comply with the following:

- a) Clearing limits shall be established **outside of the driplines** for retained trees within the developed portion of the site and **outside of the driplines of any trees on adjacent properties where the driplines overhang the proposal property**. Six-foot chain link fencing with driven posts, or an approved alternative, shall be installed at the clearing limits (outside of the driplines) prior to initiation of any clearing and grading.
- b) No excavation or clearing shall be performed within drip lines of retained trees except as specifically approved on plans. All such work shall be done by hand to avoid damage to roots and shall be done under the supervision of an arborist approved by the City.

AUTHORITY: Bellevue City Code 23.76.060

REVIEWER: Sally Nichols, Planning and Community Development

4. Support Requirement for Vault and Pipes in Roadway

Detention vaults and pipes in the roadway shall be capable of supporting fire apparatus with a gross weight of 64,000 lbs (rear axle = 48,000 lbs. and front axle = 19,000 lbs.) and shall support the weight of the ladder truck outrigger which is 45,000 lbs. over an 18 inch square.

AUTHORITY: Bellevue Development Information 11/90

REVIEWER: Adrian Jones, Fire Department

5. Final Landscape Plan

The Final Landscape Plan shall be submitted with the building permit application to ensure compliance with all Land Use Code requirements. Plant species shall be chosen to minimize irrigation demands and reduce maintenance requirements.

AUTHORITY: LUC 20.20.520 and 20.25B.040.C

REVIEWER: Sally Nichols, Planning and Community Development

C. PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:

1. Transportation Impact Fee

Payment of the traffic impact fee will be required at the time of building permit issuance. The impact fee is estimated to be \$273.33 per new dwelling unit (for impact area #13). This fee is subject to change and the fee schedule in effect at the time of building permit issuance will apply.

AUTHORITY: BCC 22.16

REVIEWER: Ray Godinez, Transportation Department

2. Building and Site Plan Compliance with Transportation Requirements

During construction the Transportation Inspector may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 180, 181, 190, 240, 241

REVIEWER: Ray Godinez, Transportation Department

3. Existing Easements

There are existing utility easements near the project site which may be affected by this development. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: BCC 14.60.100

REVIEWER: Ray Godinez (425) 452-7915

4. Additional Access Easements During Construction

The applicant shall provide easements to the City if found to be needed for expanded trail access during the construction of this project. The city reserves this right until final approval by the Transportation Inspector.

AUTHORITY: BCC 14.60.110

REVIEWER: Ray Godinez

5. Fire Hydrant Location

Provide a fire hydrant within 400 feet of the most remote part of the buildings.

AUTHORITY: IFC 508

REVIEWER: Adrian Jones, Fire Department

6. Final Engineering Plans – Utilities

The Utility Department approval for the design is based on conceptual design only. Final engineering plans are required as a part of the engineering phase of the project and may require changes to the site layout to accommodate the utilities. Engineering plans must be designed and stamped by a professional licensed engineer and plans must conform to the Utility Code, Engineering Standards and the Utility Developer Extension Agreement.

AUTHORITY: BCC 24.06

REVIEWER: Don Rust, Utilities Department

7. Utility Systems

The water, sewer and storm drainage systems shall be designed per Utility Codes BCC 24.02, 24.04, 24.06 and the Engineering Standards. The water, sewer and storm drainage systems shall be reviewed, approved and inspected under the Utility Developer Extension Agreement process.

AUTHORITY: BCC 24.02, 24.04 & 24.06

REVIEWER: Don Rust, Utilities Department

8. Flat Roof - Color

The final color for the flat roof sections must be approved prior to the issuance of the building permit to ensure contextual compatibility. Color should be non-reflective and an earthtone color compatible with the metal roof.

AUTHORITY: LUC 20.25B.050.B

REVIEWER: Sally Nichols, Planning and Community Development

D. PRIOR TO TCO: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):

1. Landscape Installation Assurance Device

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the applicant shall submit the following: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation, inspection approval and rededication of the plaza property to the City filed with King County Records Office.

AUTHORITY: LUC 20.40.490

REVIEWER: Sally Nichols, Planning and Community Development

2. Landscape Maintenance Assurance Device

File with the Department of Planning & Community Development a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490

REVIEWER: Sally Nichols, Planning and Community Development

3. Solid Waste/Recycling

The applicant shall provide a written document showing that Allied Waste (206-682-3037) has been contacted to establish adequate sizing of the recycling and solid waste collection area for this building using current standards. In addition, the owner shall provide for the return of receptacles and trash not removed from the property back into

the building the day of pick-up; all rights of way and public easements shall not be occupied by trash receptacles, dumpsters, recycling bins or other such items.

AUTHORITY: LUC 20.20.725

REVIEWER: Sally Nichols, Department of Planning and Community Development

4. Transportation Improvements

All transportation related improvements, including street lighting, access design, pavement depths, turn-around area, must be constructed by the applicant and accepted by the Transportation Inspector. All new power connections to serve this development shall be placed below grade, to the extent feasible. Bonding or other types of assurance devices will not be accepted in lieu of construction. Specific requirements are detailed below.

- a) Street light at the driveway approach connection to SE 40th Lane.
- b) Modified hammer head turn around facility per DEV-1 (modified due to site limitations).
- c) Pavement restoration at the discretion of the City's Right-of-Way manager and Transportation Inspector.
- d) Driveway approach connection per DEV-7B.
- e) Internal driveway width of 22 feet.
- f) All new paved sections shall be designed per DEV-8 with regard to pavement depths.
- g) All areas supporting vehicular loads (including parking areas) shall be paved.

Miscellaneous:

- h) Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- g) Vehicle and pedestrian sight distance must be provided per BCC 14.60.240 and 14.60.241. Sight distance triangles must be shown at all driveway locations and

must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

AUTHORITY: BCC 14.60.090, 110, 120, 150, 181, 200, 210, 240, 241;
Transportation Department Design Manual Text and Standard
Drawings.

REVIEWER: Ray Godinez, Transportation Department

5. Pavement Restoration

Pavement restoration or to repair damaged street surfaces shall be provided as follows:

Factoria Boulevard: This street was recently overlaid and a five year no-street cut moratorium is currently in effect. Should street cuts prove unavoidable or if the street surface is damaged in the construction process, a half-street or full-street (depending on the extent of street cuts or damage) grind and overlay will be required.

The City's Right-of-Way Manager and Transportation Inspector reserves the right to amend pavement restoration requirements on SE 40th Lane and Factoria Boulevard until final approval by the Transportation Inspector.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #21

REVIEWER: Jon Regalia, Transportation Department



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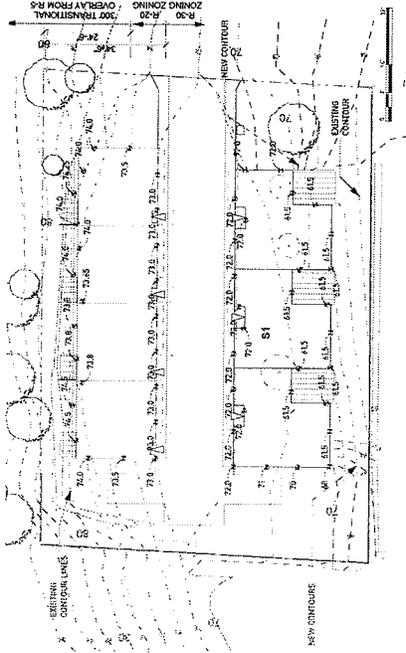
Factoria Condominium

4030 Factoria Boulevard South
Bellevue, WA 98006

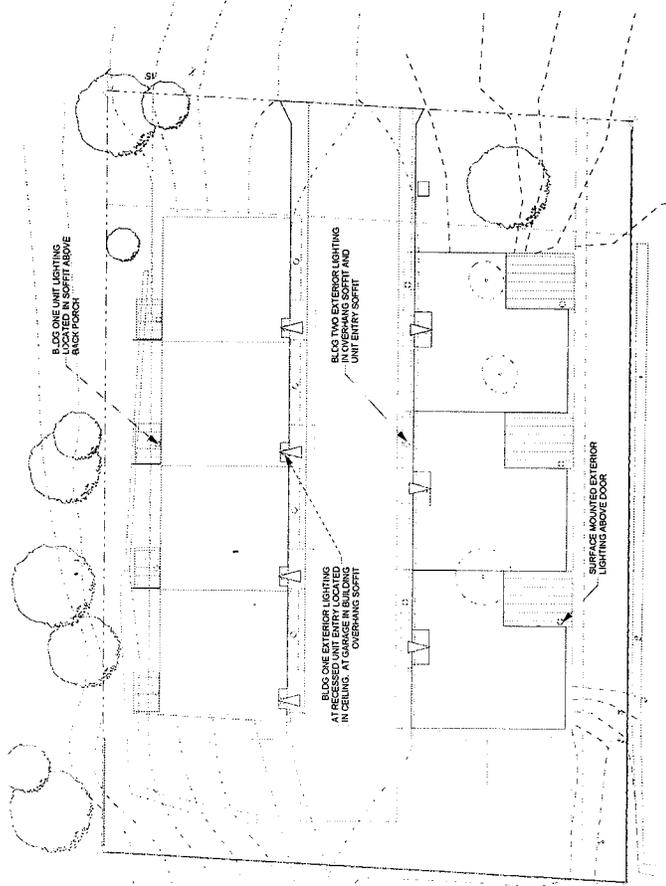
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DESIGN ARCHITECT Caron Architecture Marc Laursen	DATE 03/11/2007
PROJECT NAME 0726	
PROJECT NUMBER R200100221.AJA R200100221	
PROJECT TYPE R2 R20	
SHEET TITLE Height Diagrams Lighting Plan	

SHEET NUMBER
A1.2

DESIGN REVIEW PACKAGE



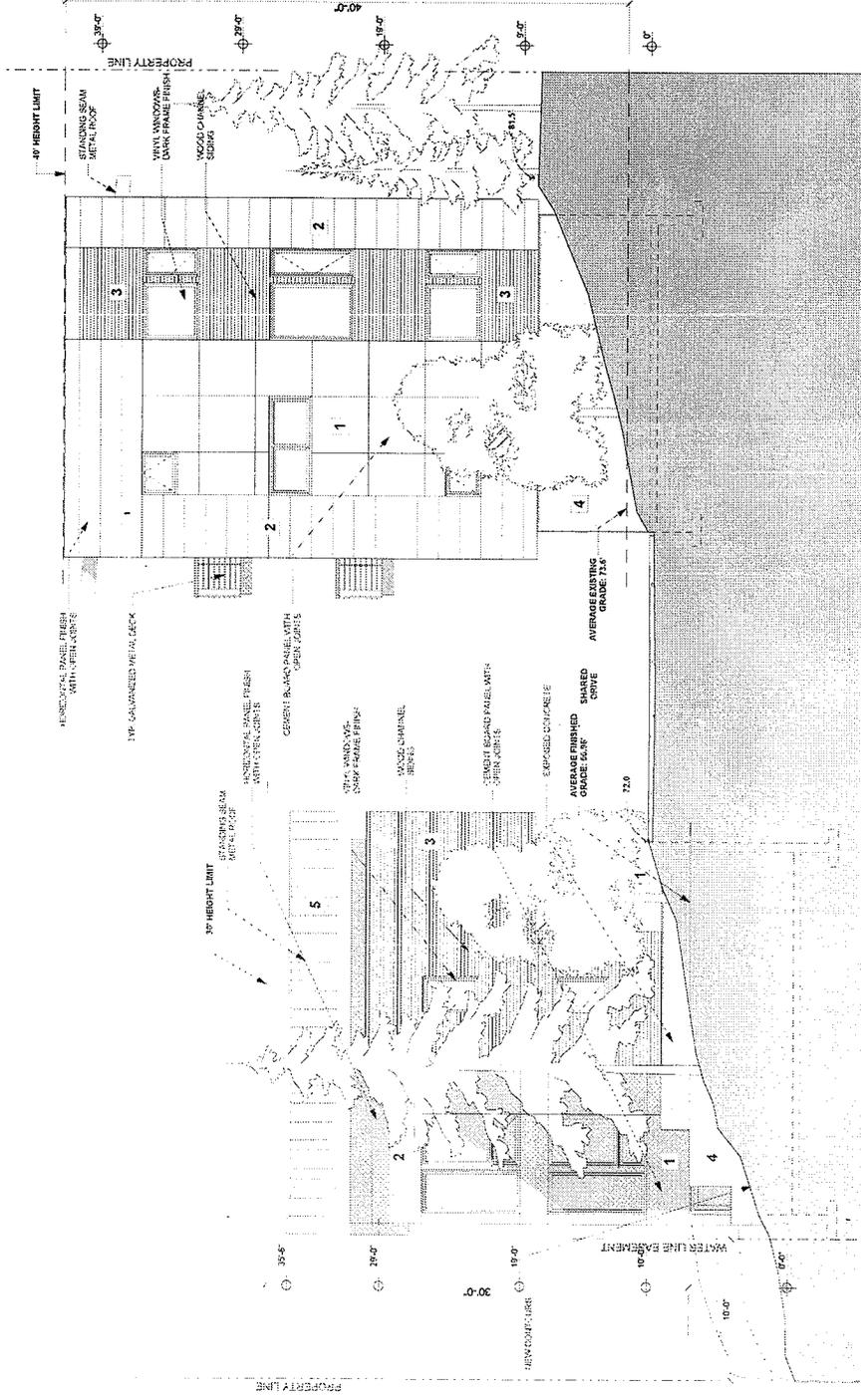
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SCALE: 1/8" = 1'-0"



2 Lighting Plan
SCALE: 1/8" = 1'-0"

BUILDING ONE

BUILDING TWO



1 South Elevation
SCALE: 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

PROJECT NUMBER: 0726
 DESIGNER: RUDOLPH BLAKE, AIA
 PROJECT: 430 FACTORIA CONDOMINIUM
 SHEET TITLE: South Elevation
 SHEET NUMBER: A3.1

DATE: 04/05
DESIGNER: RUDOLPH BLAKE, AIA
PROJECT: 430 FACTORIA CONDOMINIUM
SHEET TITLE: South Elevation
SHEET NUMBER: A3.1

43030 Factoria Boulevard South
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Factoria Condominium

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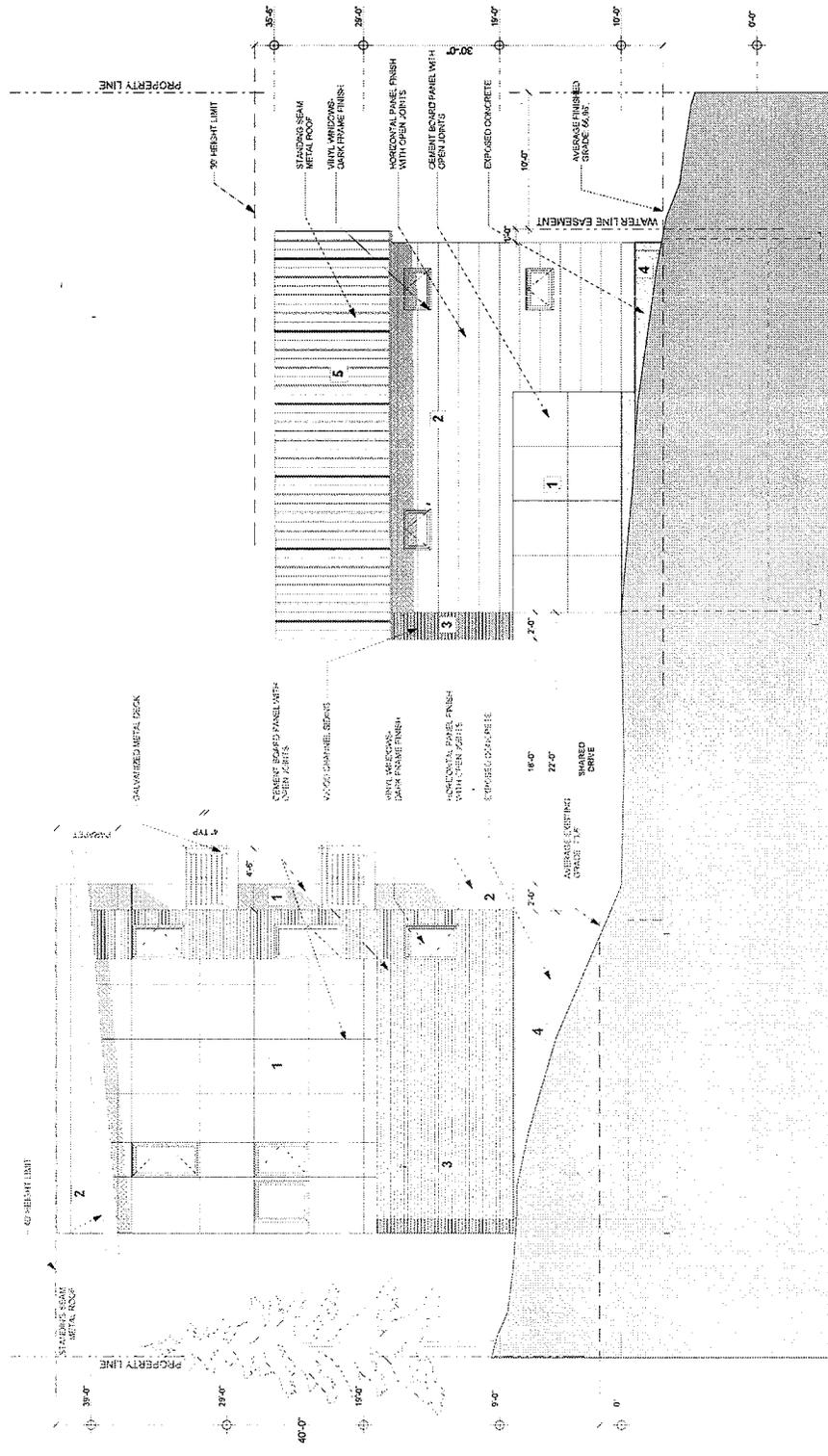
Factoria Condominium
4030 Factoria Boulevard South
Bellevue, WA 98006

DATE OF REVISION REVISION 1	DATE
PROJECT NUMBER 0726	
PROJECT NAME Factoria Condominium Phase 1 1071-0007	
DESIGNER Caron Architecture 1071-0007	
DATE	
SCALE	
PROJECT NUMBER 0726	
PROJECT NAME Factoria Condominium Phase 1 1071-0007	
DESIGNER Caron Architecture 1071-0007	
DATE	
SCALE	
PROJECT NUMBER 0726	
PROJECT NAME Factoria Condominium Phase 1 1071-0007	
DESIGNER Caron Architecture 1071-0007	
DATE	
SCALE	

A3.2

BUILDING TWO

DESIGN REVIEW PACKAGE



BUILDING ONE

1 North Site Elevation
SCALE 1/4" = 1'-0"



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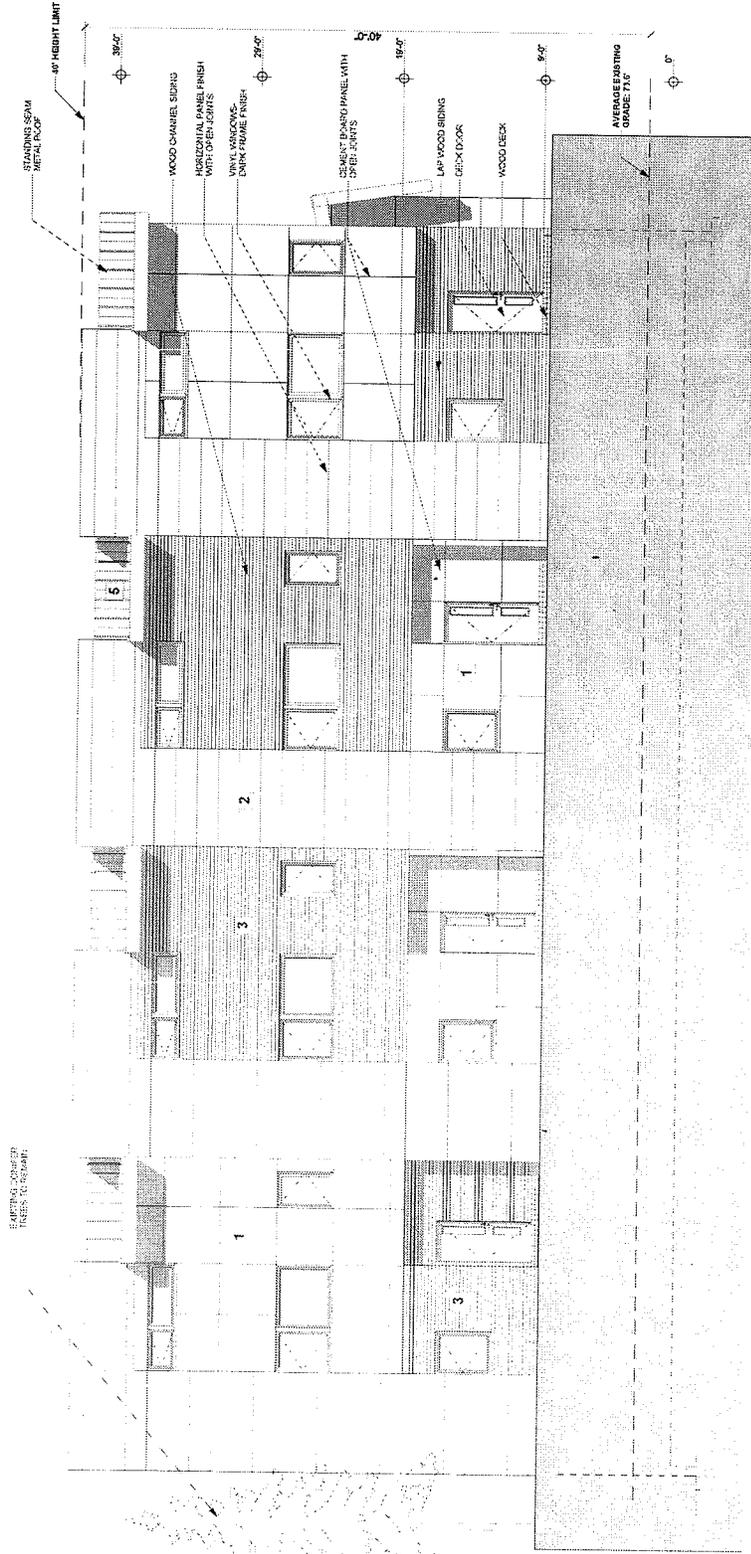
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Bellevue, WA 98006

DATE 06/05/05	DESIGN REVIEW reason set 1	PROJECT NUMBER 0726	PROJECT LOCATION Factoria Commons Bellevue, WA, US 12/17/2007	PROJECT NUMBER 0726	PROJECT LOCATION Factoria Commons Bellevue, WA, US 12/17/2007
DRAWN BY RICK BLUZZI, AIA			CHECKED BY RICK BLUZZI, AIA		
DATE 06/05/05			DATE 06/05/05		
PROJECT NAME Building 1 East Elevation			PROJECT NAME Building 1 East Elevation		

Sheet Name
A3.3

BUILDING ONE

DESIGN REVIEW PACKAGE



1 Building One East Elevation
SHEET 1 OF 1



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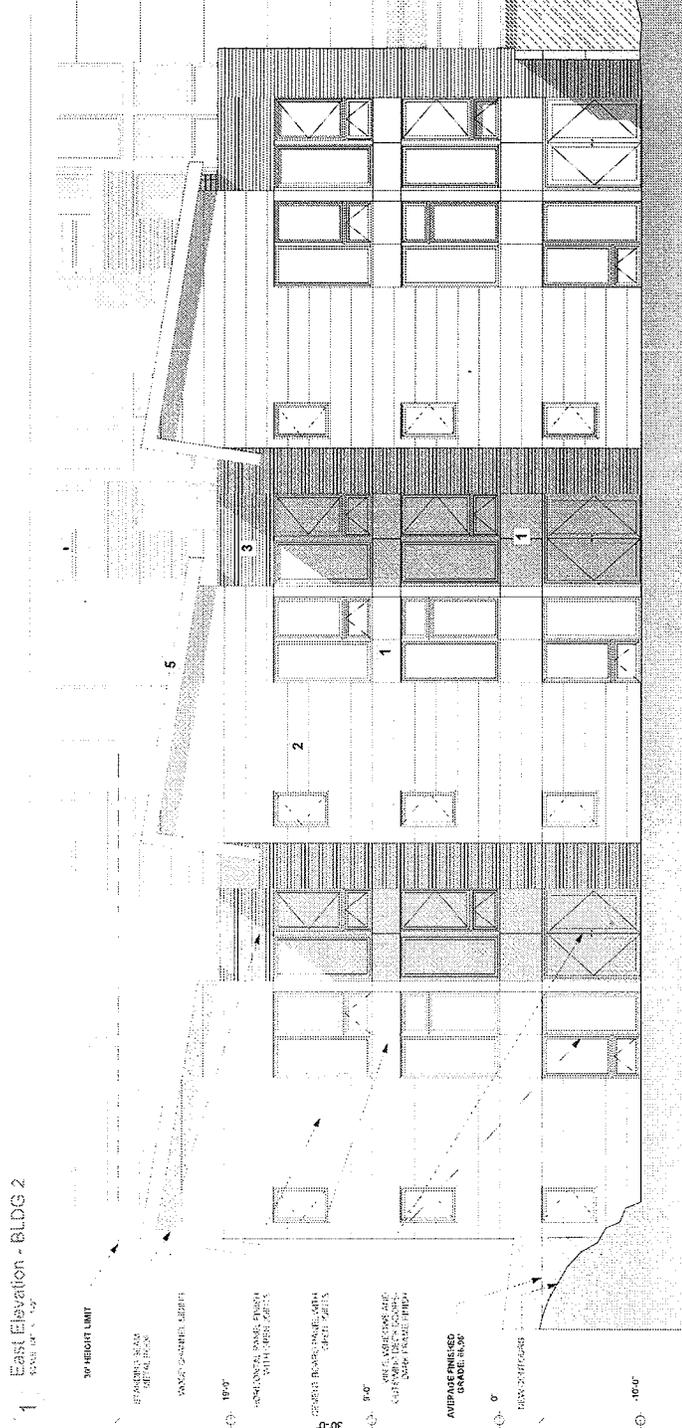
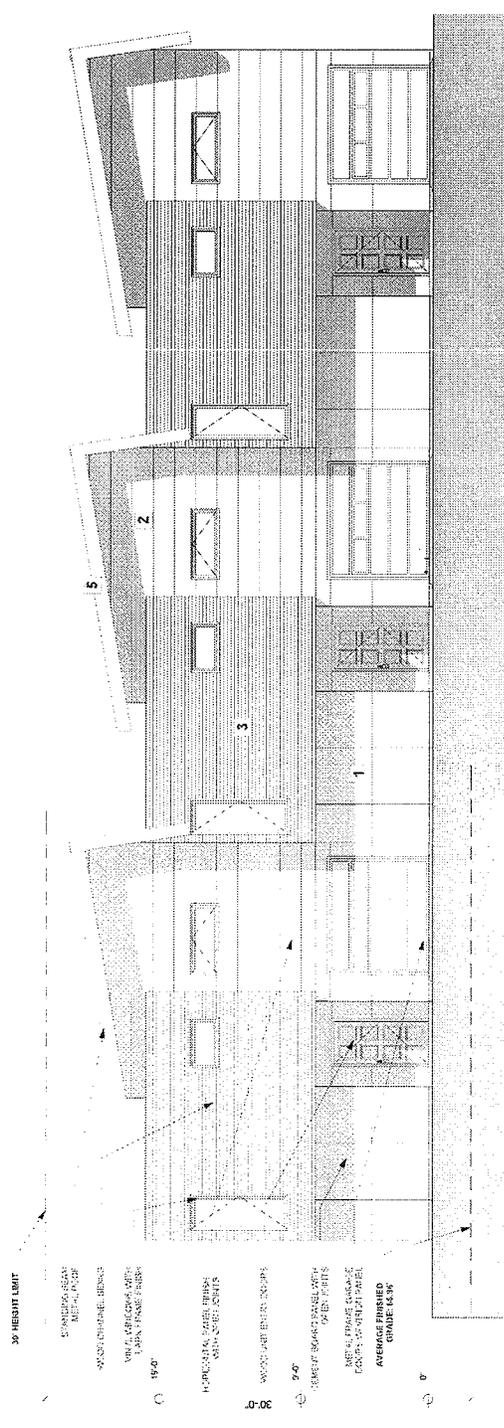
4030 Factoria Boulevard South
Bellevue, WA 98006

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PROJECT NUMBER 0726	
PROJECT NAME BOSCH BLAZE A/A 1000 100007 020 100007	
PROJECT TYPE Building 2 East & West Elevations	

SCALE NUMBER
A3.5

BUILDING TWO

DESIGN REVIEW PACKAGE





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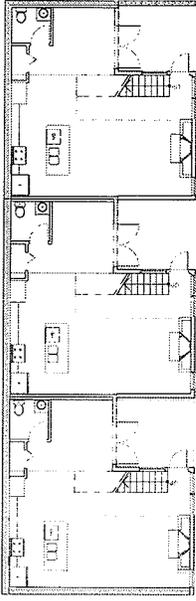
Factoria Condominium

4030 Factoria Boulevard South
Bellevue, WA 98006

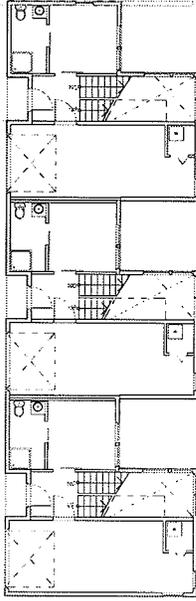
DATE	04/05
PROJECT NAME	Factoria Condominium
PROJECT NUMBER	0726
DESIGNER	Caron Architecture 300 Park Avenue NW Bellevue, WA 98006 Phone: +1 206 391 1111 www.caronarchitecture.com
CLIENT	Factoria Condominium 4030 Factoria Boulevard South Bellevue, WA 98006
PROJECT TYPE	Building Plans

Sheet Name
A2.1

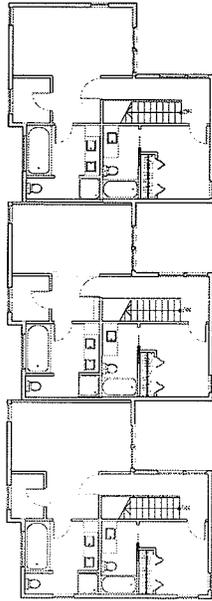
BUILDING TWO



6 Lower Level
SCALE: 1/8" = 1'-0"



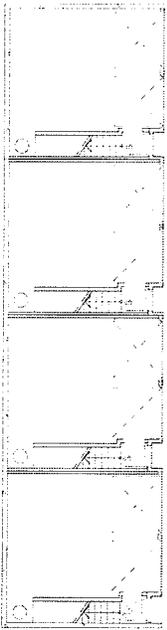
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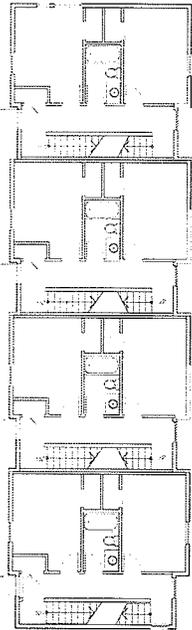
7 2nd Level
SCALE: 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

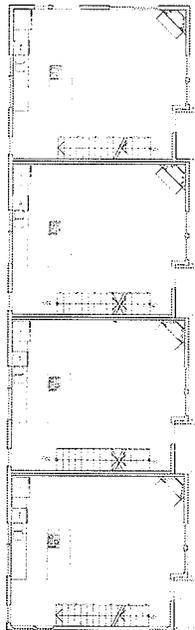
BUILDING ONE



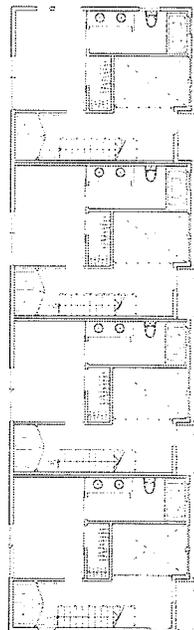
1 Drive Level
SCALE: 1/8" = 1'-0"



2 2nd Level
SCALE: 1/8" = 1'-0"



3 3rd Level
SCALE: 1/8" = 1'-0"



4 4th Level
SCALE: 1/8" = 1'-0"



EXTERIOR ENVELOPE WILL CONSIST OF SIX PRIMARY MATERIALS:

- 1 Painted Cement Board in a square pattern with open joints.
- 2 Composite Board run in horizontal finish panels with open joints.
- 3 Wood Channel Siding with a natural stain finish.
- 4 Architectural Concrete with finished exposed, unpainted.
- 5 Galvanized / Zinc finished Standing Seam metal panels on sloped roofs
- 6 Metal building flashings, attached decks and other exposed finish areas will be Galvanized Metals.

OTHER FINISH MATERIALS:

Windows and deck doors will be dark framed Vinyl units.

Unit entrance doors will be finished wood entry doors with vision panels.

Unit garage doors will be finished metal with a vision panel.

Exterior patios at both buildings will be wood decking to match the siding.

washington

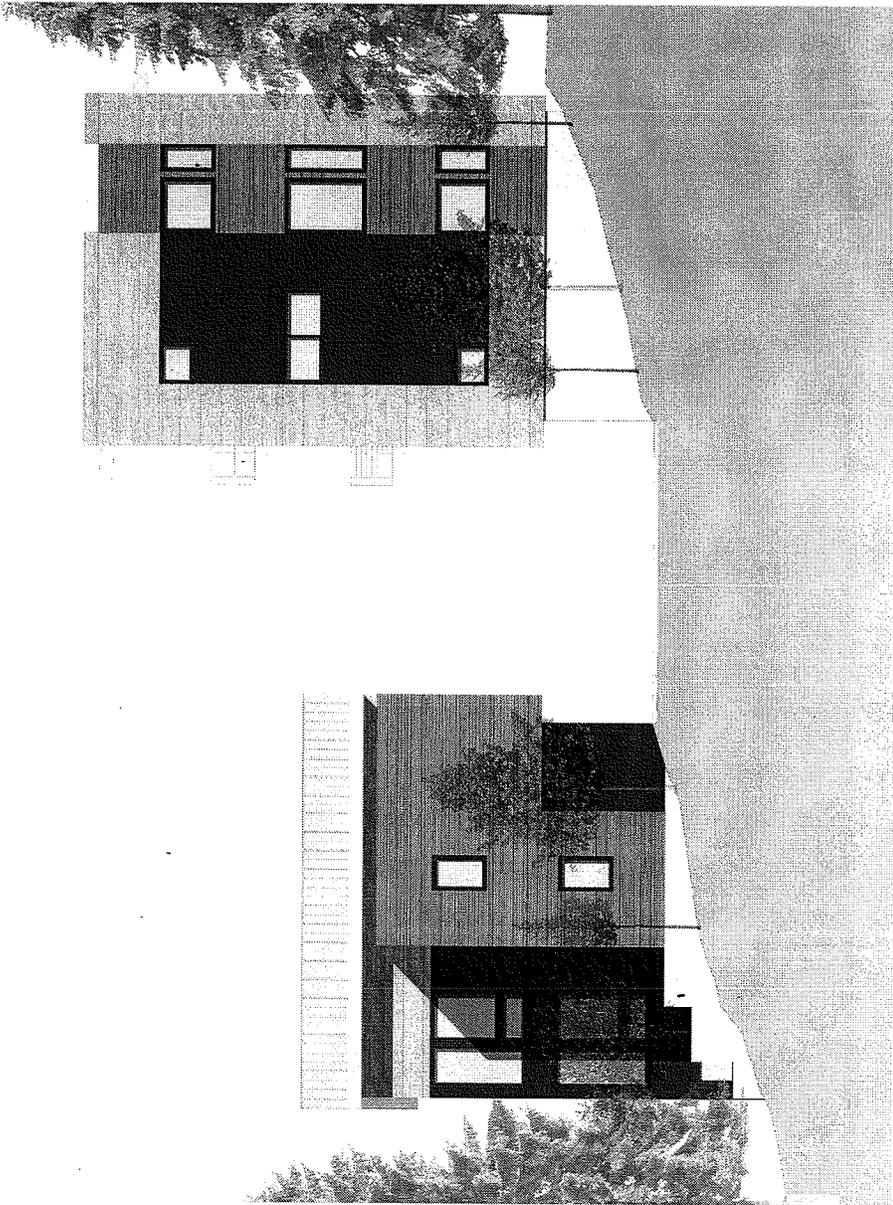
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FACTORIA LOFTS

A REVOLVE PROPERTIES DEVELOPMENT

Design Review project # 07 143689 LD

4030 Factoria Boulevard SE

DATE: April 04, 2008

DATE: 02/28/2007
 SHEET NO: 1
 PROJECT: LEGAL DESCRIPTION OF PARCEL "B"

NOTE:
 THE SURVEYOR, G
 LEGAL DESCRIPTION
 DESCRIPTION REA
 CONTACTED THE T
 OTHER DOCUMENT:

FOUND MONUMENT A
 SET 3/8" BAR & C
 FOUND REBAR AS N
 UTILITY POLE
 CATCH BASIN
 SANITARY SEWER A
 FINISHED FLOOR L
 ELECTRIC METER
 SPOT ELEVATION
 WATER VALVE
 WATER METER
 OIL FILLER CAP
 FIRE HYDRANT
 STORM DRAIN MAN
 VAULT "PURPOSE U
 ASPHALT SURF
 CONC SURFACE
 GRAVEL SURFA

02/28/2007
 FOUND REBAR & CAP
 0.1' S. OF PROPERTY
 CORNER "HELD"

TW 144.00
 BW 141.65

ITEM 10
 15" WIDE WATERLINE
 ESN "T REC." NO. B404480652

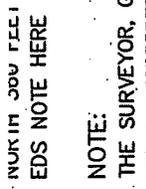
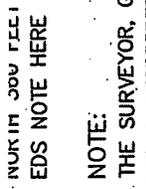
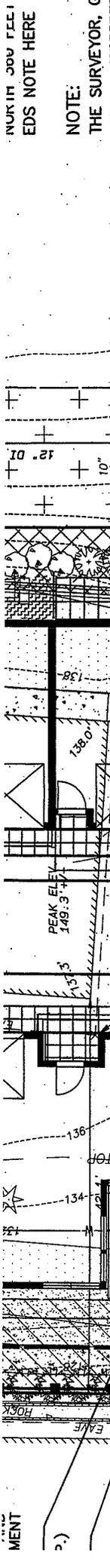
"SEE PARCEL "B" LEGAL DESCRIPTION NOTE:
 SSMH #2

INTENDED SOUTH LINE OF PARCEL "B"
 DOCUMENT PENDING FROM TITLE COMPANY

128 LF 8" PVC
 S=0.01

FRONTYARD
 SETBACK
 LANDSCAPE
 BUFFER

TH LN



SCALE IN FEET

12" DI

9" DI

PLAN

SCALE: 1"=10'