



**City of Bellevue  
Department of Planning and Community Development  
Land Use Division Staff Report**

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Proposal Name: Casa Townhomes

Proposal Address: 123 99<sup>th</sup> Avenue N.E.

Proposal Description: Application for Design Review and Variance approval for the construction of one two-unit townhome on a 6,466 square foot (0.15 acres) site. The proposal building will have a 2,092 square foot footprint. The Variance is requested to reduce the setback distance from the centerline of the alley from 25 feet to 20 feet.

File Number: 07-107753 LD - Design Review  
07-107755 LS - Variance

Applicant: CamWest  
John Harkness/Bruce Knowlton

Decisions Included: Process II, Design Review and Variance

Planner: Sally Nichols

State Environmental Policy Act  
Threshold Determination: **Exempt per BCC Title 22.02**

Director's Decision: **Approval with Conditions**

  
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Matt Terry, Director  
Department of Planning and Community Development

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Notice of Decision Date: July 3, 2008  
Appeal Deadline: July 17, 2008

For information on how to appeal a proposal, visit the Permit Center at City Hall or call (425) 452-6864. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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Attached: Project Plans

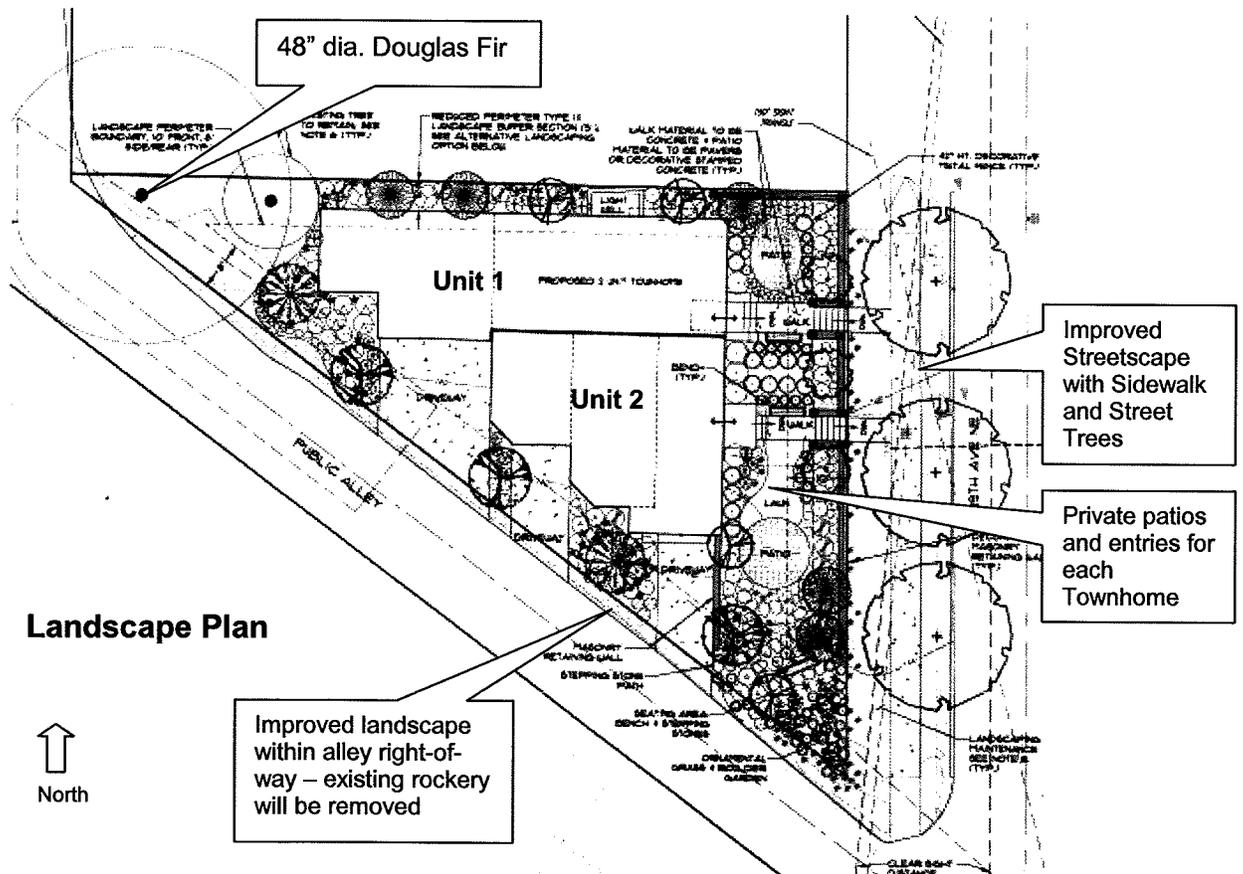
**I. REQUEST/PROPOSAL DESCRIPTION**

This request is for design review and variance approval for construction of one two-unit townhome on a 6,466 square foot (0.15 acres) site. The proposal building will have a 2,092 square foot footprint. A variance will be necessary to reduce the rear setback from the centerline of the alley from 25 feet to 20 feet. The existing one story single family home currently on the site will be demolished

**A. Site Design**

Each of the two townhomes will have garages accessed from the alley. The northern townhome (referred to in this report as Unit 1) will have one, two-car garage with one driveway. The southern townhome (Unit 2) will have two separate one-car garages, each with its own driveway. The existing retaining wall along the alley by the driveways will be removed and landscape improvements will extend to the existing edge of the alley, which is beyond the actual property line. This extended landscaped area will be maintained by the homeowners. **Refer to Condition of Approval regarding maintenance in Section IX of this report.**

The front doors to both of the townhomes will be facing 99<sup>th</sup> Avenue NE and will be accessed via a stairway and entry walkway. Directly in front of each townhome will be private outdoor space which will include residential-scaled ornamental landscaping, a low



iron fence and patios. Street right-of-way improvements along 99<sup>th</sup> Avenue NE will include a new curb and gutter, a five foot wide planting strip with three new street trees, a five foot sidewalk and additional landscaping from the back of the sidewalk up to the property line where there will be a low masonry wall.

The entire site will be heavily landscaped. All significant trees will be removed EXCEPT for the large, 48 inch diameter Douglas Fir (*Pseudotsuga menzeisii*) in the northwest corner of the site and a smaller eight inch diameter lilac adjacent to the Fir. The Douglas Fir is the most prominent natural feature of the site. These two trees will be retained and must be protected before and during any construction. **Refer Section III.A.3 and to Conditions of Approval regarding tree protection and landscape maintenance in Section IX of this report.**

### **B. Building Design**

**General:** The proposed building is a two-unit townhome. Each unit will range in size from 1,800 to 2,100 square feet. The front entry door to each townhome will face 99<sup>th</sup> Avenue N.E. and will be accessed from the new public sidewalk. The height of the building will be 30 feet, as measured from the average existing grade of 143.02 feet to the mean height (mid-point) between the eaves and ridge of the pitched roof.



**Character:** The architectural character of the townhome is "old world" residential. The overall design concept is to make the building appear to be one single family home. The front entries for each townhome will be highlighted with architectural treatments to differentiate the units. However, there will be a hierarchy between the entry treatments; with the entry to Unit 2 receiving greater architectural detailing in the form of columns and a dormer. Therefore, Unit 1's entry will appear to be subordinate to the adjacent neighbor. This visually suggests that this is one, single family home.

The building is detailed and modulated on all four sides to add visual interest. This is particularly important along the alley (southern) façade as this will be the longest façade. The architectural detailing and materials, particularly the exterior wood work around the windows and doors, is similar to that found on custom homes in the area and will add a rich variety of materials and textures while connecting the building visually into the landscape. In addition, the home will include a cultured stone base, shingle siding, highly detailed garage doors, and a pitched roof.

The color palette of camel brown wood shingles, dark green trim and dark green composite roof is consistent with other earth-toned residential buildings in the area and enhances the detailing on the building.

Typical Colors - 99<sup>th</sup> Avenue NE/Street Frontage Elevation



### C. Review Process

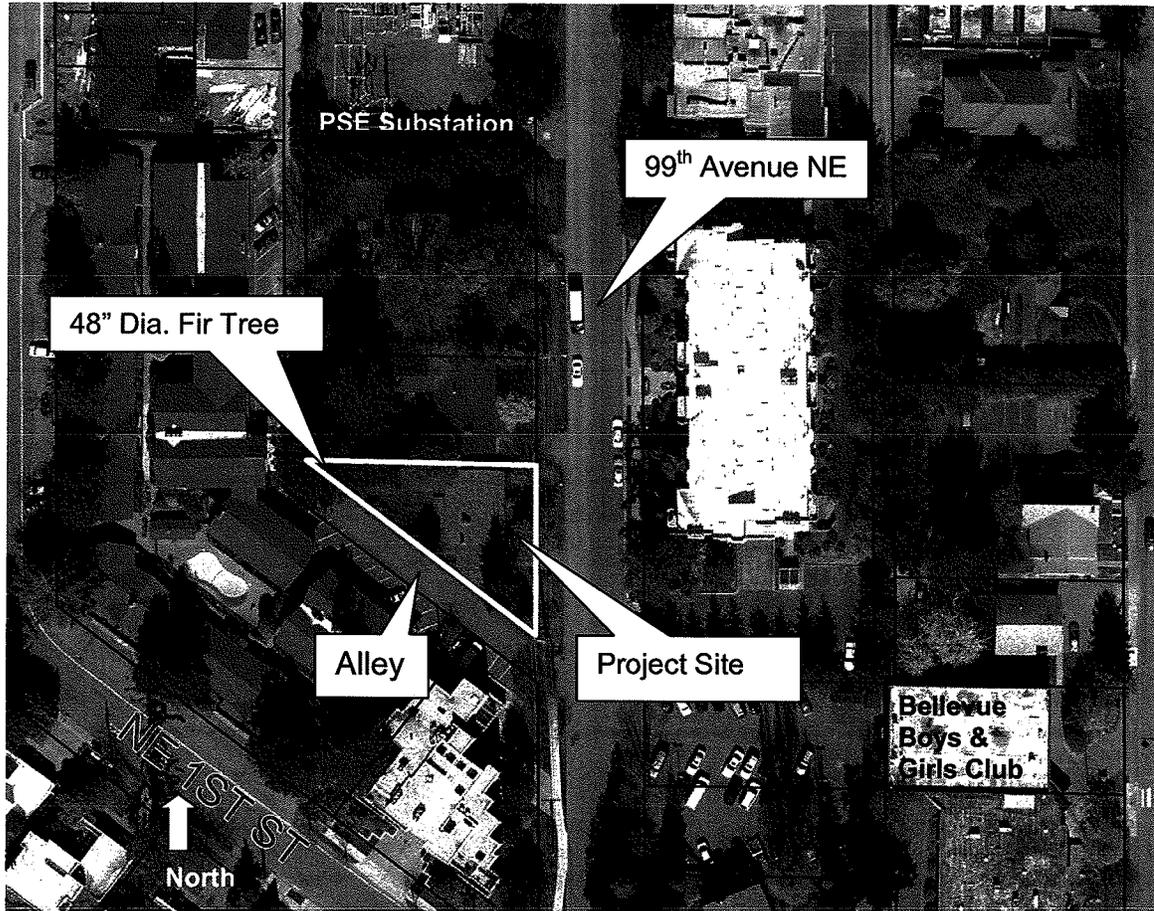
The Design Review and Variance Request are both Process II, administrative decisions. The Director issues the Design Review and Variance decision.

## II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT

### A. Site Description

This is a 6,466 square foot site (0.1484 acres) with an existing, one-story single family residence. The site has a triangular shape with frontage on 99<sup>th</sup> Avenue NE. The hypotenuse of the triangle (referred to in this report as the southern elevation) fronts onto an existing alley that services the garages and surface parking spaces for existing multi-family homes to the south and west. The site slopes down gradually from the northeast corner, varying from a .5% to 10% grade.

Vicinity Map

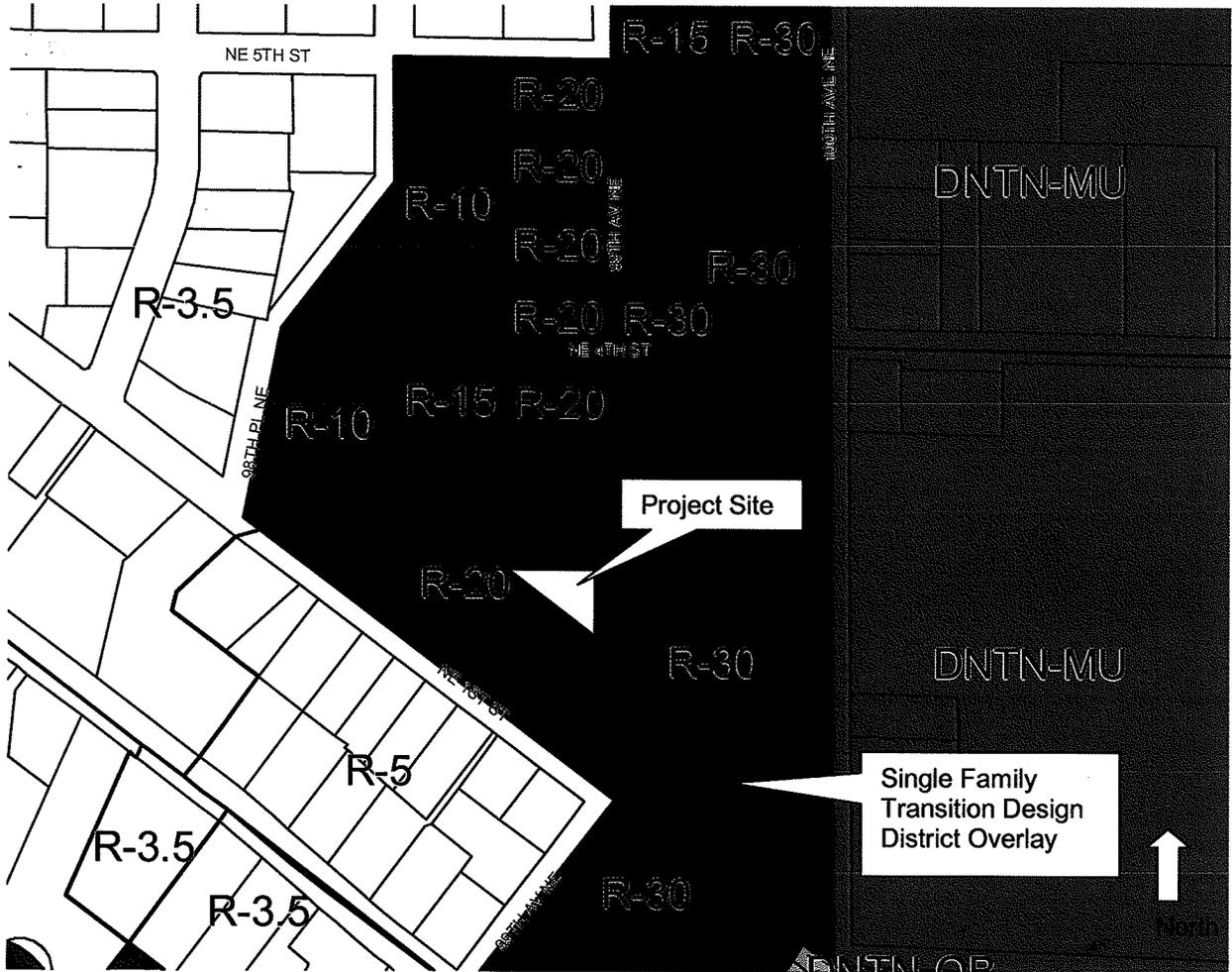


An existing rock wall runs approximately 123 feet along the alley property line. There are nine significant trees on the site – eight in the perimeter and one in the interior. The most prominent of these trees is a large, healthy 48 inch diameter Douglas Fir (*Pseudotsuga menzeisii*), located in the northwest corner of the site. It serves as an important visual focal point for the neighborhood.

**B. Zoning**

The site is bordered by the public alley along the southern property line, a one-story, single family home along the northern property line, and 99th Avenue NE along the eastern property line. The neighborhood is zoned R-20 and R-30 and is comprised almost entirely of residential multi-family buildings. The exceptions are the existing home on the proposal site and two older single family homes and the PSE Lochleven Substation on the properties directly to the north.

Zoning Map



The site also lies within the Single Family Transition Area Design District. The intent of this overlay district is to provide additional buffer to adjacent, less intensively zoned property. However, the project site lies entirely within and is surrounded by multi-family zoning districts and does not directly abut a less intensively zoned single family property.

**Land Use Context:** Zoning and land use in the vicinity is as follows:

- East: R-30, multi-family condominium
- West: R-20, multi-family condominium
- North: R-20, currently occupied by an older, single family home
- South: R-20, multi-family condominium

**III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS**

**A. General Provisions of the Land Use Code**

**1. Use**

Uses are regulated by Sec. 20.10.440 (Use Charts) and 20.25B Transition Area Design District. The multi-family residential use proposed for this project is permitted in the R-20 Transition Area Design District with Design Review approval.

**2. Dimensional Requirements**

As conditioned, the proposal meets the dimensional requirements of the Land Use Code Section 20.20.010 except for the rear setback along the existing alley – see Table 1 below. The applicant is requesting a Variance for relief from this setback.

**Refer to Section VII for Variance Decision Criteria.**

**Table 1 – Dimensional Requirements**

	<b>Permitted/Required</b>	<b>Proposed</b>
<b>Density</b>	20 units/acre 0.15 acre site = 2 units allowed LUC 20.20.010	2 Units Meets LUC requirement
<b>Lot Coverage by Structure</b>	35% of 6,466 SF = 2,263 SF LUC 20.20.010	32% = 2,092 SF Meets LUC requirement
<b>Impervious Surface</b>	80% of 6,466 SF = 5,173 SF LUC 20.20.010	57% = 3,664 SF Meets LUC requirement
<b>Setbacks</b>	<u>R-20 in Single Family Transition Design District:</u>  Front: 20 ft. Rear: 25 ft. Side: 5/15 ft  LUC 20.20.010	20 ft. 20 ft. from centerline of alley 5 ft (only one side setback due to triangle shaped lot)  Front and Side setbacks meet LUC requirements. Rear setback will require a Variance.
<b>Building Height</b>	R-20: 30 feet as measured from average <u>existing</u> grade of 143.02 feet  40 feet allowed with bonuses  LUC 20.25B.040.A	30 feet as measured from average <u>existing</u> grade – Maximum height elevation is 173.02 feet.  Meets LUC requirement
<b>Parking</b>	Residential Use: Three or more bedroom unit: min. 1.8 per unit = 4 spaces  LUC 20.20.590	2 garage spaces per unit plus 1 space per driveway = 6 spaces  Meets LUC requirement

	<b>Permitted/Required</b>	<b>Proposed</b>
<b>Landscape Requirements</b>	<p>Interior Property Line: 8 FT wide Type III landscaping</p> <p>Street Frontage: 10 FT wide Type III landscaping</p> <p>LUC 20.20.520 and 20.25B.</p>	<p>Interior: 8' wide Type III landscaping</p> <p>Street Frontage: Over 10' Type III landscaping</p> <p>As conditioned, meets LUC requirements.  <b><u>Refer to the Alternate Landscaping Option (ALO) information in Section III.3 below and Condition of Approval regarding the final landscape and irrigation plans in Section IX of this report.</u></b></p>
<b>Tree Retention</b>	<p>Site Perimeter: 100% tree retention = 88 diameter inches</p> <p>Site Interior: 0 diameter inches            Due to sight distance angles and utility locations, no significant trees are required to be retained in the site interior.</p> <p>LUC 20.20.900 and 20.25B.</p>	<p>Site Perimeter: 64% tree retention = 56 diameter inches.            Will require Alternative Tree Retention or Replacement Option.  <b>Refer to Section III.A.3 below.</b></p> <p>0 diameter inches retained</p> <p>As conditioned, will meet LUC requirements. <b>Refer to discussion in Section III.3 below.</b></p>
<b>Mechanical Equipment</b>	<p>Locate on the roof or below grade and visually screen, unless this requirement is modified by the City for projects requiring discretionary approval per LUC 20.20.525.C.5 &amp; 6.</p>	<p>All mechanical equipment will be located inside the buildings.</p> <p>Meets LUC requirements</p>

### 3. Landscaping

#### a. Tree Retention - Alternative Tree Retention or Replacement Option

As defined by LUC 20.50.046, there are eight significant trees on the site. Three of these trees are exempt from the tree retention requirements because of their impact on required sight distance angles and a proposed utility location – LUC 20.20.900.D. All of the five remaining significant trees fall within the site perimeter, along the northern property line and total 88 diameter inches. LUC 20.20.900 requires 100% tree retention within the site perimeter. The applicant proposes to remove three trees for a total of 32 diameter inches and retain two trees for a total of 56 diameter inches. Therefore, the applicant is requesting approval of an Alternative Tree Retention or Replacement Option.

The applicant proposes to replace the significant trees in equivalent diameter inches by planting 11 trees along the perimeter of the entire site at an average diameter of three inches for a total of 33 diameter inches. Note: Any additional trees planted on site will be counted to fulfill the perimeter landscaping requirements. An additional tree will be planted in the site interior and three trees will be planted in the City of Bellevue public right-of-way (street trees). The trees will be a mixture of evergreen and deciduous trees.

Conclusion: Due to the size of the proposed building and the aggressive measures that have been taken to protect the large 48 inch Douglas Fir in the northwest corner, there is little remaining room on-site for many additional trees. The proposed alternative tree retention option, as conditioned, will meet the intent of the code, proposes to replant more diameter inches than were lost, and will result in a residential scale landscape with a significant number of trees. **Refer to Conditions of Approval regarding tree protection, the final landscape and irrigation plans, and the landscape installation and maintenance assurance devices in Section IX of this report.**

**b. Perimeter Landscaping - Alternate Landscaping Option (ALO)**

Since this proposal site is not directly adjacent to a property that is less intensively zoned, the project only needs to follow the landscape requirements found in LUC 20.20.520.F for an R-20 property. The requirements include a ten foot wide, Type III landscape buffer along the street frontage and an eight foot wide, Type III landscape buffer along all interior property lines. The proposal meets these requirements for all perimeters except for a section along the northern property line. For a length of approximately 68 feet, the perimeter is only five foot wide (the required side setback). In addition, a light well intrudes into this setback. Therefore, the applicant is requesting approval of an Alternate Landscape Option.

As conditioned, the applicant will provide a landscape design that includes the following: extensive native landscaping along the northern property line (80% of the proposed plants are native) with trees and shrubs and additional landscaping throughout the site with a mix of evergreen and deciduous material.

Conclusion: Due to the tight nature of the triangle-shaped site and the need to retain the existing 48 inch Douglas Fir tree and enhance the environment around it, the applicant has provided a design for an Alternate Landscaping Option that will result in a well-balanced, residential scale landscape design that is better than that which could be achieved by strictly following the requirements of LUC 20.20.520. In addition, the applicant has worked with the City of Bellevue to protect the health of the Douglas Fir tree by restricting disruptive new landscaping and planting only native groundcover within the dripline of the tree. However, to ensure a dense buffer between this project and the properties to the north, and to mitigate for the loss of trees within the perimeter due to a reduced buffer width, the applicant will be required to plant two additional evergreen trees within the northern perimeter landscape buffer. **Refer to Condition of Approval regarding the final landscape and irrigation plans and the installation and maintenance assurance devices in Section IX of this report.**

#### IV. PUBLIC NOTICE AND COMMENT

Application Date: February 28, 2007  
Notice of Application: April 12, 2007  
Public Notice Sign: April 12, 2007  
Minimum Comment Period: April 26, 2007  
Public Meeting: May 9, 2007

The City initially notified the public of the proposal on April 12, 2007 with mailed notice and publication in the Weekly Permit Bulletin and Seattle Times. A double-sided public information sign was installed on the site on the same day. Eleven written comments were received from citizens on the proposal. The public comment letters are available for viewing by the public in the project file at City Hall. In addition, a public meeting was held on May 9, 2007. Seven citizens attended the meeting. The following is a summary of the main issues identified by the individuals regarding the proposal, along with the City's response:

**A. Issue/Question:** *The bulk of the new building is out of scale with the existing neighborhood.*

**Response:** This project is in an R-20 zoning district. It is surrounded to the south, east and west by R-20 and R-30 multi-family buildings. These buildings are large and tend to be bulkier in scale than the proposal building.

This new townhome adheres to all of the dimensional requirements of the Land Use Code Section 20.20.010 and is designed to feel like one, single family home via colors, detailing and articulation. It will not be taller than the required 30 feet, measured from average existing grade. Note that the maximum height of a building on the proposal site can be as high as 40 feet. Through architectural modulation, it will appear to be less bulky and rectilinear than many of its neighbors. In addition, the applicant has not asked for relief from either the lot coverage by structure (35%) or the lot coverage by impervious surfaces (80%). In fact, the 35% lot coverage by structure is the same percentage that would be required for one, single family home. Therefore, one single family home could conceivably take up as much of the site as the proposed townhome.

**B. Issue/Question:** *The height of the new building will impact views from the neighbors to the east.*

**Response:** The City of Bellevue's development regulations do not take impacts to private views into consideration when development proposals are reviewed. However, the applicant has worked with the neighbors to the east to demonstrate how the proposed project will impact their views. The high pitch of the roof will help to provide view corridors across the site. Most of the views in question will be from the eastern property, looking south west, and will be only slightly impacted by the new development; which lies due west.

**C. Issue/Question:** *The new townhome will negatively impact the value to nearby properties.*

**Response:** The City of Bellevue's development regulations do not take impacts to property values into consideration when development proposals are reviewed.

**D. Issue/Question:** *The new townhome will negatively impact the health and vitality of the 48" diameter Douglas Fir Tree.*

**Response:** The design of the townhomes underwent a significant redesign to avoid adversely harming the Douglas Fir tree. Development was pulled out of the dripline of the tree (a minimum 25 foot radius) requiring a complete redesign of the building footprint. Arborist reports were submitted by the applicant and the neighbors, and a tree assessment was done by Kevin LeClair, a Senior Land Use Planner and Certified Tree Risk Assessor. The recommendations from these reports have been incorporated in the Conditions of Approval regarding the protection and health of this tree. **Refer to Condition of Approval regarding tree protection in Section IX of this report.**

**E. Issue/Question:** *How will the alley be handled regarding width and traffic?*

**Response:** There will be no change to the direction or flow of the alley. The edge of the alley on the applicant's side will be enhanced with additional landscaping and the rock wall will be eliminated. Additional traffic will occur from only two new homes.

## V. TECHNICAL REVIEW

### A. **Clearing & Grading Division**

The Clearing and Grading Division has approved this proposal with no specific conditions. The project is required to meet all the requirements of BCC 23.76, the Clear and Grade Code.

### B. **Utilities Department**

The Utilities Department has approved this proposal with conditions. The applicant will need to obtain over the counter side sewer, storm and water meter applications to connect new home to public water, sewer and storm lines in 99th Avenue NE. A right of way permit will be required to do utility street cuts in the public right of way.

The existing sewer stub will need to be capped at the property line and inspected for reuse prior to issuing a side sewer permit for reconnection. **Refer to Conditions of Approval regarding the water, sewer and storm drainage systems and the right-of-way permit in Section IX of this report.**

## **C. Transportation Department**

### **1. Short-Term Operational Impacts and Mitigation**

City staff analyzed the short-term operational impacts of this proposal in order to recommend mitigation if necessary. The primary focus was to evaluate standard street frontage improvements, to examine vehicle sight distance and speeds in the unnamed alley adjacent to the western side of the site, and vehicle and pedestrian sight distance on 99<sup>th</sup> Avenue NE.

It was determined that installation of standard street frontage improvements on the site's frontage along 99<sup>th</sup> Avenue will be adequate to provide safe vehicular and pedestrian access. Full frontage improvements are not required in the alley under Bellevue City Code 14.60.110 E, which allows waiving frontage improvements where such improvements are unlikely to be installed on adjacent frontages. Regarding sight distance, it was determined that low vehicle speeds in the alley (approximately 15 miles per hour or less) will provide adequate stopping sight distance of approximately 80 feet for vehicles in the alley approaching the site's driveways from the north. Furthermore, the proposed structures and landscaping on the site will not create a sight distance obstruction where the alley intersects with 99<sup>th</sup> Avenue. The development must not block the sight lines required by city code at the intersection of the alley and 99<sup>th</sup> Avenue and for the driveway on the adjacent property to the north.

### **2. Site Access**

Access to the proposed project will be provided via three driveways on the alley. (Note that the unusual shape of the lot caused the designers to determine that one of the dwelling units will have two separate garage entrances. Thus, a structure with two dwelling units will have three driveways.) An existing driveway on 99<sup>th</sup> Avenue will be closed. Due to low speeds, low traffic volumes, and the lack of through traffic in the alley, the Transportation Department agreed to allow less than the usually required 20-foot separation between driveways and agreed to a deviation from the usual requirement that driveways must intersect the public way at a 90-degree angle. The portion of each driveway that is in the public right of way must be paved with asphalt, and the portion of each driveway on private property must be paved with different material in order to delineate the portion of each driveway that is appropriate for private parking.

### **3. Street Frontage Improvements**

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform with the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), the Transportation Department Design Manual, and any requirements stated elsewhere in this document.

- a. On 99<sup>th</sup> Avenue NE, the developer must do at least the following work:
  - 1) Install standard curb and gutter per standard drawing TE-10, with storm drainage treatment meeting the requirements of the Utilities Department. At the north end of the site's frontage, the curb and sidewalk height must taper down to grade so as not to interfere with vehicles using the driveway on the neighboring property. At the south end of the site's frontage, the curb and gutter must wrap around the

corner to the alley with the curb height tapering down to grade where the curb meets the sidewalk. The curb shall be located approximately 32 feet from the existing curb on the opposite side of 99<sup>th</sup> Avenue, as shown on the plans submitted to the city on May 16, 2008.

- 2) Install standard concrete sidewalk per standard drawing TE-11, with a width of five feet and a cross slope not to exceed 2%.
  - 3) Install a planter strip at least four feet wide between the curb and sidewalk. Landscaping and irrigation must be installed per the approved landscaping plan. Any landscaping and irrigation in the planter strip or any other part of the street right of way must be maintained by the home owners.
- b. In the alley, the developer must do at least the following work:
- 1) Remove the rockery in the alley right of way and establish stable slopes adjacent to the alley as part of the site's clearing and grading.
  - 2) Construct driveways as described in the Site Access section above, with width and alignment as shown on the plans submitted to the city on May 16, 2008. The plans must indicate the different materials required for different parts of each driveway.
- c. As much as feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk.
- d. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within any right of way within ten feet of a driveway edge, nor within ten feet of the edge of pavement at the intersection of the alley and 99<sup>th</sup> Avenue. Fixed objects are defined as anything with breakaway characteristics stronger than a 4-inch by 4-inch wooden post. An existing utility pole near the intersection of the alley and 99<sup>th</sup> Avenue is within 10 feet of the edge of pavement at the intersection; however, its location has not been problematic in the past. Therefore, said utility pole may remain in place unless the wires attached to it are undergrounded, as described in paragraph 5 below.
- e. No new overhead utility lines will be allowed within or across any street right of way or sidewalk easement. Existing overhead lines will be relocated underground by franchise utility companies, if so required by the terms of the right of way use permits obtained by franchise utility companies in conjunction with this development.
- f. Acceptable vehicle sight distance must be achieved at the driveway connections to the alley and to the north on 99<sup>th</sup> Avenue at the intersection with the alley. Due to low speeds in the alley, sight distance at the driveways may be less than the city code requirement for streets with a 25 mile per hour speed limit. However, the code requirements under BCC 14.60.240 for sight distance at 25 miles per hour must be achieved where the alley intersects 99<sup>th</sup> Avenue. Pedestrian sight distance required by city code 14.60.241 must be achieved where the alley intersects the sidewalk on 99<sup>th</sup> Avenue, and for the neighbor's driveway on 99<sup>th</sup> Avenue to the north of the Casa site. Plans submitted to date indicate that a decorative fence or landscaping wall proposed at the northeastern corner of the site may block the required pedestrian sight line between the sidewalk and the neighbor's driveway. That must be confirmed and corrected if necessary.

**Refer to Conditions of Approval regarding landscape maintenance, civil engineering plans for transportation, building and site plans for transportation improvements, and street and alley frontage improvements in Section IX of this report.**

#### **4. Use of the Right of Way During Construction**

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Condition of Approval regarding the right-of-way use permit in Section IX of this report.**

#### **5. Pavement Restoration**

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Adjacent to the development site, 99<sup>th</sup> Avenue NE is presently classified as Standard Trench Restoration and the alley is classified as Overlay Required. Any trenching or pavement restoration in the alley will require a full-width grind and overlay at least 50 feet long. Pavement restoration classifications may change before the development is complete. The exact extent of pavement restoration will be specified by the right of way use permit for this development, as determined by field inspection. **Refer to Condition of Approval regarding pavement restoration in Section IX of this report.**

#### **6. Transportation Impact Fee**

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. **Refer to Condition of Approval regarding transportation impact fees in Section IX of this report.**

#### **D. Fire Department**

The Fire Department has approved this proposal with conditions. A second address will be required at time of application for Building Permit. **Refer to Condition of Approval regarding addressing in Section IX of this report.**

## VI. CHANGES TO PROPOSAL DUE TO CITY REVIEW

### A. Site and Building Design:

Both the site design and the building design were revised to pull the building and driveways out of the dripline of the 48" diameter Douglas Fir Tree. **Refer to Conditions of Approval regarding tree protection in Section IX of this report.**

### B. Site Design

- 1) An improved streetscape will be provided, including a new curb, four foot wide planting area and sidewalk will be provided along 99<sup>th</sup> Avenue NE.
- 2) Landscaping was added to the site interior and the landscape plan was revised to plant only native groundcover under the 48" diameter Douglas Fir Tree.
- 3) A change in paving materials will help delineate the area between the edge of the alley and the property line.

## VII. DECISION CRITERIA

### Design Review:

**The Director may approve, or approve with modifications, an application for Design Review if the proposal fulfills the Design Review Decision Criteria in LUC 20.30.F.145:**

#### **1. *The proposal is consistent with the Comprehensive Plan.***

The project is consistent with the Comprehensive Plan's Urban Design Element. The proposed development supports the following Subarea and Comprehensive Plan Policies:

#### **Comprehensive Plan**

The site is designated R-20 and lies within the Single Family Residential Transition Zone Design District in the North Bellevue subarea of the Bellevue Comprehensive Plan. The Comprehensive Plan designation for this property is Multi Family-High. The property lies entirely within the Transition Zone and is not adjacent to any property in less intensively zoned districts.

#### **North Bellevue Subarea Policies:**

**Policy S-NB-3:** Scales down multifamily and office development as it approaches single-family areas so as to create an appropriate transition. This design concept of these two townhomes is to create a building that resembles a custom single family home via detailing, scale and materials.

**Policy S-NB-6:** Retains and enhance natural vegetation by protecting the 48-inch diameter Douglas Fir tree on site.

**Policy S-NB-12:** Encourages a variety of housing densities and types of residential areas so that there will be housing opportunities for a broader cross section of the community by designing a two-unit townhome with single family character.

**Policy S-NB-15:** Protects established residential neighborhoods by retaining residential zoning that reflects the density of the developed residential use by providing a residential building that relates to the existing R-20 zoning district surrounding the site as well as to the single family neighborhoods to the south and west.

**Policy S-NB-27:** Provides for internal circulation of vehicular traffic so as to minimize traffic impact of new development on surrounding residential areas by providing entrances to the garages off of the existing alley.

**Housing Policies:**

**Policy HO-2:** Promotes quality, community friendly multifamily development through features such as pedestrian connectivity by redeveloping the streetscape on 99<sup>th</sup> Avenue NE with new plantings, street trees and sidewalk.

**Policy HO-17:** Encourages infill development on vacant or under utilized sites and ensure that the infill is compatible with the surrounding neighborhoods. The site is under utilized with one, older single family home on a lot zoned multi-family. The infill is compatible with the neighborhood context and has adequate urban services.

**Environmental Policy:**

**Policy EN-89:** The surrounding residential neighborhoods will be protected from noise during construction through the implementation of the development standards, land use codes, and the enforcements of BCC 9.18 regarding Noise Control. Note: The Department Director, as outlined in the Noise Control Ordinance, may grant an approval to expand the hours for which construction-related noise emanates from the site subject to meeting the criteria of BCC 9.18.020.C.1&2. **Refer to Conditions of Approval regarding noise & construction hours in Section IX of this report.**

**2. *The proposal complies with the applicable requirements of this Code.***

As conditioned, the proposal complies with applicable requirements of the Land Use Code. **Refer to Section III.A of this report for further information on compliance with the Land Use Code.**

**3. *The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.***

As conditioned, the proposal complies with the Development Standards (LUC 20.25B.040) and Design Guidelines for multi-family development in a Transition Area

Design District (LUC 20.25B.050). Refer to Section III.A.2 of this report for how the proposal has met the Development Standards.

The applicable Design Guidelines are summarized below:

**A. Site Design Guidelines**

**1) Vehicular Access**

Access to the townhome garages will be off of the existing alley, within the R-20 zone. **Refer to Section V.C.2 for information regarding site access.**

**2) Loading and Refuse Collection**

Refuse containers will be stored inside the individual garages. As with a traditional single family neighborhood, the owners of each townhome shall provide for the return of receptacles and trash not removed from the property back into the building the day of pick-up.

**3) Tree Retention**

The project will retain 56 diameter inches of the 88 diameter inches of significant trees within the required site perimeter landscape area, requiring an Alternative Tree Retention or Replacement Option. The 48 inch diameter Douglas Fir Tree, which is significant not only to the property but to the entire neighborhood, has been retained, which necessitated redesign to the site and building plans. The applicant will provide additional trees to fulfill the requirements of the Alternative Tree Retention Option. **Refer to Section VII.A.3 and to Condition of Approval regarding tree protection in Section IX of this report.**

**4) Contextual Compatibility**

The proposed building massing, orientation of the pedestrian entry off of NE 99<sup>th</sup> Street and the vehicular entry off of the alley, and architectural detailing of the facades are all single-family residential in character. The buildings are detailed to fit not only into the multi-family, but the single family neighborhood context around the proposal site. Residential-scale landscaping and the preservation of the 48 inch Douglas Fir Tree will ensure site compatibility with the surrounding context.

**B. Building Design Guidelines**

**1) Exterior Surfaces**

The exterior surfaces are similar and in certain applications superior, to those found in the surrounding neighborhood, including shingles, wood trim, Eldorado cultured stone, and composite roof shingles. None of the materials are reflective.

**2) Building Façade**

The concept for this home was to create an “old world” residential building that appeared from the street to be one home – versus two townhomes. The applicant has used architectural modulation and detailing to create interest and break down

the scale of the building. Included will be angled facets, wall modulation – particularly along the alley elevation, interesting roof pitches, custom window systems and trims, recesses, and large roof overhangs.

**3) Roof Form**

The pitched roof enhances the compatibility with the nearby residential areas.

**4) Communication Dishes**

No communication dishes greater than one meter in diameter are proposed for this project.

**5) Exterior Materials and Colors**

The richness and application of the colors and materials complement those found in the surrounding neighborhood. The proposal call for earthtone colors, ranging from a warm tan for the body color to dark green for the trim and roof. The facades are also accented with cultured stone.

**4. The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.**

By creating a building that looks more like an “old world” single family home than a two-unit townhome, and by the application of rich architectural detail, the proposed building is compatible with the surrounding neighborhood and will fit well within the greater single family and multi-family residential context.

**5. The proposal will be served by adequate public facilities including streets, fire protection, and utilities.**

All required public services and facilities are available to the site.

**Variance:**

**The Director may approve, or approve with modifications, an application for a Variance if the proposal fulfills the Design Review Decision Criteria in LUC 20.30.G.140:**

**1. The variance will not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and land use district of the subject property; and**

The variance will not grant special privilege in this neighborhood. There are a number of other multi-family buildings facing the alley that have a much shorter, if not non-existent, setbacks from the alley centerline.

**2. The variance is necessary because of special circumstances relating to the size, shape, topography, location or surroundings of the subject property to provide it with use right and privileges permitted to other properties in the vicinity and in the land use district of the subject property; and**

The variance is requested primarily due to the triangular shape of the proposal property. The 6,466 square foot lot is especially small for a multi-family lot and it would be difficult to place a standard rectilinear building on it. In addition, there is a

significant 48 inch diameter Douglas Fir Tree in the northwest corner of the lot that is very important to the neighborhood. Keeping any development out of the dripline of this tree will further constrict the available square footage of the site.

3. **The granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and land use district in which the subject property is located;**

This variance will not have any adverse effects on surrounding properties. The modified setback faces onto the alley and is not viewed directly by any of the adjacent property owners. The articulation in the façade, the high-quality garage doors, the landscaping and the mix of exterior materials will make for an more interesting façade facing the alley than is currently found in the surrounding properties. In addition, the granting of this variance will make it possible for the applicant to shift development further to the east to protect the significant 48 inch diameter Douglas Fir tree. Many of the surrounding residents had expressed their concern that this venerable tree may be removed or damaged.



**South (Alley) Elevation**

4. **The variance is not inconsistent with the Comprehensive Plan.**  
The Comprehensive Plan supports infill development of this type and the variance is consistent with the Plan. **Refer to Section VII.1 above for how this proposal supports the policies of the Comprehensive Plan.**

### **VIII. CONCLUSION AND DECISION**

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency and City Code & Standard compliance reviews, the Director of Planning and Community Development does hereby **APPROVE WITH CONDITIONS** the subject proposal.

**IX. CONDITIONS OF APPROVAL**

**Compliance with City Codes and Documents**

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including but not limited to:

<b>Applicable Codes, Standards and Ordinances</b>	<b>Contact Person</b>
Clearing & Grading Code – BCC 23.76	Savina Uzunow, 425-452-7860
Construction Codes – BCC Title 23	Bldg. Desk, 425-452-4121
Fire Code – BCC 23.11	Adrian Jones, 425-452-6032
Land Use Code – BCC Title 20	Sally Nichols, 425-452-2727
Environmental Procedures Code – BCC Title 22.02	Sally Nichols, 425-452-2727
Noise Control – BCC 9.18	Sally Nichols, 425-452-2727
Right of Way Use Code – BCC 14.30	Jon Regalia, 425-452-4599
Sign Code – BCC Title 22	Sally Nichols, 425-452-2727
Transportation Code – BCC 14.60	Carl Wilson, 425-452-4228
Utility Code – BCC Title 24	Mark Dewey, 425-452-6179

The following conditions are imposed on the applicant under the authority referenced:

**A. GENERAL CONDITIONS: The following conditions apply to all phases of development.**

**1. Noise & Construction Hours**

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Proximity to existing residential uses will be given special consideration. Upon written request to PCD, work hours may be extended to 10:00 p.m. if the criteria for extension of work hours as stated in BCC 9.18 can be met and the appropriate mitigation employed.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

**AUTHORITY:** BCC 9.18.020.C & 9.18.040  
**REVIEWER:** Sally Nichols, Planning and Community Development

**2. Landscape Maintenance**

Post construction, all landscaped areas shown on the Final Landscape Plans, including the planting strip along the curb on 99<sup>th</sup> Avenue NE, shall be maintained by the property homeowners, including all of the landscaping in the public right-of-way and along the alley. Revise Note 7. on the preliminary landscape plan and on any future landscape plans to reflect this condition.

**AUTHORITY:** LUC 20.20.520, 20.20.900.G and 20.25B.040.C  
**REVIEWER:** Sally Nichols, Planning and Community Development

### **3. Water, Sewer, Storm Drainage Systems**

The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. The applicant will need to obtain over the counter side sewer, storm and water meter applications to connect the new townhomes to public water, sewer and storm lines in 99th Avenue NE. The existing sewer stub will need to be capped at the property line and inspected for reuse prior to issuing a side sewer permit for reconnection.

AUTHORITY: BCC Title 24.02, 24.04, 24.06  
REVIEWER: Mark Dewey, Utilities Department

## **B. PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:**

### **1. Right-of-Way Use Permit**

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30  
REVIEWER: Jon Regalia, Transportation Department

### **2. Civil Engineering Plans - Transportation**

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All

relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Specific requirements for the engineering plans include, but are not limited to:

- a) Curb, gutter, sidewalk, handicapped ramps, and driveway approach design. (The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.)
- b) Sight distance. (Show the required vehicle and pedestrian sight triangles and include any sight obstructions, including those off-site.)
- c) Location of fixed objects in the sidewalk or near the driveway approach.
- d) Trench restoration within any right of way or access easement.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 181, 190, 240, 241, 250

REVIEWER: Carl Wilson, Transportation Department

### 3. Tree Protection

To mitigate adverse impacts during **any** construction to trees to be retained and trees on adjacent properties, the applicant must comply with the following:

- a) Clearing limits shall be established for all retained trees within the developed portion of the site, ***outside of the drip lines indicated on the tree retention plan***. Six-foot chain link fencing with driven posts, or an approved alternative, shall be installed at the clearing limits (outside of the driplines) prior to initiation of any clearing and grading.
- b) No excavation or clearing shall be performed within drip lines of retained trees except as specifically approved on plans. All such work shall be done by hand to avoid damage to roots and shall be done under the supervision of an arborist approved by the City.

AUTHORITY: Bellevue City Code 23.76.060

REVIEWER: Sally Nichols, Planning and Community Development

### 4. Final Landscape and Irrigation Plan

The Final Landscape and Irrigation Plans shall be revised and submitted with the building permit application to ensure compliance will all Land Use Code requirements. An additional two (2) evergreen trees are to be planted along the northern property line.

Any sleeves for irrigation mainlines shall be placed within the project property lines.

The applicant shall records a copy of the approved project drawings, including the landscape and irrigation plans, and conditions of this Design Review with the King Country Division of Records and Elections and with the Bellevue City Clerk.

AUTHORITY: LUC 20.20.520, 20.20.900.G and 20.25B.040.C

REVIEWER: Sally Nichols, Planning and Community Development

**C. PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:**

**1. Transportation Impact Fee**

Payment of the traffic impact fee will be required at the time of building permit issuance. The impact fee is presently estimated to be \$221.40 for each multi-family dwelling unit. This fee is subject to change and the fee schedule in effect at the time of building permit issuance will apply.

AUTHORITY: BCC 22.16  
REVIEWER: Carl Wilson, Transportation Department

**2. Building and Site Plans - Transportation**

The building grade and elevations shall be consistent with the curb, sidewalk, and street grades shown in the civil engineering plans, as included in the approved clear and grade permit. Building and landscaping work must comply with said engineering plans regarding street frontage and driveway design and vehicle and pedestrian sight distance requirements. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations.

AUTHORITY: BCC 14.60.060, 110, 120, 150, 181, 190, 240, 241  
REVIEWER: Carl Wilson, Transportation Department

**3. Addressing**

A second address will be required at time of application for Building Permit.

AUTHORITY: IFC 505  
REVIEWER: Adrian Jones, Fire Department

**D. PRIOR TO TCO: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the Temporary Certificate of Occupancy (TCO):**

**1. Landscape Installation Assurance Device**

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the applicant shall submit the following: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation, inspection approval and rededication of the plaza property to the City filed with King County Records Office.

AUTHORITY: LUC 20.40.490  
REVIEWER: Sally Nichols, Planning and Community Development

**2. Landscape Maintenance Assurance Device**

File with the Department of Planning & Community Development a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

AUTHORITY: LUC 20.40.490

REVIEWER: Sally Nichols, Planning and Community Development

**3. Street and Alley Frontage Improvements**

All street frontage improvements and other required transportation elements must be constructed by the applicant and accepted by the City Inspector. Transformers and utility vaults to serve the building shall be placed below grade, to the extent feasible. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the city requires a delay. Specific requirements include the following:

- a) Curb, gutter, sidewalk, handicapped ramps, and driveway approaches shall be constructed per the approved engineering plans.
- b) Vehicle and pedestrian sight distance shall be achieved as required by city code, with a variation for the driveways in the alley as described above. The development shall not create a sight distance obstruction on 99<sup>th</sup> Avenue for the neighboring property to the north.
- c) Location of fixed objects within any right of way or near the driveway approaches shall meet Transportation Department as described above.
- d) Landscaping and irrigation within any city right of way shall be installed per the approved final landscape and irrigation plans and shall be maintained by the private property owners.
- e) Driveway approaches shall not exceed a 10% slope for a distance of 20 feet from the paved surface of the alley. Any grade changes in the driveways must be designed to prevent vehicles from bottoming out.

AUTHORITY: BCC 14.60.110, 120, 150, 181, 190, 240, 241; Transportation Department Design Manual; and Transportation Department Standard Drawings.

REVIEWER: Carl Wilson, Transportation Department

**4. Pavement Restoration**

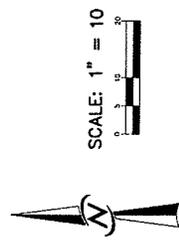
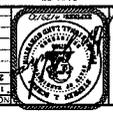
Pavement restoration associated with street frontage improvements, utility installation, or to repair damaged street surfaces shall be provided as listed below. Pavement restoration classifications may change before the development is complete. The exact extent of pavement restoration will be specified by the right of way use permit for this development, as determined by field inspection.

- a) 99<sup>th</sup> Avenue NE: Standard trench restoration will be required.
- b) Unnamed alley right of way: Presently classified as "Overlay Required".

Casa Townhomes  
07 107753 LD and 07 107755 LD  
Page 26 of 26

Street cutting or repair of damage caused by construction will require a full-width grind and overlay at least 50 feet long.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #21  
REVIEWER: Jon Regalia, Transportation Department



**DATUM**  
CITY OF BELLEVUE (C&B) NUMBER

**BENCHMARK**  
C&B 193  
3/17 MARKS HAS WITH PINS LOCATED AT THE INTERSECTION OF NORTH AVE. L.E. AND MAIN ST. ELEVATION: 94.3 (20.78 METERS)

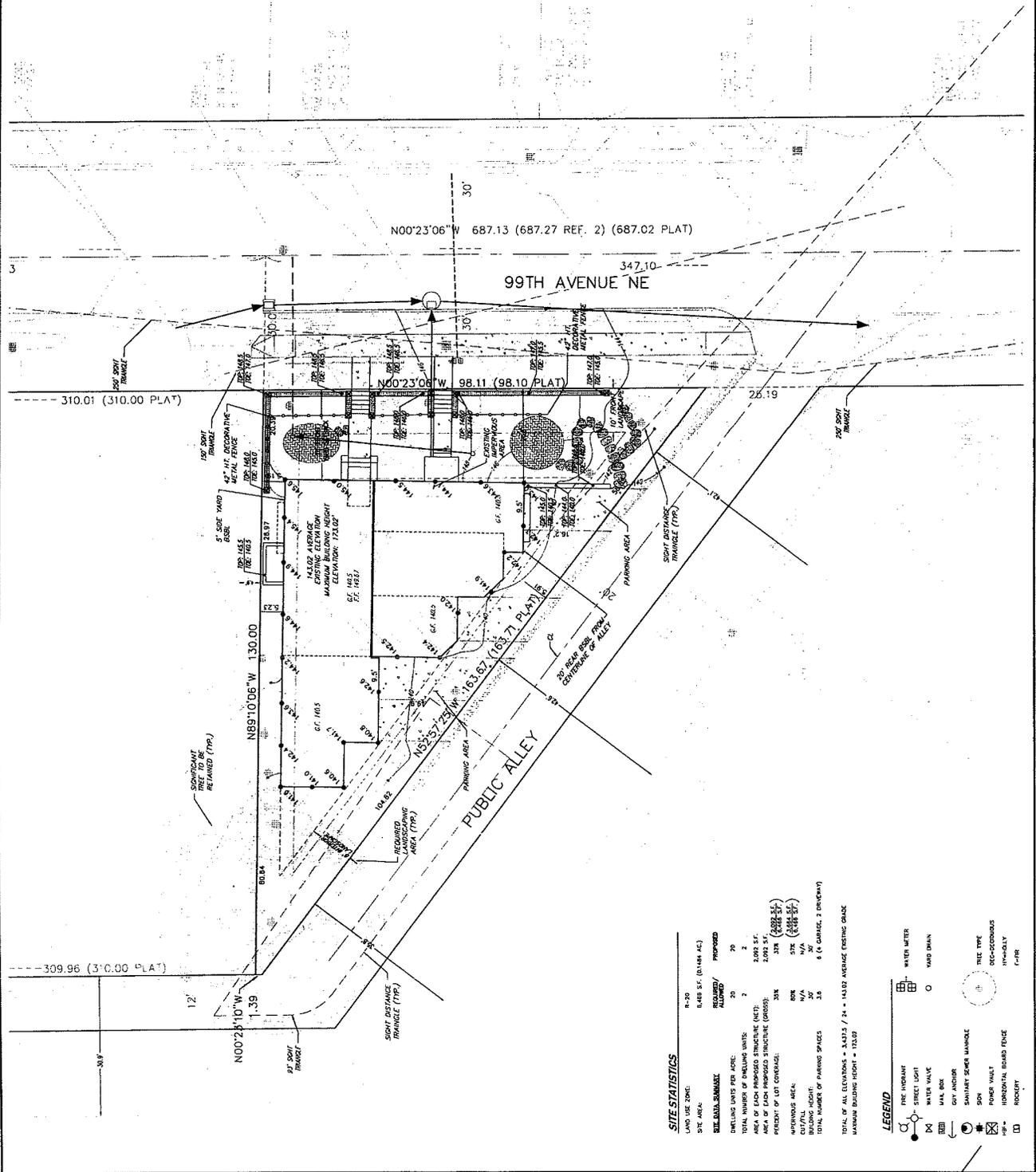
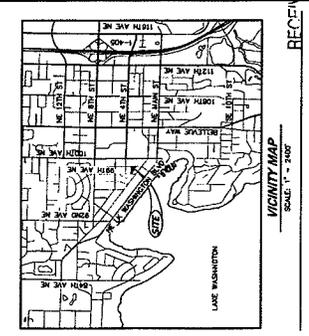
**BASIS OF BEARINGS**  
MAGNETIC (TRUE) NORTH  
(1981-1997) ZONE

**LEGAL DESCRIPTION**  
THIS SITE IS PART OF THE 1/4 SECTION 28, T10N, R10E, S1/4, PLAT 2, RECORD 10, WASHINGTON COUNTY, WASHINGTON. EXCEPT THE NORTH 80 FEET MEASURED ALONG THE EAST LINE THEREOF.

**RESTRICTIONS**  
THIS SITE IS SUBJECT TO THE RESTRICTIONS OF THE 1/4 SECTION 28, T10N, R10E, S1/4, PLAT 2, RECORD 10, WASHINGTON COUNTY, WASHINGTON. EXCEPT THE NORTH 80 FEET MEASURED ALONG THE EAST LINE THEREOF.

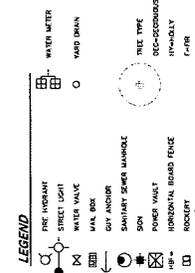
**REFERENCES**  
1. RECORD OF SURVEY BY GEORGE A. ROTH ENGINEERING, INC., RECORDED UNDER RECORD 10, WASHINGTON COUNTY, WASHINGTON, 2002.

**NOTES**  
1. ALL DIMENSIONS ARE IN FEET.  
2. PROPERTY AREA = 1868.59 SQ. FT. (43.14 ACRES).  
3. PROPERTY AREA = 1868.59 SQ. FT. (43.14 ACRES).  
4. ALL DIMENSIONS ARE IN FEET.  
5. EXISTING 1/4 SECTION 28, T10N, R10E, S1/4, PLAT 2, RECORD 10, WASHINGTON COUNTY, WASHINGTON. EXCEPT THE NORTH 80 FEET MEASURED ALONG THE EAST LINE THEREOF.  
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**SITE STATISTICS**

LAND USE ZONE	R-30
LAND USE ZONE	R-30
SITE AREA	5,488 S.F. (0.148 AC.)
REQUIRED FLOOR AREA	20
PROPOSED FLOOR AREA	20
TOTAL NUMBER OF ENCLING UNITS	2
AREA OF EACH PROPOSED STRUCTURE (NET)	2,092 S.F.
AREA OF EACH PROPOSED STRUCTURE (GROSS)	2,092 S.F.
PERCENT OF LOT COVERAGE	38%
IMPERVIOUS AREA	80%
CUT/FILL VOLUMES	N/A
TOTAL NUMBER OF PARKING SPACES	3,35
	8 (4 LARGE, 4 OVERHEAD)
TOTAL OF ALL ELEVATIONS = 3,417.3 / 24 = 142.39 AVERAGE EXISTING GRADE	
MAXIMUM BUILDING HEIGHT = 13.0 FT	









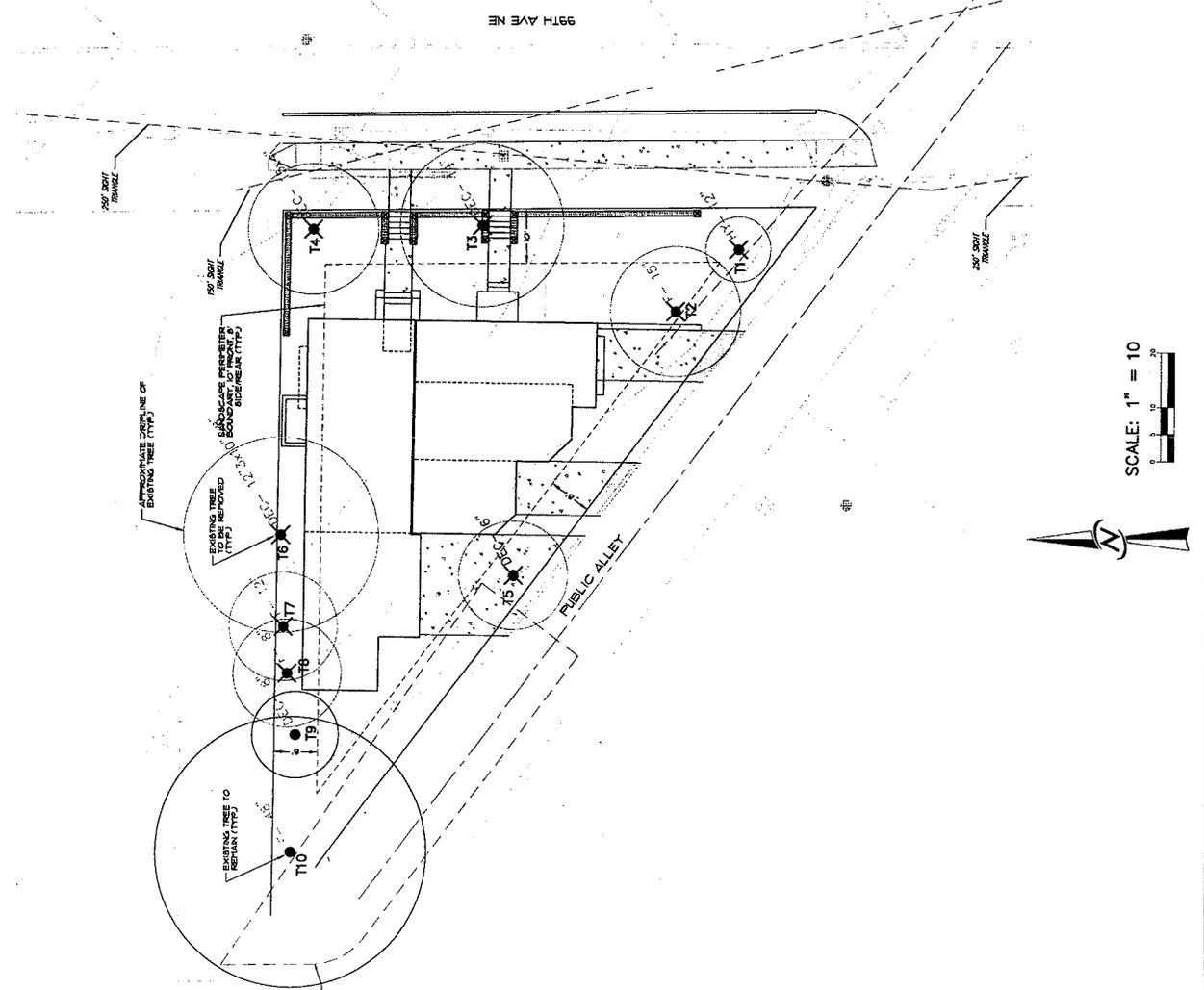
DATE: FEBRUARY 2007	DESIGNED: JFB	DRAWN: JFB	APPROVED: JFB	PROJECT MANAGER: JAMES A. OLSEN, P.E.
SHEET: 6	CASA PROPERTY			

**PRELIMINARY TREE RETENTION PLAN**  
**CASA PROPERTY**  
**GAMWEST REAL ESTATE DEVELOPMENT CO.**  
 9720 NE 120TH PLACE  
 KIRKLAND, WA 98034

**CORE DESIGN**  
 ENGINEERING • PLANNING • SURVEYING  
 12711 NE 29th Road, #101  
 Bellevue, Washington 98007  
 425.882.7277 Fax: 425.882.7543  
 LICENSE NO. 336

STATE OF WASHINGTON  
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
 JAMES A. OLSEN, P.E.  
 LICENSE NO. 10000

PER CITY COMMENTS  
 2/15/07



**TREE RETENTION TABLE**

TREE	SPECIES	DIAMETER (IN)	EXEMPT	WEIGHTING	WEIGHTED DIA. (IN)	RETAINED
T1	HOLLY	2	YES - SHORT DISTANCE	0	0	NO
T2	FIR	9	YES - UTILITIES	0	0	NO
T3	CRAB APPLE	14	YES - NOT SIGNIFICANT	0	0	NO
T4	BURGE BARK MAPLE	4	YES - NOT SIGNIFICANT	0	0	NO
T5	WYOMING SPRUCE	5	YES - NOT SIGNIFICANT	0	0	NO
T6	WYOMING SPRUCE	5	NO	1	5	NO
T7	FIR	7	NO	1	7	NO
T8	FIR	8	NO	1	8	NO
T9	LILAC	8	NO	1	8	NO
T10	FIR	48	NO	1	48	YES
T11	FIR	195	NO	1	195	YES
TOTAL					88	

**SCENERY TREE RETENTION SUMMARY:**

- TOTAL NUMBER OF SIGNIFICANT TREES IN THE LANDSCAPE TREE RETENTION TABLE: 19
- TOTAL NUMBER OF SIGNIFICANT TREES PROPOSED TO BE REMOVED: 16 (T1, T2, T3, T4, T5, T6, T7, T8, T9, T10, T11, T12, T13, T14, T15, T16, T17, T18, T19)
- TOTAL NUMBER OF SIGNIFICANT TREES TO BE MAINTAINED: 3 (T10, T11, T12)

**INTERIOR TREE RETENTION SUMMARY:**

- TOTAL NUMBER OF SIGNIFICANT TREES IN THE INTERIOR: 19
- TOTAL NUMBER OF SIGNIFICANT INTERIOR TREES PROPOSED TO BE REMOVED: 16 (T1, T2, T3, T4, T5, T6, T7, T8, T9, T10, T11, T12, T13, T14, T15, T16, T17, T18, T19)
- TOTAL NUMBER OF SIGNIFICANT INTERIOR TREES TO BE MAINTAINED: 3 (T10, T11, T12)

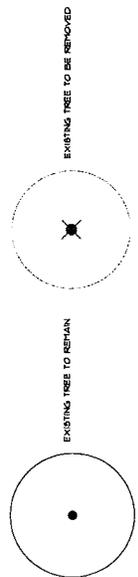
**ALTERNATIVE TREE RETENTION OPTION (202030006):**

BELLEVUE LAND USE CODE (BLLUC) SECTION 202030006(1) STATES "AN APPLICANT THAT SUBMITTIONS TO, B, AND F OF THIS SECTION, THE FOLLOWING IS OUR REQUEST FOR A MODIFICATION TO SECTION 202030006:

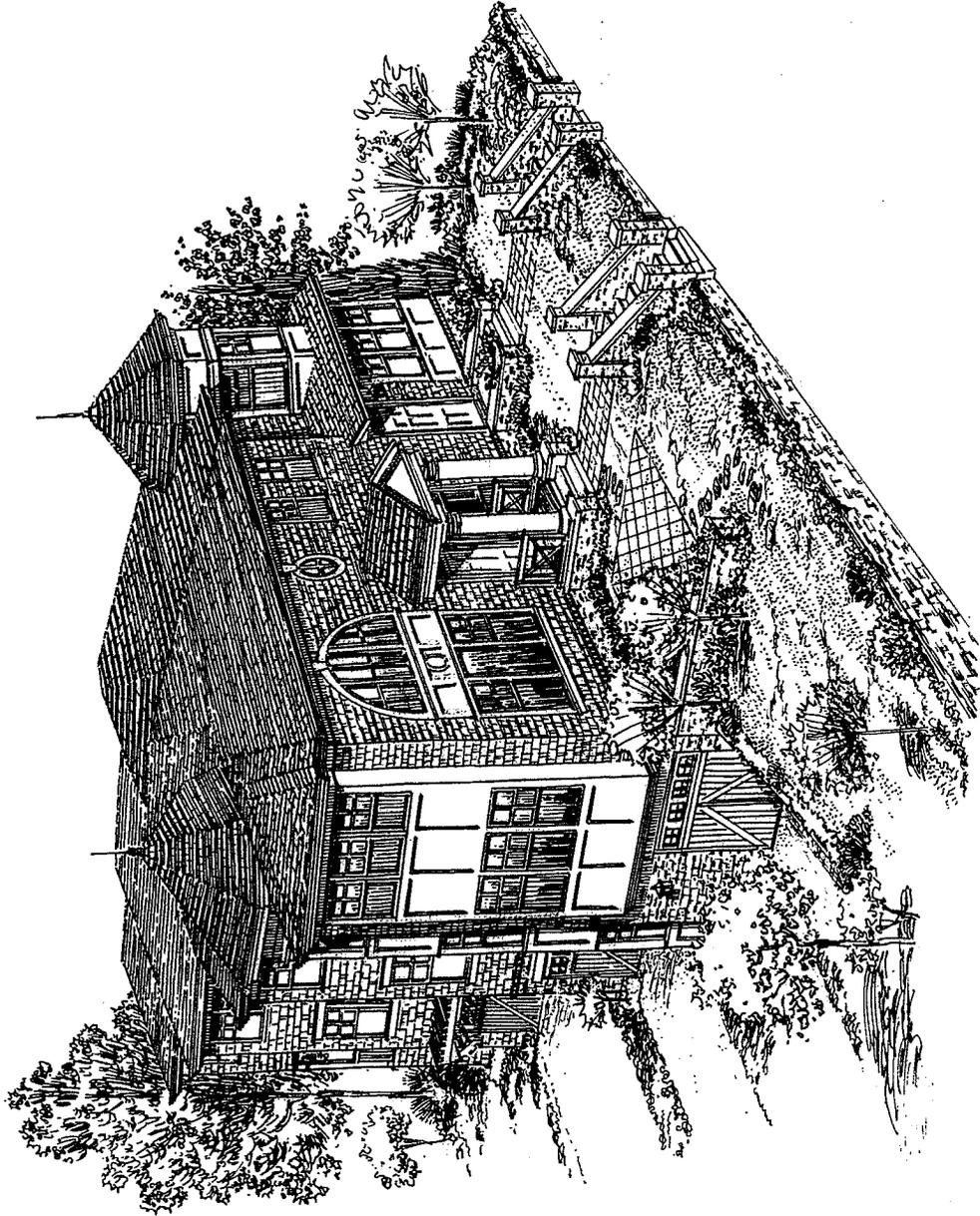
BLLUC SECTION 202030006(1) STATES "THE DIRECTOR MAY ADMINISTRATIVELY APPROVE 202030006(1) IF THE MODIFICATION PROPOSAL INCORPORATES THE RETENTION OR REMOVAL OF SIGNIFICANT TREES THAT ARE NOT IDENTIFIED IN THE TREE AND NATURE INVENTORY AND THAT WOULD OTHERWISE BE REMOVED."

OUR PROPOSAL IS TO MAINTAIN 3 SIGNIFICANT TREES ON THE PROJECT (T10, T11, T12) AND REMOVE 16 SIGNIFICANT TREES (T1, T2, T3, T4, T5, T6, T7, T8, T9, T13, T14, T15, T16, T17, T18, T19). THE REQUIREMENTS OF BLLUC SECTION 202030006(1) WILL BE MET BY MAINTAINING T10, T11, AND T12 ALONG WITH THE 31 DIAMETER INCHES REQUIRED TO MAINTAIN T10, T11, AND T12. THE 31 DIAMETER INCHES REQUIRED TO MAINTAIN T10, T11, AND T12 IS GREATER THAN THE 31 DIAMETER INCHES THE PROJECT WAS DESIGNED FOR.

LEGEND







CASA, INC.

CAMWEST DEVELOPMENT, INC.

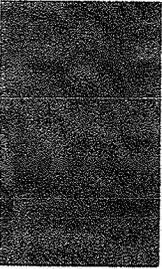
BELLEVUE, WASHINGTON

April 23, 2008

Project No. 913223

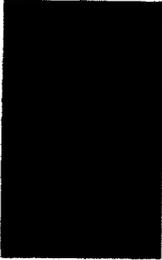
**DAHLIN GROUP**  
ARCHITECTS

RECEIVED  
MAY 18 2008  
PERMIT PROCESSING  
5845 Owens Dr.,  
Newport, CA 94648  
925.251.7200  
925.251.7260 Fax



**BODY (SHINGLE)**

SHERWIN WILLIAMS  
SW7694, DROMEDARY CAMEL



**TRIM**

SHERWIN WILLIAMS  
SW6174, ANDIRON

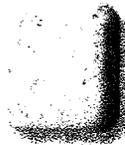


**ENTRY DOOR**

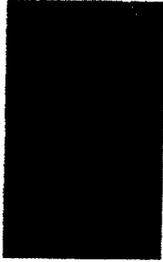
SHERWIN WILLIAMS  
SW6076, TURKISH COFFEE



**ROOF**  
CERTAINTED  
MOUNTAIN SPRUCE



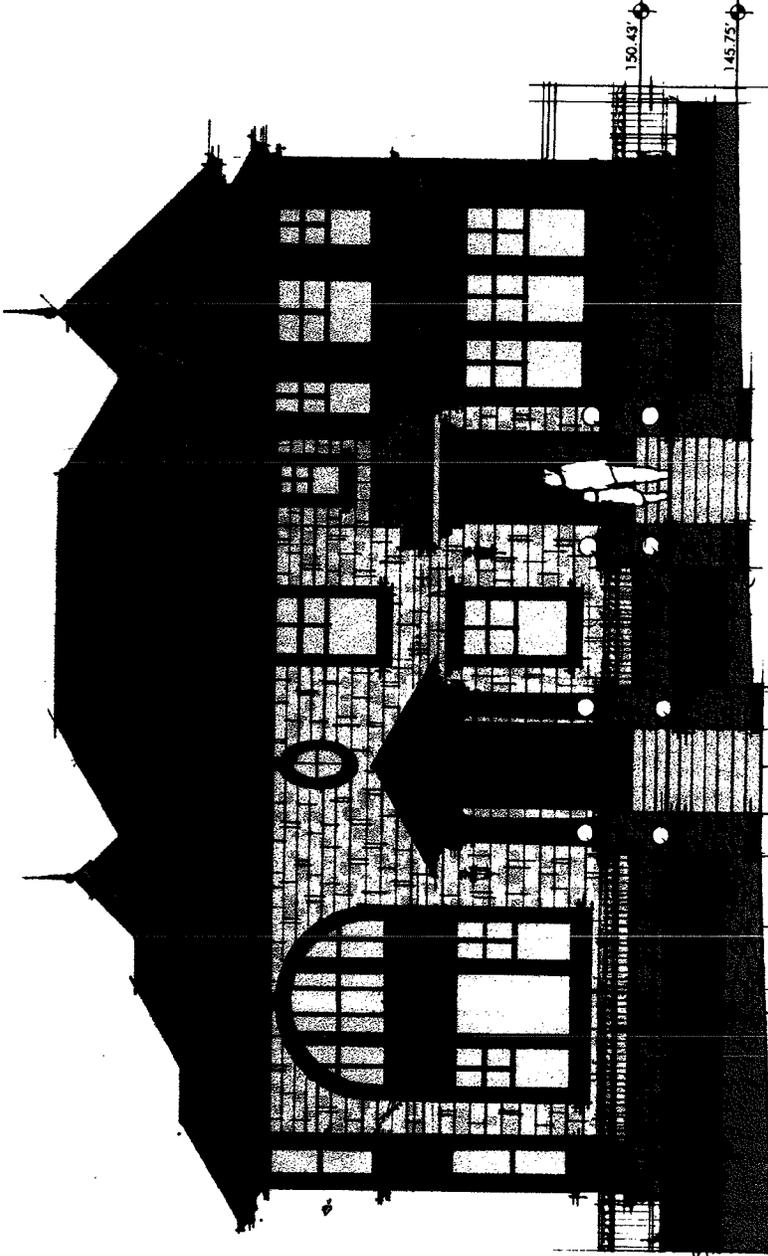
**CONCRETE BALL**  
(AT ENTRY STEPS)  
CONCRETE DESIGN, INC.  
WW34, WHEAT



**STONE**  
(WALLS)  
ELDORADO STONE  
VENETO FIELDLEDGE  
GROUT TO BE COLORED  
COMPLEMENTARY TO  
STONE

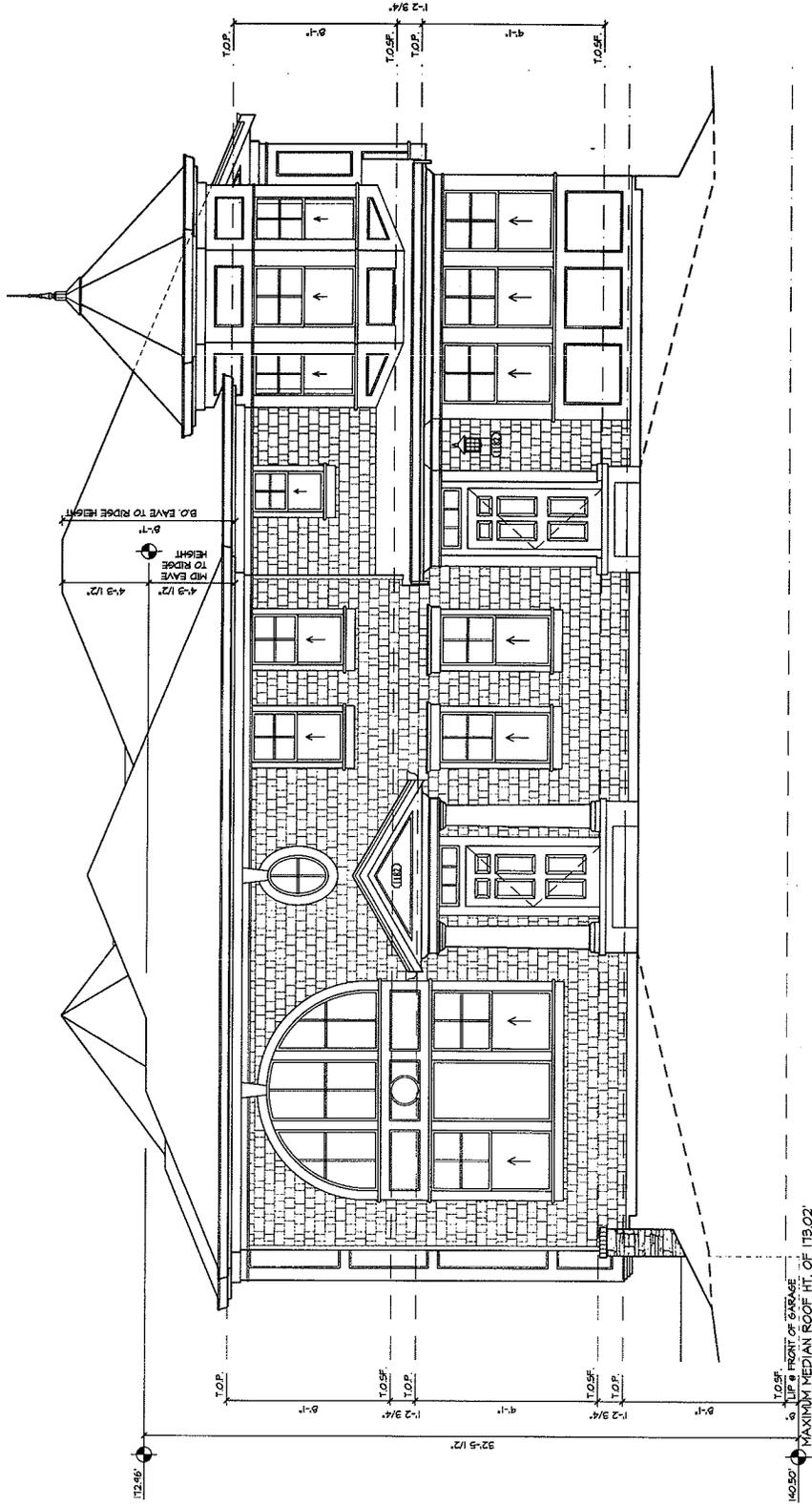


**BRICKS**  
(WALL CAPS)  
FULL SIZE BRICKS  
SELECTED BY BUILDER  
TO MATCH ELDORADO  
BRICK BRACCIANO  
ROMABRICK



RECEIVED  
AUG 14 2007  
PERMIT PROCESSING

FRONT ELEVATION - EAST PLAN 1122-0  
CASH  
PUNING  
INC. DELIVERABLE  
2007.08.14



1122-0 FRONT ELEVATION "A"  
 SCALE : 3/8" = 1'-0"



Project No.: 913.023  
 April 23, 2008

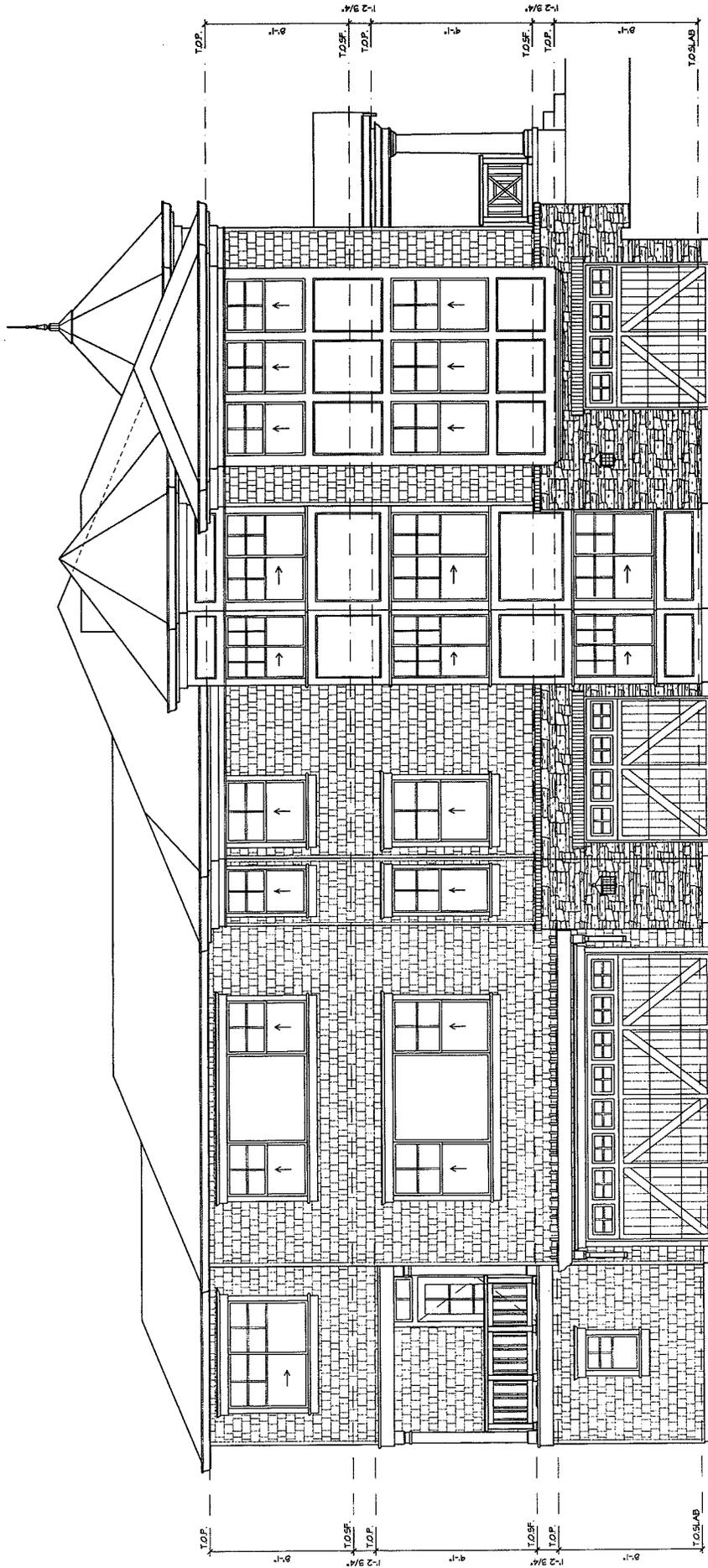
**DAHLIN GROUP**  
 ARCHITECTS

5465 Owens Drive  
 Menlo Park, CA 94028  
 650.321.2700  
 650.321.7260 Fax

BELLEVUE, WASHINGTON

CASA, INC.  
 CAMWEST DEVELOPMENT, INC.

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1182-0 LEFT ELEVATION "A"

SCALE: 3/8" = 1'-0"



April 22, 2008 Project No.: 9113729

**DAHLIN GROUP**  
ARCHITECTS

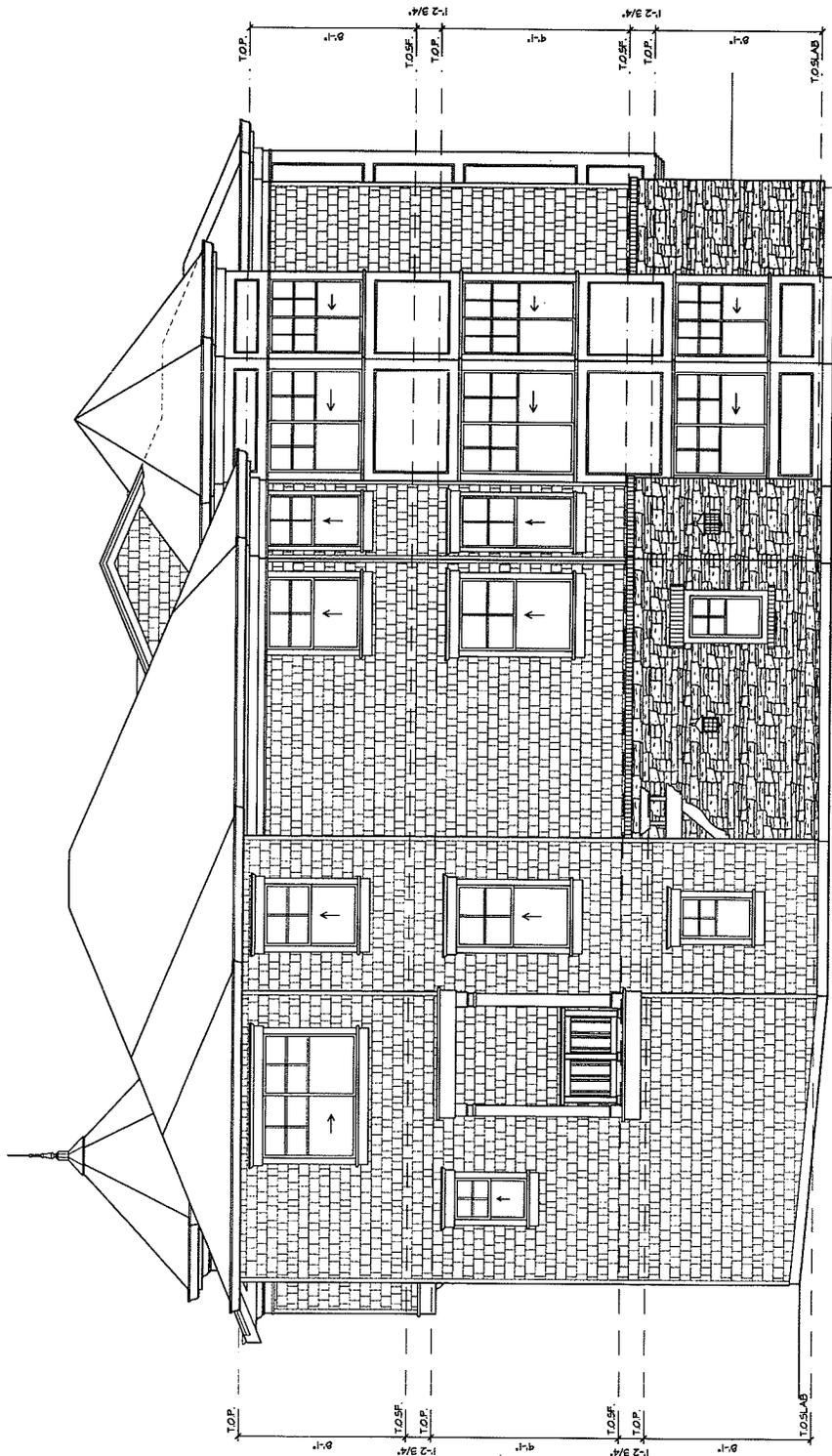
5565 Owens Drive  
Menlo Park, CA 94028  
Tel: 650.321.7200 Fax: 650.321.7260

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MAY 16 2008  
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BELLEVUE, WASHINGTON

CASA, INC.

CAMWEST DEVELOPMENT, INC.



1182-0 REAR ELEVATION "A"  
SCALE: 3/8" = 1'-0"



April 23, 2008  
Project No: 918.029

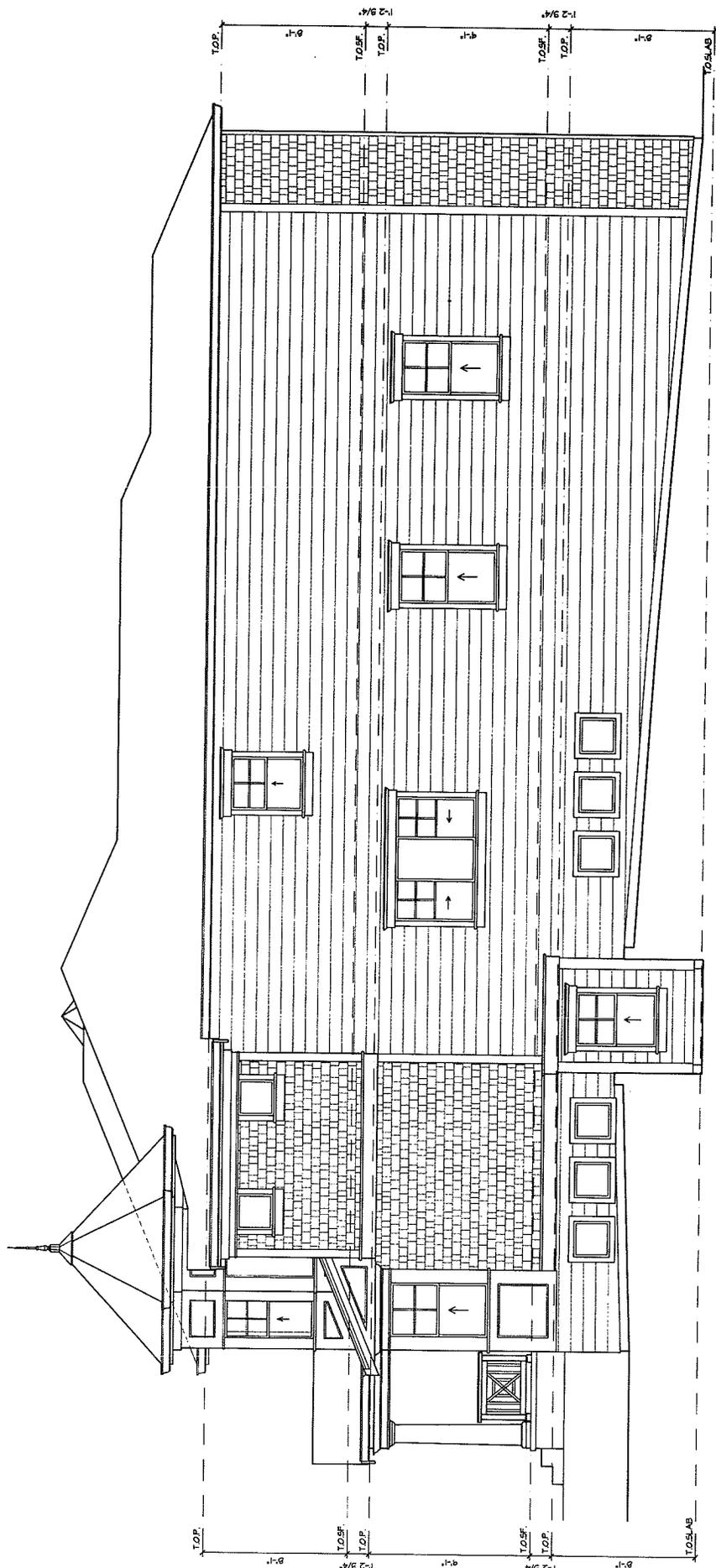
**DAHLIN GROUP**  
ARCHITECTURE

2668 Owens Drive  
Fremont, CA 94588  
Phone: 510.726.0000  
Fax: 510.726.1000

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MAY 16 2008  
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BELLEVUE, WASHINGTON

CASA, INC.  
CAMWEST DEVELOPMENT, INC.



1182-O RIGHT ELEVATION "A"  
SCALE: 3/8" = 1'-0"



April 23, 2008  
Project No.: 913.029

**DAHLLIN GROUP**  
ARCHITECTURE

2345 Owens Drive  
Bellevue, WA 98005  
206.251.7200  
206.251.7200 fax

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BELLEVUE, WASHINGTON

**CASA, INC.**  
CAMWEST DEVELOPMENT, INC.