



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
 ENVIRONMENTAL COORDINATOR
 11511 MAIN ST., P.O. BOX 90012
 BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: First Presbyterian Church of Bellevue
LOCATION OF PROPOSAL: 1717 Bellevue Way NE

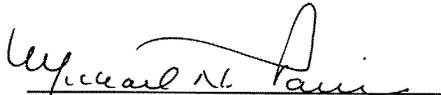
DESCRIPTION OF PROPOSAL: To demolish two existing buildings (education building and chapel) for a total of 36,350 square feet and construct a new 54,394 square foot building (education, childcare and religious programs). The proposal includes associated parking, landscaping, play areas and utilities.

FILE NUMBER: 07-112453-LM

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Department of Planning & Community Development. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **November 29, 2007**.
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so that it is likely to have significant adverse environmental impacts; if there is significant new information indicating, or on, a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.


 Environmental Coordinator

November 15, 2007
 Date

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife
- State Department of Ecology, Shoreline Planner N.W. Region
- Army Corps of Engineers
- Attorney General
- Muckleshoot Indian Tribe



**City of Bellevue
Department of Planning & Community Development
Land Use Staff Report, Environmental Review and
State Environmental Policy Act Threshold Determination**

Proposal Name: First Presbyterian Church of Bellevue Education Building
Proposal Address: 1717 Bellevue Way NE
Proposal Description: Demolish two existing buildings (education building and chapel) for a total of 36,350 square feet and construct a new 54,394 square foot building (education, childcare and religious programs). The proposal includes associated parking, landscaping, play areas and utilities.
File Number: 07-112453-LM
Applicant: Molly Lawrence, Gordon Derr LLP
Decisions Included: Determination of Non-Significance
Planner: Carol Saari, Associate Planner *Saari*

State Environmental Policy Act
Threshold Determination: **Determination of Non-Significance (DNS)**

A handwritten signature in black ink, appearing to read "Carol V. Helland".

Carol V. Helland,
Environmental Coordinator

Completeness Date: 05/14/07
Notice of Application: 05/24/07
Decision Publication Date: 11/15/07
Appeal Deadline: 11/29/07

For information on how to appeal a proposal, visit the Permit Center at City Hall or call 425-452-6880. Appeal of the State Environmental Policy Act Threshold Determination must be received in the City Clerk's Office by 5 pm on the date noted for appeal of the decision.

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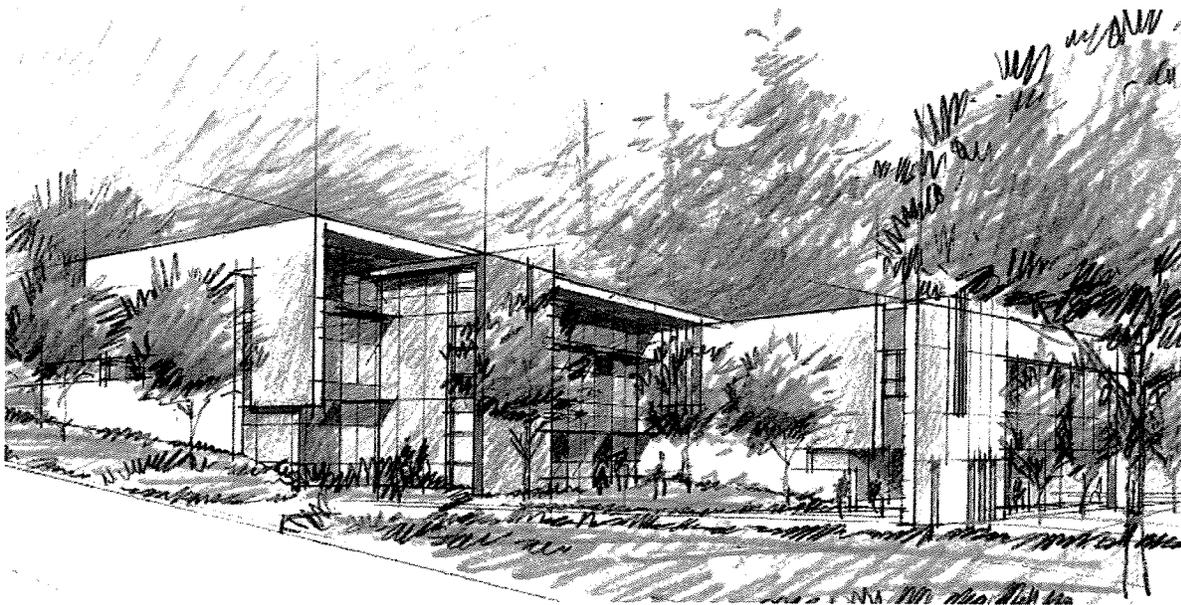
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ATTACHED:

- Exhibit A: Project Plans
- Exhibit B: Vicinity Map
- Exhibit C: Zoning Map
- Exhibit D: Parking Demand Table dated October 1, 2007
- Exhibit E: Environmental Checklist
- Exhibit F: Parking Management Program memo dated October 1, 2007

I. Request/Project Description

The applicant requests approval to demolish two existing buildings (education building and chapel) for a total of 36,350 square feet and construct a new 54,394 square foot building (education, childcare and religious programs). The proposal includes associated parking, landscaping, play areas and utilities. The building will be three stories on the north elevation and four stories on the south elevation.



View of the new Education Building looking from the southwest corner

History:

In 1993, the church received Conditional Use Permit approval to construct a 1,100 seat sanctuary with associated parking, landscaping and utilities. In 2004, the church received approval for an additional service at 9:45am. In early 2007, the church contacted the city about construction of the new education building.

Building Design:

The new Education building is designed to be compatible with the church campus and consistent with other civic buildings in the vicinity. In order to be sensitive to the neighborhood, special attention has been given to building mass, landscape buffers and exterior lighting. In order to reduce the bulk and scale of the education building, the design includes a recessed main entry, deep offsets, upper level cantilevers and "wing" corridors that extend from the central core of the building. There are strong vertical elements with a prominent window pattern. The building has been set into the slope with a stair-step foundation to reduce the amount of earth movement onsite. The exterior materials include concrete, metal accent panels, glazing and fiber cement or wood siding. The exterior colors will be natural/earth tones. New and recycled stained glass (from the prior chapel) is proposed along the west and east elevations to symbolize the church use of the property. See Project Plans, Exhibit A.

The purpose of the new education building is to accommodate existing programs that are currently located in the two existing buildings to be demolished. These programs include the following:

Table 1 - Education Building Activities

Program	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Eastside Academy Private School	Up to 40 students and 12 staff. 8:00 am to 4:00 pm weekdays plus occasional evening activities up to 10:00 pm.						
Preschool	Up to 200 students and 15 staff. 8:00 am to 4:00 pm weekdays. The number of children/staff varies each day, with a maximum of 75 students at any one time.						
Sunday school							Up to 400 children and 40 staff. 9:00 am to noon.
Bible study and/or prayer groups	Various times throughout the week with groups ranging in size from 5 to 100.						
Other activities related to religious mission, including community activities	Various times throughout the week with groups ranging in size from 5 to 150. Examples include: boy scouts, kids outreach, women's group, divorce recover group, etc.						
Church administrative business	Meetings at various times throughout the week with groups ranging in size from 5 to 50.						

Note: Some activities or classifications of activities overlap, (e.g., morning bible study overlaps with preschool and Eastside Academy activities).

There will be no programs transferred to the new education building from the main church sanctuary building. There will be no increase in the number of programs offered within the new education building without obtaining the necessary permits, amendments or modifications then required by the City. See condition VIII.A.1.

Any portions of the existing 1993 Conditional Use Permit for the Church property and amendment for the 9:45am service, not expressly amended by this application are unchanged will remain in effect. See condition VIII.A.2.

II. Site Description and Context

The First Presbyterian Church is located between Bellevue Way NE and 100th Ave. NE. Its southern boundary is NE 17th Street and northern boundary is NE 18th Street. See Vicinity Map, Exhibit B. The total site area is 11.15 acres. The church is located in the Northwest Bellevue Subarea, in a well established single family neighborhood (R-3.5 and R-4 zoning) and multi-family neighborhood (R-10 and R-20 zoning). See Zoning Map, Exhibit C. There are several schools within the area to the west, including Bellevue Christian Church, Chinook Middle School and Clyde Hill Elementary School.

The site slopes from west (high) to east (low) with an elevation change of about 80 feet (from 100th Ave. NE to Bellevue Way NE) and an overall slope of about 6% over 1250 lineal feet. There are some 40% critical slopes onsite. There is a Type O stream onsite and two wetlands: a Type III wetland in the southeast corner of the site and a Type IV wetland in the southwest corner of the site. (The proposed building will not be located within any critical area buffer or structure setbacks. See Section IV below for further discussion on critical areas.)

The new education building will be built in the same approximate location as the existing chapel and education building (to be demolished) along the western portion of the church property abutting 100th Ave. NE and NE 18th Street. It will be located about 50 feet west of the existing 1100 seat sanctuary. There will be 612 total parking stalls onsite which will remain. (Note: A reduction of five stalls.)

III. Consistency with Land Use Code/Zoning Requirements

The property is zoned single family R-3.5 and R-4. Churches and schools are permitted in this zone with Conditional Use / Administrative Conditional Use permit approvals. Both the church and school have received prior Land Use approvals consistent with these requirements.

The new education building meets all Land Use Code and Critical Area dimensional requirements as follows:

Table 2 - Project Statistics and Land Use Code Dimensional Requirements

Item	Allowed/Req'd	Proposed	Comments
Zoning	R-3.5, R-4	No change	Single family residential district.
Proposed Land Use	Residential, Churches, Schools	School/church Programs.	Complies. Prior Land Use approvals have been granted for the church use and school use onsite.
Site Area	11.15 acres	No change	No change.
Setback: Front North, West	Minimum 20' along street frontages	22' 4"	Complies. All retaining walls and rockeries shall be under 30" in height within setbacks. <u>See condition VIII.C.2.</u>
Setback: Rear	Minimum 50' school	NA	NA. No rear yard since the property abuts ROW on all sides.
Setback: Side	Minimum 50' school	NA	NA. No side yard since the property abuts ROW on all sides.
Critical Areas	Type 0 stream: 25' buffer (no structure setback) Type IV wetland: 40' buffer (no structure setback) Steep slopes: 50'	Type 0 stream: 53' Type IV wetland: 58' Steep slopes: See comment.	Complies. The applicant shall document that steep slopes within 50' of the building are under 1000 square feet in size and under 10' vertical change. <u>See condition VIII.B.3.</u>
Maximum Bldg. Height Measured from average finished grade to the top of a Flat roof.	Maximum 40' for schools	39' 10"	Complies. No mechanical equipment to be located on any portion of the building rooftop that is above the height of the underlying zone. <u>See condition VIII.C.3.</u>

Item	Allowed/Req'd	Proposed	Comments
Maximum Lot Coverage (minus critical areas)	Maximum 35% (minus critical areas)	14% for existing and proposed buildings (minus critical areas)	Complies.
Maximum Impervious Surface	Maximum 80% for legally established non-residential uses in residential districts	59%	Complies.
Landscaping	Type III, 10' for street frontages in area of project	Type III, 10' along disturbed street frontages. 3 additional trees to be installed along 100 th Ave. NE in front of the education building. 12 new trees to be installed along NE 17 th Street.	Complies. <u>See conditions VIII.C.4, D.1.</u>
Retention of diameter inches of significant trees in perimeter	100%	100%	Complies.
Retention of diameter inches of significant trees in interior	15%	74%	Complies.
Parking – Churches and Schools are undocumented uses and must provide documentation of parking needs.	Applicant provides documentation of parking needs.	612 stalls. <u>See Parking Demand Table, Exhibit D.</u> <u>See Parking Management Program dated October 1, 2007, Exhibit F.</u>	Complies. The church shall follow the parking management program memo dated October 1, 2007. <u>See condition VIII.A.6.</u>

IV. State Environmental Policy Act

The project is subject to environmental review because the building is over 4,000 square feet and there are critical areas onsite. See Environmental Checklist, Exhibit E.

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements, with incorporation by reference of the *2006-2017 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS)* updated November 2006. This document is available in the Department of Planning & Community Development Records Room, Bellevue City Hall, 450 110th Ave NE. Transportation-related impacts associated with the project are consistent with the

potential projected impacts analyzed in the 2006-2017 TFP EIS.

Adverse impacts which are less than significant are usually subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Sec. 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

A. Earth

The applicant submitted a geotechnical report by GeoEngineers dated October 20, 2006. According to the geotechnical report, the soil type found in the area of the proposed building is glacial till consisting of dense to very dense silty sand with gravel. No groundwater was present, although the geotechnical engineer expects that perched groundwater may be encountered in the more permeable layers of glacial soils during periods of wet weather. The geotechnical report provides recommendations for earth movement activities, erosion control, structural fill, foundation support and earthquake engineering.

There are some slopes over 40% onsite. The applicant shall document that slopes over 40% within 50' of the building are under 1000 square feet in size and under 10' vertical change. Any slopes meeting the definition of geologic hazard area shall be regulated as Critical Areas. See condition VIII.B.3.

The site is subject to rainy season restrictions. Construction activities and earth movement will be outside of critical area buffers. Approximately 4,400 cubic yards of cut and 2,000 cubic yards of fill will be required to facilitate development of the proposal. There is the potential for erosion impacts to occur as a result of the earth movement activities.

Existing codes and standards including Best Management Practices for temporary erosion and sedimentation control, rainy season restrictions, as well as the recommendations included in the geotechnical report are expected to adequately mitigate anticipated impacts to earth resources.

B. Water

The applicant submitted a report by Aquatica Environmental Consulting, LLC dated February 9, 2007 which provided classifications of the existing Type O stream, Type III wetland and Type IV wetland onsite. The Type IV wetland is located on the opposite side

of the site (in the southeast corner). As noted in Section III, Table 2 above, the proposed location of the education building meets all required buffers/setbacks for water resources.

Stormwater from roofing and footing drains will be collected and tightlined to catchbasins

with water quality treatment. After water quality treatment, stormwater facilities will connect to existing storm drainage systems onsite which eventually connect to the City's storm water systems.

Construction activities and associated site improvements will be located outside of critical area buffers/setbacks. However, there is the potential for pollutants to enter the water resources. The application of existing City codes, including temporary erosion and sedimentation control measures and stormwater management, will adequately address anticipated impacts to water resources.

C. Transportation

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2017 have been addressed in the City's Transportation Facilities Plan EIS. The impacts of growth which are projected to occur within the City by 2017 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's current Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. The First Presbyterian Church lies within MMA # 1, which has a 2017 total growth projection of 24,360 square feet of non-residential development. This development proposes a net increase of 18,044 square feet of new non-residential space. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan EIS.

Transportation impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. The Transportation Improvement Program (Bellevue City Code 22.16) requires that development, defined in part as construction or expansion of a building, must pay a transportation impact fee. Payment of the fee contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. The fee will be based on the net increase in square footage at the rate applicable for a religious institution. The rate is presently \$0.29 per net new square foot; however, that rate may be periodically revised by the City council. Fee payment is required at the time of building permit issuance, based on the fee schedule in effect at that time. Note that even though the church expects no short-term increase in trip generation (see below), the transportation impact fee is intended to mitigate the ultimate long-term transportation impact, which will likely increase proportionately to the increase in square footage.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (Bellevue City Code 14.10) requires that development proposals generating 30 or more pm peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained. Based on information from the applicant, the proposed development will not generate any net increase in PM peak hour traffic during the next

six years. Therefore, the Traffic Standards Code does not apply, and no concurrency test is required for this application.

Short Term Operational Impacts and Mitigation

The church has stated that the proposed increase in square footage will not generate any short-term increase in traffic, because the church's intent for the foreseeable future is that only existing functions will occupy the new building, and that the level of activity for those existing functions is not expected to increase. On that basis, no short-term traffic mitigation is required. However, the church has proposed to revise one driveway connection on 100th Avenue NE. That revision must meet present City standards for grade, width, and alignment.

D. Parking

In 1993, a Conditional Use permit was approved (copy in file) to expand the existing church sanctuary to 1100 seats. This approval contained a parking management plan. In 2004, an amendment to the Conditional Use permit was approved (copy in the file) to allow for a third morning service at 9:45am with a modified parking management plan (from the 1993 approval).

After construction of the education building, there will be 612 stalls onsite (a reduction of 5 stalls). The reduction in the total number of stalls is not expected to affect the availability of parking stalls during the work week. See Parking Demand Table, Exhibit D. During the work week and on Saturdays, the maximum number of required parking stalls for the sanctuary and education building is 462 out of 612 stalls available. On Sundays, holidays and special events, the church has a formal agreement with the Bellevue Christian Church to use 177 parking stalls; the church then provides a shuttle service to the sanctuary. (The church also has an informal agreement with Chinook Middle School for up to an additional 200 stalls.)

With this application, the church seeks to modify specific conditions of the 2004 parking management program to acknowledge current circumstances:

- Volunteer flaggers are not allowed at the church exits or offsite due to insurance purposes.
- Flaggers are no longer needed at the NE 17th intersection due the installation of a median that restricts left hand turns from Bellevue Way to NE 17th St.
- The church now hires an off-duty police officer to be a flagger on Sundays (with large attendances) at the church entrance along Bellevue Way NE.
- Stadium-style parking has never been used as outlined in the 2004 program.
- All other conditions of the 2004 plan remain in effect.

See Parking Management Program memo dated October 1, 2007, Exhibit F. See condition VIII.A.3.

In order to mitigate any potential overflow parking on adjacent City streets, the applicant shall provide, in writing, to all church members and outside user groups that parking is not allowed on adjacent City streets. See condition VIII.A.3.

The above conditions of approval should adequately mitigate potential impacts of overflow parking onto adjacent City streets.

E. Light and Glare

There is the potential for light and glare from the building. The applicant has provided information regarding lighting of the new building. There will be no exterior lights installed, except security lights at exits/entrances and lighting at stairs/walkways. Such lights shall be shielded to prevent light spillover and glare onto adjacent properties. Interior lighting will have an automatic shut-off when people leave the room and no lights will be visible from adjacent properties after 10pm. See condition VIII.A.4.

These above conditions should adequately mitigate potential light and glare impacts.

F. Noise

In order to mitigate the potential for noise impacts to adjacent residences, the applicant will be subject to the Noise Control Code, Bellevue City Code 9.18. Hours of construction shall be limited to Monday-Friday 7am-6pm and Saturdays 9am-6pm. Noise related to construction is prohibited on Sundays and legal holidays. Noise created by construction activities (i.e. vehicle mufflers, idling motors, jack hammers, air compressors, nail guns, heavy equipment) shall be reduced as much as possible through use of the best noise abatement systems available. See conditions VIII. A.5, A.6.

The above conditions should adequately mitigate potential noise impacts.

V. Summary of Technical Reviews

A. Transportation

Site Access

The site presently has one driveway connecting to Bellevue Way, one to NE 17th Street, two driveways on 100th Avenue NE, and one on NE 18th Place. The church proposes to realign the northern driveway on 100th Avenue NE so it will be opposite the intersection of NE 18th Street. The Transportation Department supports that realignment.

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of any street frontage improvements must conform with the requirements of the Transportation Development Code (Bellevue City Code 14.60) and the Transportation Department Design Manual.

1. The realigned driveway on 100th Avenue NE shall have an approach width, as shown in standard drawing DEV-7B, of 26 feet, which shall flare out with a radius of approximately 15 feet. The driveway apron design shall be consistent with standard drawing DEV-7B. The driveway approach grade shall not exceed 7% for 30 feet behind the street's existing edge of pavement. Vehicle and pedestrian sight lines shall comply with Bellevue City Code 14.60.240 and 241.

2. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within the street right of way within ten feet of the realigned driveway edge. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post.
3. No new overhead utility lines will be allowed within or across any street right of way or sidewalk easement. Whether any existing overhead lines must be relocated underground depends on the terms of right of way use permits obtained by the relevant franchise utility companies.
4. The abandoned driveway approach on 100th Avenue NE shall be closed by removing the unused asphalt and replacing it with landscaping. A street shoulder matching the adjacent shoulder width shall be retained. Landscaping shall not block the required sight lines.

Use of the Right of Way

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. This permit is issued directly by the Transportation Department.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Work is proposed within the right of way of 100th Avenue NE in order to realign one driveway. That segment of 100th Avenue NE is presently classified as "Overlay Required." If the developer's work causes any damage to the travel lane or paved shoulder, then a grind and overlay will be required for pavement restoration.

Work is proposed within the right of way of NE 18th Place in order to install new utility connections. Presently, NE 18th Place is classified as "Overlay Required," except that the dead-end segment to the east of 101st Avenue is classified as "Standard Trench Restoration." Engineering plans submitted to date show some utility work within the

“Overlay Required” area. The applicant is encouraged to move that work to the “Standard Trench Restoration” area if feasible.

The exact requirements and extent of pavement restoration will be based on conditions stated in the project’s right of way use permit and as determined by Transportation Department inspectors in the field.

See conditions VIII.B.1, B.2, C.5, D.2, D.3.

B. Utilities Department

The City has adequate capacity for providing water, sewer, and storm drainage for this proposal. Because review has been on a conceptual level only, there are no implied approvals of the engineering specifications for the water quality and detention components of the proposal. The Utility Codes along with Utilities Engineering Standards will address the requirements to mitigate expected storm and water quality impacts. See condition VIII.A.7.

C. Fire Department

The Fire Department has reviewed the proposal and recommends conditions of approval which include the requirement for sprinklers, fire alarm system, fire hydrants, and fire access roads to be posted and marked “No Parking-Fire Lane.” See condition VIII.C.6.

VI. Public Comments and Response

Application Date: April 16, 2007
Public Notice: May 24, 2007
Optional Public Meeting: June 12, 2007
Minimum Comment Period: June 13, 2007

Notice of the application was published on May 24, 2007. A public meeting on this application was held on June 12, 2007 at the First Presbyterian Church. Approximately 100 people attended this meeting. In addition to the comments received at the public meeting, the City received several phone calls and emails.

The following is a summary of the neighbor concerns and City staff response:

A. The size and bulk of the building is out of character with the neighborhood. It looks like an office building.

City staff response:

As stated in the Request/Project Description, Section I, in order to be sensitive to the neighborhood, special attention has been given to building mass. In order to reduce the bulk and scale of the education building, the design includes a recessed main entry, deep offsets, upper level cantilevers and “wing” corridors that extend from the central core of the building. The building has been set into the slope with a stair-step foundation to reduce the amount of earth movement onsite. The exterior materials

include concrete, metal accent panels, glazing and fiber cement or wood siding. The exterior colors will be natural/earth tones, typical Pacific Northwest colors. New and recycled stained glass (from the prior chapel) is proposed along the west and east elevations to symbolize the church use of the property. See Project Plans, Exhibit A.

- B. There will be light and glare from the building, especially at night. This will be quite noticeable during the winter months when there are no leaves on the deciduous trees. The houses along NE 17th Street will feel the most impact of potential light and glare from the south elevation of the building.**

City staff response:

Interior lighting will have an automatic shut-off when people leave the room and no lights will be visible from adjacent properties after 10pm. There will be no exterior lights installed, except security lights at exits/entrances and lighting at stairs/walkways. Such lights shall be shielded to prevent light spillover and glare onto adjacent properties. See condition VIII.A.4.

The applicant will also install 12 evergreen trees (6-8' installed height) to help provide a buffer to adjacent properties. See condition VIII.C.4.

- C. There will be traffic overflow onto adjacent neighborhood streets from program users at the new education building. Aren't the Bellevue Christian High School students already parking on the church's parking lot and taking up parking stalls?**

City staff response:

During the work week and on Saturdays, the maximum number of required parking stalls for the sanctuary and education building is 462 out of 612 stalls available. On Sundays, holidays and special events, the church has a formal agreement with the Bellevue Christian Church to use 177 parking stalls; the church then provides a shuttle service to the sanctuary. (The church also has an informal agreement with Chinook Middle School for up to an additional 200 stalls.) See Parking Demand Table, Exhibit D.

In regard to flaggers:

- Volunteer flaggers are not allowed at the church exits or offsite due to insurance purposes.
- Flaggers are no longer needed at the NE 17th intersection due the installation of a median that restricts left hand turns from Bellevue Way to NE 17th St.
- The church now hires an off-duty police officer to be a flagger on Sundays (with large attendances) at the church entrance along Bellevue Way NE.

The Church will continue its efforts to eliminate spillover parking onto adjacent City streets. The Church will continue to manage onsite parking as set forth in its Parking Management Program memo dated October 1, 2007, Exhibit F. The applicant shall provide, in writing, to all church members and outside user groups that parking is not allowed on adjacent City streets. See condition VIII.A.3.

According to the 2004 parking amendment, Bellevue Christian High School students are allowed to park at the church during school hours. This is the low peak for the church when there are enough available parking stalls onsite. In addition, NE 17th Street, NE 18th Street and 101st Ave. NE are signed for "No Parking."

D. Why does the church need an increase of almost 20,000 square feet when it claims there will be no increase in the number of programs or number of people attending the programs in the new education building?

City staff response:

The applicant has provided an explanation about why the church needs additional space. See Explanation of Space Increase, Exhibit G. In summary, the space is needed for two reasons: (1) the need to modernize to meet current codes and regulations; and (2) to eliminate the current overlapping uses in the same room. The church is seeking a more modern building with less cramped space.

The existing education building does not currently meet fire and building codes for hallway width (currently 3' wide which is ½ of the required 6' wide hallway). Also, the building does not meet ADA elevator and restroom requirements, and the number of toilets (currently 13 toilets adults/children instead of the required 34 toilets adults/children). The fire alarm/sprinkler system is out of compliance with current codes. Asbestos is present and needs to be removed.

Standard individual classroom size has increased about 1.5x since 1964 (when the current education building was built). The church desires dedicated space for each use in the building, instead of overlapping use of rooms. Currently, the Eastside Academy borrows rooms from the Sunday School. Dedicated administrative space is also needed for the Eastside Academy and Preschool. Storage space is needed for all users.

E. When cars are parked along the north side of NE 17th Street in front of the Chiavari Condominium complex and church members are exiting the church after service, it is difficult for vehicles to turn from Bellevue Way NE onto NE 17th Street.

City staff response:

As a result of this comment, the Transportation Department installed "No Parking" signs along the north side of NE 17th Street in front of the Chiavari Condominium complex. There were already "No Parking" signs along the south side of NE 17th Street.

- F. **A condition of the 1993 Conditional Use Permit was to have flaggers to direct traffic at the church's main entrance on Bellevue Way NE. It is not apparent that this is being done. In addition, the 1993 approval required flaggers along NE 17th Street.**

City staff response:

The church was not able to use volunteers for flaggers due to insurance purposes. The church now hires an off-duty police officer to be a flagger on Sundays (with large attendances) at the church entrance along Bellevue Way NE. Flaggers are no longer needed at the NE 17th intersection due the installation of a median that restricts left hand turns from Bellevue Way to NE 17th St.

VII. Changes to Proposal as a Result of Staff Review

1. Building Elevations: In order to present a more church-like presence to the building, stained glass and a church symbol were added to the west and south elevations. Some of the stained glass will be saved from the existing chapel (which will be demolished).
2. Trees: Additional evergreen trees (6-8' height) were added for increased buffer and to soften the view of the building: three (3) trees were added along west perimeter and 12 trees were added along the south perimeter.

VIII. Conditions of Approval

A. GENERAL

1. ACTIVITIES IN THE EDUCATION BUILDING

The number of activities in the new Education Building shall not be increased without obtaining the necessary permits, amendments or modifications then required by the City. Further, activities in the new education building shall be limited such that programs do not generate additional traffic to or from the church campus between 10pm and 6am.

Authority: Land Use Code 20.30B, 20.20.590
Reviewer: Carol Saari, Dept. of Planning & Community Development

2. PRIOR CONDITIONAL USE APPROVALS

Any portions of the existing Conditional Use Permit for the Church property (Bellevue File Nos. CUDN-91-7537 and Amendment for 9:45am service 04-11182-LJ) not expressly amended by this application are unchanged and remain in full force and effect.

Authority: Land Use Code 20.30.B
Reviewer: Carol Saari, Dept. of Planning & Community Development

3. PARKING MANAGEMENT

The Church shall continue its efforts to eliminate spillover parking onto adjacent City streets. The Church shall continue to manage onsite parking as set forth in its Parking Management Program memo dated October 1, 2007, Exhibit F. In the event of an inconsistency between the October 1, 2007 memo and the 2004 Parking Management Plan, the October 1, 2007 memo shall control. The applicant shall provide notice, in writing, to all church members and outside user groups that parking is not allowed on adjacent City streets.

Authority: Land Use Code 20.20.590
Reviewer: Carol Saari, Dept. of Planning & Community Development

4. INTERIOR AND EXTERIOR LIGHTING OF THE EDUCATION BUILDING

Interior lighting in the education building shall be controlled such that no light from the interior of the education building shall be visible from adjacent properties after 10:00 pm. In addition, exterior lights serving the education building shall be limited to safety lighting at the entrances/exits and on and around the building's exterior stairwells, walkways and as otherwise required by city code or other applicable regulations. All exterior lights shall be shielded to prevent light spillover and glare to adjacent properties.

Authority: Land Use Code 20.20.522
Reviewer: Carol Saari, Dept. of Planning & Community Development

5. CONSTRUCTION HOURS

Noise related to construction is allowed from 7:00am to 6:00 pm Monday through Friday and 9:00am to 6:00pm on Saturday. Noise related to construction is prohibited on Sundays and legal holidays.

Authority: Bellevue City Code 9.18.020
Reviewer: Carol Saari, Dept. of Planning & Community Development

6. USE OF THE BEST AVAILABLE NOISE ABATEMENT SYSTEMS DURING CONSTRUCTION ACTIVITIES

Noise created by construction activities (i.e. vehicle mufflers, idling motors, jack hammers, air compressors, nail guns, heavy equipment) shall be reduced as much as possible through use of the best noise abatement systems available for the vehicle/tool causing the construction noise impact. It is the responsibility of the developer to provide such documentation, if requested.

Authority: Bellevue City Code 9.18.020
Reviewer: Carol Saari, Dept. of Planning & Community Development

7. UTILITIES

- a. The Utilities Department approval of the Design Review application is based on the preliminary utility design. Final civil engineering of the utility design may require changes to the site layout to accommodate the utilities.

Authority: Bellevue City Code Title 24.02, 24.04, 24.06
Reviewer: Rob Hutchinson, Utilities Department

- b. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under the Developer Extension Agreement and Utilities Permit Processes. The side sewer connection is to be by a gravity system. Due to the disturbance of more than 5000 sq. ft. of pollution generating surface, a stormfilter is required to satisfy water quality requirements for the stormwater system.

Authority: Bellevue City Code Title 24.02, 24.04, 24.06
Reviewer: Rob Hutchinson, Utilities Department

B. PRIOR TO ISSUANCE OF ANY CLEARING AND GRADING PERMIT

1. RIGHT-OF-WAY USE PERMIT

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant will secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

Authority: Bellevue City Code 11.70, 14.30

Reviewer: Jon Regalia, Transportation Department

2. CIVIL ENGINEERING PLANS – TRANSPORTATION

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of new street frontage improvements and revised driveway accesses must be in conformance with the current requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Specific requirements for the engineering plans include, but are not limited to:

- a) Driveway approach design at the revised driveway.
- b) Sight distance at the revised driveway. (Show the required sight triangles and include any sight obstructions.)
- c) Location of fixed objects near the revised driveway approach.
- d) Trench restoration within any street right of way.
- e) In addition to engineering details, the clear and grade plans must include a plan for landscaping required to close the abandoned driveway approach. Landscaping must not block required sight lines.

Authority: Bellevue City Code 14.60; Transportation Department Design Manual
Reviewer: Carl Wilson, Transportation Department

3. SLOPES

The applicant shall document that steep slopes within 50' of the building are under 1000 square feet in size and under 10' vertical change. Any slopes meeting the definition of geologic hazard area shall be regulated as Critical Areas.

Authority: Land Use Code 20.25H.120.A.6
Reviewer: Carol Saari, Dept. of Planning & Community Development

C. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT

1. EXTERIOR BUILDING DESIGN

The exterior design of the new Education Building shall be consistent with the Project Plans, Exhibit A.

Authority: Land Use Code 20.20.740
Reviewer: Carol Saari, Dept. of Planning & Community Development

2. RETAINING WALLS AND ROCKERIES

All retaining walls and rockeries shall be under 30" in height within required setbacks.

Authority: Land Use Code 20.20.025.C.2
Reviewer: Carol Saari, Dept. of Planning & Community Development

3. ROOFTOP MECHANICAL EQUIPMENT

No mechanical equipment shall be located on any portion of the new Education building rooftop that exceeds 30 feet (the maximum height of the underlying zone).

Authority: Land Use Code 20.20.740.A.3.a.i.
Reviewer: Carol Saari, Dept. of Planning & Community Development

4. LANDSCAPING

Landscaping shall include no less than 3 evergreen trees (installed height 6-8') along the west property line and 12 evergreen trees (installed height 6-8') along the south property line adjacent to NE 17th Street. Type III landscaping shall be installed along the street frontages in areas disturbed by construction of the education building, per the Project Plans, Exhibit A.

Authority: LUC 20.20.520
Reviewer: Carol Saari, Dept. of Planning & Community Development

5. TRANSPORTATION IMPACT FEE

Payment of the traffic impact fee will be required at the time of building permit issuance. The impact fee is estimated to be \$5,232.76. This fee is subject to change and the fee schedule in effect at the time of building permit issuance will apply.

Authority: Bellevue City Code 22.16
Reviewer: Carl Wilson, Transportation Department

6. FIRE DEPARTMENT

- a. Provide an unobstructed, paved 26 foot wide fire apparatus access road on one side of the building no closer than 15 feet and not farther than 30 feet from the building.

Authority: International Fire Code 503, Bellevue Fire Department Development Standards 3.04-2

Reviewer: Adrian Jones, Fire Department

- b. The fire access roads shall be posted and marked "No Parking-Fire Lane" per Bellevue Standards.

Authority: Bellevue Fire Department Development Standards 3.03-6
Reviewer: Adrian Jones, Fire Department

- c. Detention vaults and pipes in the roadway shall be capable of supporting fire apparatus with a gross weight of 64,000 lbs. (rear axle=48,000 lbs and front axle=19,000 lbs) and shall support the weight of the ladder truck outrigger which is 45,000 lbs over an 18 inch square.

Authority: Bellevue Development Information Sheet 11/90
Reviewer: Adrian Jones, Fire Department

- d. Provide fire hydrants at approved locations within 400 feet of the most remote part of the building.

Authority: International Fire Code 508, Bellevue City Code 5675
Reviewer: Adrian Jones, Fire Department

- e. Provide the required fire flow at the fire hydrants near the building.

Authority: International Fire Code Appendix B
Reviewer: Adrian Jones, Fire Department

- f. Provide automatic fire sprinklers throughout the building designed per National Fire Protection Association 13.

Authority: International Fire Code 903
Reviewer: Adrian Jones, Fire Department

- g. Provide a Fire Department Connection at an approved location and within 50 feet of a hydrant.

Authority: International Fire Code 903
Reviewer: Adrian Jones, Fire Department

- h. Provide a fire alarm notification system throughout the building.

Authority: Bellevue City Code 5675
Reviewer: Adrian Jones, Fire Department

- i. Demolition and construction shall conform to the requirements of International Fire Code Chapter 14.

Authority: International Fire Code Chapter 14
Reviewer: Adrian Jones, Fire Department

- j. Provide a building Radio Coverage system throughout the building.

Authority: Bellevue City Code 5675
Reviewer: Adrian Jones, Fire Department

- k. Provide a separate and distinct address for this building.

Authority: International Fire Code 505, Bellevue Fire Department Development Standards Chapter 4

Reviewer: Adrian Jones, Fire Department

D. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY

1. LANDSCAPE MAINTENANCE ASSURANCE DEVICE

The applicant shall submit a cost estimate for all of the site landscaping, per the City approved landscape plan, and a notarized assignment of savings equal to 20% of the total cost of the landscaping (minus the cost of the irrigation system). Approximately one year after City approval of site landscape installation the City's project reviewer shall inspect the landscape (or upon commencement of the growing season if the one year period ends during the dormant period). After all damaged, dead or dying plants are replaced, the performance assurance device shall be released in full to the applicant. If the landscape is not restored within a reasonable period of time, the City may use the assignment to pay the cost of restoring the landscape per the approved plan.

Authority: LUC 20.20.520.K.1, 2

Reviewer: Carol Saari, Dept. of Planning & Community Development

2. STREET FRONTAGE IMPROVEMENTS

All street frontage improvements and other required transportation elements must be constructed by the applicant and accepted by the Transportation Department Inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction. Specific requirements include the following:

- a) Driveway approach construction at the revised driveway must achieve the correct width, grade, and radii.
- b) Required sight distance at the revised driveway must be achieved per Bellevue City Code 14.60.240 and 241.
- c) No fixed objects shall be located or allowed to remain within the required clear zone near the revised driveway approach.
- d) The abandoned driveway approach must be closed by removing pavement and installing landscaping. The landscaping must not block required sight lines.

Authority: Bellevue City Code 4.60.110, 120, 150, 181, 240, 241; Transportation Department Design Manual; and Transportation Department Standard Drawings

Reviewer: Carl Wilson, Transportation Department

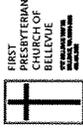
3. PAVEMENT RESTORATION

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be generally provided as follows. The exact nature and extent of pavement restoration shall be per the project's right of way use permit.

- a) 100th Avenue NE: Grind and overlay required for any pavement restoration necessitated by the development.
- b) NE 18th Place: Grind and overlay required for any pavement or trench restoration, except that standard trench restoration is allowed to the east 101st Avenue NE.

Authority: Bellevue City Code 14.60. 250; Design Manual Design Standard #21
Reviewer: Jon Regalia, Transportation Department

1000 Alabama Way
Suite 1000
Birmingham, AL 35203
Tel: 205.651.2344
Fax: 205.651.3005

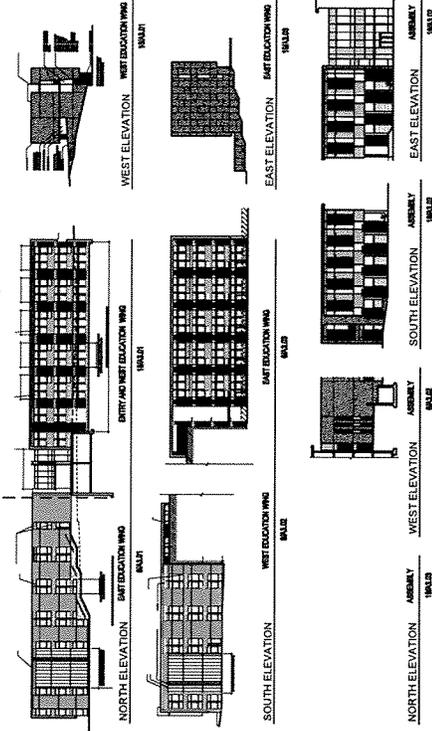


FIRST
PRESBYTERIAN
CHURCH OF
BELLEVUE
1000 ALABAMA WAY
BIRMINGHAM, AL 35203

MATERIALS & ARCH. ELEMENTS KEY:

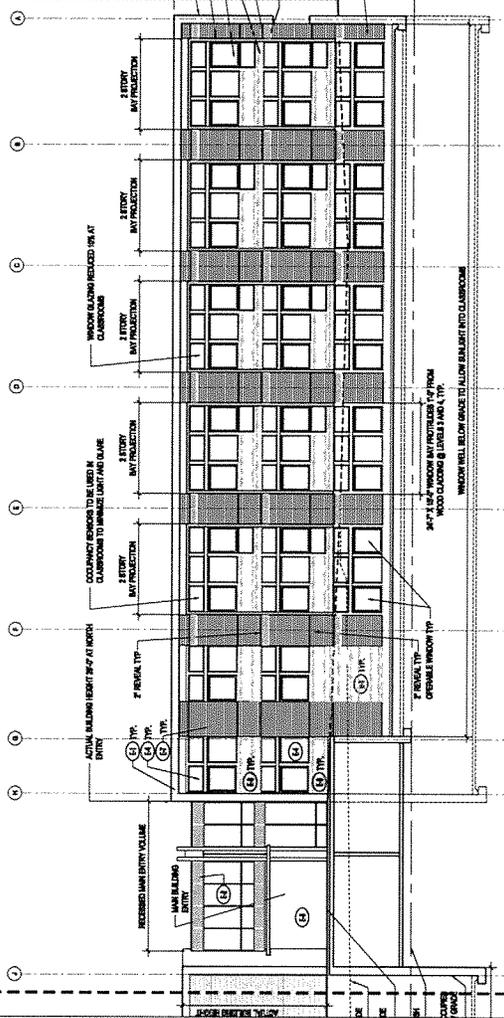
- (1) CURBFACE CONCRETE
- (2) METAL WALL PANEL (MILITARY) W/ WOOD PANEL
- (3) CUSTOM WALL PATTERN
- (4) BRICK WINDOW/DOOR WALL SYSTEM
- (5) BRICK/STONE DOOR
- (6) FIBER CEMENT OR WOOD PANEL
- (7) FIBER CEMENT OR WOOD BRICK

LEGEND

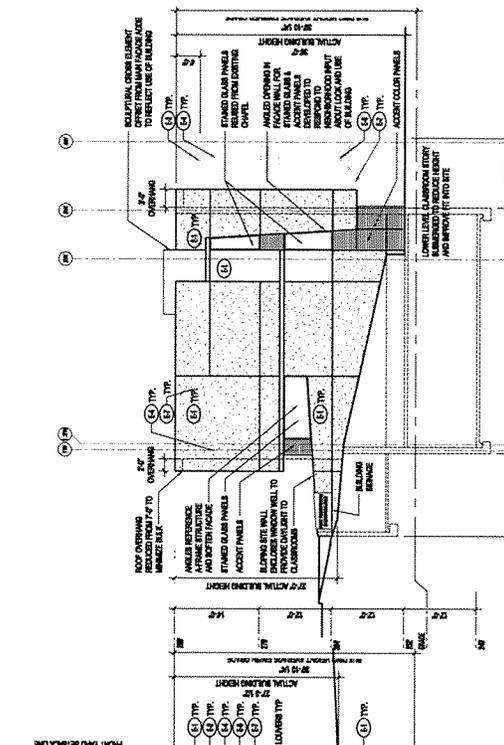


6 NORTH ELEVATION - EAST WING
SCALE: 1/8" = 1'-0"

GENERAL NOTE: FINAL EXTERIOR COLOR PALLETTE SELECTIONS WILL BE MADE PRIOR TO BUILDING PERMIT SUBMITTAL. COLORS SHOWN APPROXIMATE NATURAL COLOR PALLETTE DIRECTION FOR BUILDING.



10 NORTH ELEVATION - ENTRY AND WEST WING
SCALE: 1/8" = 1'-0"



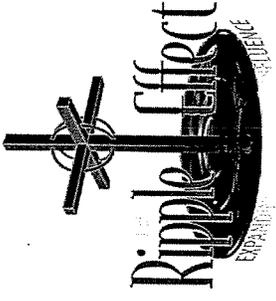
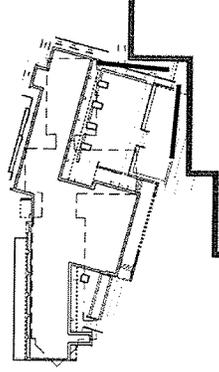
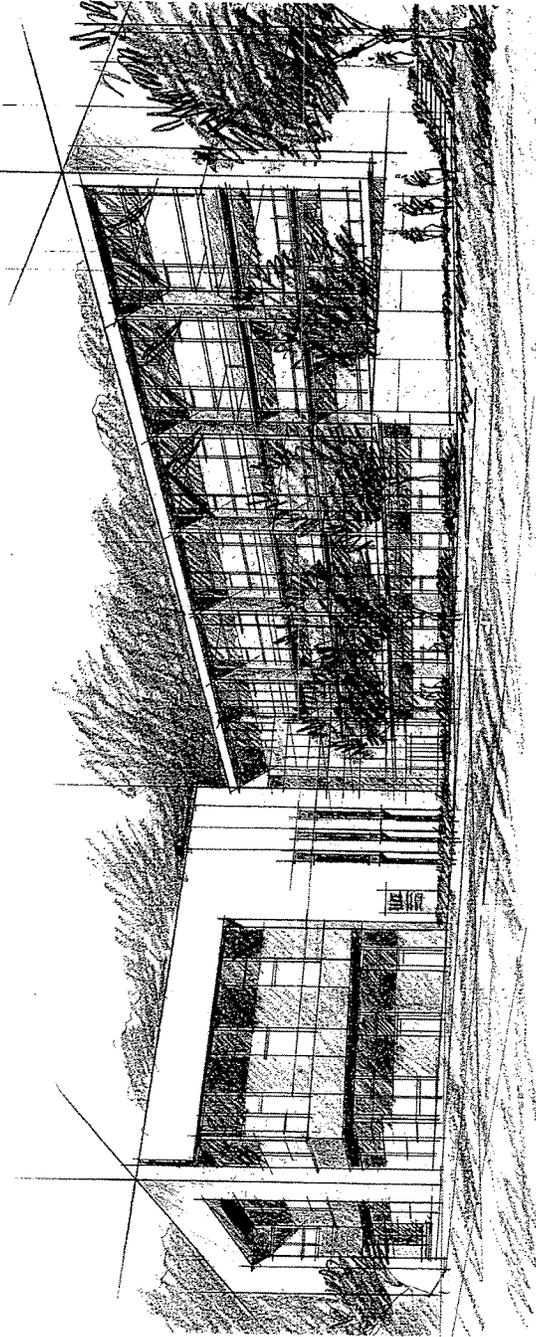
19 NORTH ELEVATION - EAST WING
SCALE: 1/8" = 1'-0"

DRAFT - NOT FOR CONSTRUCTION

A3.01

EXTERIOR ELEVATION
X X
DATE: 07/20/2017
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
PROJECT: FIRST PRESBYTERIAN CHURCH OF BELLEVUE
SHEET NO.: A3.01

view from existing church



RECEIVED

APR 14 2007

MITT HUN

first presbyterian church of belleve



PERMIT PROCESSING

before + after: context



existing a-frame church building

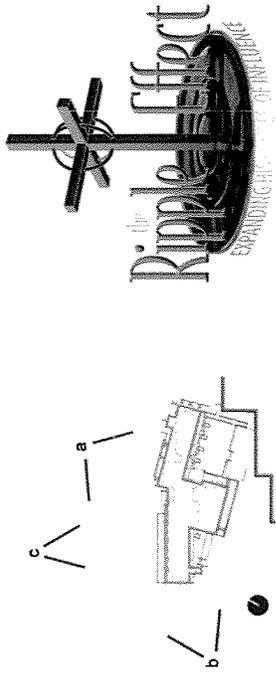


proposed education building



before + after: context

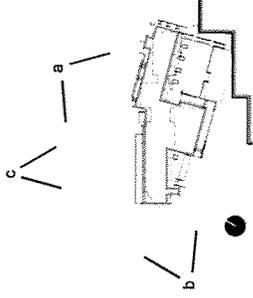
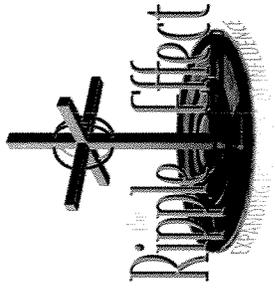
views below: 100th avenue northeast looking north (see "b" on keymap previous page)



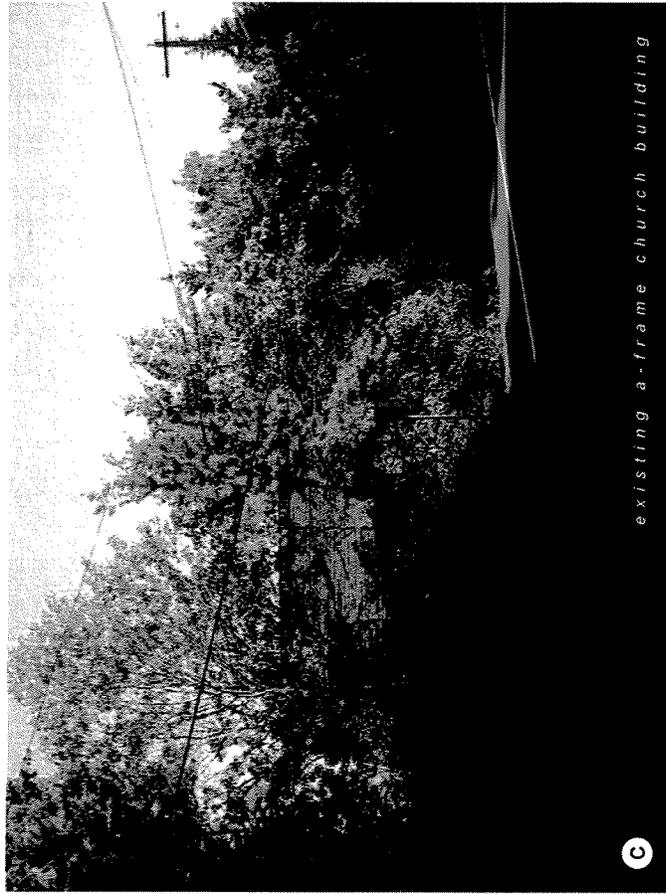
first presbyterian church of belleve

MITHÜN

before + after: context



views below: 100th avenue northeast looking south (see "c" on previous keymap)



C

existing a-frame church building



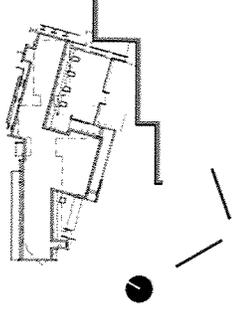
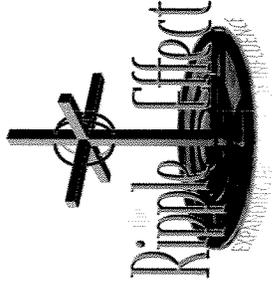
C

proposed education building

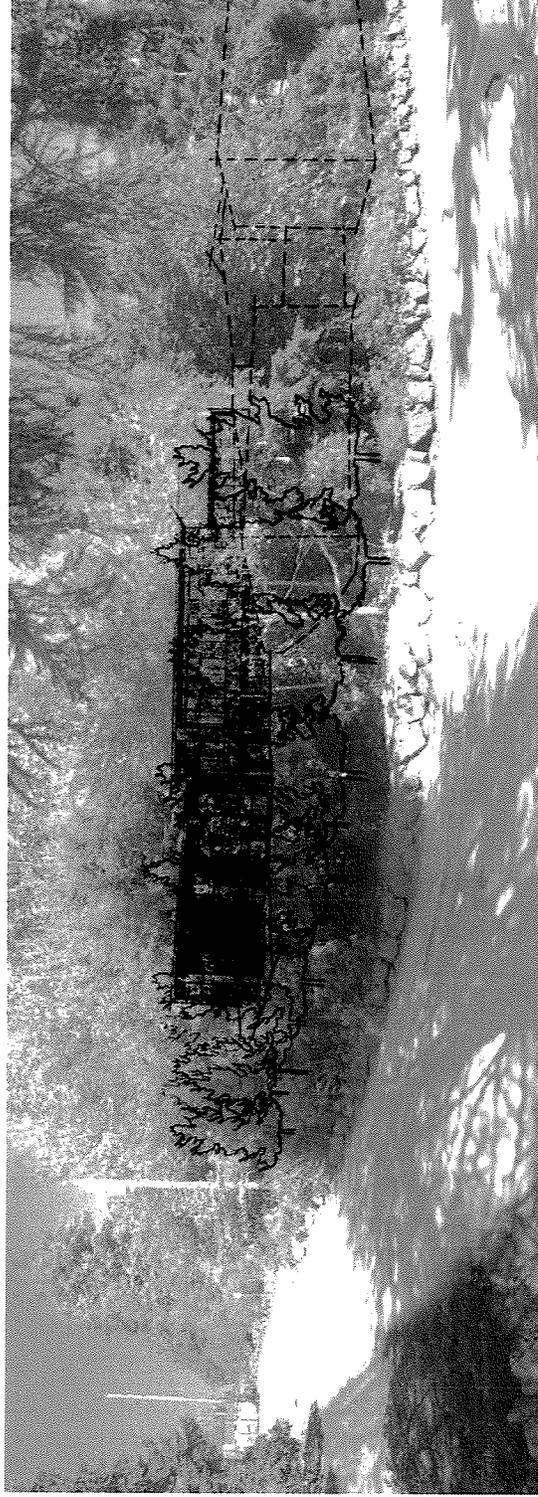


first presbyterian church of bellevue

context: tree screening



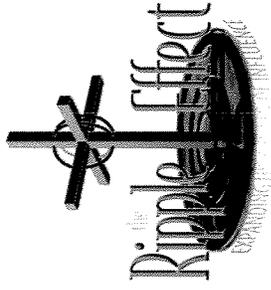
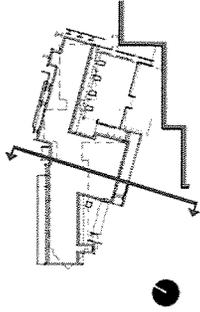
view this page:
existing tree cover will significantly screen the new education building from view on the site's southern side; additional trees (shown as black outlines in the foreground) are proposed to ensure continuity of this screening across all seasons



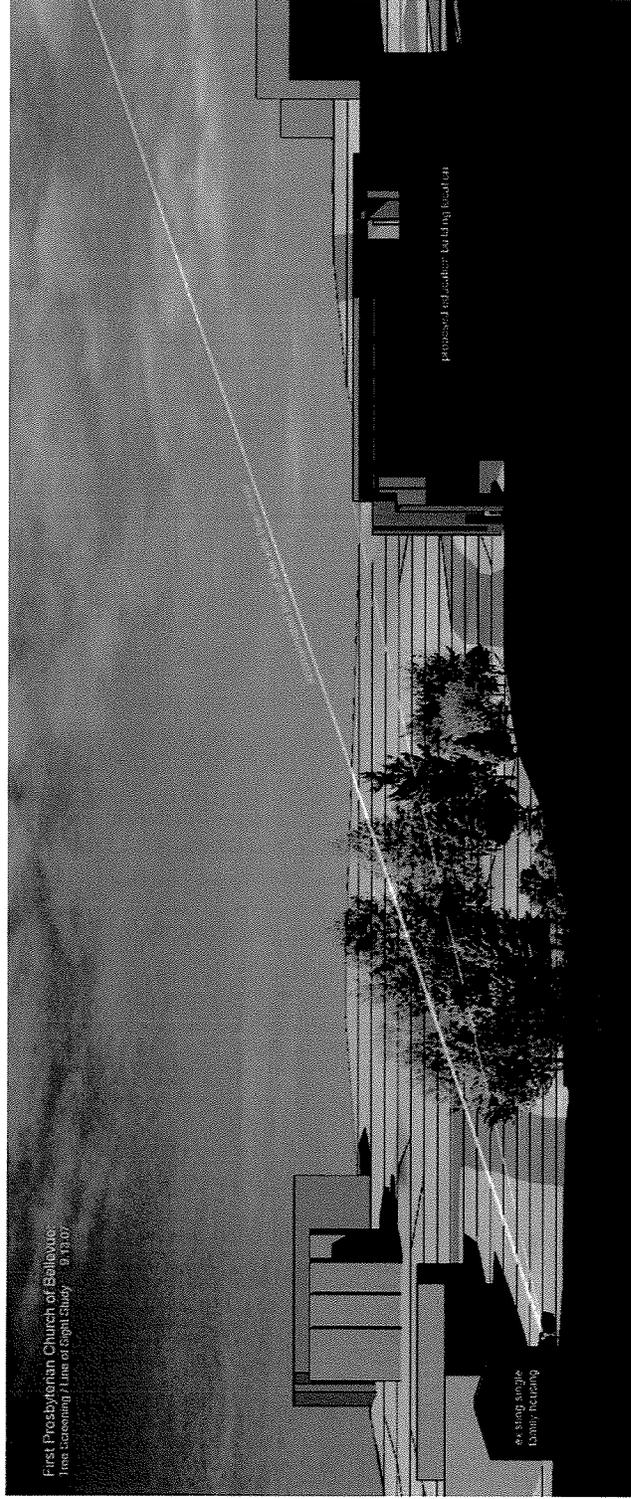
first presbyterian church of belleve



context: tree screening



view this page:
section cut showing relationship between single family housing to the south and the proposed education building

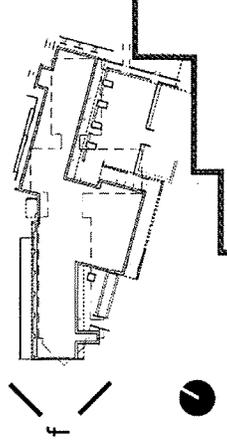
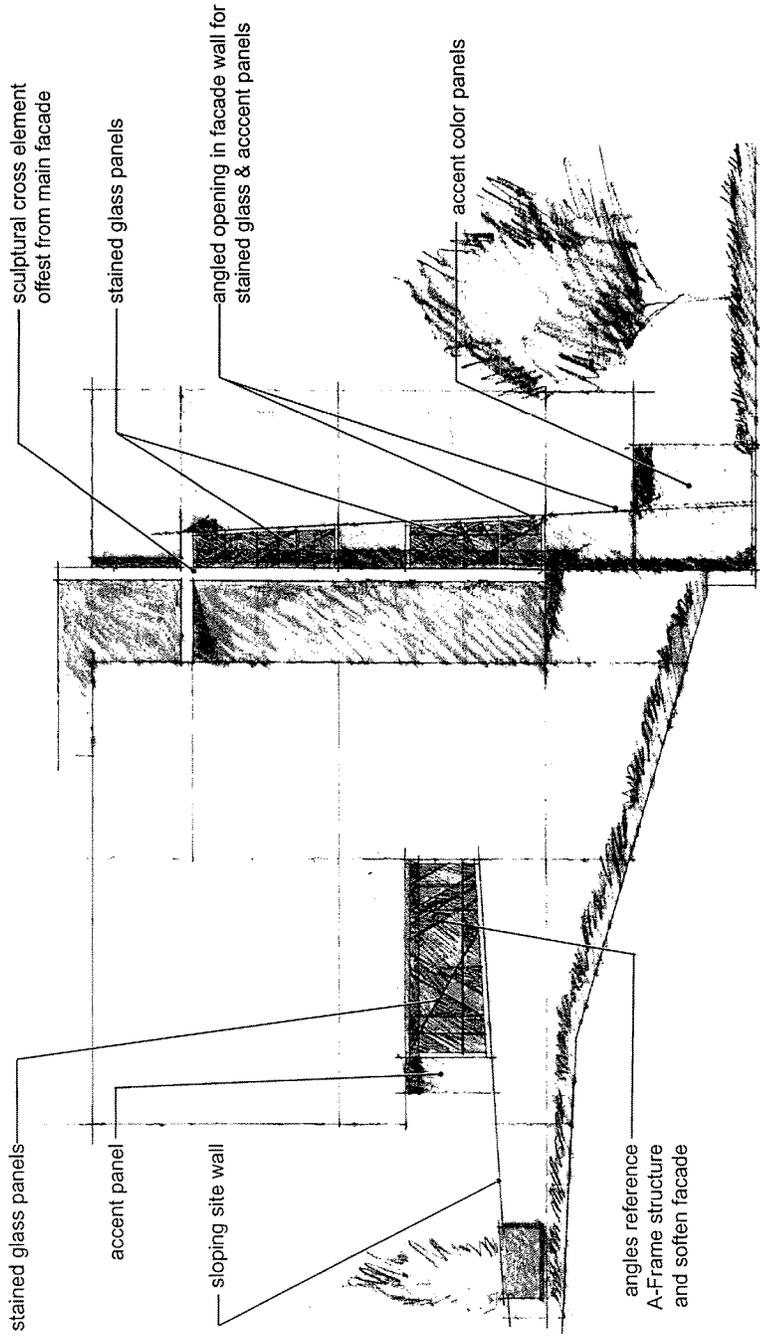


first presbyterian church of bellevue

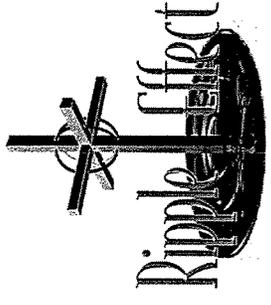
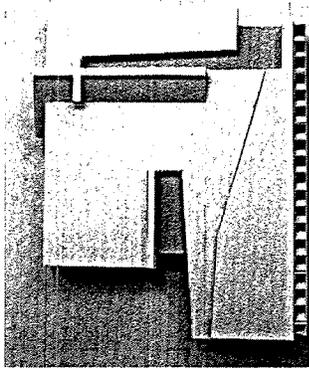
MITHÜN

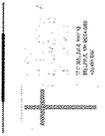
elevations - revised

f: west elevation



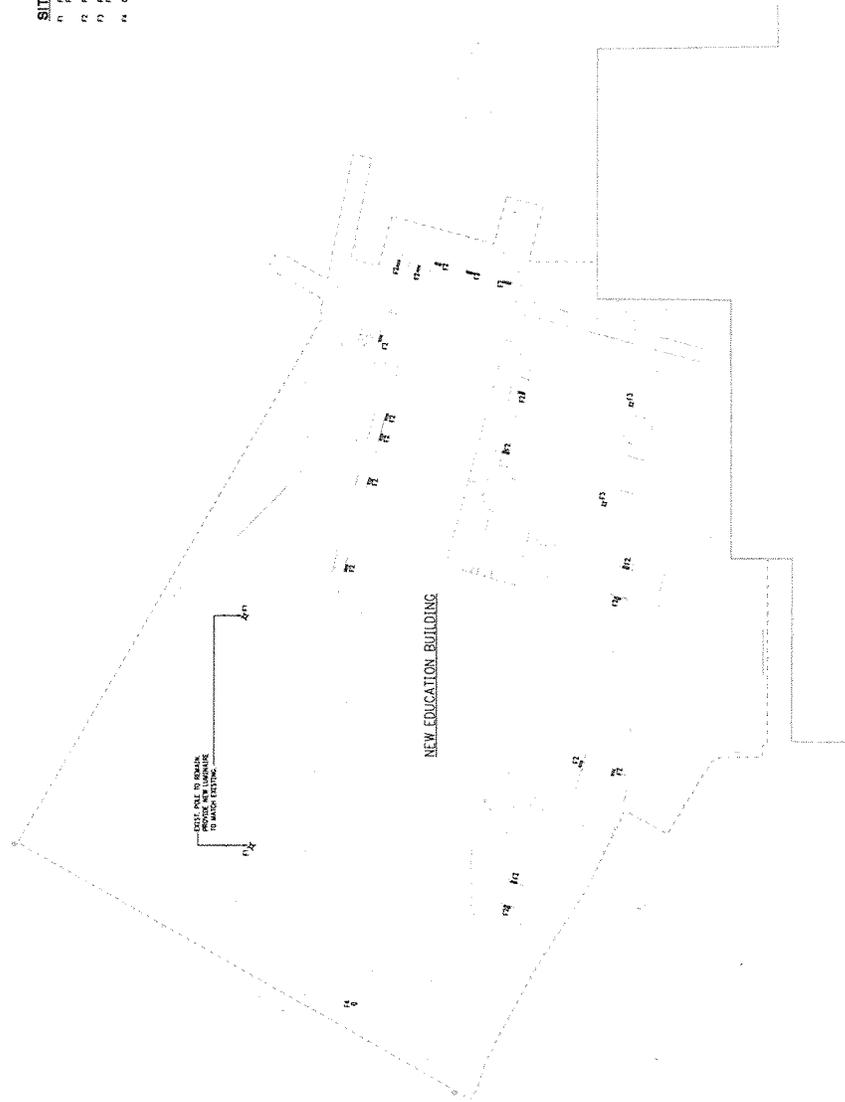
study model for west facade massing



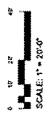
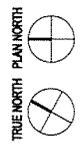


1000 Avenue of the Americas
New York, NY 10020
Tel: 212 692 1000
Fax: 212 692 1001

- SITE LIGHTING LEGEND**
- 1. NEW MOUNTED AREA LIGHTING FIXTURE - EXISTING
 - 2. NEW MOUNTED AREA LIGHTING FIXTURE - EXISTING
 - 3. RECESSED DOWNLIGHT FIXTURE
 - 4. NEW MOUNTED AREA LIGHTING FIXTURE - NEW POL.
 - 5. NEW MOUNTED AREA LIGHTING FIXTURE - NEW POL.
 - 6. GROUND MOUNTED SIGN LIGHTING FIXTURE



EXISTING AREA IS SHOWN
FOR REFERENCE ONLY
AND IS NOT TO BE
CONSIDERED AS PART OF
THIS PROJECT



1 ELECTRICAL SITE PLAN
17-22P

LUMIÈRE®

DESCRIPTION

The Zuma 1211 is a rugged ADA-compliant recessed mounted step light for use with compact fluorescent lamp sources. The housing is constructed from corrosion-proof injection-molded polycarbonate. Louvered or open face plates are available in injection-molded polycarbonate or die-cast aluminum. All models can be mounted in non-combustible surfaces such as brick, concrete or stone.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Material

Recessed mounted housing is constructed from corrosion-proof injection-molded polycarbonate. Housing includes two 1/2" NPS threaded holes for easy through wiring. Face plate is available in corrosion-proof injection-molded poly-carbonate or corrosion-resistant die-cast silicone aluminum.

B ... Finish

Die-cast aluminum face plates are double protected by a chromate conversion undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. Injection-molded polycarbonate face plates are available in black or white.

C ... Reflector

Specular pebblestone aluminum reflector is standard to provide high lumen output and even illumination.

D ... Gasket

Housing and face plate are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

E ... Lens

Fixtures that utilize a 13-watt lamp source (CF13) include tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. Fixtures that utilize a 9-watt lamp source (CF9) include polycarbonate lens.

F ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

G ... Socket

CF9: Ceramic socket with 250° C Teflon® coated lead wires and G23 base. CF13: Ceramic socket with 250° C Teflon® coated lead wires and GX23 base.

H ... Electrical

Includes integral 120V ballast.

I ... Lamp

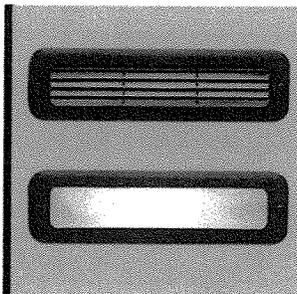
Lamp included as standard.

J ... Labels & Approvals

UL and cUL listed, standard wet label. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

K ... Warranty

Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.



ZUMA

1211-LA

1211-OA

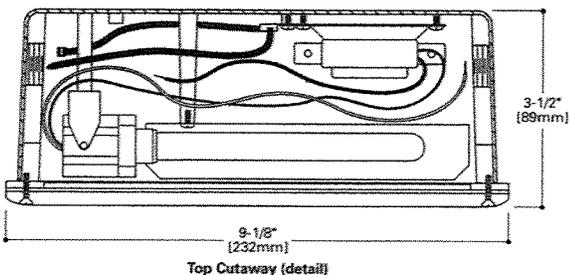
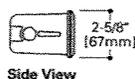
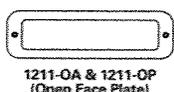
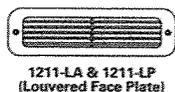
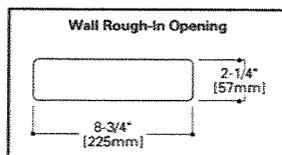
1211-LP

1211-OP

13W (max.)
Compact Fluorescent
Line Voltage

Step Light

ADA-COMPLIANT





ABOUT US

PROJECTS

PRODUCTS

LIGHTING

SPECIFICATIONS

WHAT SETS US APART

CONTACT A

> DOWNTOWN

> VILLAGE

> URBAN

> BOARDWALK:

- > Gemini
- > Laser
- > Valencia
- > Triton
- > Pierwalk

> ROADWAY

> CONCOURSE

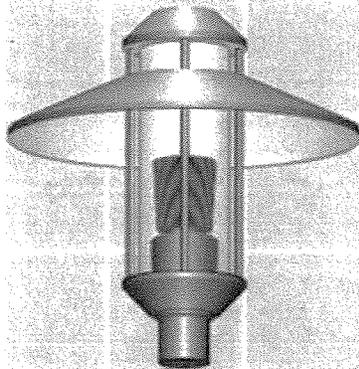
> BOLLARD

> POST/BASES/TUFLINKS

> IES FILES

LIGHTING

BOARDWALK COLLECTION: LASER LUMINAIRE



Features:

The cylindrical luminaire housing shall be made of ASTM 356.2 aluminum, cast in permanent molds and shall encompass the following specifications:

The upper chamber / lid shall be connected to the optical and lower chamber by an aluminum cage and shall be removable for quick and easy lamp service.

The optical chamber shall house spun, stacked, specular aluminum louvers for symmetrical light distribution or a Type III or Type V glass borosilicate refractor.

The enclosure shall be a DR acrylic lens, lens holder ring and aluminum cage.

The cut-off diffusion / glare control shall be by means of a heavy wall spun aluminum reflector shade positively attached to the aluminum cage, it's underside shall be finished in reflective white for maximum photometric performance.

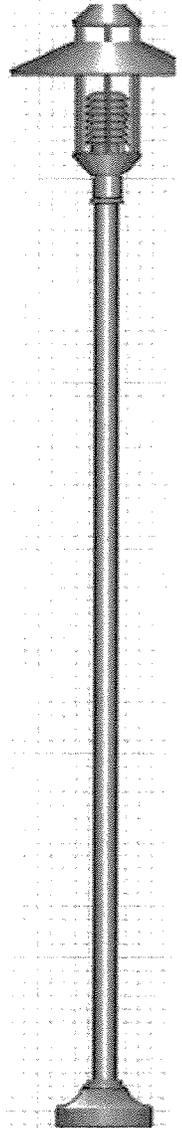
The fitter shall house the ballast assembly and mount to a post top or bracket by means of a 3" I.D. Slip fitter hub, secured by three stainless steel screws.

The electrical assembly shall be a high power factor ballast, designed to operate a 175 watt (max) HID lamp (by others), integrally mounted to a cast tray with a porcelain glazed medium base lamp holder, 660/4KV, pulse rated and factory tested.

The luminaire shall be ETL and CSA listed and suitable for wet locations.

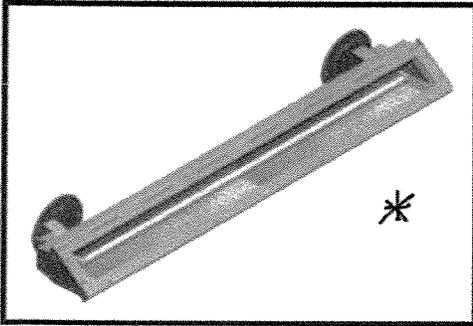
Dimensions:

Part Number	21	Height	E.P.A.
AL09024	24"	24"	2.30



Shown with Domus

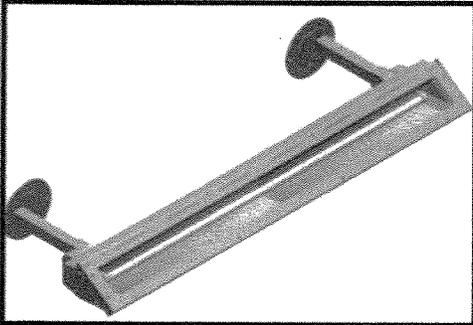
Mounting Options



SMS & SMM - Wall / Ground Mount

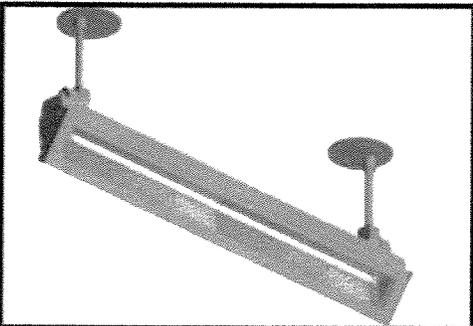
The Wall/Ground bracket is constructed of heavy gauge steel and is supplied with a gasketed access cover to the J-box (by others) for ease of wiring. The bracket mounts to a standard 4-0 J-Box (by others). Additional structural support within the wall is required (by others). The luminaire is fully adjustable.

F4



EAS & EAM - Extended Arm Mount

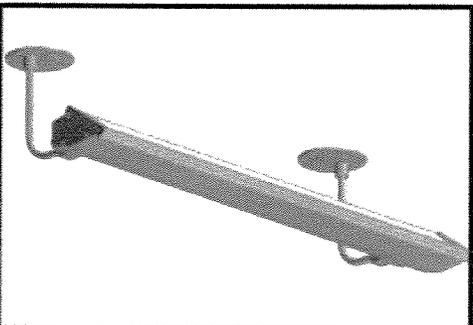
Steel arms attach to the luminaire with minimal hardware, allowing for ease of adjustment of the rotatable housing. The wall bracket is heavy gauge steel and is supplied with a gasketed access cover to the J-box (by others) for ease of wiring. Additional structural support within the wall is required (by others). The luminaire is fully adjustable.



PNS & PNM - Straight Pendant Mount

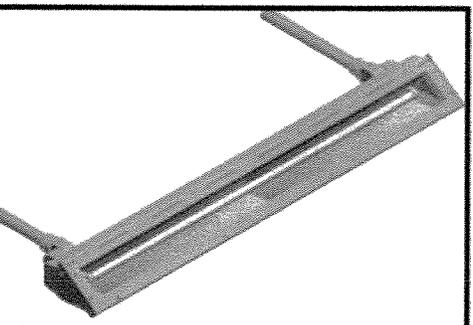
Straight 5/8" diameter rigid steel stems are supplied with the PNS / PNM mounting options. Stems are painted to match the luminaire. The ceiling bracket is heavy gauge steel and is supplied with a gasketed access cover to the J-box (by others) for ease of wiring. The luminaire is fully adjustable.

suspended luminaires mount to a rigid mounting strap at the ceiling for attachment to a standard independently supported 4-0 J-Box (by others). Ceiling brackets are 5" in diameter and painted to match luminaire, unless otherwise specified. The luminaire is fully adjustable.



PNS90 & PNM90 - 90° Degree Pendant Mount

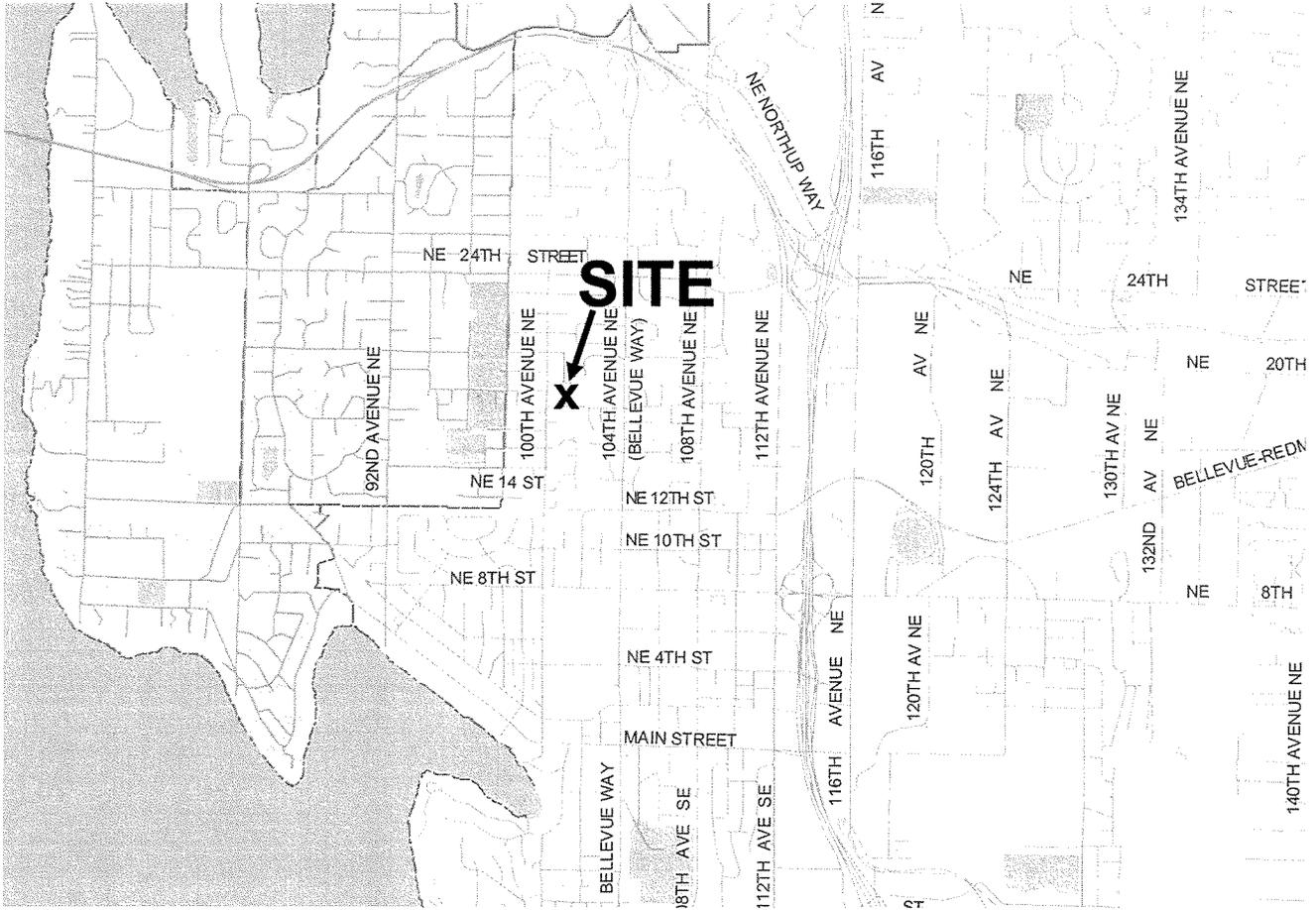
Straight 5/8" diameter rigid steel stems with a 90 degree soft bend at the stem/knuckle transition. Stems are painted to match the luminaire. Ceiling brackets are 5" in diameter and painted to match luminaire, unless otherwise specified. The luminaire is fully adjustable.



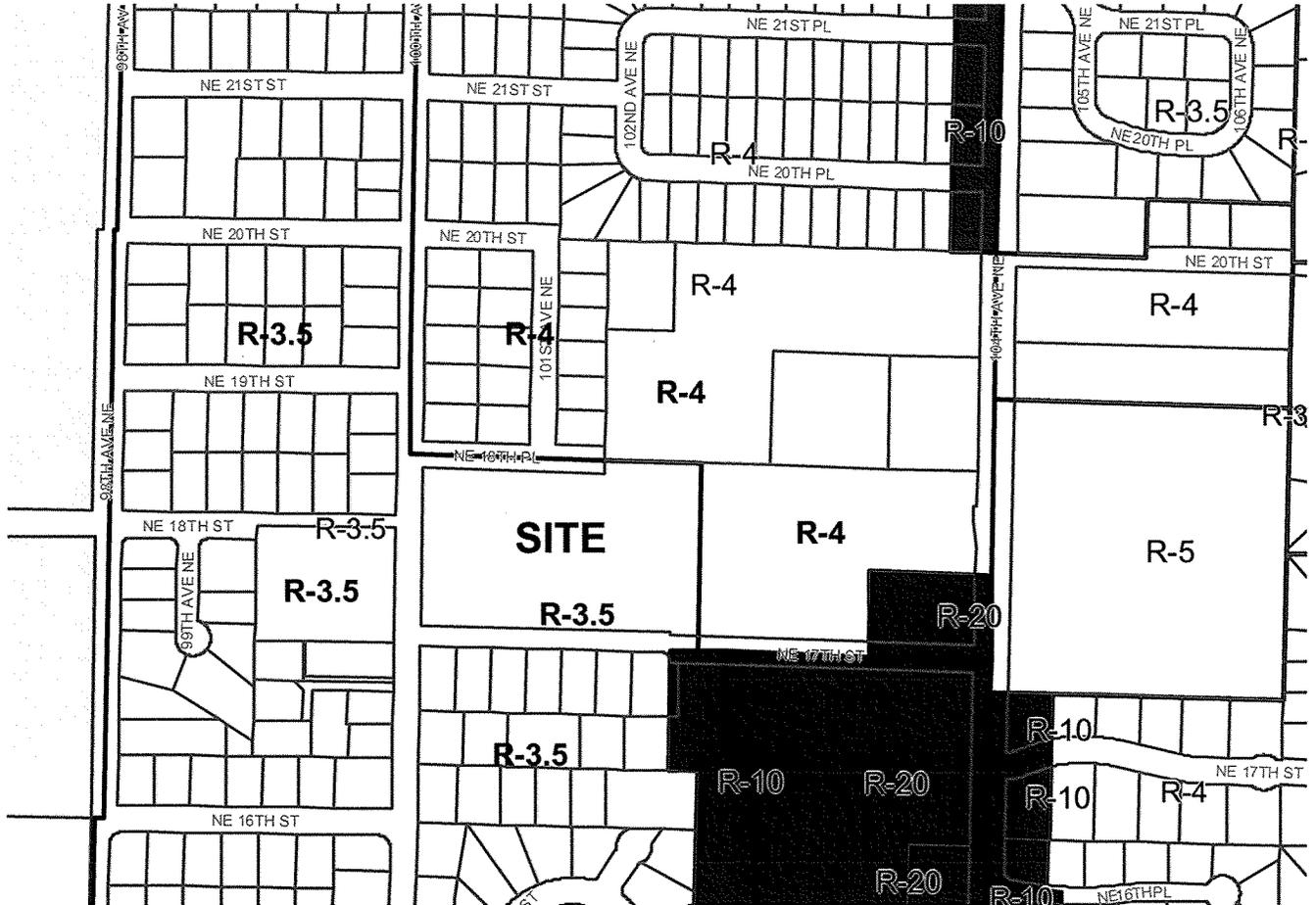
CDS & CDM - Conduit Mount

The die-cast knuckle mounts to 3/4" conduit connector to allow for use with 3/4" conduit (by others) or a reducer (by others) for 1/2" conduit. The knuckles allow for easy adjustment of the luminaire by loosening a stainless steel socket head screw. The luminaire is fully adjustable.

Vicinity Map



Zoning Map



FIRST PRESBYTERIAN CHURCH OF BELLEVUE
PARKING DEMAND TABLE
(As of October 1, 2007)

<u>Day – Activity</u>	<u># of participants</u>	<u>Staff/leaders</u>	<u>Cars</u>	<u>Overflow</u>
Monday-Friday - daytime				
Church Staff	40		40	No Overflow
Eastside Academy	25 to 30 students	11	16	No overflow
Preschool	30 to 75	13	13	No overflow
Church athletic activities	Up to 28	Up to 2	Up to 10	No overflow
Church community activities	Up to 35	Up to 5	Up to 35	No overflow
Church music activities	Up to 165	Up to 6	Up to 31	No overflow
Bible study/worship	Up to 170	Up to 2	Up to 150	No overflow
TOTALS:	543	39	295	(295 unused)
Monday-Friday - evening				
Church Staff	10		10	No Overflow
Church athletic activities	Up to 40	Up to 2	Up to 40	No overflow
Church community activities	Up to 155	Up to 11	Up to 42	No overflow
Church music activities	Up to 120	Up to 3	Up to 120	No overflow
Bible study/worship	Up to 300	Up to 25	Up to 250	No overflow
TOTALS	625	41	462	(128 unused)
Saturday – daytime				
Church athletic activities	15 to 20	0	15 to 20	No Overflow
Church community activities	2	0	2	No Overflow
TOTALS	22	0	22	(568 unused)
Saturday – evening				
<i>No programming</i>				

Day – Activity	# of participants	Staff/leaders	Cars	Overflow
Sunday – day				
Church services/worship	2100 (spread over 3 services)		750 at any one time	See Note 1 below
Sunday – Evening				
Church services/worship	200	5	100	No Overflow
Bible study/class	50	20	50	No Overflow
TOTALS	250	25	150	(440 unused)
Special Events				
Funerals	varies			No Overflow
Weddings	varies			No Overflow
Ash Wednesday	200	2	125	No Overflow
Good Friday	500	7	400	No Overflow
Easter Party	250	4	100	No Overflow
Fund raiser	300	10	200	No Overflow
Spring Fling	250	13	75	No Overflow
Forums	150	2	120	No Overflow
Christmas Dessert	400	2	300	No Overflow
Couples Fellowship	120	2	60	No Overflow
Christmas Eve Worship	6000	40	400	See Note 2 below

Note 1: The Church's City-approved parking plan includes off-site parking at Bellevue Christian School with a shuttle bringing people to the Church for services. 612 on-site stalls plus 177 off-site stalls at Bellevue Christian available = 789 total available. No overflow is anticipated.

Note 2: Arrives and departures for this annual event are staggered over an 8 hour period. The Church hires off-duty police officers to coordinate parking and direct traffic. Parking for this event has not exceeded more than 400 cars at any one time, leaving 190 spaces to serve other on-site uses. No overflow is anticipated.

The Church has 612 on-site parking stalls.

Seani
4/18/07

27a

ENVIRONMENTAL CHECKLIST

4/18/02

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

BACKGROUND INFORMATION

Property Owner: *First Presbyterian Church of Bellevue*

Proponent: *First Presbyterian Church of Bellevue*

Contact Person: (If different from the owner. All questions and correspondence will be directed to the individual listed.) *Molly Lawrence, Buck & Gordon, LLP*

Address: *2025 First Ave., Ste 500, Seattle, WA 98121*

Phone: *(206) 954-5011*

RECEIVED

APR 16 2007

Proposal Title: *First Presbyterian Church of Bellevue Education Building* **PERMIT PROCESSING**

Proposal Location: (Street address and nearest cross street or intersection) Provide a legal description if available. *1717 Bellevue Way NE, Bellevue, WA 98004*
The site is bounded by Bellevue Way to the east, NE 17th Pl to the south, 100th Ave NE to the west, and NE 18th Pl to the north.

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 29, A CONCRETE MONUMENT WITH BRASS PIN IN CASE FOUND IN PLACE; THENCE SOUTH 88°30'24" EAST ALONG THE EAST-WEST CENTERLINE OF SAID SECTION 29, 30.00 FEET TO THE EAST RIGHT OF WAY MARGIN OF 100TH AVENUE N.E.; THENCE NORTH 00°48'49" EAST ALONG SAID MARGIN 444.00 FEET TO THE NORTH RIGHT OF WAY MARGIN OF N.E. 17TH STREET AS CONVEYED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 5611622, RECORDS OF SAID COUNTY, AND THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°48'49" EAST ALONG SAID EAST MARGIN 355.44 FEET TO THE SOUTH RIGHT OF WAY MARGIN OF N.E. 18TH PLACE AS CONVEYED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER AUDITORS FILE NO. 4913710, RECORDS OF SAID COUNTY; THENCE SOUTH 88°25'40" EAST ALONG SAID SOUTH MARGIN 412.00 FEET; THENCE NORTH 00°48'49" EAST 23.74 FEET TO THE NORTH LINE OF THE NORTH 231 FEET OF THE SOUTH 25 ACRES OF SAID SUBDIVISION AS CONVEYED TO ALBERT J. AND MABEL C. ANDERSON BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 2841223, RECORDS OF SAID COUNTY; THENCE SOUTH 88°30'24" EAST ALONG SAID NORTH LINE 883.84 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER NORTHWEST QUARTER, SAID EAST LINE ALSO BEING THE CENTERLINE OF 104TH AVENUE N.E.; THENCE SOUTH 01°04'46" WEST ALONG SAID EAST LINE 231.01 FEET TO THE SOUTH LINE OF SAID NORTH 231.00 FEET OF SOUTH 25 ACRES; THENCE NORTH 88°30'24" WEST ALONG SAID SOUTH LINE 280.00 FEET TO THE WEST LINE OF THE EAST 280 FEET OF SAID SOUTHWEST QUARTER NORTHWEST QUARTER; THENCE SOUTH 01°04'46" WEST ALONG SAID WEST LINE 157.44 FEET TO THE NORTH RIGHT OF WAY MARGIN OF N.E. 17TH STREET AS CONVEYED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 5611621, RECORDS OF SAID COUNTY; THENCE NORTH 88°28'49" WEST ALONG SAID NORTH MARGIN 448.44 FEET TO THE EAST LINE OF A PARCEL OF LAND AS CONVEYED TO J.P. MCGUIRE BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 3301288, RECORDS OF SAID COUNTY; THENCE NORTH 00°48'49" EAST ALONG SAID EAST LINE 9.14 FEET TO THE NORTH RIGHT OF WAY MARGIN OF N.E. 17TH STREET AS CONVEYED TO THE CITY OF BELLEVUE BY INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 5611622, RECORDS OF SAID COUNTY; THENCE NORTH 88°27'19" WEST ALONG SAID NORTH MARGIN 565.60 FEET TO THE POINT OF BEGINNING.

EXCEPT THE EAST 40.00 FEET THEREOF FOR 104TH AVENUE N.E.;

ALSO EXCEPT THAT PORTION OF SAID 104TH AVENUE N.E. AS CONVEYED TO THE CITY OF BELLEVUE BY DEED RECORDED UNDER RECORDING NOS. 8409200258 AND 8410040216, RECORDS OF SAID COUNTY.

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposed site.
Vicinity Map attached

See Staff report

Give an accurate, brief description of the proposal's scope and nature:

1. General description:

Demolish two existing buildings, (existing education building and A-frame chapel), totaling 36,350 square feet, and construct a new three story with basement education/classroom building totaling 54,394 square feet. Site improvements including designated drop-off areas, plazas, walkways, play areas and new landscaping. Canopy-covered walkways will extend from the new education building to the existing sanctuary building.

2. Acreage of site:

11.54 acres

11.15A

3. Number of dwelling units/buildings to be demolished:

No dwelling units. Proposal to demolish existing A-frame chapel building and existing education building

4. Number of dwelling units/buildings to be constructed:

No dwelling units. Proposal to construct new/replacement education/classroom building with accessory assembly/worship spaces.

5. Square footage of buildings to be demolished:

36,350 square feet

6. Square footage of buildings to be constructed:

54,394 square feet

7. Quantity of earth movement (in cubic yards):

Cut=4,400CY, Fill=2,000CY

8. Proposed land use:

Existing land uses on site include religious institution/church, child care and education (high school). Proposal will not alter or add any new uses.

9. Design features, including building height, number of stories and proposed exterior materials:

Design Features:

39' 10"

The proposed new/replacement Education building will be 39 feet in height, including three stories plus a basement. The building will be set into the slope of the site to minimize the apparent height of the building and to connect with the surrounding neighborhood. In addition, the proposed building has been designed so that it generally stays within the footprint of the buildings that will be demolished, thereby greatly limiting the amount of site work required.

The proposed building has been designed to include high quality materials along with building modulations such as deep overhanging roofs, window bays, stair towers, sun screens and awnings, all of which express the variety of spaces within the building and reflect the size and scale of its surrounding environment.

The proposed building is to be designed to be primarily daylit and classrooms are laid out in a "single loaded corridor" configuration to maximize sunlight in the classrooms spaces and reduce energy

demand and requirement for art lighting. Other sustainable strategies that will be employed include reusing the existing footprint of current buildings, using green building products, using heating and cooling strategies being developed with PSE to reduce energy demand and maximize the thermal efficiency of the building envelope.

See also "Description of Proposal and Design Intent" submitted with application materials.

Building Height: ~~40'-0"~~ 39' 10"

Number of Stories: 3 Stories plus basement

Exterior Materials: Cast in place concrete walls, wood siding, metal panels aluminum frame system and large windows, window bays, sun screens/shades and accents of recycled stained glass from A-frame chapel (to be demolished). Other elements from the A-frame chapel hope to be recycled and used in the new building such as wood paneling and stone.

10. Other:

Estimated date of completion of the proposal or timing of phasing:

Project completion is scheduled for Fall 2008

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No, none are known

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

Substantial environmental review was done in 1992-1993 related to the CUP application for the church use and related construction, (all on file with the City). See Bellevue File No. CUDN-91-9537.

In addition, Aquatica Environmental Consulting, Inc., recently completed a wetland and stream assessment of the property.

04-111182-LJ added 9:45am source

Do you know whether applications are pending for governmental approvals or other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

Administrative Amendment to existing CUP to establish the existing high school use on site. Submitted February 23, 2007. Project Name: Eastside Academy. Permit # 07.107539LI

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Land Use Exemption - Major

Building Permit

Mechanical Permit

Plumbing and Electrical Permits

Demolition Permit

Clearing and Grading Permit

Developer extension agreement for water and storm drainage, Fire Alarm and Fire Sprinkler

ROW Use permit

Please provide one or more of the following exhibits, if applicable to your proposal.

(Please check appropriate box(es) for exhibits submitted with your proposal):

- Land Use Reclassification (rezone) Map of existing and proposed zoning

- Preliminary Plat or Planned Unit Development
Preliminary Plat Map
- Clearing & Grading Permit
Plan of existing and proposed grading
Development Plans
- Building Permit (or Design Review)
Site plan
Clearing & grading plan
- Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. EARTH

- a. General description of the site: Flat Rolling Hilly Steep slopes Mountains Other
- b. What is the steepest slope on the site (approximate percent slope)?
Up to 40%; see Slope Categories Drawing
- c. What general types of soil are found on the site (for example clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.
Glacial till
- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.
No; not aware of any.
- e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.
Cut=4,400CY, Fill=2,000CY. Excavated soils from on-site with appropriate moisture conditions will be reused on-site. Excess excavated material will be hauled off-site and disposed of in an approved location.
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.
The stormwater pollution prevention plan will implement approved BMPs to control any erosion to the maximum extent practicable.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?
Approximately 64%.
- h. Propose measures to reduce or control erosion, or other impacts to the earth, if any:
A stormwater pollution prevention (SWPP) plan, in conformance with City and DOE requirements, will be developed for the period of excavation and construction. As appropriate and necessary, the plan will include, but not be limited to: stabilized construction entrances, dust control, interceptor swales, check dams, filter fabric silt fencing, hydro-seeding, storm drain inlet protection, straw bale barriers, and construction sequencing.

*Apply to
document
Slopes
to 50'*

59%

*Erosion control
per CE permit
if required by
of record -
CE inspector
BCC 23.76*

2. AIR

- a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is complete? If any, generally describe and give approximate quantities if known.

We anticipate that construction will generate some dust and large vehicle emissions (e.g., trucks, heavy equipment). Post construction, we do not anticipate any air emissions.

- b. Are there any off-site sources of emissions or odors that may affect your proposal? If so, generally describe.

No; not aware of any.

- c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

Dust control measures during construction will include maintaining a minimum level of moisture content in the topsoil during construction, wetting-down and regular cleaning of truck / equipment routes on and surrounding the site. The Contractor will be required to maintain State-mandated emission controls for all on-site vehicles and equipment.

*Construction dust
Suppression
measures
BCC
23-76*

3. WATER

- a. Surface

- (1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

Yes, there are two wetlands and one Class O stream on the property. See topographic survey for locations and classifications.

- (2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

Yes, work will occur within 200 feet of a Type O stream on the property. This project complies with all applicable setback requirements and is not within the shoreline jurisdiction.

*See aerial
rip-control
report
of
recess*

- (3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the are of the site that would be affected. Indicate the source of fill material.

None.

- (4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

- (5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

- b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

Temporary dewatering in the lower level excavation will occur during excavation/construction operations.

*wetlands
Type III, IV*

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the systems(s) are expected to serve.
None.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Stormwater generated from the site will be collected in a series of catch basins and underslab drainage and conveyed off-site to the existing City storm water conveyance systems.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.
Not to the applicant's knowledge.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

Measures to control surface, ground, and runoff water impacts will be implemented in accordance with the applicable City of Bellevue codes and standards.

per CEB + DCE
2015
BLC
24.06

4. PLANTS

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
 evergreen tree: fir, cedar, pine, other
 shrubs
 grass
 pasture
 crop or grain
 wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other
 water plants: water lily, eelgrass, milfoil, other
 other types of vegetation

b. What kind and amount of vegetation will be removed or altered?
See preliminary landscape plan.

Trees, shrubs

c. List threatened or endangered species know to be on or near the site.
None; not aware of any.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The new education facility will make use of both native and adapted plants to create an overall low-water landscape design for the site. By keeping the building close to the existing building foot print we are maximizing the number of trees remaining on the site.

Proposed landscaping
per LUC
20.20.520.

5. ANIMALS

- a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:
- Birds: hawk, heron, eagle, **songbirds**, other:
 - Mammals: deer, bear, elk, beaver, other:
 - Fish: bass, salmon, trout, herring, shellfish, other:
- b. List any threatened or endangered species know to be on or near the site.
None; not aware of any.
- c. Is the site part of a migration route? If so, explain.
No
- d. Proposed measures to preserve or enhance wildlife, if any:
Not applicable

6. Energy and Natural Resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.
Energy service for heating, ventilation and air conditioning will be provided by electric and natural gas utilities.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.
No
- c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:
Energy conservation measures will include improving the envelope of the building to reduce heat gain or heat loss, thereby reducing the amount of heating and cooling required. High efficiency equipment and appliances will be purchased, and lighting controls will automatically operate lighting in conjunction with daylighting sensors to reduce electricity usage.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.
None known.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.
No.
- (1) Describe special emergency services that might be required.
None foreseen.

- (2) Proposed measures to reduce or control environmental health hazards, if any.
Strict adherence to OSHA standards for worker safety. Proper abatement of asbestos materials prior to demolition.

c. Noise

- (1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other?)

Minimal existing street noise from Bellevue Way.

- (2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other?)
Indicate what hours noise would come from the site.

There will be typical construction noise during the 10 month construction period. Following construction, there should be no change as compared to existing conditions

- (3) Proposed measures to reduce or control noise impacts, if any:

Construction will be limited to 7 am to 5 pm Monday through Friday.

*Twice traffic noise
& construction noise per
BCC 9.18*

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties?

The site is currently developed with the First Presbyterian Church of Bellevue which provides a variety of programs related to the Church's religious mission. Uses include church/religion, educational institution (high school), and day care. Adjacent properties are development residentially, with the Milestone Condominiums to the north of the site.

- b. Has the site been used for agriculture? If so, describe.

No

- c. Describe any structures on the site.

The property is currently developed with several structures, including a sanctuary building, chapel building, community center, and education building.

- d. Will any structures be demolished? If so, what?

Yes, the A-Frame chapel and existing education building will be demolished and replaced through this project.

- e. What is the current zoning classification of the site?

R-3.5 and R-4.5

- f. What is the current comprehensive plan designation of the site?

The property is located in the Northwest Bellevue Subarea and designated Single Family Medium Density in the City's Comprehensive Plan.

- g. If applicable, what is the current shoreline master program designation of the site?

N/A

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

Yes, portions of the property are encumbered with wetlands and/or a stream. See topo survey, which includes a delineation of all on-site critical areas, and wetland and stream assessment prepared by Aquatica Environmental Consulting, Inc.

- i. Approximately how many people would reside or work in the completed project?

**Approximately 22 weekday full time staff
Approximately 19 weekend part time staff**

*> 40% slopes
are critical areas*

j. Approximately how many people would the completed project displace?
None

k. Proposed measures to avoid or reduce displacement impacts, if any:
None.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:
None.

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.
None. The Church does not include any residential structures or uses

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.
None.

c. Proposed measures to reduce or control housing impacts, if any:
None.

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?
The tallest height of the proposed new Education Building will be 40 feet measured per Bellevue Code standards. The principal exterior materials will include cast in place concrete, wood or hardipanel siding, metal panels with aluminum frame system and large windows, window bays, sun screens/shades and accents of recycled stained glass from the A-frame chapel that will be demolished.

b. What views in the immediate vicinity would be altered or obstructed?
No views will be obstructed. Neighbors to the north and to the west will view the new Education building, as opposed to the existing A-frame chapel and existing education building. Neighbors to south will not have an altered view due to existing dense landscape buffers. Please see attached view renderings.

c. Proposed measures to reduce or control aesthetic impacts, if any:
See letter to Carol Saari, dated March 19, 2007, and attached exhibits.

11. Light and Glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?
Exterior pole mounted luminaries will be full cut-off type, metal halide fixtures. Poles will be 15'-20' on 3' concrete bases. Automatic lighting controls and photo sensors will control the lighting and turn them off during daylight hours.

b. Could light or glare from the finished project be a safety hazard or interfere with views?
No.

c. What existing off-site sources of light or glare may affect your proposal?
None.

39' 10"
see plans attached to st report
stained glass - more trees added - see staff report
public comment section
lights must be shielded to prevent light & glare spill over
LAC 20.20.522.

- d. Proposed measures to reduce or control light or glare impacts, if any:
Lighting calculations will be prepared to help locate pole mounted luminaires and to provide adequate lighting levels in the parking area without adverse impacts to adjacent properties. The luminaries will have an internal reflector to direct lighting in the parking area.

Condition
in
st rept
lights
should
to prevent
light + glare
spillover

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?
The Church includes a gym facility. In addition, there are playfields at Bellevue Christian School, Chinook Middle School, and Clyde Hill Elementary School.
- b. Would the proposed project displace any existing recreational uses? If so, describe.
No.
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:
None.

13. Historic and Cultural Preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.
None known.
- b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.
None known.
- c. Proposed measures to reduce control impacts, if any:
None.

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.
The site is bounded by Bellevue Way to the east, NE 17th PI to the south, 100th Ave NE to the west, and NE 18th PI to the north. Access to the site is via Bellevue Way, NE 17th PI and 100th Ave NE. All transportation impacts from the development were previously considered as part of the 1993 CUP process for the church development. No additional transportation impacts are anticipated from this project.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?
Yes, there is a transit stop on 100th immediately across from the chapel building. There is also a transit stop on Bellevue Way just to north of the driveway onto the Church property from Bellevue Way.
- c. How many parking spaces would the completed project have? How many would the project eliminate?
The Church currently has 590 parking spaces. The project does not propose any change to the number of on-site parking spaces.
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).
None.

BE: New driveway
required impact
per transp. Dept.
See st. rept

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.
No.
- f. How many vehicular trips per day would be generated by the completed project? If know, indicate when peak volumes would occur.
No new trips will be generated. The new Education building is intended to replace the existing A-frame chapel and outdated education building. No new programs are planned or anticipated. All transportation impacts from the Church operations were previously considered as part of the 1993 CUP process for the church development.
- g. Proposed measures to reduce or control transportation impacts, if any:
None.

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.
No.
- b. Proposed measures to reduce or control direct impacts on public services, if any.
None.

16. Utilities

- a. Circle utilities currently available at the site: **electricity, natural gas, water, refuse service, telephone, sanitary sewer**, septic system, other.
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site on in the immediate vicinity which might be needed.
- **Domestic Water - Provided by the Cascade Water Alliance (CWA) via City of Bellevue (COB). Service will connect to an existing 2" water meter on private property.**
 - **Fire Water - Provided by the CWA via COB. Sprinkler service and a new fire hydrant will be provided from the existing 8" water main located in NE 18th Pl. These connections to the main will require 50' overlay in the COB Right-of-Way (ROW). Sprinkler service will require the installation of a double check detector assembly (DCDA).**
 - **Sanitary Sewer - Provided from COB. Service will be via 6" side sewer connection to the existing sanitary system east of the proposed structure. This work will be wholly on-site.**
 - **Storm Sewer - Provided from COB. Storm water will be collected in a series of catch basins and conveyed, via gravity flow, to the existing storm storm system at three points: (1) The upper (north) parking lot will match existing flow patterns and be conveyed to the storm system in NE 18th Pl; (2) The lower (south) drive will match existing flow patterns and be conveyed to the open channel near the southwest property corner; (3) Building and plaza drainage will match existing flow patterns and be conveyed to the existing storm system east of the proposed structure. This work will be wholly on-site.**
 - **Gas Service - Provided from Puget Sound Energy (PSE) You'll need to add info on construction activities as I'm not familiar with the plan at this time.**
 - **Electrical Services - New Pad-mounted transformer provided by PSE and underground secondary feeders from transformer to main electrical room.**
- Per COB right*

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature Muz.....

Date Submitted 4-17-07.....

First Presbyterian Church of Bellevue
Parking Management Plan Update
October 1, 2007
File No. 07-112453-LM

The first Parking Management Plan (PMP) for the Church campus was approved in 1993 as part of the Conditional Use Permit triggered by the construction of the new sanctuary building. Ordinance No. 4548; CUDN-91-7537. Since then, the original 1993 plan has been updated to reflect the addition of another service on Sunday mornings, (the 9:45 am service), the Church's acquisition of additional onsite parking, and the Church's agreement with Bellevue Christian School to share parking facilities. We have attached a copy of the current June 2004 PMP for your review and records.

As part of reviewing the application for the Land Use Code Exemption Minor (LUX) for the new Education Building, the City has asked the Church to prepare a statement of its current efforts to manage parking demand and to relate those efforts back to the 2004 PMP. This document is intended to provide that analysis.

Overall, the Church's strategies for managing parking, particularly on high volume days, have been very successful and are substantially in agreement with existing PMP. There will be (following the construction of the new Education Building) a total of 612 on-site parking stalls, supplemented by 177 stalls available at Bellevue Christian School. Furthermore, the Church has an informal relationship with Chinook Middle School in which it occasionally rents portions of the Chinook Middle School parking lot on the Church's larger attendance Sundays such as Palm Sunday, Easter and Mother's Day. Chinook has up to approximately 200 spaces available.

Between September and June of each year, the Church hires an off-duty police officer at a cost of \$400 per day who acts as a flagger before and after each service on Sundays. (Attendance at Sunday services during the summer months dips by up to 40% compared to September through June.) This police officer manages traffic flow at the Bellevue Way exit from the Church campus. The 2004 PMP calls for an additional flagger at the NE 17th Street exit. The Church discontinued providing a flagger at the NE 17th Street location a few years ago for several reasons. First, the Church partially financed the installation of a c-curb/median near the intersection of Bellevue Way and NE 17th Street as part of the traffic revision on Bellevue Way. This curb/median prohibits vehicles from turning left onto NE 17th Street from Bellevue Way, which largely relieved the need for a flagger at the NE 17th Street exit. Second, following the adoption of the 2004 PMP, the Church attempted to use volunteers for the majority of flagging as contemplated by the 2004 PMP. Unfortunately, the Church was subsequently informed by its insurance carrier that it would not insure Church volunteer flaggers at the campus exits. With an off-duty police officer as a flagger at the Bellevue Way exit, the Church lacked the budget for a second flagger at NE 17th Street (approximately \$16,000 per year per flagger). The Church continues to use up to 6 volunteer flaggers within the on-site parking areas each Sunday consistent with the 2004 PMP, (see Exhibit A to 2004 PMP). Finally, with the recent addition of "NO PARKING" signs on the north side of

NE 17th Street, the need for a flagger at that exit appears to have been eliminated entirely.

Further, consistent with the 2004 PMP and the 1993 PMP, the Church has a “no right turn” sign at the NE 17th Street exit to remind attendees not to turn right into the neighborhood. The Church also places “No First Presbyterian Church of Bellevue” signs around the neighborhood each Sunday.

The Church has not encountered problems with "spillover parking." There was an effort to record the number of “incidents” of each service or event for a period of time immediately following the adoption of the 2004 PMP, but in recent years it has proved unnecessary. There have been no significant incidents of which the Church is aware, and the Church’s Chief Operating Officer Bob Crist addresses any minor parking incidents as they are occurring. To the extent the Church receives any after-the-fact complaints regarding parking on the Church campus, Mr. Crist works to address and resolve those issues promptly.

Also, the Church has never found it necessary to use the stadium style parking referenced in the 2004 PMP. By encouraging employees, volunteers and attendees of the 9:45 am service to park off-site at Bellevue Christian School and then shuttling them to and from the Church campus, the Church has successfully avoided needing to utilize stadium parking or spillover to the surrounding residential streets.

The Church has complied and shall continue to comply with the “Additional Off-Site Parking,” “Service Times,” “Exception to Standard Service Times,” and “Rental Use of Sanctuary” provisions on page 4 of the 2004 PMP. Further, to our knowledge, the Church has effectively managed parking consistent with the requirements of the “Effective Management of Parking” provisions on page 4 of the 2004 PMP.

With regard to “Parking Lot Operations and Management” (page 5 of the 2004 PMP), the Church is in compliance with paragraphs 1, 3, 4, and 5 under “Normal Operations.” With regard to paragraph 2, the Church has found it more effective to instruct its 9:45 am attendees to park off-site at Bellevue Christian School and to shuttle those attendees to the Church campus using the Church vans. Also, as noted above, the Church has not found it necessary to implement “Stadium Style Parking” to avoid spillover into the neighborhood. (Notably, stadium style parking is only contemplated when at combined attendance is expected to exceed 1,000 people.) Through several years of experience, the Church has learned that adequate parking is available on-site as supplemented by parking at and shuttling from Bellevue Christian School and occasionally from Chinook Middle School.